# CONSTRUCTION DOCUMENTS GRADING & EROSION CONTROL PLAN CBP, F2-LOT #8 1415 SELIX GROVE, COLORADO SPRINGS, CO

# EL PASO COUNTY

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/ OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/ OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JENNIFER IRVINE, P.E. COUNTY ENGINEER / ECM ADMINISTRATOR

DATE

#### OWNERS'S STATEMENT

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PI AN

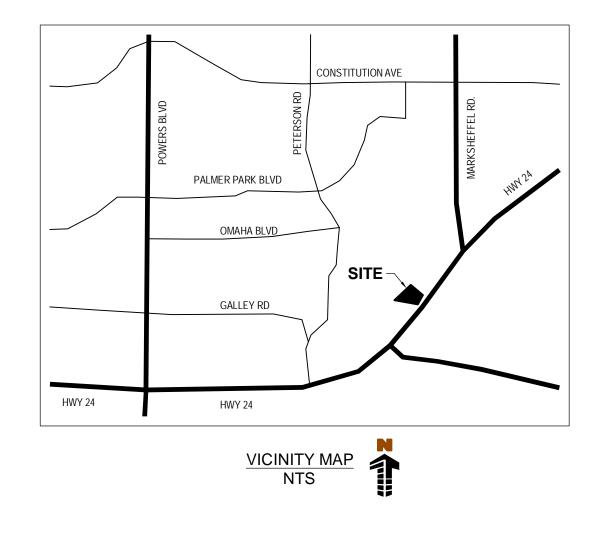
002 LLC 1415 Selix Grove Colorado Springs, CO 80915

#### ENGINEER'S STATEMENT

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA STABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS REPORT.

TODD CARTWRIGHT, COLORADO P.E. NO. 33365

DATE



		CIVIL SHEET INDEX	
SHEET NO.		DESCRIPTION	
	C0.0	GRADING COVER SHEET	
	C1.1	UTILITY SERVICE PLAN	
	C2.1	GRADING PLAN	
	C2.2	EROSION CONTROL PLAN	

**EROSION CONTROL DETAILS** 

C2.4 **EROSION CONTROL DETAILS** 

C2.3

PCD PROJECT NO. PPR-XX-XX

CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH

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FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE

Know what's BelOW.

COVER SHEET

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND

**CAUTION - NOTICE TO CONTRACTOR** 

COLORADO SPRINGS, COLORADO 80920 TEL: (719) 900-7220 CONTACT: LYLE BISSEGGER EMAIL: LYLEBISSEGGER@GALLOWAYUS.COM

EMAIL: TODDCARTWRIGHT@GALLOWAYUS.COM SURVEYOR GALLOWAY & COMPANY, INC. 1755 TELSTAR DRIVE, SUITE 107

ENGINEER GALLOWAY & COMPANY, INC. 1755 TELSTAR DRIVE, SUITE 107 COLORADO SPRINGS, COLORADO 80920 TEL: (719) 900-7220 CONTACT: TODD CARTWRIGHT, P.E

1411 WOOLSEY HEIGHTS COLORADO SPRINGS, CO 80915 TFL · (719) 570-1599 CONTACT: ZACK CRABTREE EMAIL: ZCRABTREE@HAMMERSCONSTRUCTION.COM

APPLICANT/CONTRACTOR HAMMERS CONSTRUCTION, INC.

UTILITY REVIEW (ELECTRIC/GAS) COLORADO SPRINGS UTILITY 1521 HANCOCK EXPRESSWAY COLORADO SPRINGS, CO 80903 TEL: (719) 448-4800 CONTACT: EMAIL:

EL PASO COUNTY PCD 2880 INTERNATIONAL CIRCLE, SUITE 110 COLORADO SPRINGS, CO 80910 TEL: (719) 520-6300 CONTACT: EMAIL:

EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT

LIST OF CONTACTS

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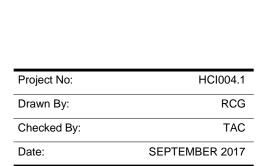
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# Date Issue / Description Init.





1755 Telstar Drive, Suite 107 Colorado Springs, Co 80920



**GRADING COVER SHEET** 



PPR-17-046 -

Call before you dig.

#### GENERAL NOTES

GOVERN

#### CONTRACTOR TO VERIFY ALL UTILITY CONNECTIONS WITH POTHOLE (LOCATION, SIZE, AND ELEVATION) PRIOR TO CONSTRUCTION.

#### CHEROKEE METROPOLITAN DISTRICT WATER AND SANITARY SEWER SYSTEM CONSTRUCTION NOTES:

- I. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH CHEROKEE METROPOLITAN DISTRICT STANDARDS AND SPECIFICATIONS AND THE CITY OF COLORADO SPRINGS CONSTRUCTION STANDARDS UNLESS NOTED OTHERWISE. IN THE EVENT OF CONFLICTING STANDARDS CHEROKEE METROPOLITAN DISTRICT STANDARDS AND SPECIFICATIONS SHALL
- THE CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN IN ACCORDANCE WITH THE PROVISIONS OF THE APPLICABLE AGENCY HAVING JURISDICTION OVER THE ROADWAY WHICH MAY INCLUDE, BUT IS NOT LIMITED TO, THE EL PASO COUNTY PUBLIC SERVICES DIVISION. CITY OF COLORADO SPRINGS, AND/OR THE COLORADO DEPARTMENT OF TRANSPORTATION 3. ALL STREET SURFACE RESTORATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE AGENCY HAVING JURISDICTION OVER THE ROADWAY.
- SHOP DRAWING SUBMITTALS SHALL BE MADE FOR ALL MATERIALS TO BE INCORPORATED INTO THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH APPLICABLE STANDARDS AND REGULATIONS AS SET FORTH BY THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA)
- . THE CONTRACTOR IS TO UNDERTAKE HIS WORK IN ACCORDANCE WITH OSHA'S CONFINED SPACE ENTRY REQUIREMENTS. THE SUBGRADE UNDERNEATH ALL STRUCTURES SHALL BE ADEQUATELY STABILIZED. 8. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES. FINAL GRADING IS SUBJECT TO REVIEW AND
- APPROVAL 9. ALL WATER SYSTEM MAINS PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) CLASS 200 (DR-14) PER AWWA C-900 AND ASTM D241 SPECIFICATIONS, EXCEPT WHERE NOTED. SPECIFICALLY, SECTIONS OF WATER PIPE THAT CROSS UNDER
- MAJOR DRAINAGE WAYS (SAND CREEK) OR MAJOR THOROUGHFARES SHALL BE DUCTILE IRON PIPE. 10 ALL FITTINGS SHALL BE CONSTRUCTED OF GRAY-IRON MATERIAL AND FURNISHED WITH MECHANICAL JOINT ENDS. ALL FITTINGS SHALL HAVE A MINIMUM PRESSURE RATING OF 250 PSI AND SHALL BE WRAPPED WITH A 9-MIL THICKNESS POLYETHYLENE MATERIAL PER AWWA STANDARD C105. ALL FITTINGS SHALL HAVE ANODES CAD WELDED.
- 11. ALL WATER PIPES SHALL BE INSTALLED AT A MINIMUM DEPTH OF FIVE (5) FEET BELOW FINISHED GRADE. 12. ALL BENDS, TEE, FIRE HYDRANTS, BLOW-OFFS, AND PLUGS AT DEAD END MAINS SHALL BE INSTALLED WITH CONCRETE THRUST BLOCKS
- 13. VALVE BOXES SHALL BE TYLER SLIP; TYPE "C" CAST IRON VALVE BOX ASSEMBLY SERIES 6860 WITH NO. 160 OVAL BASE OR APPROVED EQUAL. 14. ALL WATER SYSTEM COMPONENTS SHALL BE FLUSHED AND CHLORINATED PER AWWA C-601, "DISINFECTING WATER MAINS" PRIOR TO ACCEPTANCE. THE CONTRACTOR SHALL PRODUCE A 25 MG/L SOLUTION BY ADHERING CHLORINE
- TABLETS TO THE PIPE SECTION WITH PERMATEX CLEAR TRV INSIDE THE SYSTEM. CHLORINATION SHALL OCCUR PRIOR TO HYDROSTATIC TESTING. THE CONTRACTOR SHALL OBTAIN A BACTERIOLOGICAL SAMPLE AFTER THE SYSTEM HAS BEEN FLUSHED. A CLEAN BACTERIOLOGICAL SAMPLE MUST BE OBTAINED PRIOR TO THE SYSTEM BEING PLACED INTO SERVICE. 15. HYDROSTATIC TESTING: ALL WATER SYSTEM MAINS SHALL BE FIELD PRESSURE TESTED TO A MINIMUM OF 150 PSI OR 1½ TIMES THE STATIC OPERATING PRESSURE, WHICH EVER IS GREATER. MAXIMUM ALLOWABLE LEAKAGE FOR EACH SECTION OF PIPE BETWEEN LINE VALVES SHALL NOT EXCEED THE FOLLOWING: \*10 GALLONS PER INCH OF PIPE DIAMETER PER MILE
- PFR DAY 16. ALL VALVES SHALL CONFORM TO OPEN LEFT CONVENTION PER CHEROKEE METROPOLITAN DISTRICT STANDARDS.
- 17. WHEN IT IS NECESSARY TO RAISE OR LOWER WATER MAINS AT OTHER UTILITY CROSSINGS THE CONTRACTOR SHALL INSURE A MINIMUM CLEARANCE OF 18" WHERE POSSIBLE BETWEEN THE OUTSIDE DIAMETERS OF PIPES.
- 18. WHILE CONSTRUCTING THE WATER AND WASTE WATER SYSTEM THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT LEAST ONE "APPROVED FOR CONSTRUCTION: SET OF UPDATED PLANS AT ALL TIMES. APPROVED FIELD MODIFICATIONS TO PLAN SETS SHALL BE CLEARLY IDENTIFIED IN RED INK ON THE PLANS BY THE CONTRACTOR PER FIELD CONSTRUCTION. THESE AS-BUILT CHANGES SHALL BE DATED AND SUBMITTED TO THE ENGINEER OF RECORD. THE ENGINEER OF RECORD SHALL PREPARE A COMPLETE SET OF "AS CONSTRUCTED" DRAWINGS AND DELIVER THE SETS TO THE CHEROKEE METROPOLITAN DISTRICT PRIOR TO FINAL ACCEPTANCE OF THE WATER SYSTEM. 19.PRIOR TO TAPPING ANY EXISTING WATER MAIN THE CONTRACTOR SHALL SUBMIT AND RECEIVE APPROVAL FOR SAID TAP
- IN ACCORDANCE WITH THE CHEROKEE METROPOLITAN DISTRICT STANDARDS 20. ALL NONMETALLIC PIPES SHALL HAVE A TRACER WIRE ATTACHED TO ITS TOP DURING CONSTRUCTION. THE TRACER WIRE SHALL BE #12 AWG INSULATED COPPER WIRE NO 12 COPPER CONNECTORS AND SHALL BE PERMANENTLY AFFIXED TO THE TOP OF THE PIPE USING TAPE AT 4' INTERVALS. THE TRACER WIRE SHALL ALSO BE PERMANENTLY CONNECTED TO ALL FIRE HYDRANT TEE, METALLIC PIPE BENDS, MAIN VALVE AND OTHER METALLIC FITTINGS AND APPURTENANCES. ALL POINTS OF CONNECTION SHALL BE PROTECTED FROM CORROSION BY AN EPOXY OR SILICON COATING. GROUND TRACER WIRES TO SURFACE AT ALL VALVE BOXES.
- 1. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR THE PROTECTION OF ALL UTILITIES DURING THE WORK. PRIOR TO ANY EXCAVATION, CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT (800) 922-1987 AT LEAST TWO WORKING DAYS PRIOR TO DIGGING. . SANITARY SEWER PIPE SHALL CONFORM TO ASTM D3034 SDR35 PVC.
- 3. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF NEW SANITARY SEWER SYSTEM 24. THE PIPELINE INSTALLATION SHALL GENERALLY BE UNDERTAKEN FROM THE DOWNHILL PORTION OF THE PROJECT PROCEEDING UPHILL
- 25. ALL SANITARY SEWER MANHOLES, LIDS, BASES AND OTHER APPURTENANCES SHALL BE IN ACCORDANCE WITH (IAW) COLORADO SPRINGS DETAILS STANDARD MANHOLE DETAIL 1. EXCEPT AS NOTED ON THESE PLANS. WHERE REQUIRED ON THESE PLANS, WATER TIGHT MANHOLES, LIDS AND CONNECTIONS SHALL BE PROVIDED IAW COLORADO SPRINGS STANDARDS
- 26. SANITARY SEWER SERVICE LINES SHALL BE LOCATED PER THE DETAIL ON THE UTILITY SERVICE PLAN, OR AT THE DIRECTION OF THE INSPECTOR 7. FLAT TOP LIDS ON PRECAST CONCRETE MANHOLES ARE REQUIRED FOR ALL MANHOLES 5.0 FEET AND LESS IN DEPTH. ECCENTRIC CONES ARE TO BE INSTALLED ON ALL MANHOLES WITH DEPTHS GREATER THAN 5.0 FEET.
- 28. THE SANITARY SEWER PIPELINE SHALL BE INSTALLED IN STRAIGHT ALIGNMENTS BETWEEN MANHOLES UNLESS OTHERWISE APPROVED BY THE CHEROKEE METROPOLITAN DISTRICT. 29. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING WASTEWATER PIPELINES OR MANHOLES AS A
- RESULT OF THEIR CONSTRUCTION ACTIVITY. 30. ALL PIPELINES SHALL BE "AS BUILT" SURVEYED AND "AS BUILT" DRAWINGS SUBMITTED TO THE CHEROKEE METROPOLITAN DISTRICT FOR REVIEW AND ACCEPTANCE. 31. MANHOLE ENTRY PERMIT: THE CHEROKEE METROPOLITAN DISTRICT WILL AUTHORIZE THE CONTRACTOR TO ENTER DISTRICT-OWNED MANHOLES, HOWEVER, THE DISTRICT WILL NOT ISSUE AN "ENTRY PERMIT" TO THE CONTRACTOR FOR ANY CONFINED SPACE PRIOR TO ANY ENTRY. THE CONTRACTOR SHALL PROVIDE HIS OWN PERSONNEL CAPABLE AN QUALIFIED TO ISSUE AN ENTRY PERMIT AND SHALL BE EQUIPPED FOR ENTRY INTO CONFINED SPACES. THE CHEROKEE
- METROPOLITAN DISTRICT WILL ASSUME NO RESPONSIBILITY FOR THE CONTRACTOR'S ENTRY INTO DISTRICT-OWNED MANHOLES. 2. OVER LOT GRADING AND STREET SUB GRADE MUST BE WITHIN ± ONE (1) FOOT PRIOR TO ANY UTILITY INSTALLATION. 3. TRACER WIRE IS TO BE INSTALLED WITH ALL SANITARY SEWER MAIN LINES AND SERVICES (FROM THE MAN LINE TO THE
- BUILDING STRUCTURE). AS OUTLINED IN COMMENT #13 34. MINIMUM DEPTH OF SANITARY SEWER IS 6 FEET OF COVER, IF THIS MINIMUM CANNOT BE ACHIEVED DO TO SHALLOW SEWER STUB THEN THE FOLLOWING APPLIES; OTHER WISE THE SEWER SERVICE MUST HAVE 6 FEET OF COVER: • DEPTH GREATER THAN 6 FEET; MATERIAL TYPE SDR 35

#### - DEPTH BETWEEN 4 FEET AND 6 FEET: MATERIAL TYPE SCH 40 OR CAST IRON PIPE (CIP) - DEPTH LESS THAN 4 FEET; MATERIAL TYPE SCH 40 OR CIP WITH CONCRETE CAP.

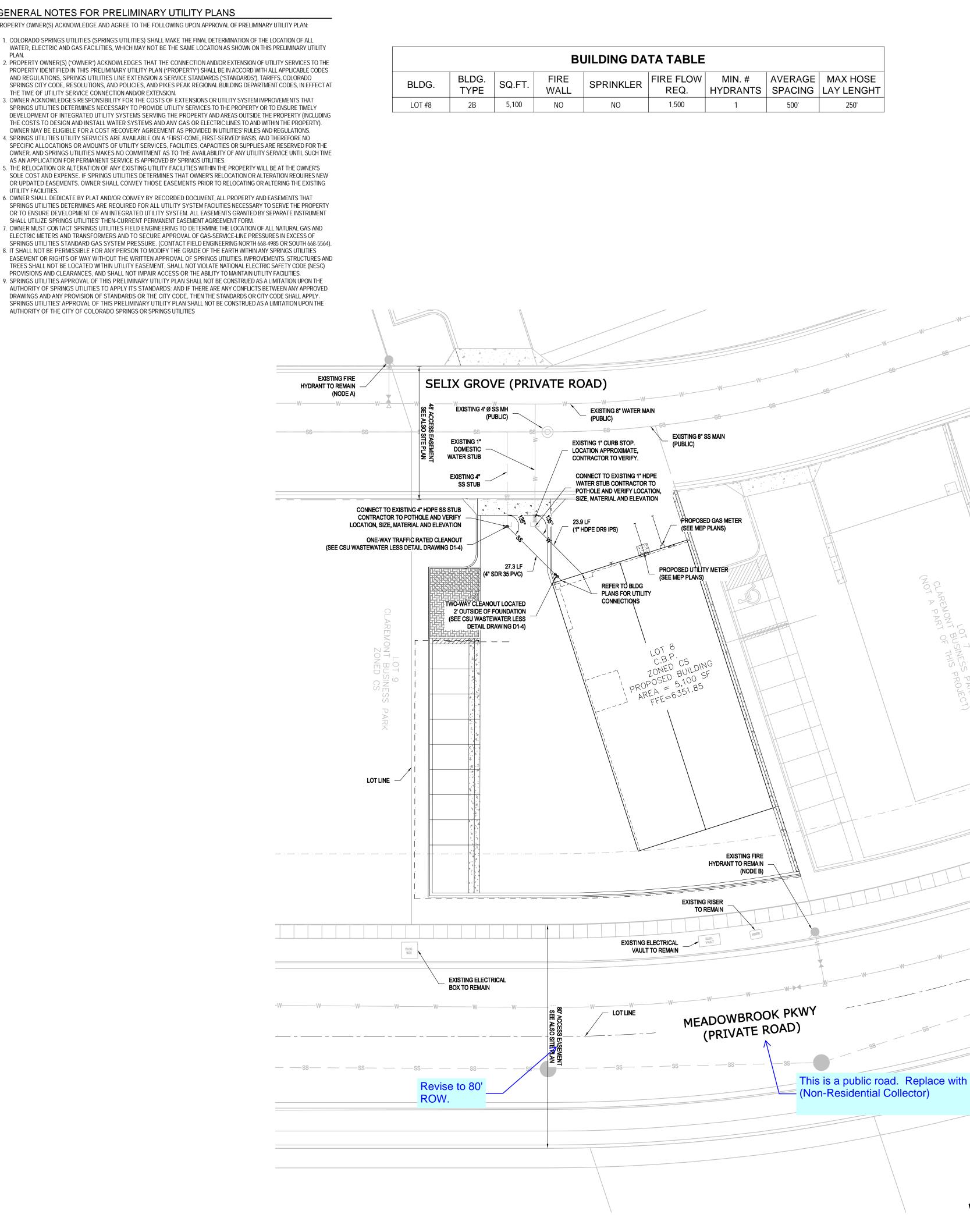
- 35. WATER SERVICE MUST BE OVER THE SEWER AT ALL TIMES. SEWER SERVICE PIPE LOCATED WITHIN ONE FOOT OF THE WATER SERVICE LINE MUST BE CONSTRUCTED WITH SCH 40 PIPE OR CIP 36. ALL EXTERIOR SEWER CLEAN OUTS (CO) MUST HAVE A CAST IRON, TRAFFIC RATED COVER, OR EQUIVALENT WITH
- CONCRETE COLLAR. 7. SPECIFIC SIZE APPLICATION OF THE SAND/OIL AND OR GREASE TRAP TO BE DETERMINED BY CHEROKEE METRO DISTRICT, WITH THE MINIMUM SIZE TO BE 1500 GALLON. 8. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO ACCEPTANCE BY THE DISTRICT, TWO (2) COPIES OF
- "AS-CONSTRUCTED" PLANS AND TWO (2) SETS OF ELECTRONIC DATA FILES OF THE PLANS SHALL BE SUBMITTED TO THE DISTRICT FOR RECORD.
- a. THE TWO (2) COPIES SHALL BE COMPLETE WITH ALL "AS-CONSTRUCTED" INFORMATION TOGETHER WITH A CERTIFICATION BY THE PARTY RESPONSIBLE FOR CONSTRUCTION THAT ALL DATA THEREON IS ACCURATE AND REPRESENTS ACTUAL CONSTRUCTED CONDITIONS D. THE TWO PLAN SETS SHALL BE SUBMITTED ON SHEETS THAT ARE 24" X 36" IN SIZE.
- . THE PLAN SET SHALL BE ON A DURABLE MEDIA THAT CAN BE RUN THROUGH PHOTOCOPYING EQUIPMENT. d. THE TWO ELECTRONIC DATA FORMATS SHALL BE SUBMITTED. THE FIRST ELECTRONIC DATA FILE SET SHALL BE IN
- AUTOCAD 2006 OR NEWER FORMAT WITH NO EXTERNAL REFERENCE DRAWINGS. ALL EXTERNAL REFERENCES MUST BE BOUND INTO THE DRAWING SET. THE SECOND SET OF ELECTRONIC DATA FILES SHALL BE IN ADOBE ACROBAT .PDF
- e. "AS-CONSTRUCTED" PLANS SHALL BE SUBMITTED WITHIN TWO WEEKS OF COMPLETION OF THE WATER AND/OR SANITARY SEWER UTILITIES.
- . NO AUTHORIZATION TO CONNECT TO THE SYSTEM OR DISCHARGE TO THE SYSTEM WILL BE ALLOWED UNTIL THE "AS-CONSTRUCTED" DOCUMENTS HAVE BEEN RECEIVED AND ACCEPTED BY THE DISTRICT. g. ALL PLANS, SPECIFICATIONS AND SUPPORTING DOCUMENTS SHALL BE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF COLORADO. ALL PLANS AND

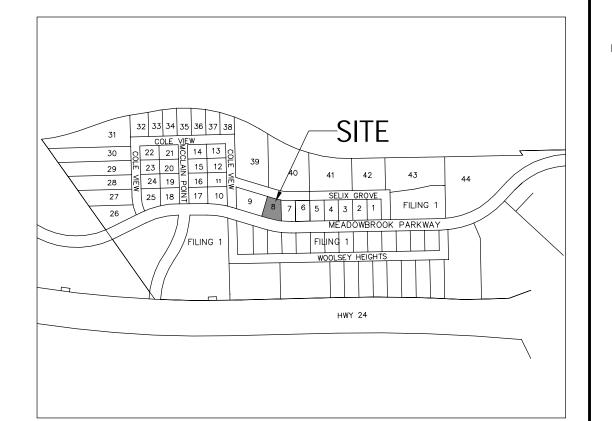
SPECIFICATIONS SHALL BEAR THE SEAL AND SIGNATURE OF SAID LICENSED PROFESSIONAL ENGINEER.

2. THE CONTRACTOR'S WARRANTY SHALL EXTEND FOR A TWO-YEAR PERIOD FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT.

#### GENERAL NOTES FOR PRELIMINARY UTILITY PLANS PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

- WATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN 2. PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES
- AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFES, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION. 3. OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT
- SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS. 4. SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO
- SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES. 5. THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S
- SOLE COST AND EXPENSE, IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES. 6. OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT
- SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED LITH ITY SYSTEM, ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM. 7. OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND
- ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564) 8. IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND
- TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NESC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES. 9. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES





# SITE MAP

UTILITY LEGEND	
	EXISTING WATER LINE
W	PROPOSED WATER LINE
— — — — — SS— — — — —	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
	PROPOSED CULVERT
— — — — G — — — —	EXISTING GAS LINE
— — — —UE— — — —	EXISTING UNDERGROUND ELECTRICAL
— — — OHT— — —	EXISTING OVERHEAD TELEPHONE

# CIMARRON HILLS FIRE DEPARTMENT

ACCORDING TO THE MODELED CALCULATIONS REVIEWED BY THE GOVERNING WATER DISTRICT AND/OR COLORADO REGISTERED CIVIL ENGINEER/DESIGNER; THE THEORECTICAL AVAILABLE FIRE FLOW AT NODE "A" IS XXXX GALLONS PER MINUTE UNDER MAXIMUM DAILY DEMAND CONDITIONS AT 20 PSI RESIDUAL. THE ACTUAL FIRE FLOW MAY VARY DUE TO VARIOUS PARAMETERS. UPON DETAILED REVIEW OF THE AVAILABLE WATER SUPPLY, FIRE HYDRANT LOCATIONS AND HOSE LAY DISTANCES, THESE PLANS ARE HEREBY CONSIDERED APPROVED.

RE DEPARTMENT SIGNATURE:

#### PRIVATE WATER MAIN EXTENSIONS

THE UNDERSIGNED OWNER/DEVELOPER AGREES THAT THE INSTALLATION OF THESE PROPOSED WATER FACILITIES WILL BE MADE IN ACCORDANCE WITH THE DISTRICTS SPECIFICATIONS AND SHALL PROVIDE A MINIMUM OF FIVE FEET (5' 0") AND A MAXIMUM OF SIX (6' 0") OF COVER OVER THE WATER MAIN(S). THE UNDERSIGNED UNDERSTANDS THAT ALL WATER MAINS, FIRE HYDRANTS, AND APPURTENANCES AS INDICATED ON THIS INSTALLATION PLAN SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE MAINTAINED BY THE OWNER.

BA: HAMMERS CONSTRUCTION DDRESS: 1415 SELIX GROVE, COLORADO SPRINGS, CO 80915

### DESIGN PROFESSIONAL STATEMENT

THESE WATER/WASTEWATER PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH COLORADO SPRINGS UTILITIES CRITERIA.

TODD CARTWRIGHT, COLORADO P.E. NO. 33365

### WATER INSTALLATION CORROSION CONTROL REQUIREMENTS

REQUIRED, DESCRIBES AS FOLLOWS: PROVIDE CATHODIC PROTECTION & WRAP ALL METAL JOINTS, VALVES, PIPES AND HYDRANTS. WATER WASTEWATER PLAN APPROVAL

(CHEROKEE METROPOLITAN DISTRICT)

#### **CAUTION - NOTICE TO CONTRACTOR** 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS



SCALE: 1"=20'

#### PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY,

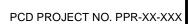
ENGINEER PRIOR TO CONSTRUCTION.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE

CONSTRUCTION



Know what's Below. Call before you dig.



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Colorado Springs, Co 80920

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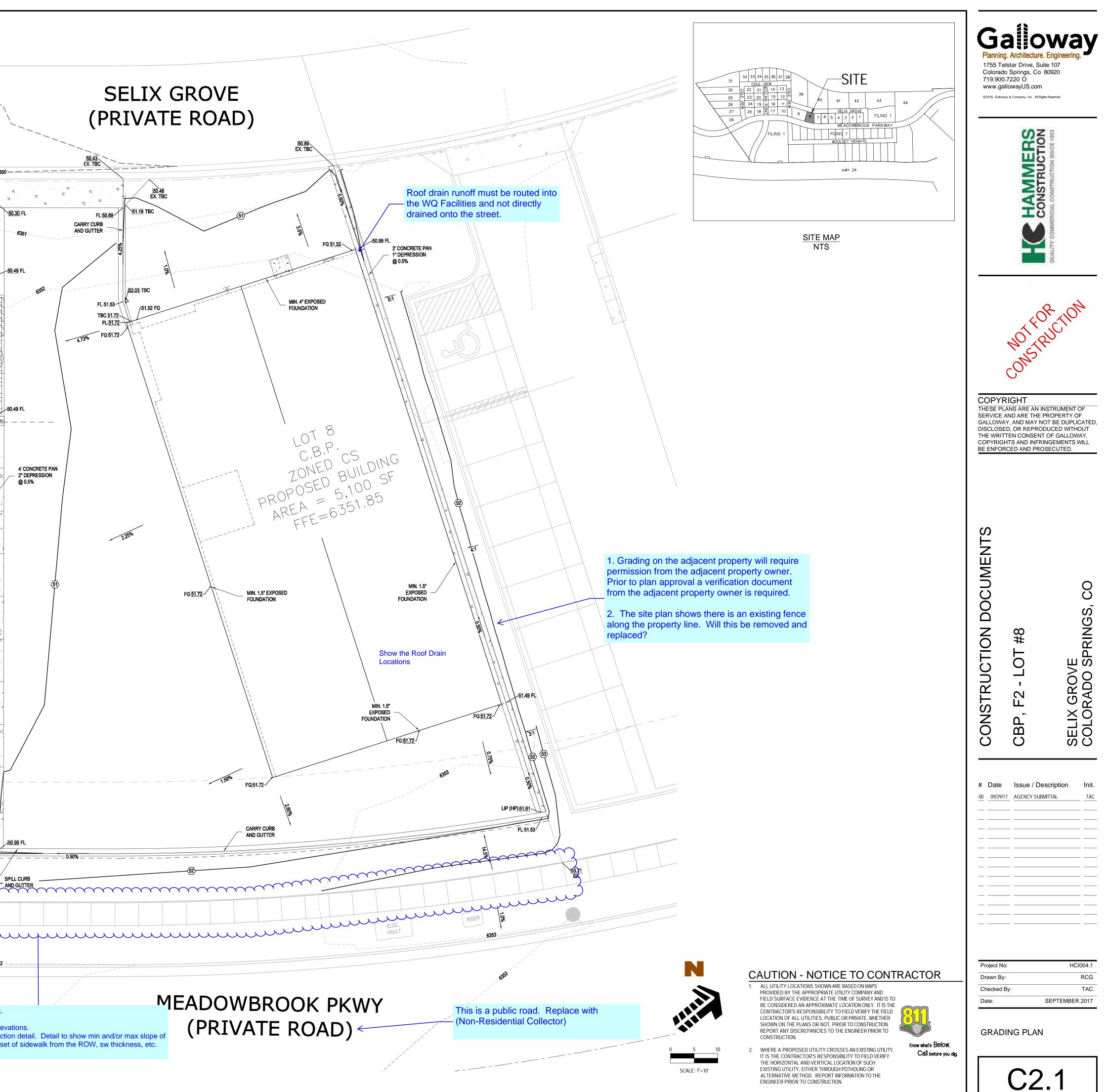
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Project No:	HCI004.1
Drawn By:	RCG
Checked By:	TAC
Date:	SEPTEMBER 2017

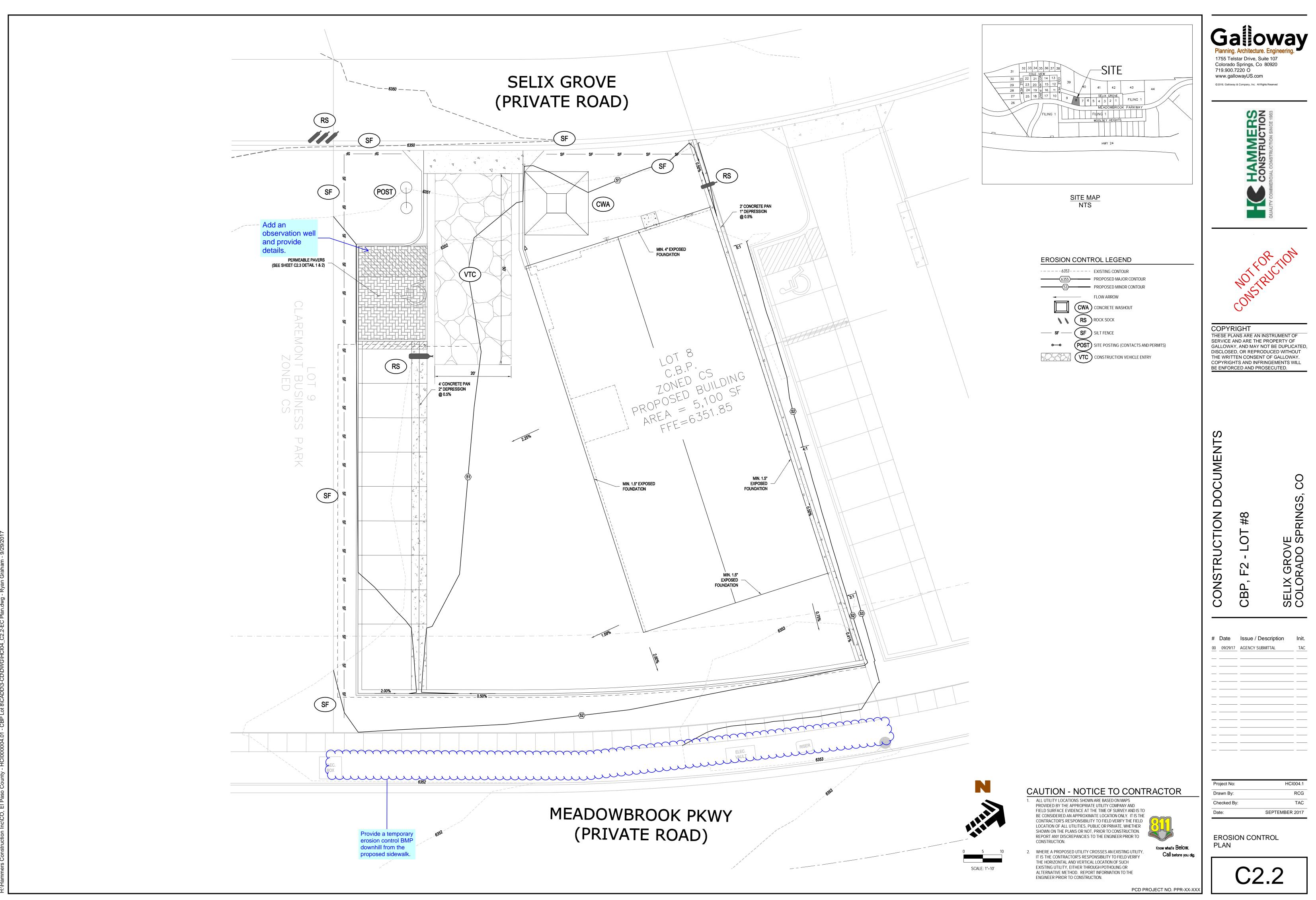
# UTILITY SERVICE PLAN

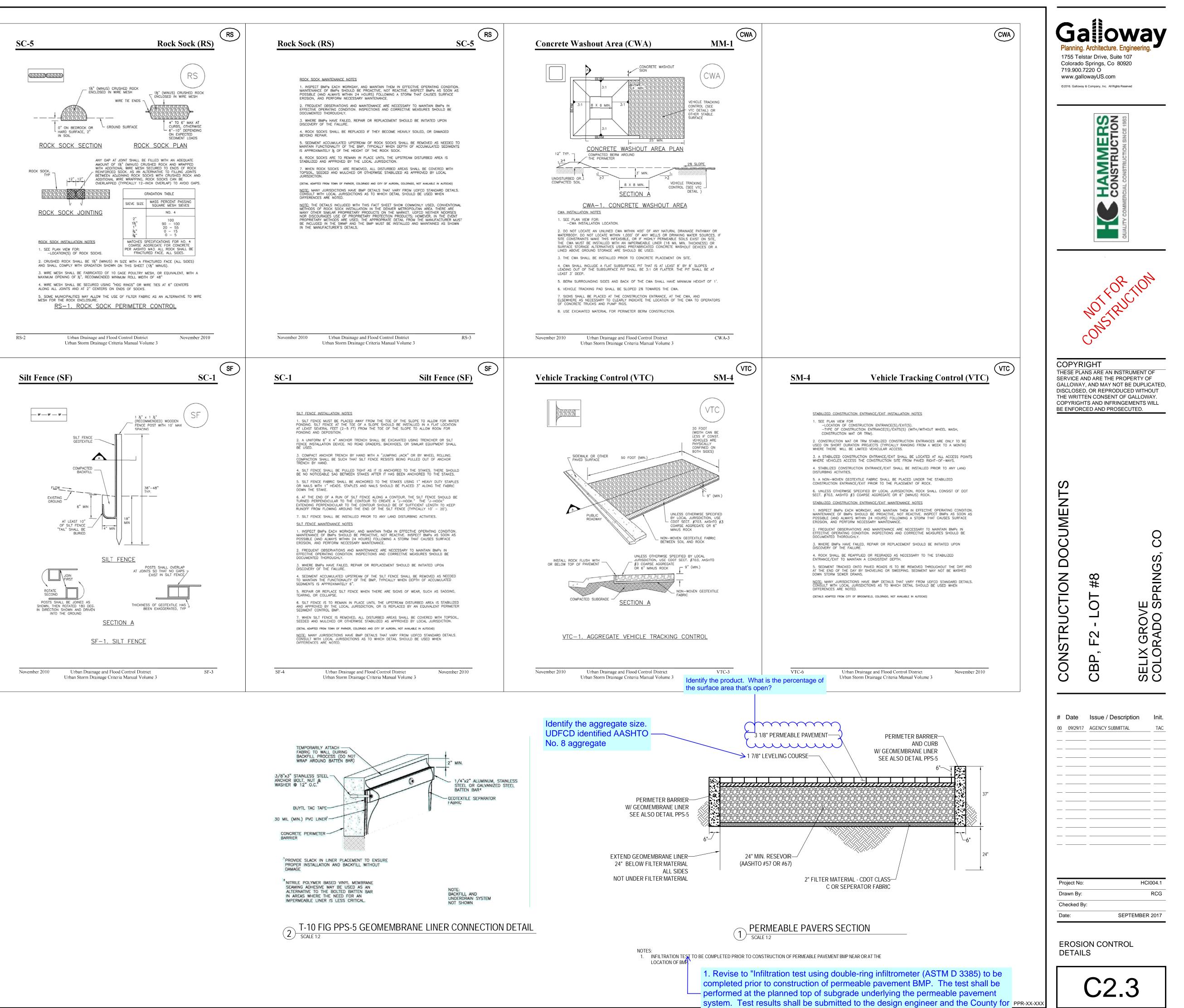


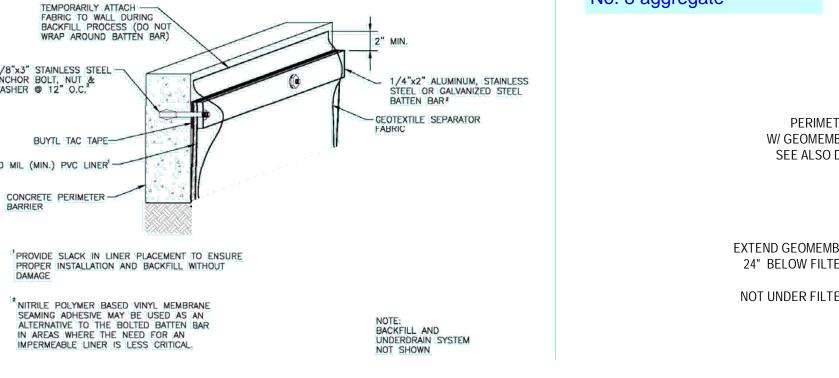
6334				
<u>(6340</u> )	<ul> <li>EXISTING CONTOUR</li> <li>PROPOSED MAJOR CONTOUR</li> </ul>			
<u> </u>	<ul> <li>PROPOSED MINOR CONTOUR</li> <li>FLOW ARROW</li> </ul>			
X.X%	SLOPE		ί	
FL	FLOW LINE			6350 -
FFE	FINISHED FLOOR			
FG	FINISH GRADE			
TBC	TOP BACK OF CURB		,∕50	<u>.13</u> <u>50.23</u>
EX	EXISTING		/EX.	
52.00	FINISHED GRADE ELEVATION		/	50.22
				EX. TBC
STANDARD GR	ADING NOTES (EL PASO COUNTY):			TBC 50.80
OBTAINED FROM	MAY NOT COMMENCE UNTIL A CONSTRUCTION PERMIT IS / PLANNING AND COMMUNITY DEVELOPMENT AND A			
DEVELOPMENT 2. STORMWATER I	DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE			CARRY CURB
OF STATE WATE	D CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION RS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MINIMIZES POLLUTION OF ANY ON-SITE OR OFF SITE WATERS.	······································	$\backslash$	AND GUTTER
INCLUDING WE 3. NOTWITHSTANI	LANDS. DING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR			TBC <u>50.99</u> 2 FL 50.49
ROADS, STORM	SENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE D REQUIREMENTS OF THE MOST RECENT VERSION OF THE		FL <u>50.49</u> -	
RELEVANT ADO DEVELOPMENT	PTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND COUNTY STANDARDS, INCLUDING THE LAND COUNTY STANDARDS, THE DRAINAGE			
DEVIATIONS TO APPROVED, IN V		PRIVATE PERMEABLE PAVERS SY (SEE SHEET C2.3 DETAIL		
4. A SEPARATE STO SHALL BE COMP	RMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT LETED AND AN EROSION AND STORMWATER QUALITY			
DURING CONST DESIGNATED ST	IT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. RUCTION THE SWMP IS THE RESPONSIBILITY OF THE DRMWATER MANAGER, SHALL BE LOCATED ON SITE AT ALL	$\frown$		
TIMES AND SHA CHANGES IN TH	LL BE KEPT UP TO DATE WITH WORK PROGRESS AND			
INITIAL STAGE E THE GEC. A PRE	ROSION AND SEDIMENT CONTROL BMPS AS INDICATED ON CONSTRUCTION MEETING BETWEEN THE CONTRACTOR,			
CONSTRUCTION	EL PASO COUNTY WILL BE HELD PRIOR TO ANY . IT IS THE RESPONSIBILITY OF THE APPLICANT TO IE MEETING TIME AND PLACE WITH COUNTY DSD			
INSPECTIONS ST 6. SOIL EROSION C			FL  <u>50.49</u> ∕ Г	
DAYS AFTER FIN COMPLETED. D	AL GRADING, OR FINAL EARTH DISTURBANCE, HAS BEEN STURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL	$\square$	i İ i	
BE MULCHED W	L REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO ITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS NIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL		l İ	
ALSO BE SEEDEI BMPS SHALL BE	<ul> <li>ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL</li> </ul>		i i	
<ol><li>TEMPORARY SO</li></ol>	IMPLEMENTED AND ESTABLISHED. IL EROSION CONTROL FACILITIES SHALL BE REMOVED AND ANCE AREAS GRADED AND STABILIZED WITH PERMANENT		   	
SOIL EROSION C SPECIFICATION	ONTROL MEASURES PURSUANT TO STANDARDS AND PRESCRIBED IN THE DCM VOLUME II AND THE ENGINEERING		l İ	
8. ALL PERSONS EN MAINTAIN ACCE	AL (ECM) APPENDIX I. IGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND PTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES	()	Í Í	
INCLUDING BMI TECHNICAL STA	YS IN CONFORMANCE WITH THE EROSION CONTROL NDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM)		i İ	
PLAN (SWMP). 9. ALL TEMPORAR	IN ACCORDANCE WITH THE STORMWATER MANAGEMENT / EROSION CONTROL FACILITIES INCLUDING BMPS AND ALL	$\supset$	l İ	
PERMANENT FA DISTURBANCE C	CILITIES INTENDED TO CONTROL EROSION OF ANY EARTH PERATIONS, SHALL BE INSTALLED AS DEFINED IN THE IS, THESWMP AND THE DCM VOLUME II AND MAINTAINED		Í	
THROUGHOUT 10. ANY EARTH DIS	HE DURATION OF THE EARTH DISTURBANCE OPERATION. URBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS		Í í	
SEDIMENTATIO	REDUCE ACCELERATED SOIL EROSION AND RESULTING J. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, D SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND			
SHALL BE LIMITI 11. ANY TEMPORA	D TO THE SHORTEST PRACTICAL PERIOD OF TIME. Y OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED YANCE OF STORMWATER AROUND, THROUGH, OR FROM THE		l İ	
EARTH DISTURB A NON-EROSIVE	ANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO VELOCITY.		Í Í	
ACCORDANCE V OR ALLOWED TO	H WATER SHALL BE CONTAINED AND DISPOSED OF IN /ITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO ) RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR		ľ ľ	
SUBSURFACE ST	ORM DRAINAGE SYSTEM OR FACILITIES. OL BLANKETING IS TO BE USED ON SLOPES STEEPER THAN			
14. BUILDING, CON SHALL NOT BE T	TRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS EMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR		ĺ	\ 
CONTROL PLAN	VAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC BMP'S MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING SSARY, BASED ON SPECIFIC CONDITIONS AND		Í	
CIRCUMSTANCE 15. VEHICLE TRACK	S. NG OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE		i i	
PROPERLY DISPO 16. CONTRACTOR S	ITERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND DSED OF IMMEDIATELY. HALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES		ĺ	
FROM THE CON AND STATE REG	TRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL ULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE G MATERIAL WASTES OR UNUSED BUILDING MATERIALS		l ľ	
SHALL BE BURIE 17. THE OWNER, SI	D, DUMPED, OR DISCHARGED AT THE SITE. E DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED		i Y CURB	
DEBRIS, DIRT, TH	BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION ASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE EWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND			
STORMWATER A 18. THE QUANTITY	PPURTENANCES AS A RESULT OF SITE DEVELOPMENT. DF MATERIALS STORED ON THE PROJECT SITE SHALL BE			$\left\ \cdot\right  = \cdot = \cdot = \cdot + \cdot$
PERFORM THE V ON-SITE SHALL I	CH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO /ORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED SE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL		ĺ	
CONTAINERS, W 19. NO CHEMICALS	ITH ORIGINAL MANUFACTURER'S LABELS. ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE E RELEASED IN STORMWATER UNLESS PERMISSION FOR THE			·       •
USE OF A SPECIF ADMINISTRATO	IC CHEMICAL IS GRANTED IN WRITING BY THE ECM R. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL		) l	×
20. BULK STORAGE	D MONITORING MAY BE REQUIRED. STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER LL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL		$\int_{\Gamma}$	51.27 FL
SPILLS AND PRE WATERS, INCLU	/ENT ANY SPILLED MATERIAL FROM ENTERING STATE DING ANY SURFACE OR SUBSURFACE STORM DRAINAGE		<u></u>	
FLOW LINE OF T	LL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE HE CURB AND GUTTER OR IN THE DITCHLINE.			AND GUTTER
22. INDIVIDUALS SH CONTROL ACT"	ALL COMPLY WITH THE "COLORADO WATER QUALITY TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 DDITION TO THE REQUIREMENTS INCLUDED IN THE DCM	52.26 EX	$\sim$	
VOLUME II AND OBTAINED BY TI	THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE IE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES,			
FLOODPLAIN, 40 BETWEEN THESI	4, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF , STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE			
LAWS, RULES, O 23. ALL CONSTRUCT	R REGULATIONS SHALL APPLY. ION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED		J	under 1
CONSTRUCTION 24. PRIOR TO ACTU		ELEC BOX		
25. A WATER SOUR OPERATIONS AN	E SHALL BE AVAILABLE ON SITE DURING EARTHWORK D UTILIZED AS REQUIRED TO MINIMIZE DUST FROM			
EARTHWORK EC 26. THE SOILS REPO	UIPMENT AND WIND. RT FOR THIS SITE HAS BEEN PREPARED BY TERRACON AND DERED A PART OF THESE PLANS.			
27. AT LEAST TEN D FOR PROJECTS T	AYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, HAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR			
APPLICATION FO	ONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT OR STORMWATER DISCHARGE TO THE COLORADO F PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY		S	Show as proposed sidev
DIVISION. THE STORMWATER	IPPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND			. Provide additional spo
ERUSION CONT	OL PLAN MAY BE A PART. FOR INFORMATION OR ATERIALS CONTACT:			<ol> <li>Include a typical cross andscape and sidewalk.</li> </ol>
APPLICATION N				
	EPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT WATER QUALITY CONTROL DIVISION			



PCD PROJECT NO. PPR-XX-XXX







approval prior to construction of permeable pavement BMP."

# Markup Summary

dsdlaforce (13)		
раналания риналания <u>РИНАТАНА</u> <u>РИНАТАНА</u> разпедство инсталия	Subject: Callout Page Label: 1 Lock: Locked Author: dsdlaforce	PPR-17-046
The same rate functions of the same rate functio	Subject: Callout Page Label: 2 Lock: Locked Author: dsdlaforce	This is a public road. Replace with (Non-Residential Collector)
Revise to 60'	Subject: Callout Page Label: 2 Lock: Locked Author: dsdlaforce	Revise to 80' ROW.
	Subject: Cloud+ Page Label: 3 Lock: Locked Author: dsdlaforce	<ul> <li>Show as proposed sidewalk.</li> <li>1. Provide additional spot elevations.</li> <li>2. Include a typical cross section detail. Detail to show min and/or max slope of landscape and sidewalk, offset of sidewalk from the ROW, sw thickness, etc.</li> </ul>
	Subject: Callout Page Label: 3 Lock: Locked Author: dsdlaforce	Roof drain runoff must be routed into the WQ Facilities and not directly drained onto the street.
K PRWY JOD	Subject: Callout Page Label: 3 Lock: Locked Author: dsdlaforce	This is a public road. Replace with (Non-Residential Collector)
Show the Roof Drain Locations	Subject: Text Box Page Label: 3 Lock: Locked Author: dsdlaforce	Show the Roof Drain Locations
And the second s	Subject: Callout Page Label: 3 Lock: Locked Author: dsdlaforce	1. Grading on the adjacent property will require permission from the adjacent property owner. Prior to plan approval a verification document from the adjacent property owner is required.
		2. The site plan shows there is an existing fence along the property line. Will this be removed and replaced?



Subject: Cloud+ Page Label: 4 Lock: Locked Author: dsdlaforce

General Subject: Callout Page Label: 4 Lock: Locked Author: dsdlaforce



Subject: Callout Page Label: 5 Lock: Locked Author: dsdlaforce

Subject: Callout Page Label: 5 Lock: Locked Author: dsdlaforce Provide a temporary erosion control BMP downhill from the proposed sidewalk.

Add an observation well and provide details.

Identify the aggregate size. UDFCD identified AASHTO No. 8 aggregate

1. Revise to "Infiltration test using double-ring infiltrometer (ASTM D 3385) to be completed prior to construction of permeable pavement BMP. The test shall be performed at the planned top of subgrade underlying the permeable pavement system. Test results shall be submitted to the design engineer and the County for approval prior to construction of permeable pavement BMP."

Identify the product. What is the percentage of the

surface area that's open?

NODE LUISE

Subject: Cloud+ Page Label: 5 Lock: Locked Author: dsdlaforce