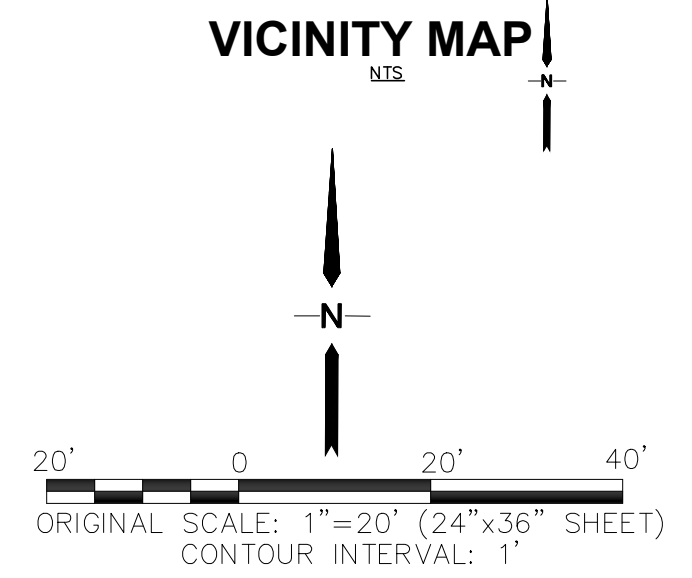
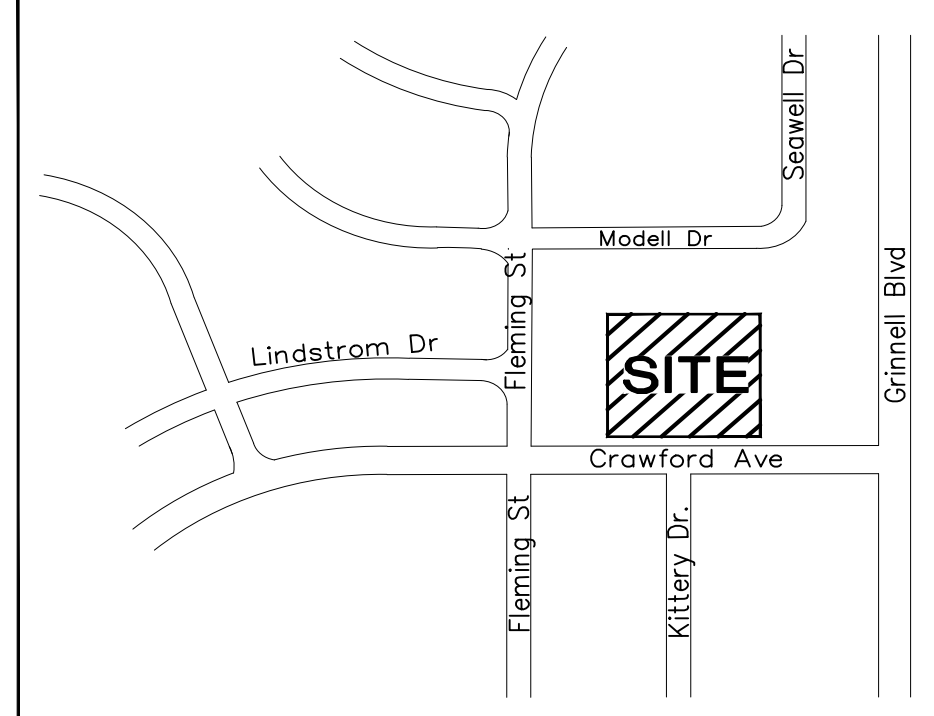


CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

No.	REVISION	DATE
1	DP SUBMITTAL	11/17/22

**SITE GRADING AND
EROSION CONTROL PLAN**

**CRAWFORD APARTMENTS
TRACT A, FOUNTAIN VALLEY RANCH FIL. NO. 6B**



KEYED NOTES:

- TOPSOIL & STRIPPINGS STOCKPILE AREA
- CONTRACTOR MAY WASTE EXCESS CUT MATERIAL OR BORROW SUITABLE FILL MATERIAL FROM THIS AREA. MAINTAIN POSITIVE DRAINAGE & MATCH INTO EXISTING GRADES WITH 3:1 MAX. SLOPE.
- PREPARE AND COMPACT BUILDING FOUNDATION & SLABS PER PROJECT GEOTECHNICAL REPORT
- PARKING LOT PAVING PER GEOTECHNICAL REPORT (4" ASPHALT OVER 6" AGGREGATE BASE UNLESS NOTED OTHERWISE)
- STORAGE AREA FOR BUILDING MATERIALS, EQUIPMENT & CONSTRUCTION WASTE (CONTRACTOR MAY ADJUST AS NEEDED)
- MIN 4'x4' CONCRETE LANDING AT DOOR W/2.0% MAX. SLOPE AWAY FROM BUILDING

ESTIMATED EARTHWORK QUANTITY:

UNCLASSIFIED EXCAVATION (TOTAL CUT) = 856 CY
 TOTAL FILL = 707 CY
 NET (CUT) = 43 CY
 * (ASSUMES 15% COMPACTION FACTOR)

NOTE: THIS ESTIMATE IS PROVIDED FOR INFORMATION ONLY, REPRESENTING THE CALCULATED BULK EARTHWORK VOLUME TO FINISHED GRADE, EXCLUDING ANY ADJUSTMENT FOR PAVEMENT DEPTHS, ETC. CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES AS BASIS FOR BID PRICING AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

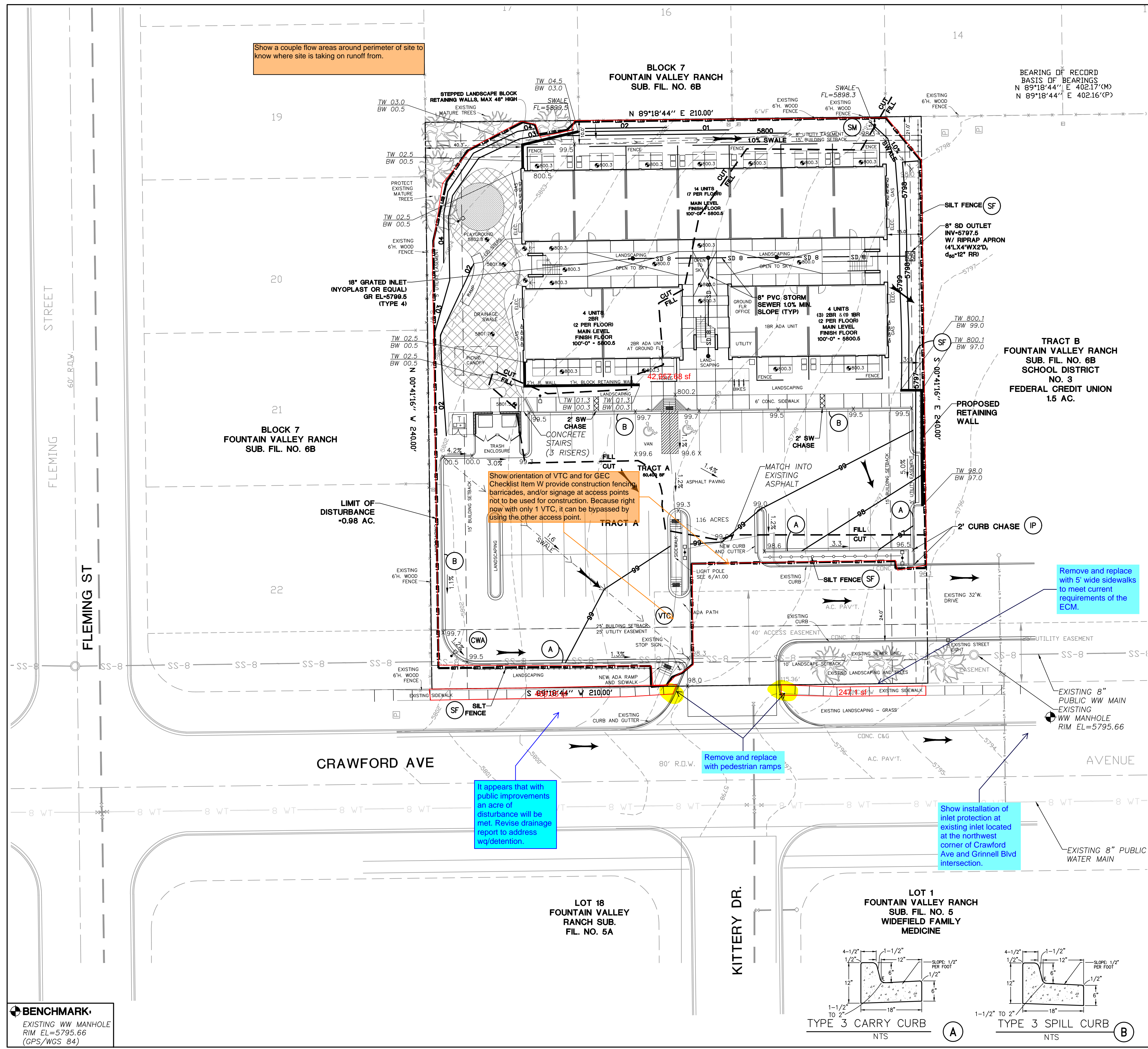
EROSION CONTROL LEGEND

- LEGEND:**
- SF SILT FENCE
 - VTC VEHICLE TRACKING PAD
 - IP INLET PROTECTION
 - SM SEED & MULCH
 - CWA CONCRETE WASHOUT AREA
 - PROPERTY LINE
 - EASEMENT LINE
 - 7140 PROPOSED CONTOUR
 - 7142 EXISTING CONTOUR
 - 99.0 PROPOSED SPOT ELEVATION (FLOWLINE)
 - 99.0 EXIST. SPOT ELEVATION
 - TW TOP OF RETAINING WALL
 - BW BOTTOM OF RETAINING WALL
 - CUT/FILL DEMARCATION LINE
 - LIMIT OF CONSTRUCTION/DISTURBANCE
 - DS DOWNSPOUT CONNECTION TO STORM SEWER; INSTALL TRANSITION COUPLINGS & EXTEND 6" PVC (SDR35) AT 1.0% MIN. SLOPE TO SD
 - FLOW DIRECTION ARROWS

NOTE: ALL EROSION CONTROL MEASURES SHALL CONFORM TO CITY OF COLORADO SPRINGS DRAINAGE CRITERIA MANUAL, VOLUME 2 REQUIREMENTS

SWMP NOTE:

- EXISTING VEGETATION CONSISTS OF NATIVE GRASSES
- CONTROL MEASURE/BMP PHASING:**
INITIAL CONTROL MEASURES:
- SILT FENCE ALONG DOWNSTREAM EDGE OF GRADING LIMITS
- INTERIM CONTROL MEASURES:**
- INLET PROTECTION
 - TEMPORARY SEED & MULCH
- FINAL CONTROL MEASURES:**
- SEEDING & MULCHING



Show a couple flow areas around perimeter of site to know where site is taking on runoff from.

Show orientation of VTC and for GEC Checklist Item W provide construction fencing, barricades, and/or signage at access points not to be used for construction. Because right now with only 1 VTC, it can be bypassed by using the other access point.

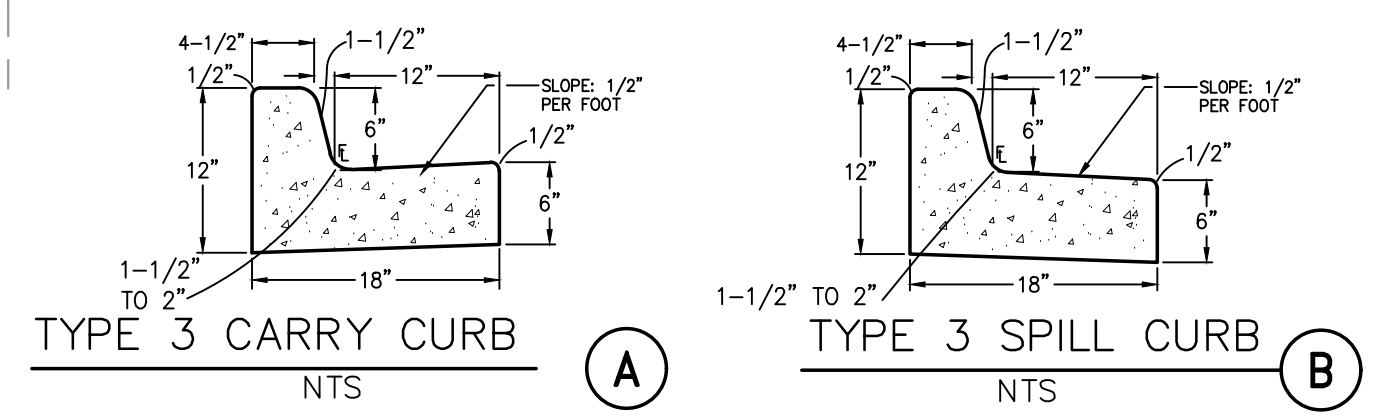
Remove and replace with 5' wide sidewalks to meet current requirements of the ECM.

Remove and replace with pedestrian ramps

It appears that with public improvements an acre of disturbance will be met. Revise drainage report to address wq/detention.

Show installation of inlet protection at existing inlet located at the northwest corner of Crawford Ave and Grinnell Blvd intersection.

BENCHMARK
EXISTING WW MANHOLE
RIM EL=5795.66
(GPS/WGS 84)



HORZ. SCALE: 1"=20'	DRAWN: PV
VERT. SCALE: N/A	DESIGNED: JPS
SURVEYED: WATTS	CHECKED: JPS
CREATED: 08/29/22	LAST MODIFIED: 11/17/22
PROJECT NO: 122102	MODIFIED BY: PV

C1.1

**CRAWFORD APARTMENTS
TRACT A, FOUNTAIN VALLEY RANCH FIL. NO. 6B**

**CIVIL NOTES AND
DETAILS**

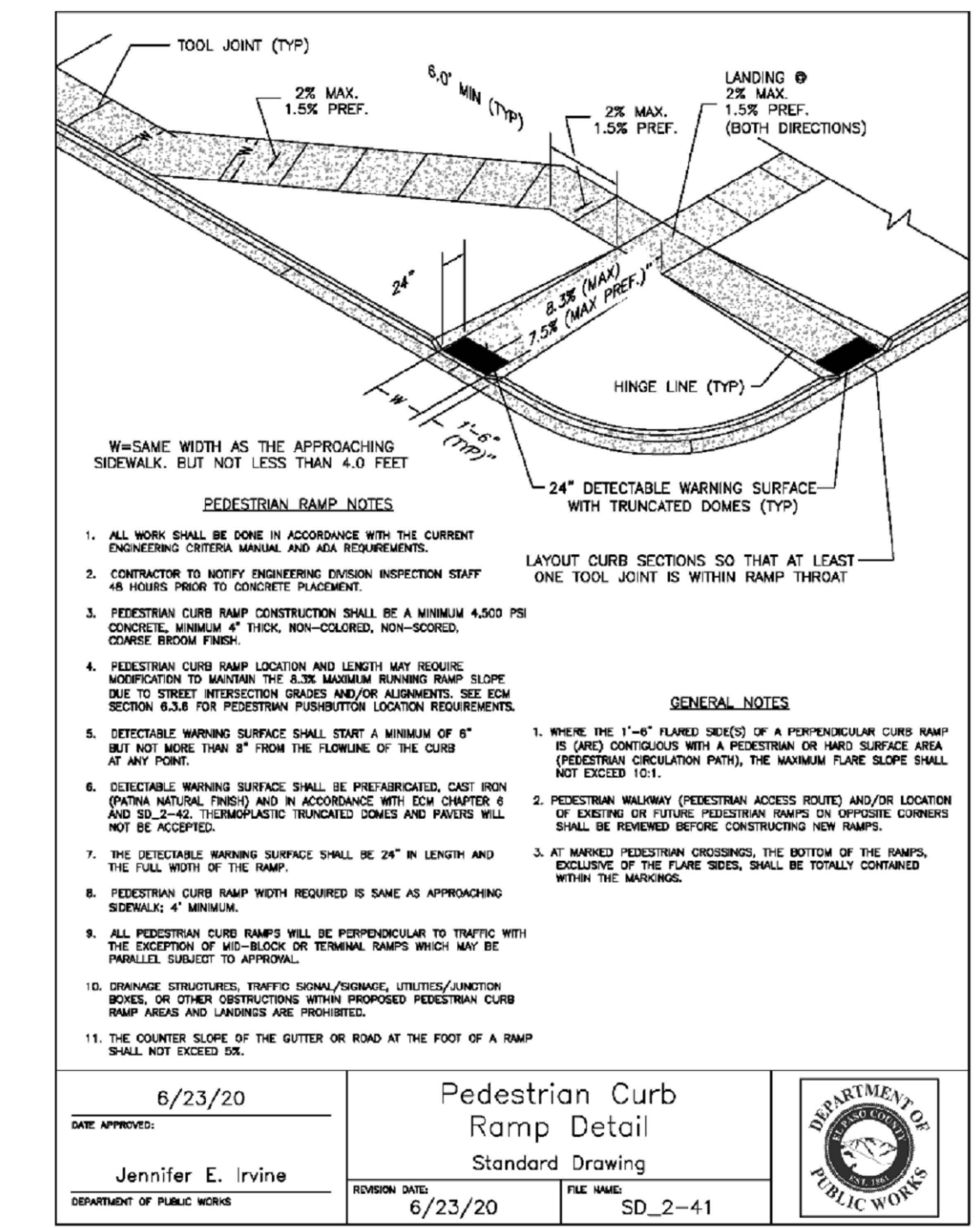
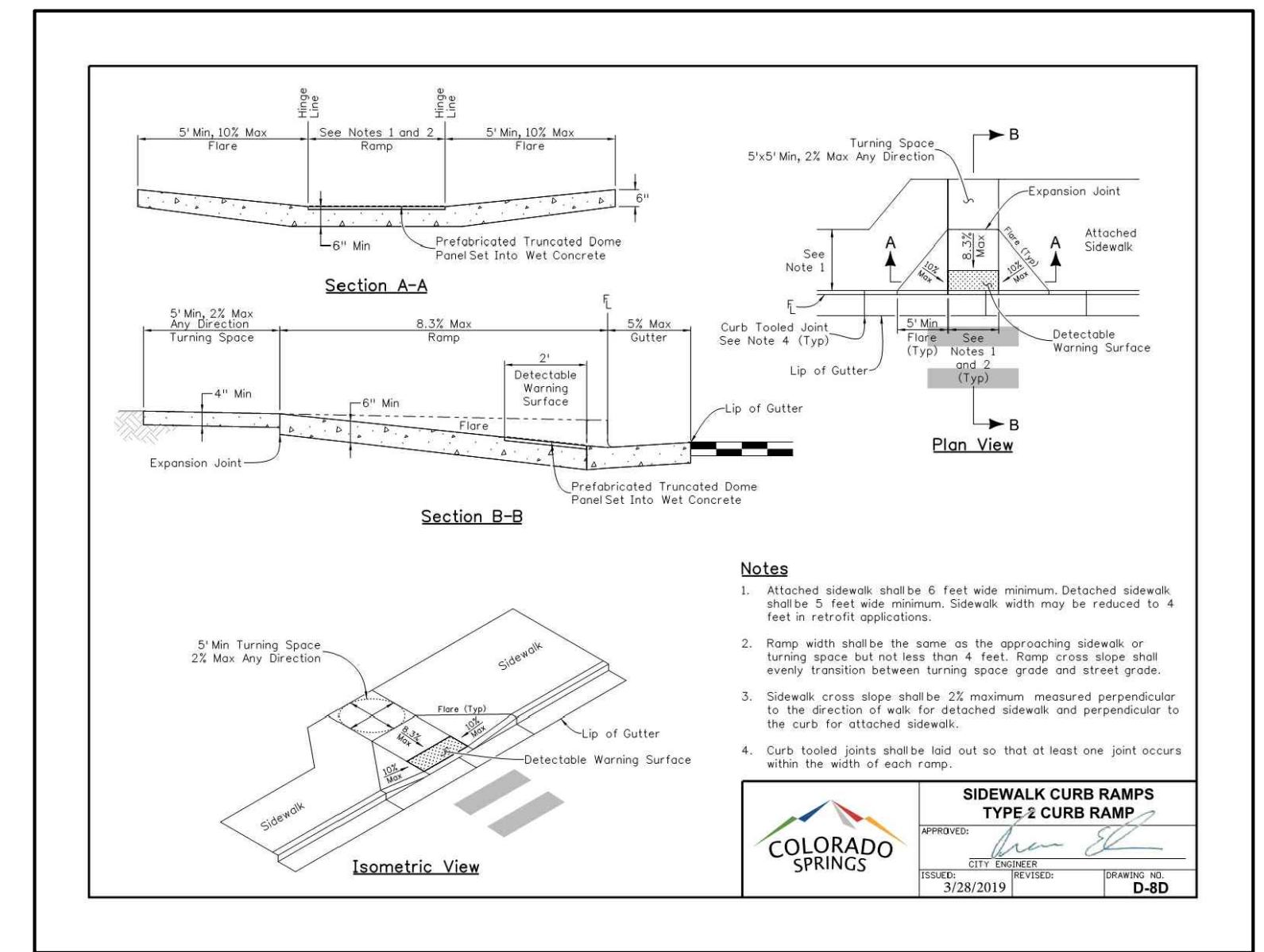
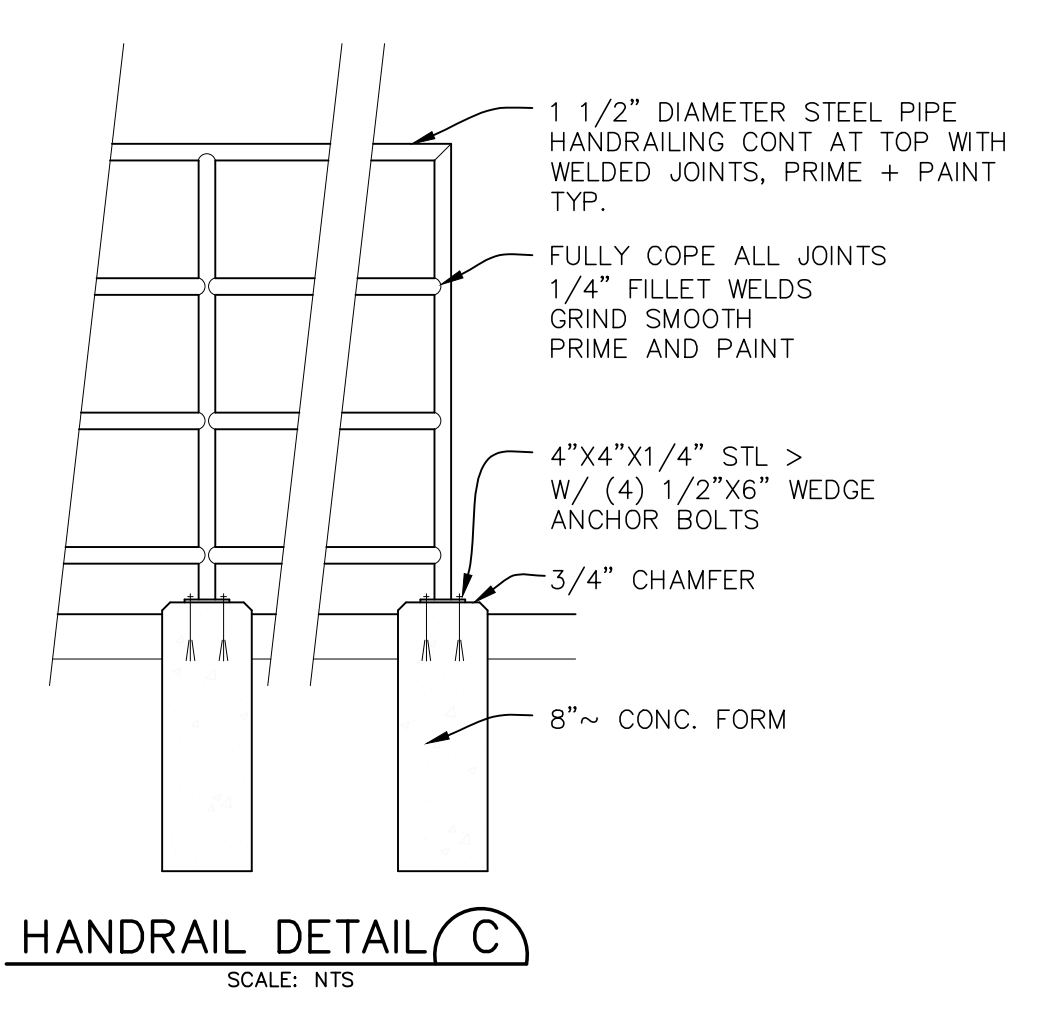
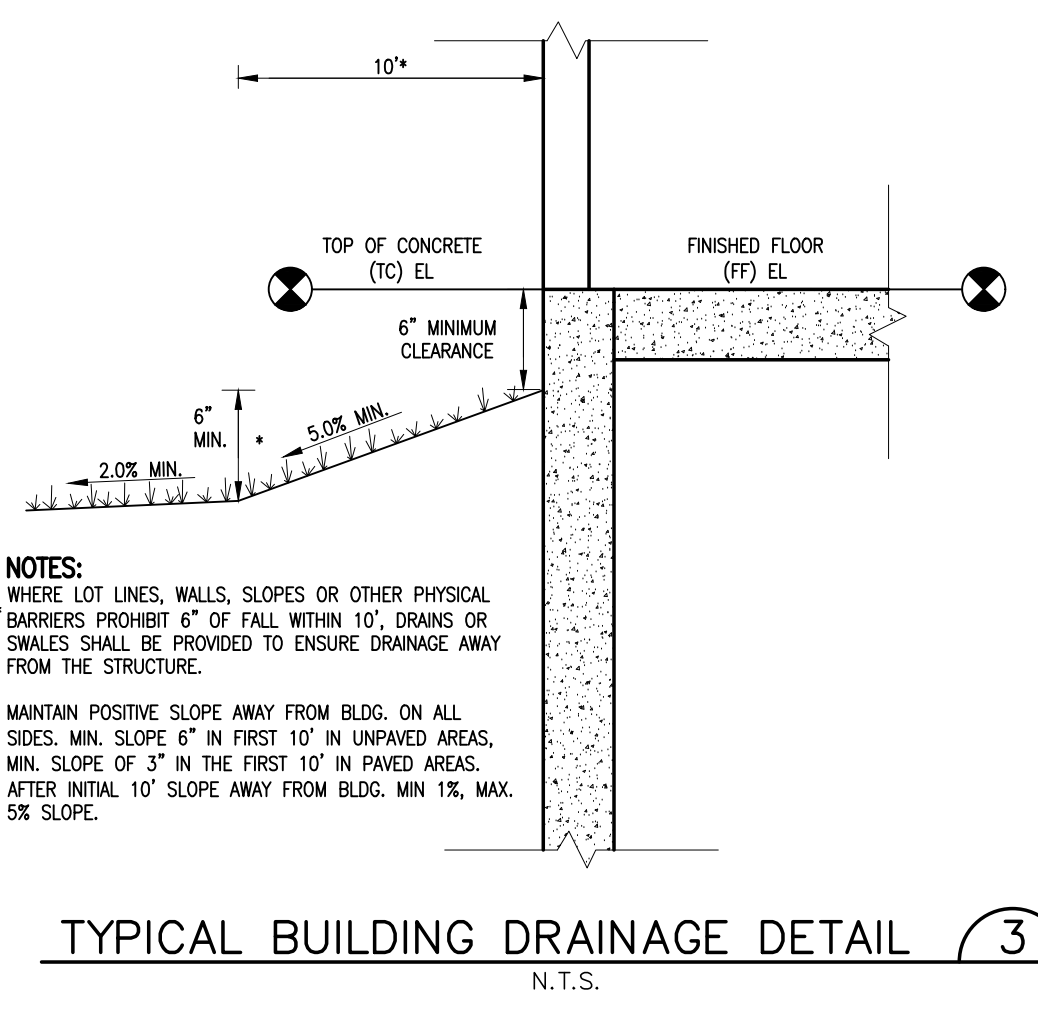
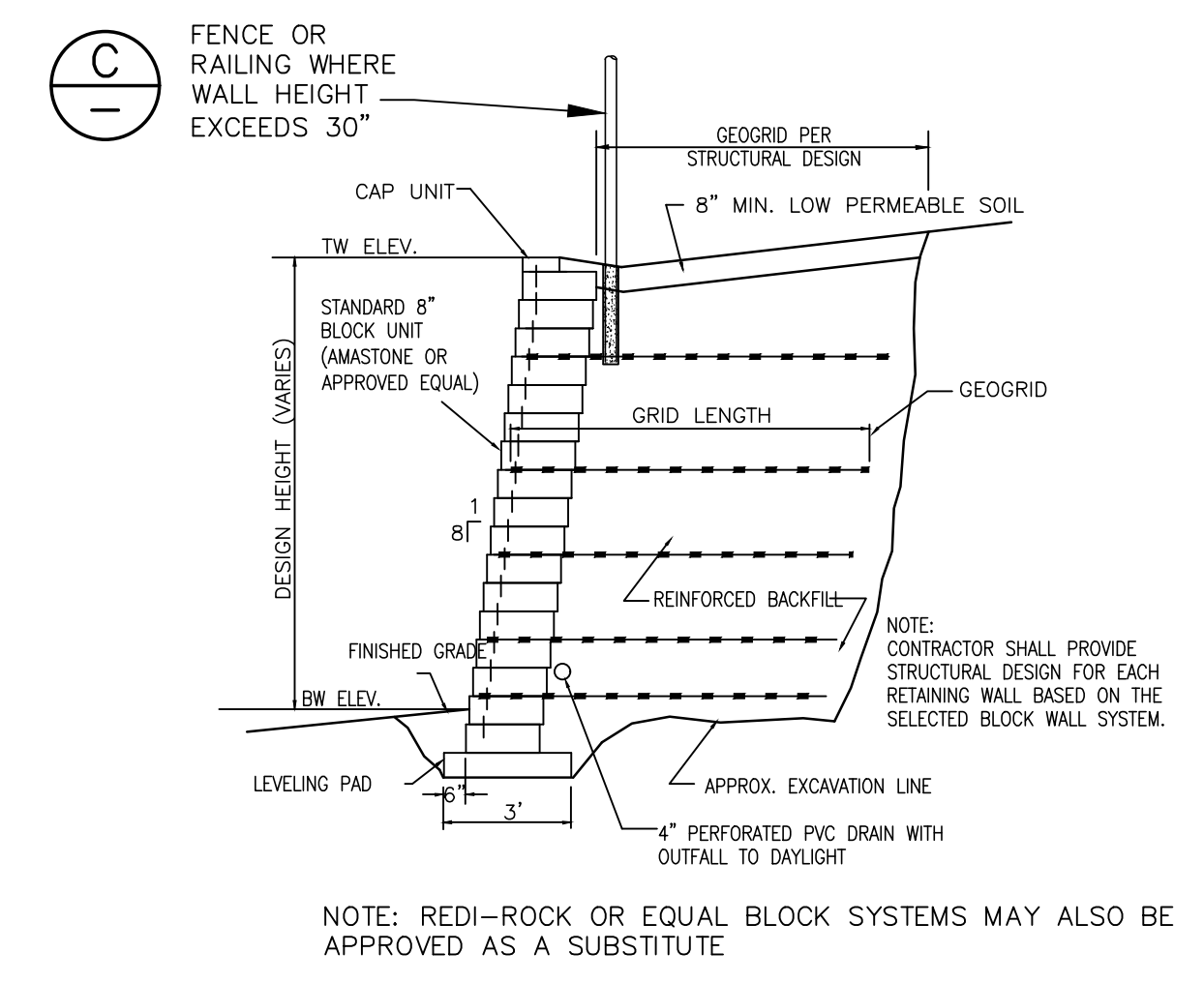
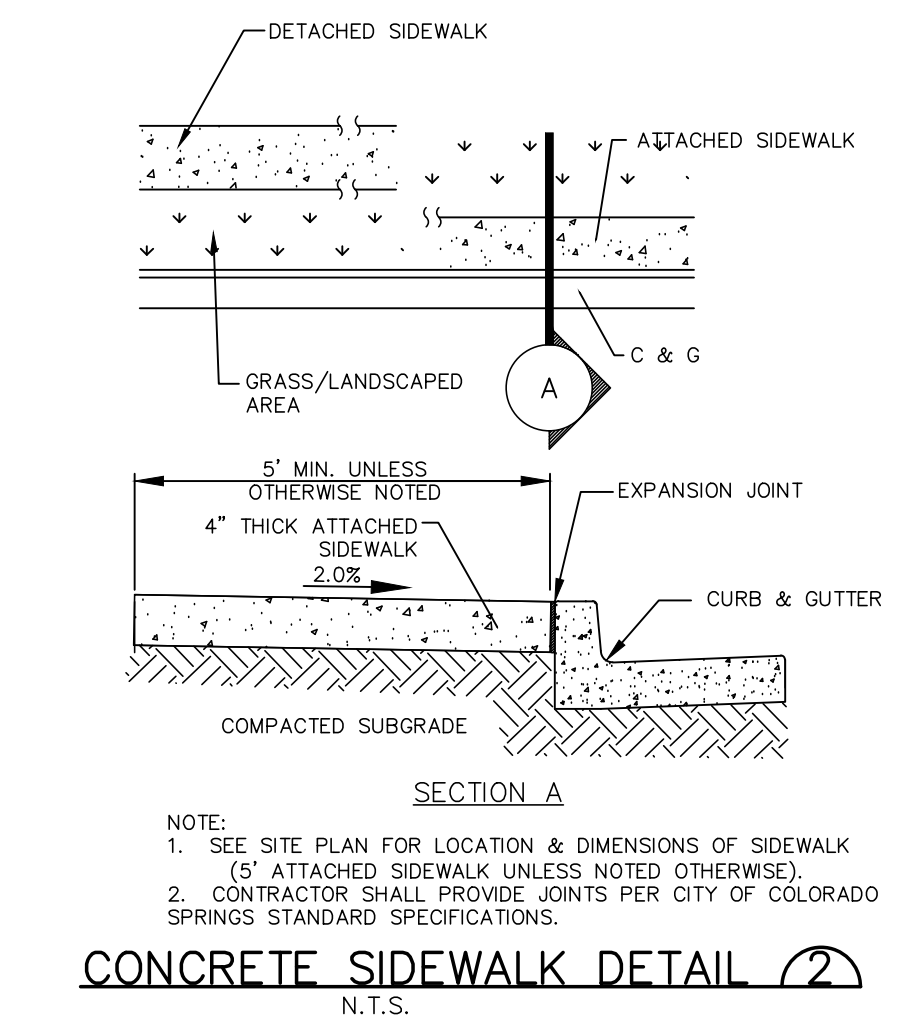
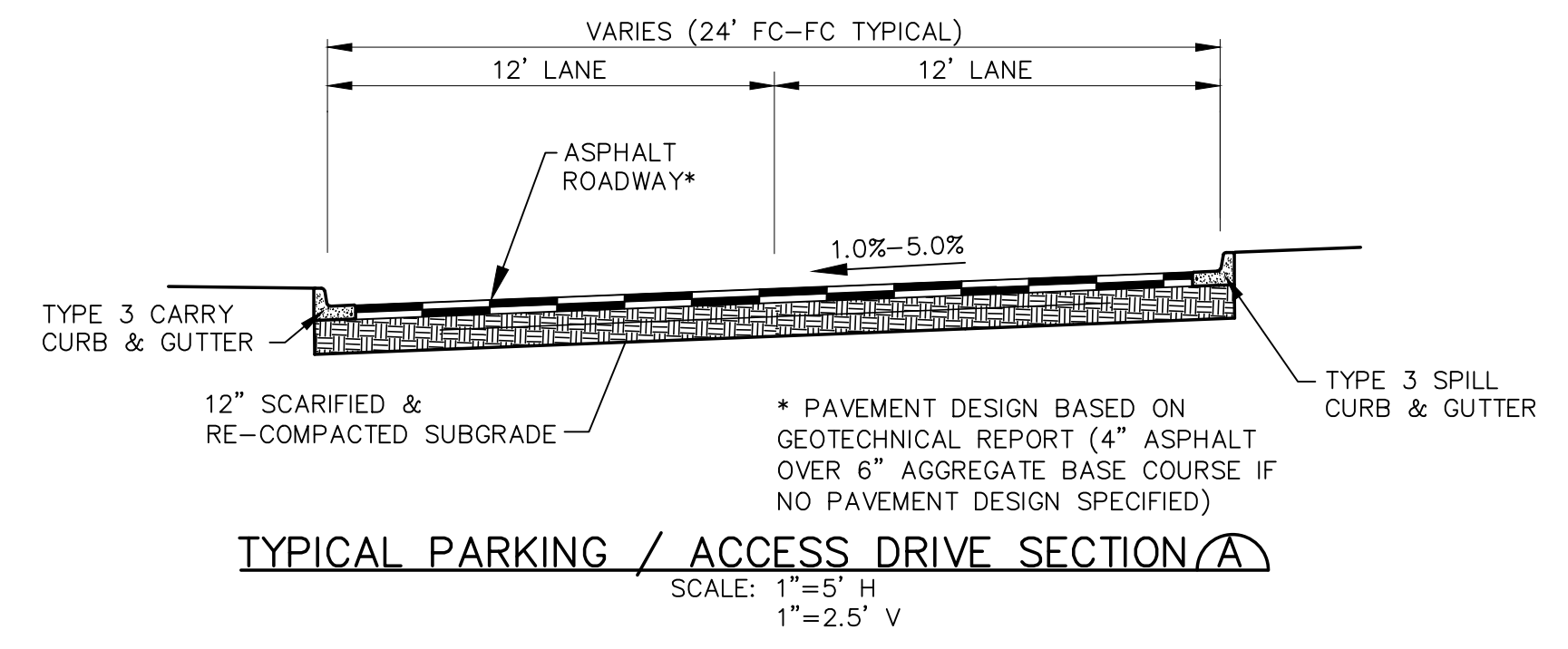
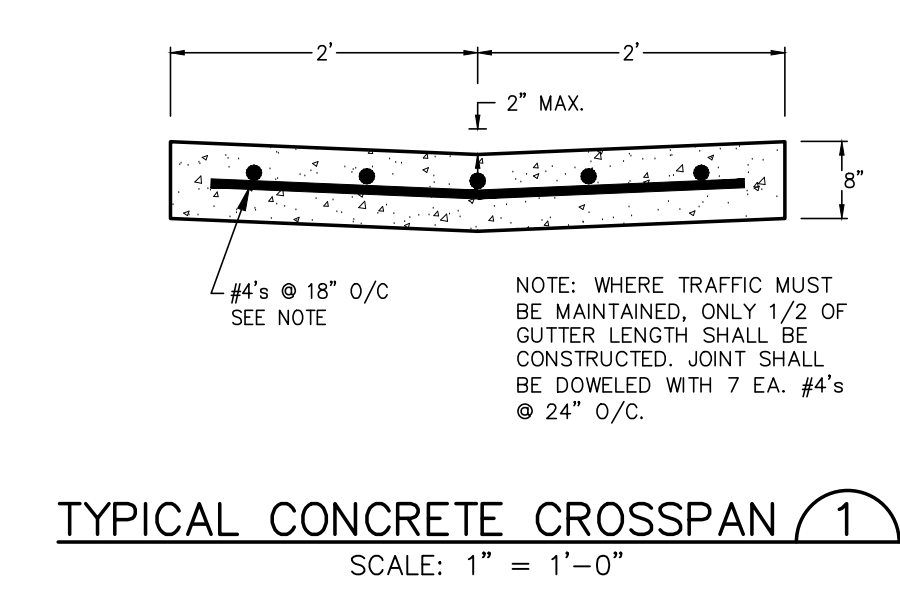
NO.	REVISION	DATE

GENERAL CIVIL NOTES:

- ALL CONSTRUCTION SHALL MEET THE FOLLOWING STANDARDS & SPECIFICATIONS:
 - INTERNATIONAL BUILDING CODE, LATEST EDITION ADOPTED BY LOCAL JURISDICTION
 - PIKES PEAK REGIONAL BUILDING CODE, LATEST EDITION
 - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM), LATEST EDITION
 - PROJECT GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THESE APPROVED PLANS AND ACCESS TO THE APPLICABLE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
- STORM DRAIN PIPE SHALL BE RCP CLASS III WITH CLASS C BEDDING UNLESS OTHERWISE NOTED.
- STATIONING IS AT CENTERLINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED. LENGTHS SHOWN FOR STORM SEWER PIPES ARE TO CENTER OF MANHOLE.
- CONTRACTOR SHALL COORDINATE WITH GAS, ELECTRIC, TELEPHONE AND CABLE T.V. UTILITY SUPPLIERS FOR INSTALLATION OF ALL UTILITIES. MINIMUM COVER FOR ALL DRY UTILITIES SHALL BE 36".
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, DEBRIS, WASTE AND OTHER UNSUITABLE FILL MATERIAL FOUND WITHIN THE LIMITS OF EXCAVATION.
- MATCH INTO EXISTING GRADES AT 3:1 MAX CUT AND FILL SLOPES.
- REVEGETATION OF ALL DISTURBED AREAS SHALL BE DONE WITH 4" TOPSOIL AND DRY LAND GRASS SEED AFTER FINE GRADING IS COMPLETE ("FOOTHILLS SEED MIX").
- EROSION CONTROL SHALL CONSIST OF SILT FENCE AND HAY BALES AS SHOWN ON THE DRAWING, AND TOPSOIL WITH GRASS SEED, WHICH WILL BE WATERED UNTIL VEGETATION HAS BEEN RE-ESTABLISHED.
- THE EROSION CONTROL MEASURES OUTLINED ON THIS PLAN ARE THE RESPONSIBILITY OF THE CONTRACTOR TO MONITOR AND REPLACE, REGRADE, AND REBUILD AS NECESSARY UNTIL VEGETATION IS RE-ESTABLISHED.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES IN A MANNER THAT WILL PROTECT ADJACENT PROPERTIES AND PUBLIC FACILITIES FROM THE ADVERSE EFFECTS OF EROSION AND SEDIMENTATION AS A RESULT OF CONSTRUCTION AND EARTHWORK ACTIVITIES WITHIN THE PROJECT SITE.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY SITE CONDITIONS.
- THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- ALL BACKFILL, SUB-BASE, AND/OR BASE COURSE MATERIAL SHALL BE COMPACTED PER THE PROJECT GEOTECHNICAL REPORT AND CITY SPECIFICATIONS.
- CONCRETE USED IN CURB AND GUTTER, SIDEWALK, AND CROSSPAN CONSTRUCTION SHALL MEET CITY CRITERIA.
- ALL FINISHED GRADES SHALL HAVE A MINIMUM 1.0% SLOPE TO PROVIDE POSITIVE DRAINAGE.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO BEGINNING WORK.

HANDICAP ACCESS NOTES:

- RAMPS ARE NOT TO BE PLACED IN HANDICAP ACCESS AISLES.
- ACCESS AISLES MAY NOT EXCEED A 2% (1:48) SLOPE IN ANY DIRECTION.
- HANDICAP RAMPS MAY NOT EXCEED A SLOPE OF 8% (1:12).
- THE MINIMUM WIDTH FOR HANDICAPPED RAMPS IS 36 INCHES. THE SIDES OF RAMPS MAY NOT EXCEED A SLOPE OF 10% UNLESS PROTECTED WITH A HANDRAIL.
- HANDICAPPED PARKING SHALL MEET ALL OTHER APPLICABLE CITY AND ADA CODE REQUIREMENTS.



LEGEND:

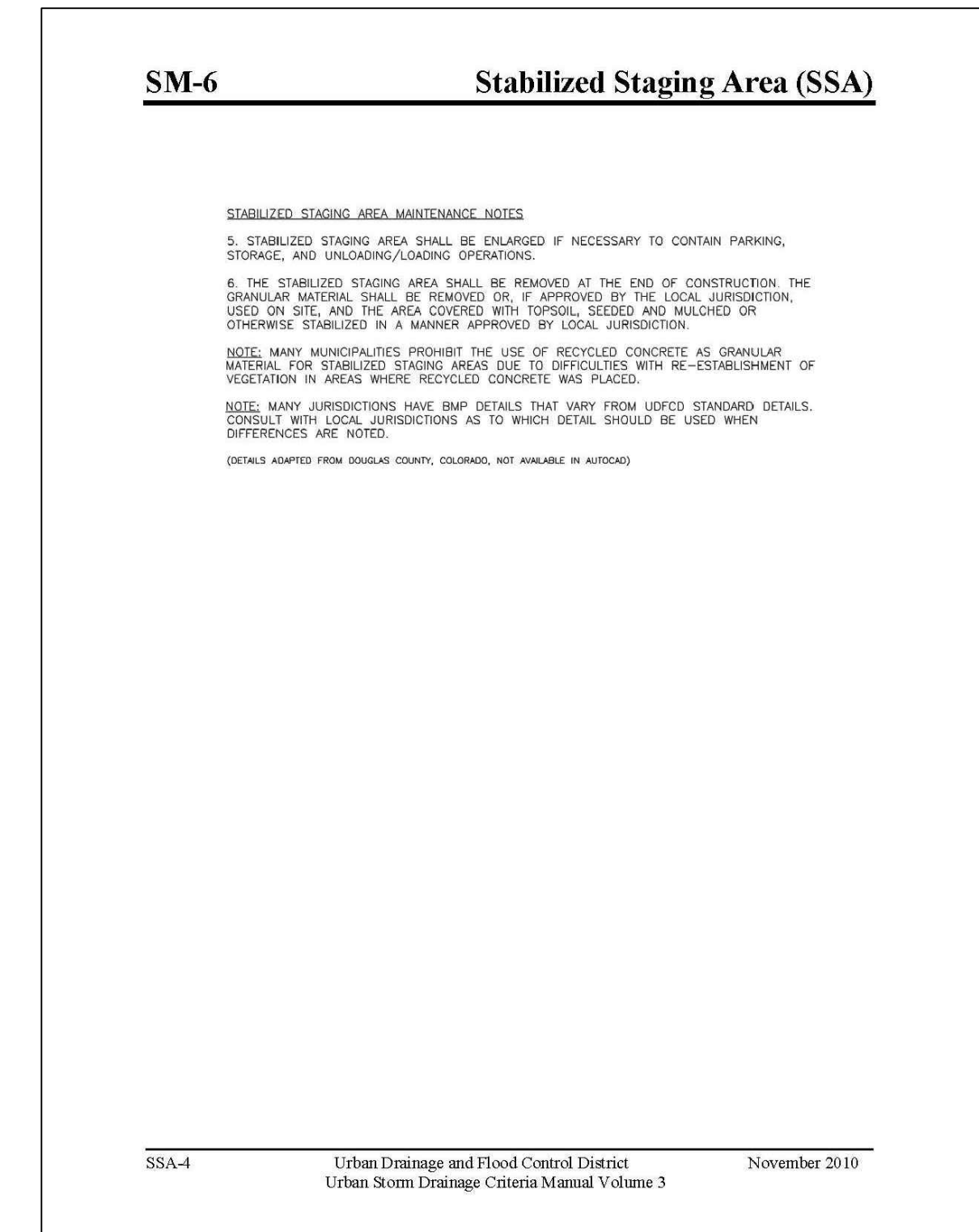
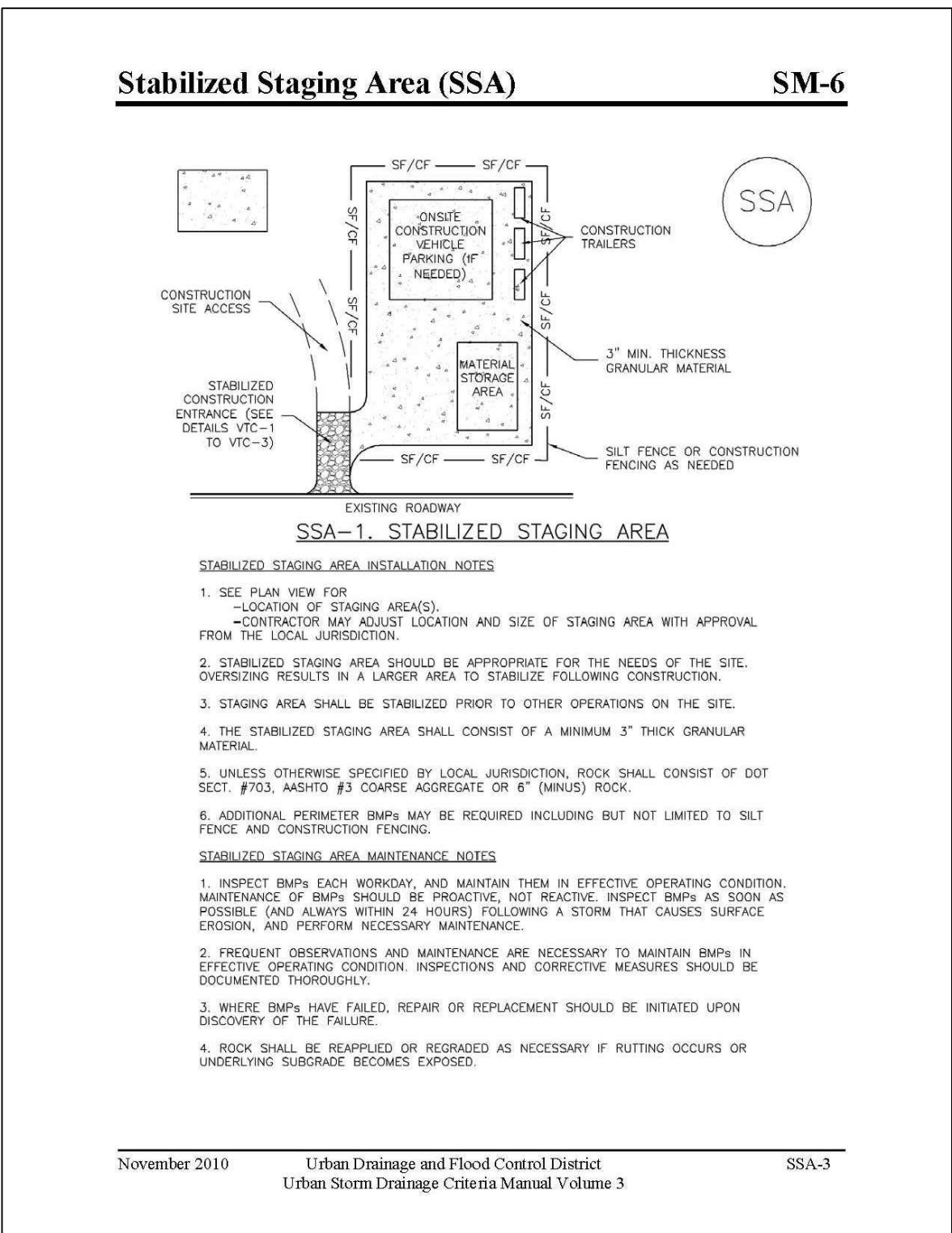
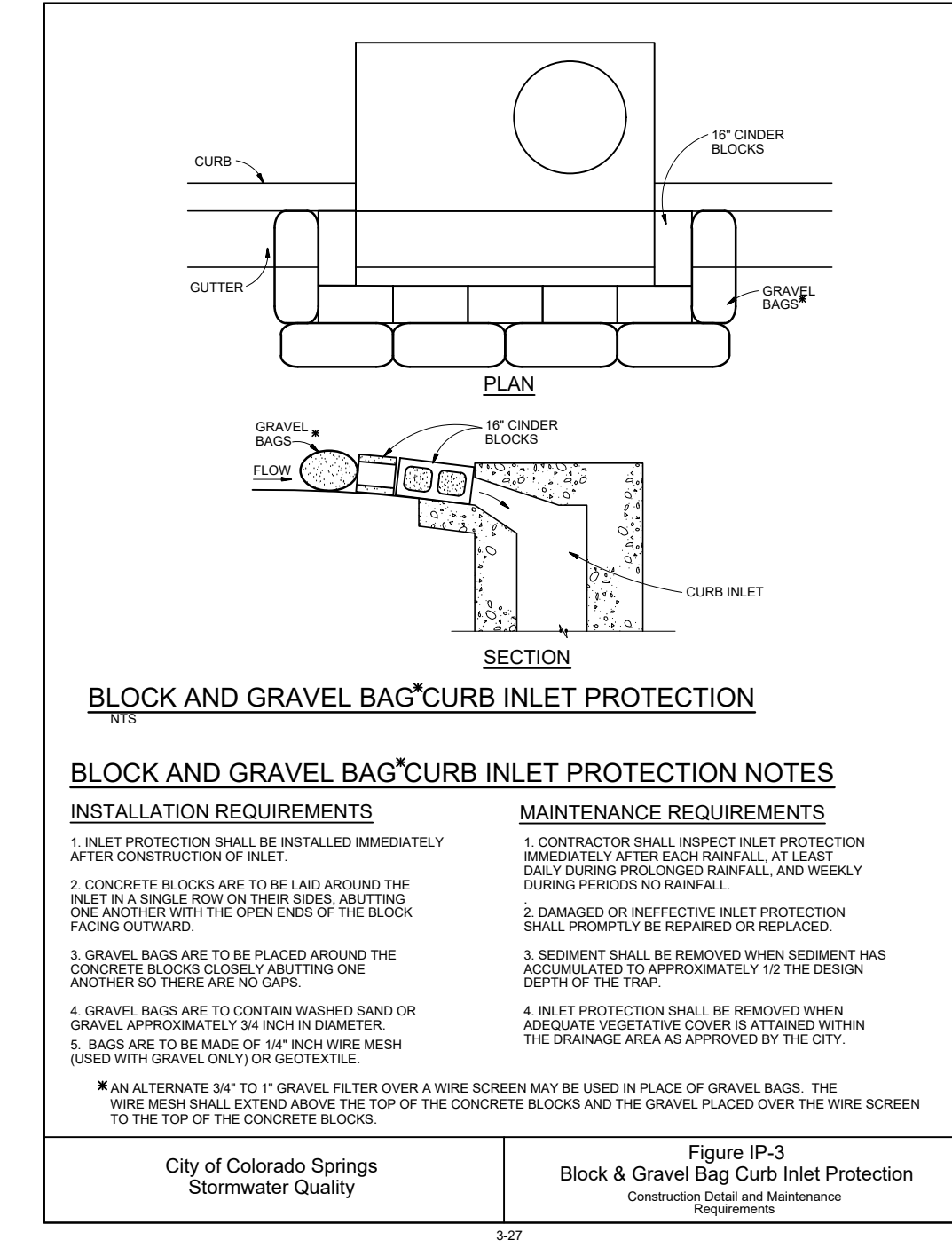
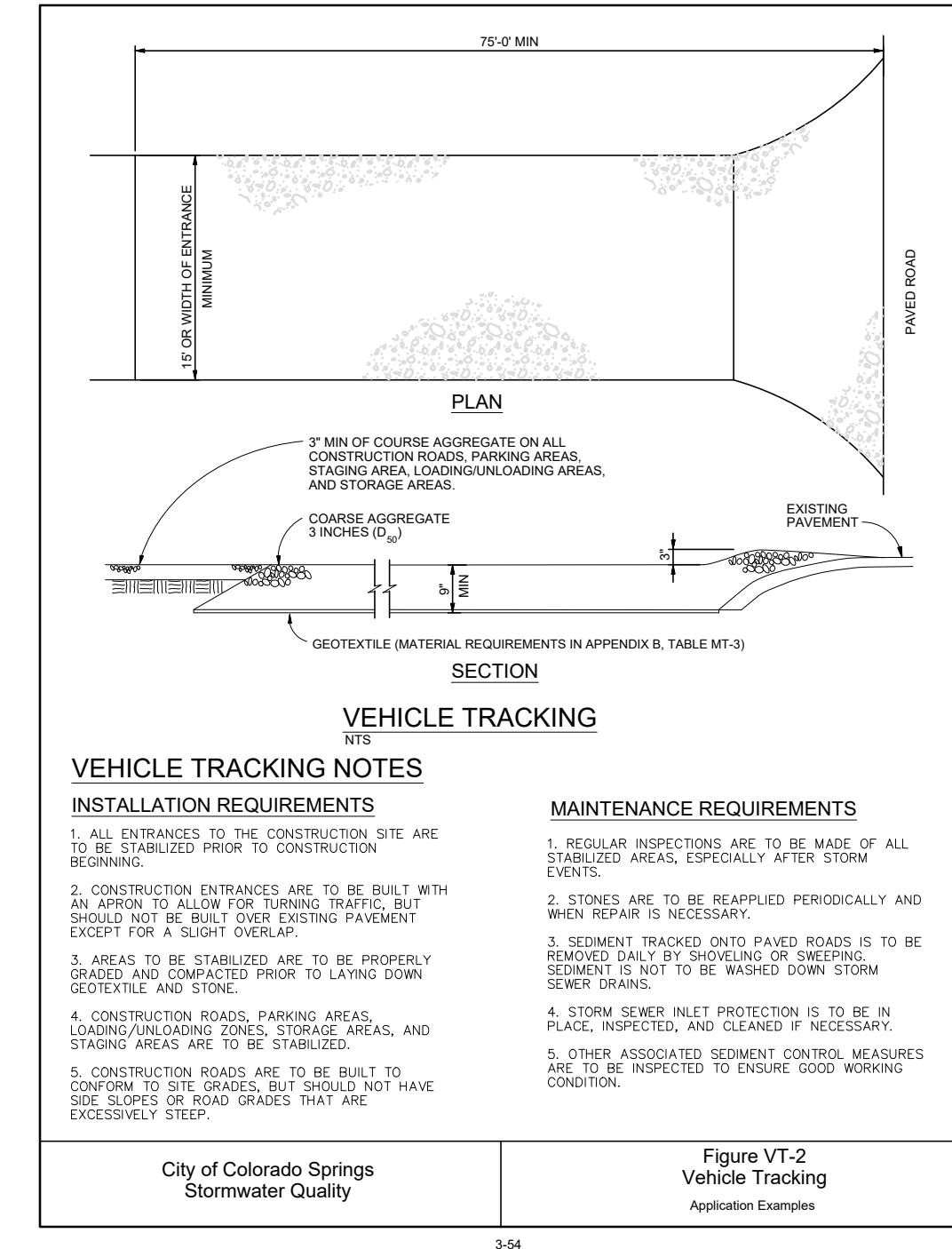
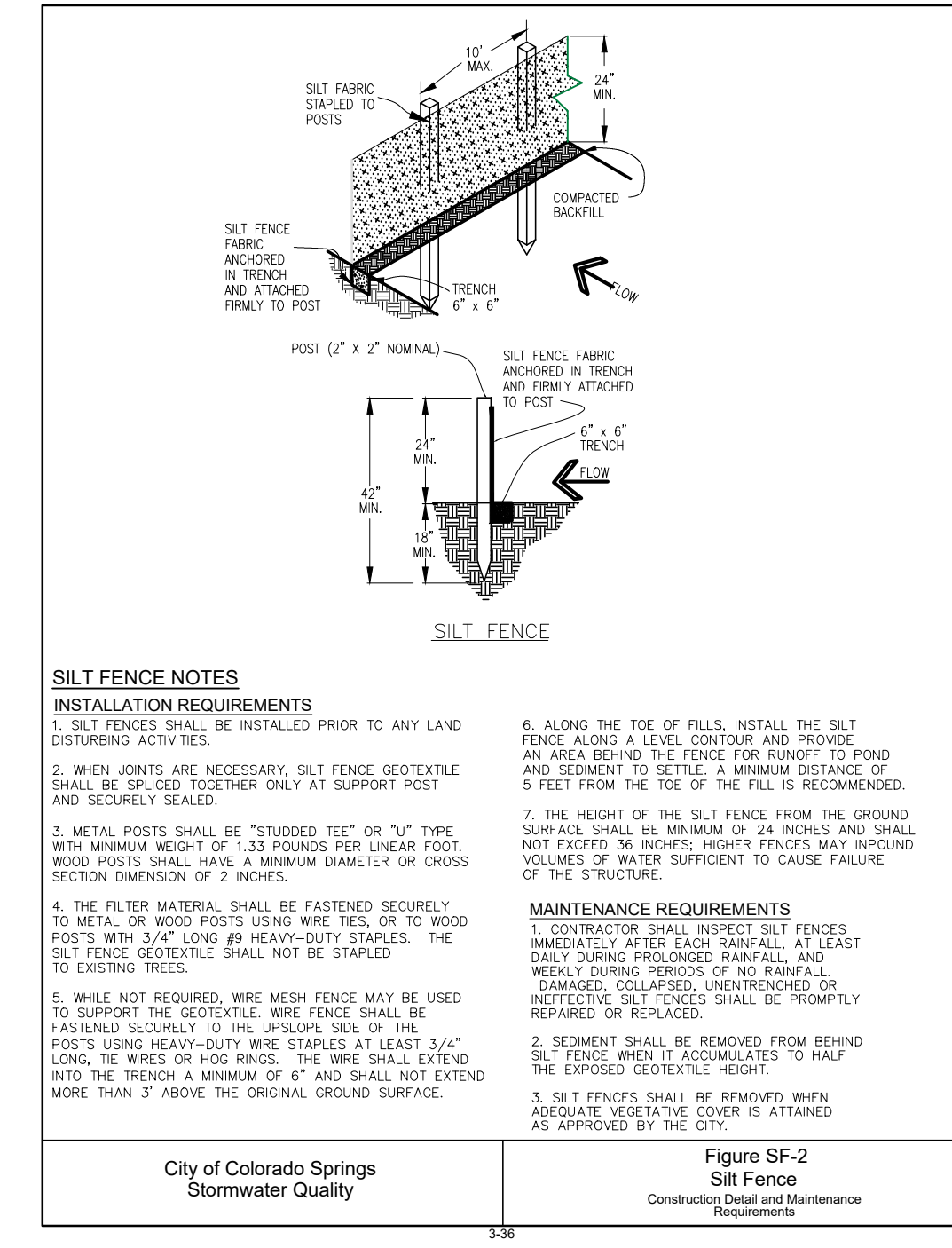
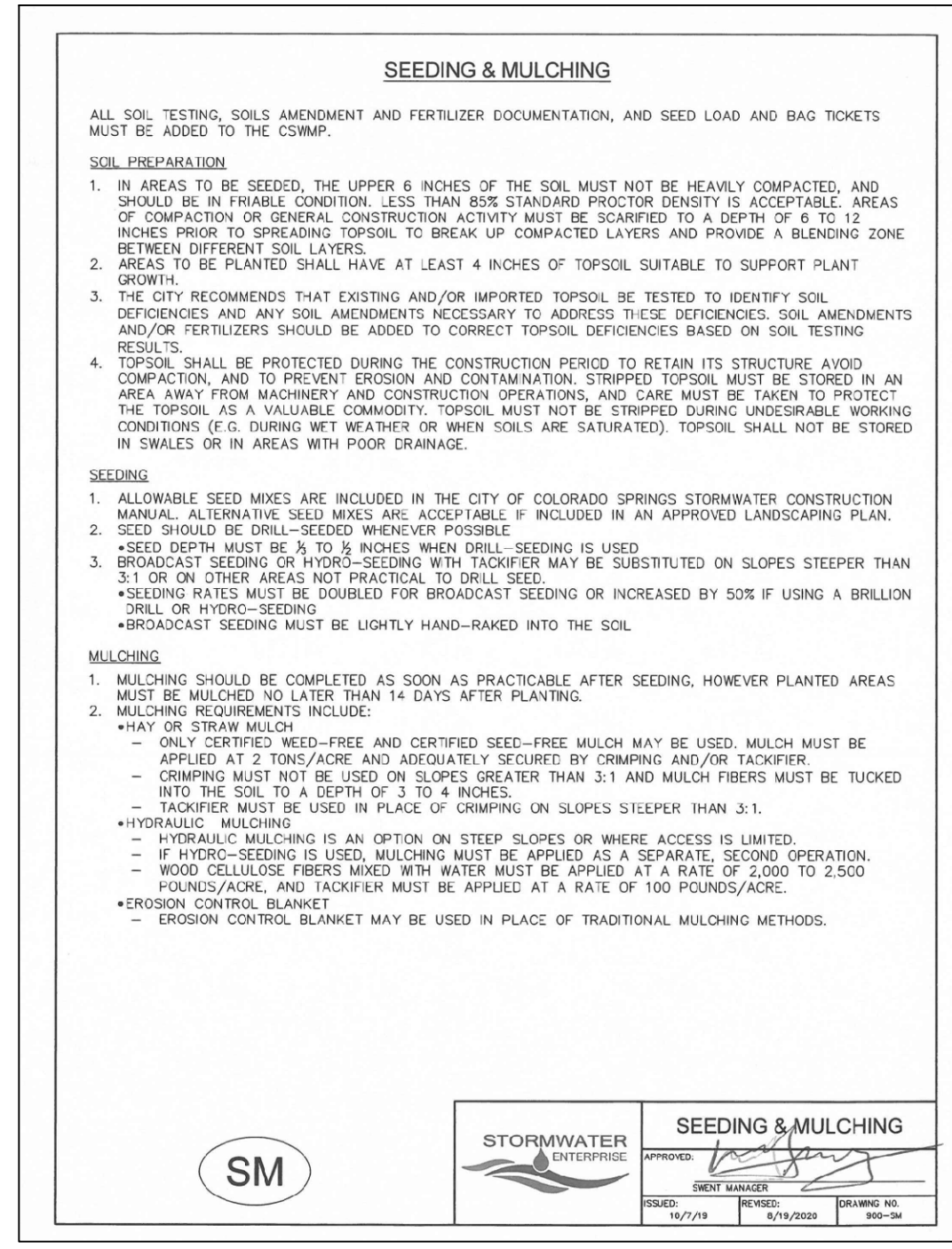
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---	EASEMENT LINE - NEW/EXISTING
---	CONTOUR - NEW/EXISTING
---	PROPERTY LINE - NEW/EXISTING
---	FENCE - NEW/EXISTING
---	OVERHEAD ELECTRIC LINE W/ POWER POLE NEW/EXISTING
---	UNDERGROUND ELECTRIC LINE NEW/EXISTING
---	UNDERGROUND ELECTRIC - NEW/EXISTING
---	TELEPHONE - NEW/EXISTING
---	GAS - NEW/EXISTING
---	WATER - NEW/EXISTING
---	RAW WATER - NEW/EXISTING
---	CURB & GUTTER - NEW/FUTURE

BACK OF CURB
LIP OF CURB

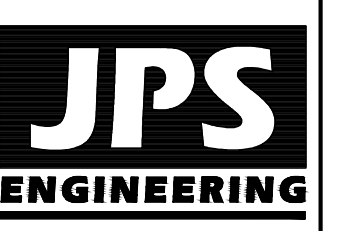
SECTION NUMBER
1
P1

SHEET ON WHICH SECTION IS SHOWN

DATE APPROVED: 6/23/20	DESIGNED: PV
DESIGNED BY: Jennifer E. Irvine	CHECKED: JPS
PROJECT NO: 122102	LAST MODIFIED: 11/16/22
MODIFIED BY: JPS	
FILE NAME: SD_2-41	



CRAWFORD APARTMENTS TRACT A, FOUNTAIN VALLEY RANCH FIL. NO. 6B



19 E. Willamette Ave.
Colorado Springs, CO 80903
PH: 719-477-9429
FAX: 719-471-0766
www.jpsegr.com



CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
COLORADO STATE DEPARTMENT OF REVENUE
BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

No.	REVISION	BY	DATE

EROSION CONTROL DETAILS

HORIZ. SCALE: N/A	DRAWN: PV
VERT. SCALE: N/A	DESIGNED: JPS
SURVEYED: WATT	CHECKED: JPS
CREATED: 08/29/22	LAST MODIFIED: 11/16/22
PROJECT NO: 122102	MODIFIED BY: PV
SHEET:	

C3.2