Crawford Apartments

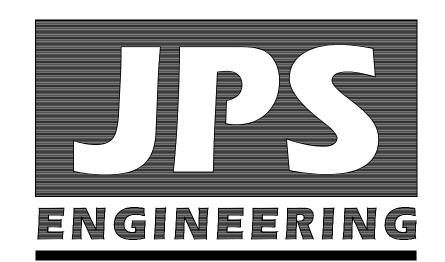
Tract A, Fountain Valley Ranch Fil. No. 6B
Grading & Erosion Control Plans El Paso County, Colorado

PREPARED FOR:

AIME VENTURES LLC

1900 E. Pikes Peak Avenue Colorado Springs, CO 80909

PREPARED BY:



PREPARED BY:

19 East Willamette Avenue Colorado Springs, Colorado 80903

November, 2022

AGENCIES/CONTACTS

CIVIL ENGINEER:

LOCAL ROADS &

DRAINAGE:

DEVELOPER: AIME VENTURES LLC 1900 E. PIKES PEAK AVENUE COLORADO SPRINGS, CO 80909 MR. CHRISTEL AIME (719) 391-4444

> JPS ENGINEERING, INC. 19 E. WILLAMETTE AVENUE COLORADO SPRINGS, CO 80903

MR. JOHN P. SCHWAB, P.E. (719)477-9429 EL PASO COUNTY PCD

2880 INTERNATIONAL CIRCLE COLORADO SPRINGS, CO 80910 (719)520-6300

WATER/WASTEWATER: DONALA WATER & SANITATION DISTRICT

GAS DEPARTMENT:

15850 HOLBEIN DR. COLORADO SPRINGS, CO 80921 (719)488-3603

BLACK HILLS ENERGY MR. SEBASTIAN SCHWENDER (719)399-3176

ELECTRIC DEPARTMENT: MOUNTAIN VIEW ELECTRIC ASSOCIATION 11140 E. WOODMEN ROAD COLORADO SPRINGS, CO 80908

MR. DAVE WALDNER (719)495-2283

TELEPHONE COMPANY: CENTURY LINK COMMUNICATIONS (LOCATORS) (800)922-1987

> A.T. & T. (LOCATORS) (719)635-3674

GEC PLAN SHEET INDEX

19 E. Willamette Ave

PH: 719-477-9429 FAX: 719-471-0766

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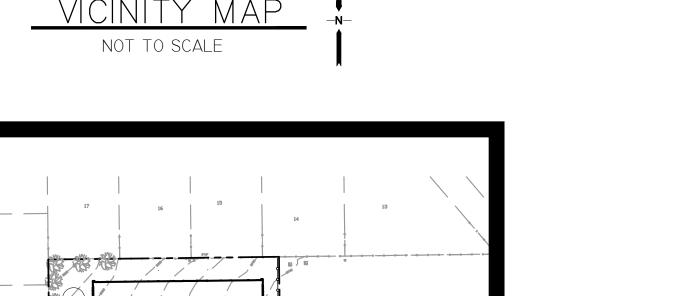
DATE

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DESIGNED:

VERT. SCALE: . 08/29/22 122102

SHEET:



Modell Dr

Lindstrom Dr

TRACT B STRACT A Crawford Ave

BENCHMARK: EXISTING WW MANHOLE RIM EL=5795.66 (GPS/WGS 84)

DESIGN ENGINEER'S STATEMENT

ENGINEER:

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR LIABILITY CAUSED BY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

DATE JOHN P. SCHWAB, P.E. #29891

OWNER/DEVELOPER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

OWNER SIGNATURE

NAME: AIME VENTURES LLC ADDRESS:1900 E. PIKES PEAK AVENUE COLORADO SPRINGS, CO 80909

PHONE: (719) 391-4444 EMAIL: CAime@aime-management.com

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2. AND ENGINEERING CRITERIA MANUAL AS AMENDED.

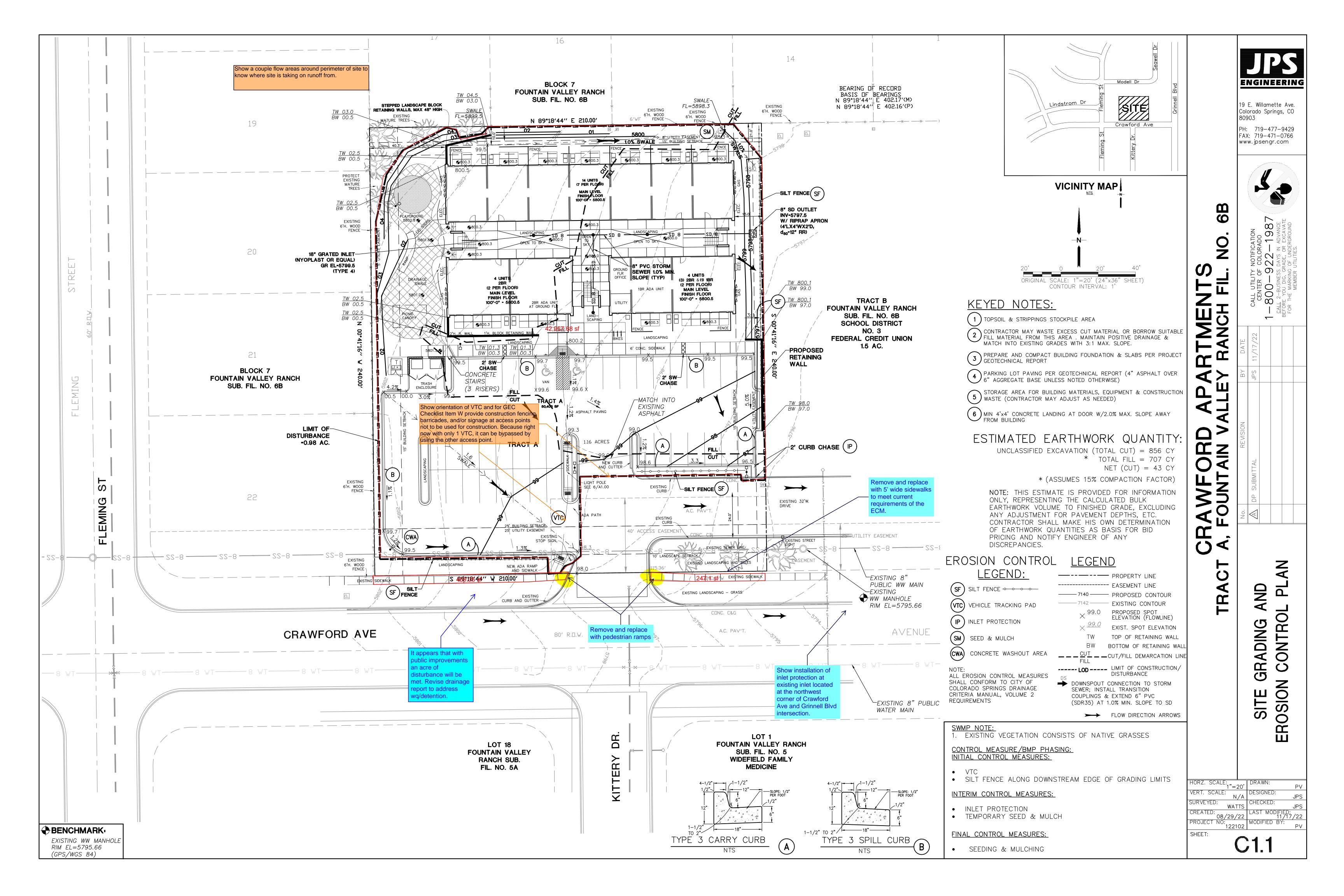
IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THEY WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

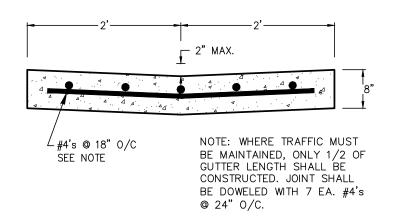
JOSHUA PALMER, P.E.

COUNTY ENGINEER / ECM ADMINISTRATOR

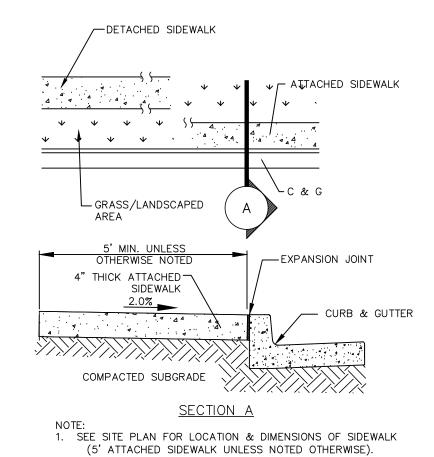
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DATE

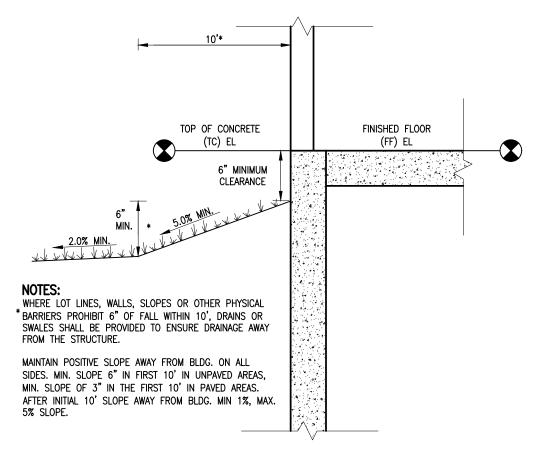




TYPICAL CONCRETE CROSSPAN (1) SCALE: 1'' = 1'-0''



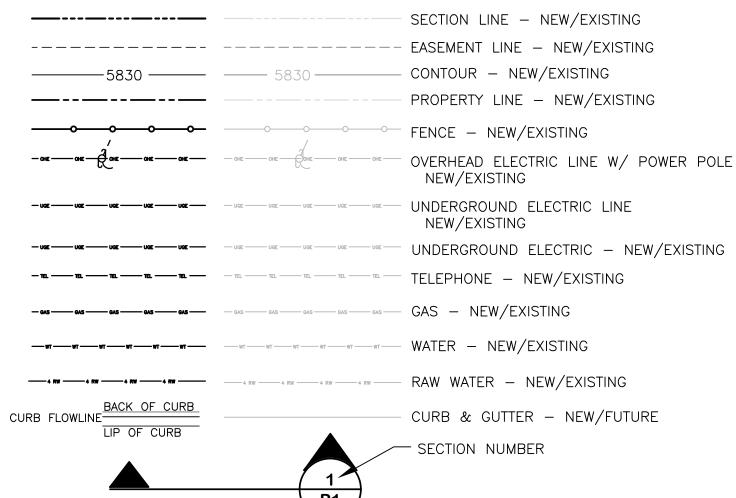
2. CONTRACTOR SHALL PROVIDE JOINTS PER CITY OF COLORADO SPRINGS STANDARD SPECIFICATIONS. CONCRETE SIDEWALK DETAIL



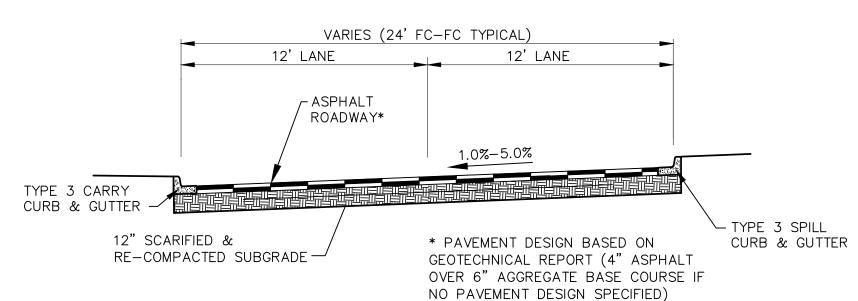
TYPICAL BUILDING DRAINAGE DETAIL

LEGEND:

NEW/EXISTING

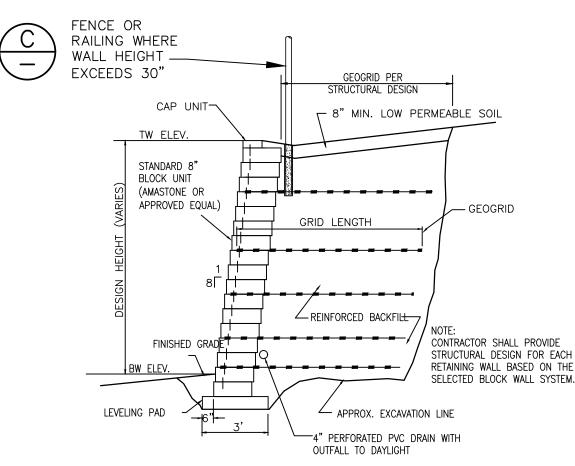


SHEET ON WHICH SECTION IS SHOWN



TYPICAL PARKING / ACCESS DRIVE SECTION A

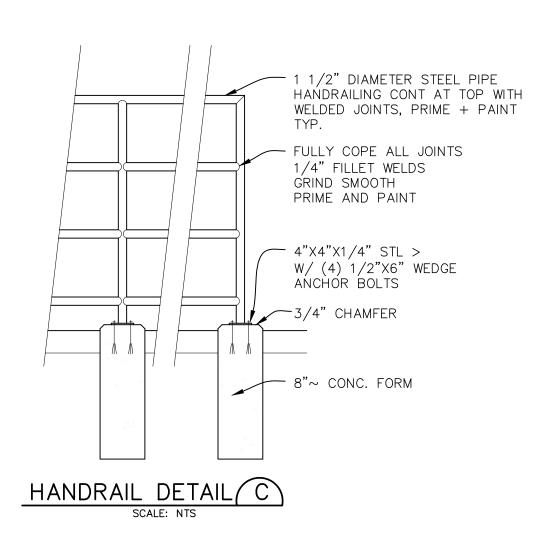
1"=2.5' V



NOTE: REDI-ROCK OR EQUAL BLOCK SYSTEMS MAY ALSO BE APPROVED AS A SUBSTITUTE

SEGMENTAL BLOCK RETAINING WALL DETAIL (B)

SCALE: NTS

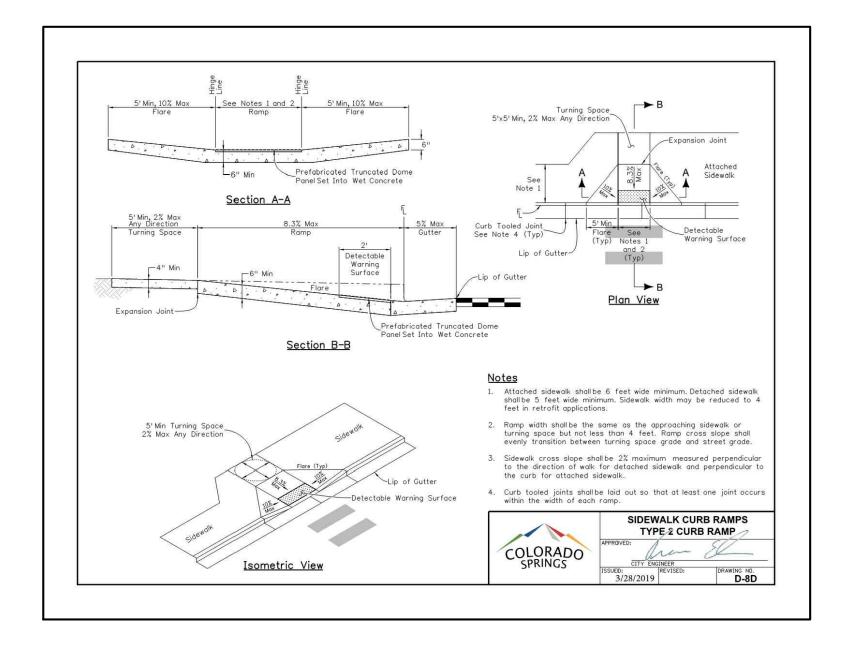


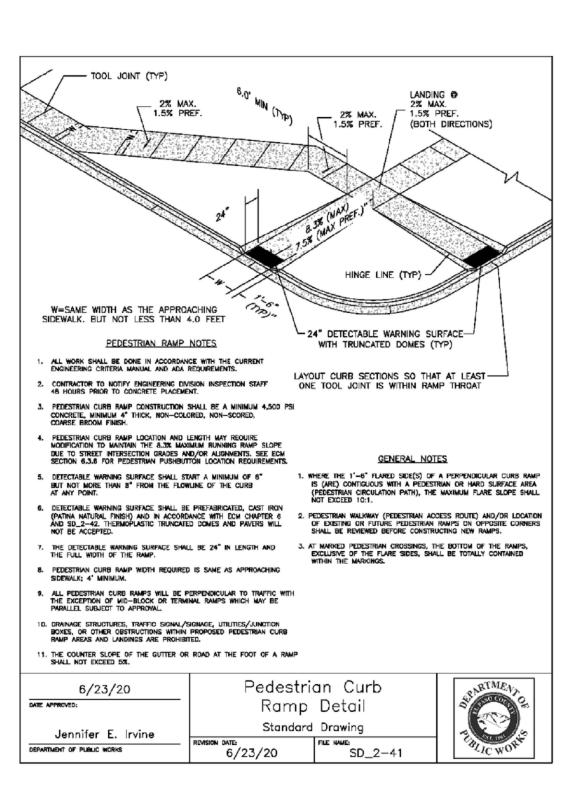
GENERAL CIVIL NOTES

- 1. ALL CONSTRUCTION SHALL MEET THE FOLLOWING STANDARDS & SPECIFICATIONS: * INTERNATIONAL BUILDING CODE, LATEST EDITION ADOPTED BY LOCAL JURISDICTION
- * PIKES PEAK REGIONAL BUILDING CODE, LATEST EDITION. * EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM), LATEST EDITION.
- * PROJECT GEOTECHNICAL REPORT.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.
- 3. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THESE APPROVED PLANS AND ACCESS TO THE APPLICABLE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
- 4. STORM DRAIN PIPE SHALL BE RCP CLASS III WITH CLASS C BEDDING UNLESS OTHERWISE NOTED.
- 5. STATIONING IS AT CENTERLINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED. LENGTHS SHOWN FOR STORM SEWER PIPES ARE TO CENTER OF MANHOLE
- 6. CONTRACTOR SHALL COORDINATE WITH GAS, ELECTRIC, TELEPHONE AND CABLE T.V. UTILITY SUPPLIERS FOR INSTALLATION OF ALL UTILITIES. MINIMUM COVER FOR ALL DRY UTILITIES SHALL BE 36".
- 7. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, DEBRIS, WASTE AND OTHER UNSUITABLE FILL MATERIAL FOUND WITHIN THE LIMITS OF EXCAVATION.
- 8. MATCH INTO EXISTING GRADES AT 3:1 MAX CUT AND FILL SLOPES.
- 9. REVEGETATION OF ALL DISTURBED AREAS SHALL BE DONE WITH 4" TOPSOIL AND DRY LAND GRASS SEED AFTER FINE GRADING IS COMPLETE ("FOOTHILLS SEED MIX").
- 10. EROSION CONTROL SHALL CONSIST OF SILT FENCE AND HAY BALES AS SHOWN ON THE DRAWING, AND TOPSOIL WITH GRASS SEED, WHICH WILL BE WATERED UNTIL VEGETATION HAS BEEN RE-ESTABLISHED.
- 11. THE EROSION CONTROL MEASURES OUTLINED ON THIS PLAN ARE THE RESPONSIBILITY OF THE CONTRACTOR TO MONITOR AND REPLACE, REGRADE, AND REBUILD AS NECESSARY UNTIL VEGETATION IS RE-ESTABLISHED.
- 12. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES IN A MANNER THAT WILL PROTECT ADJACENT PROPERTIES AND PUBLIC FACILITIES FROM THE ADVERSE EFFECTS OF EROSION AND SEDIMENTATION AS A RESULT OF CONSTRUCTION AND EARTHWORK ACTIVITIES WITHIN THE PROJECT SITE.
- 13. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY SITE CONDITIONS.
- 14. THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- 15. ALL BACKFILL, SUB-BASE, AND/OR BASE COURSE MATERIAL SHALL BE COMPACTED PER THE PROJECT GEOTECHNICAL REPORT AND CITY SPECIFICATIONS.
- 16. CONCRETE USED IN CURB AND GUTTER, SIDEWALK, AND CROSSPAN CONSTRUCTION SHALL MEET CITY
- 17. ALL FINISHED GRADES SHALL HAVE A MINIMUM 1.0% SLOPE TO PROVIDE POSITIVE DRAINAGE.
- 18. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO BEGINNING WORK.

HANDICAP ACCESS NOTES:

- 1. RAMPS ARE NOT TO BE PLACED IN HANDICAP ACCESS AISLES.
- 2. ACCESS AISLES MAY NOT EXCEED A 2% (1:48) SLOPE IN ANY DIRECTION.
- 3. HANDICAP RAMPS MAY NOT EXCEED A SLOPE OF 8% (1:12).
- 4. THE MINIMUM WIDTH FOR HANDICAPPED RAMPS IS 36 INCHES. THE SIDES OF RAMPS MAY NOT EXCEED A SLOPE OF 10% UNLESS PROTECTED WITH A HANDRAIL.
- 5. HANDICAPPED PARKING SHALL MEET ALL OTHER APPLICABLE CITY AND ADA CODE REQUIREMENTS.







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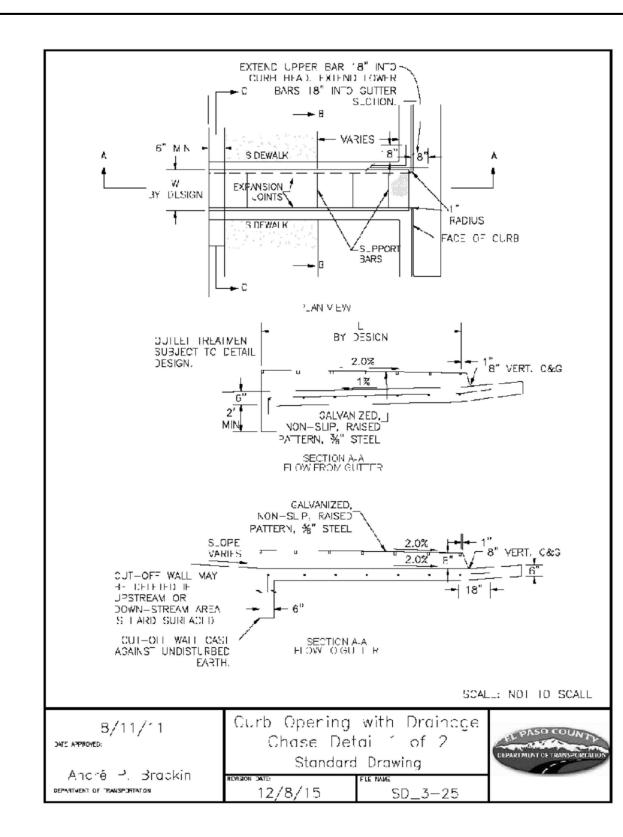
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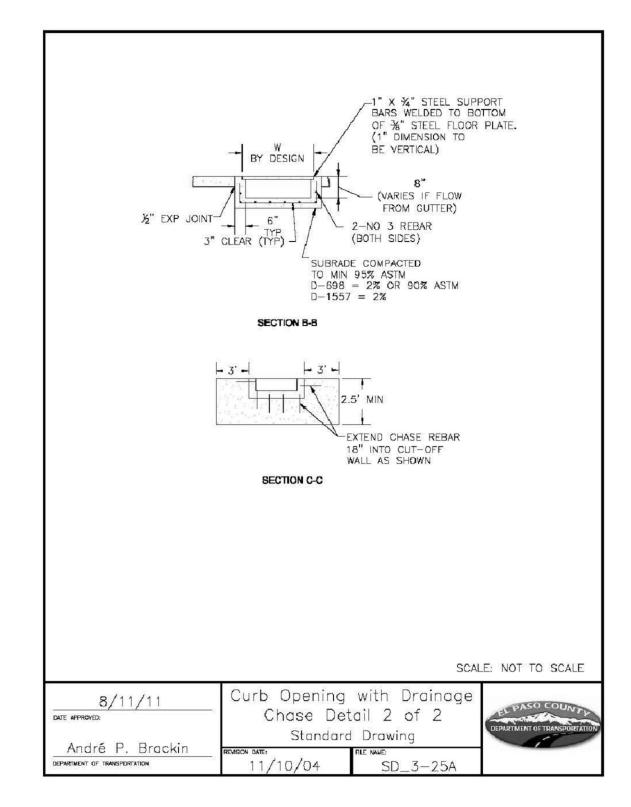
STANDARD NOTES FOR EL PASO COUNTY GRADING AND EROSION CONTROL PLANS:

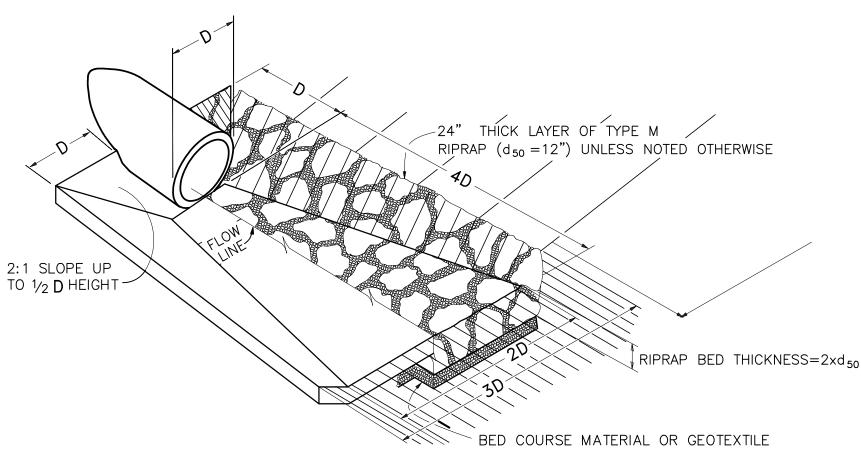
EVISED 7/02/19

- . STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING
- !. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- :. A SEPARATE STORMWATER MANAGEMENT PLAN (SMWP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- I. ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- ECONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- 5. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
- . TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
- EFINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
-). ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT AFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- 0. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
- 1. COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
- 2. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED. TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT. OR WITHIN 50 FEET OF A SURFACE WATER BODY. CREEK OR STREAM.
- 4. DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
- EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- 17. WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- 8. TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- 9. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- 20. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- 11. NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ONSITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- 22. BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ONSITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
- 23. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
- 4. OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- 27. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- 28. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY CTL THOMPSON, DATED JULY 13, 2006 AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- 29. AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT WATER QUALITY CONTROL DIVISION WQCD - PERMITS 4300 CHERRY CREEK DRIVE SOUTH DENVER, CO 80246-1530 ATTN: PERMITS UNIT







SEEDING MIX:

TYPICAL RIPRAP APRON/ CULVERT OUTLET PAVING

NOT TO SCALE

	<u>A</u>	<u>MOUNT IN PLS</u>		
<u>GRASS</u>	<u>VARIETY</u> <u>L</u>	BS. PER ACRE		
CRESTED WHEAT GRASS PERENIAL RYE WESTERN WHEATGRASS SMOOTH BROME GRASS SIDEOATS GRAMA	EPHRAIM OR HYCREST LINN SARTON LINCOLN OR MANCHAF EPHRAIM	2.0 LBS. 3.0 LBS.		
	TOTAL:	16.5 LBS.		
SEEDING & FERTILIZER APPLICATION: DRILL SEED OR HYDRO—SEED PER				

MULCHING APPLICATION:

CONFORM TO CDOT SPEC-SECTION 213.

CDOT SPEC. SECTION 212.

ESTIMATED TIME SCHEDITIE.

<u>ESTIMATED</u>	<u> HIVI⊏</u>	<u> SCHEDULE:</u>	•
 MP'S START COMPLETION MULCHING	THVIL		MAY, 2023 MAY, 2023 MAY, 2024 MAY, 2024 MBER, 2025
			,

SEDIMENT CONTROL MAINTENANCE PROGRAM: FREQUENCY:

PERIODIC SITE INSPECTIONS BI-WEEKLY RE-VEGETATION OF EXPOSED SOILS WITHIN 21 DAYS OF GRADING SEDIMENT REMOVAL FROM BMP'S MONTHLY AFTER STABILIZATION ACHIEVED REMOVAL OF BMP'S

AND AFTER ANY PRECIPITATION OR SNOW MELT EVENT THAT CAUSES SURFACE EROSION.

²ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED WHEN THE SEDIMENT LEVEL REACHES ONE HALF THE HEIGHT OF THE BMP OR AT ANY TIME THAT SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTION OF THE BMP

E. Willamette Ave.

Colorado Springs, CO 80903 PH: 719-477-9429 FAX: 719-471-0766





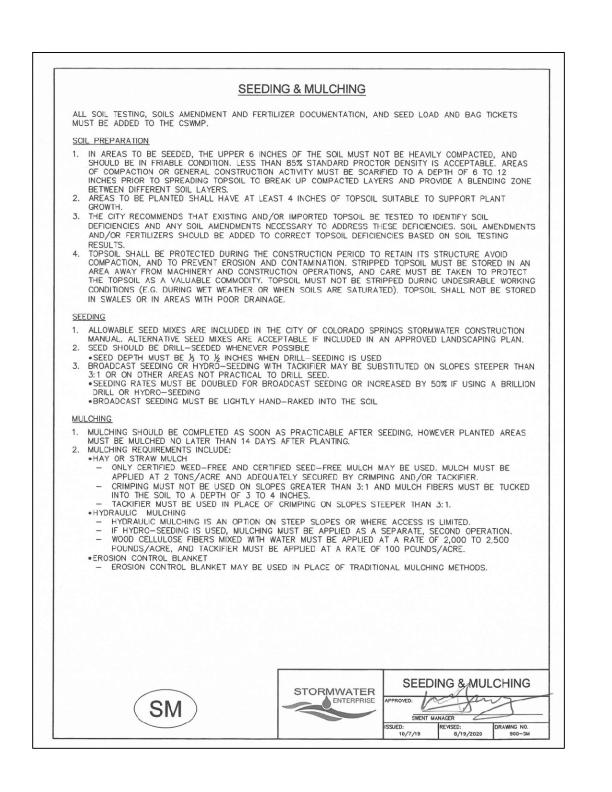
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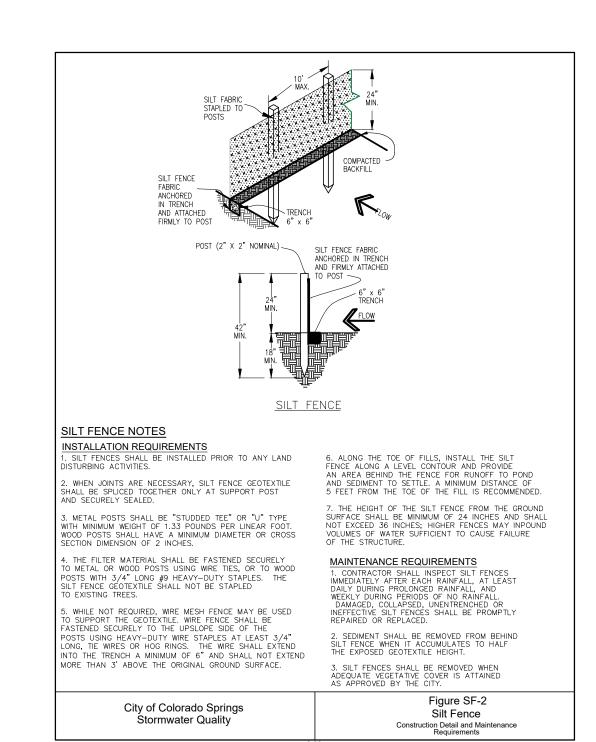
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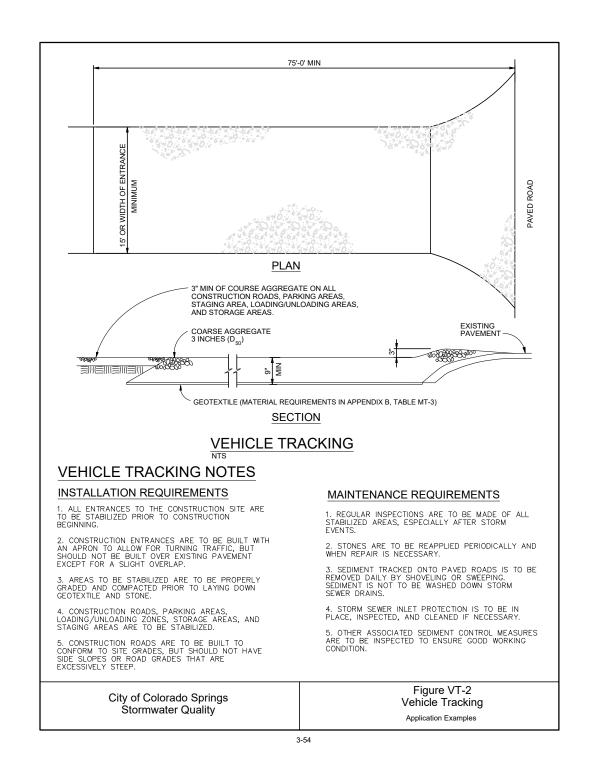
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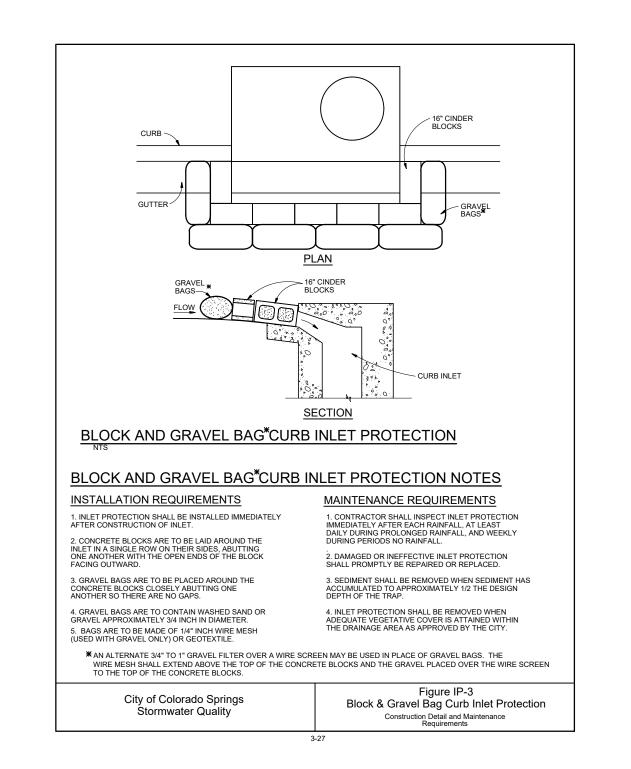
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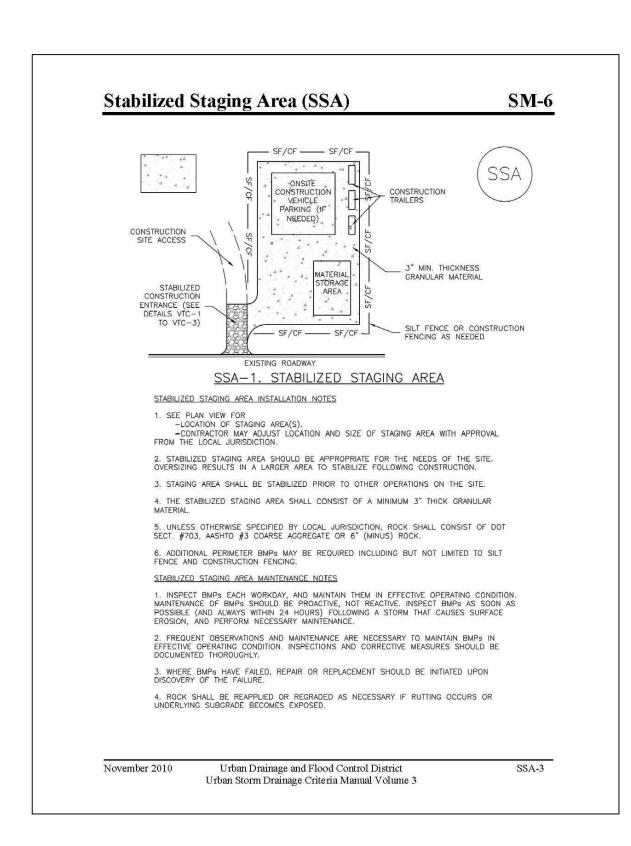
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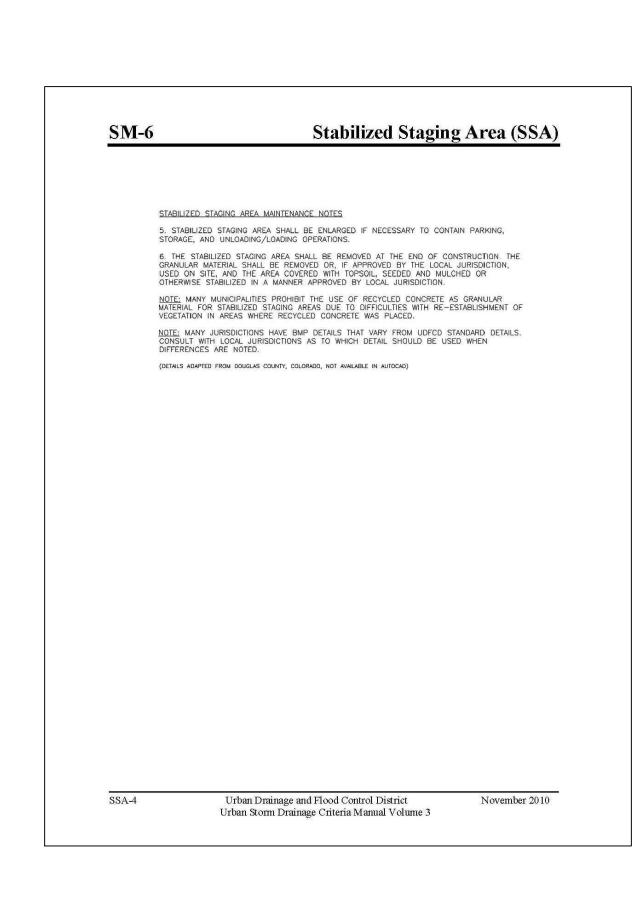


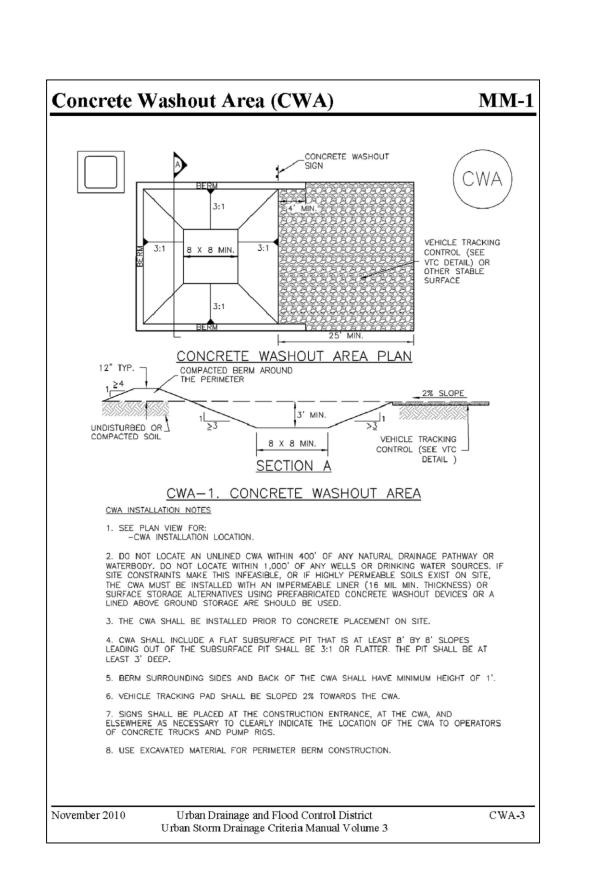












CRAWFORD APARTMENTS TRACT A, FOUNTAIN VALLEY RANCH FIL. NO. 6

EROSION NTROL DETAIL

ENGINEERING

19 E. Willamette Ave.

Colorado Springs, CO

PH: 719-477-9429

FAX: 719-471-0766

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08/29/22

PROJECT NO:

122102

SHEET: