

SOUTH ACADEMY HIGHLANDS FILING NO. 4 - PRELIMINARY PLAT

A PORTION OF SECTION 4, TOWNSHIP 15 SOUTH,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF FOUNTAIN, COUNTY OF EL PASO, STATE OF COLORADO

KNOW ALL MEN BY THESE PRESENTS:

THAT UTW ACADEMY DEVELOPMENT, LLC, A MISSOURI LIMITED LIABILITY COMPANY, IS THE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND, TO WIT:

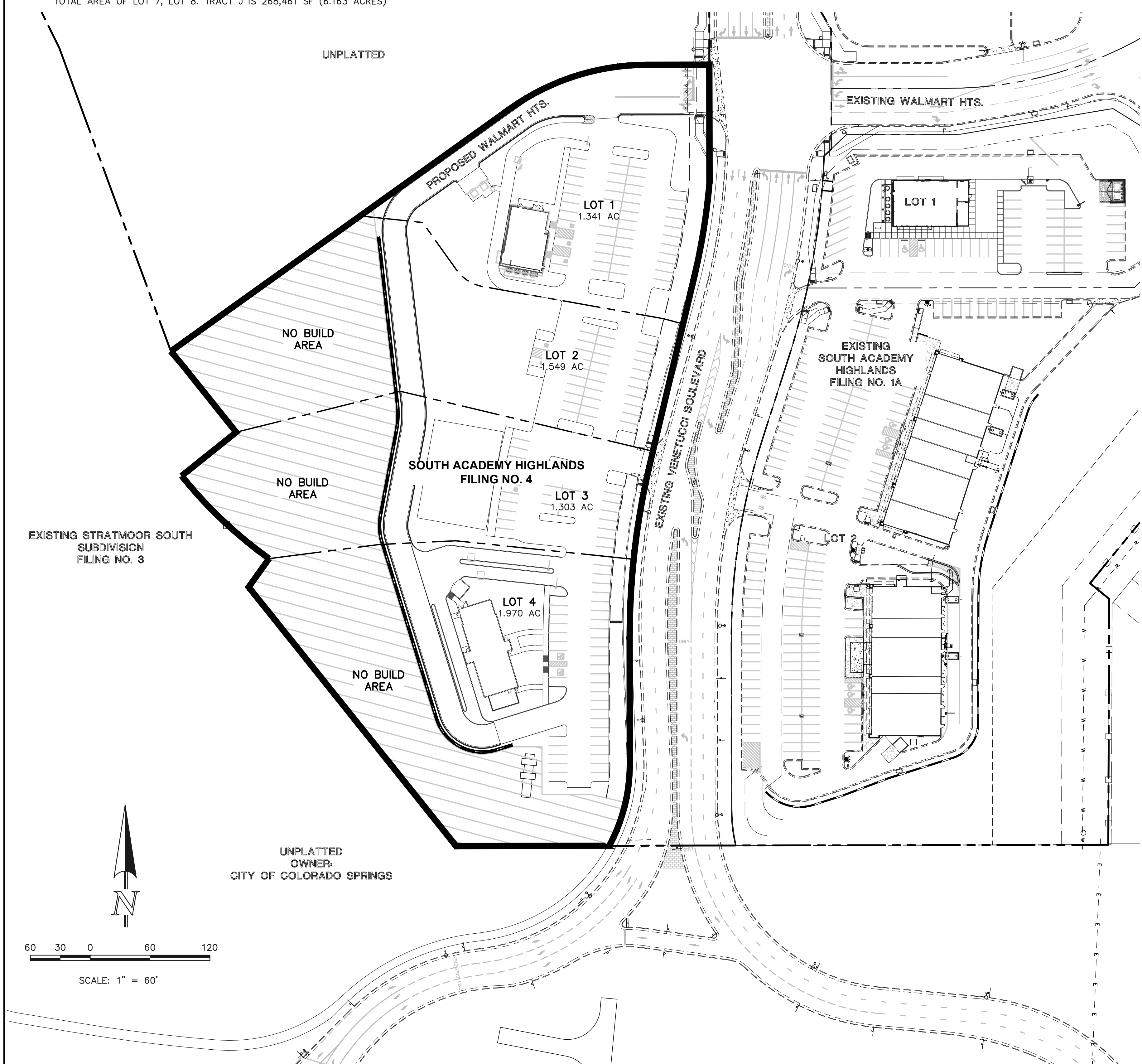
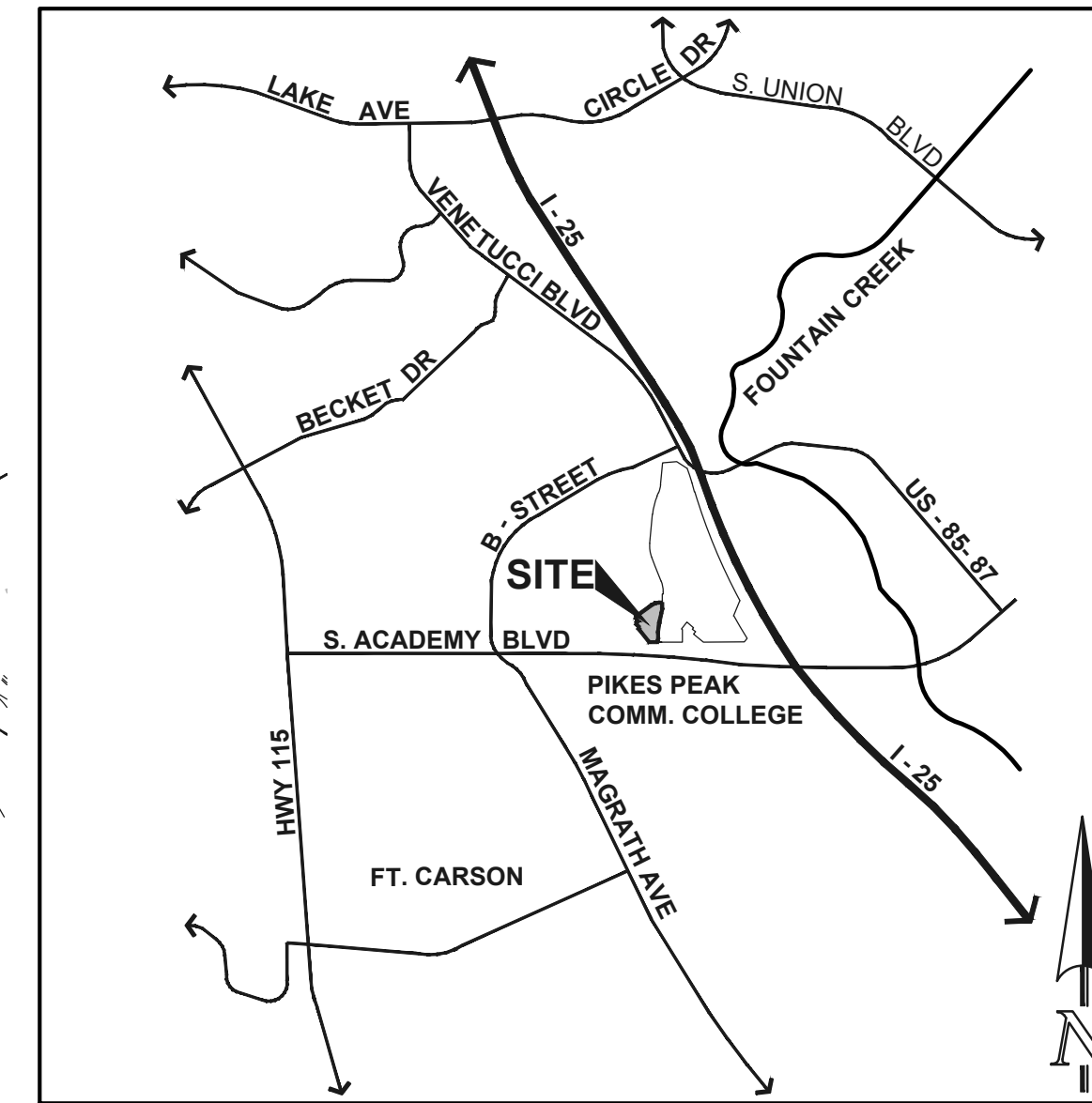
LEGAL DESCRIPTION:

LOTS 7 AND 8 AND TRACT J AS PLATTED IN SOUTH ACADEMY HIGHLANDS FILING NO. 1 RECORDED UNDER RECEPTION NO. 214713425, RECORDS OF EL PASO COUNTY COLORADO.

TOTAL AREA OF LOT 7, LOT 8, TRACT J IS 268,461 SF (6.163 ACRES)

GENERAL NOTES:

1. THE DATE OF PREPARATION IS MAY 10, 2021.
2. FLOODPLAIN STATEMENT: THIS SITE, SOUTH ACADEMY HIGHLANDS FILING NO.4, IS NOT WITHIN A DESIGNATED F.E.M.A. FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08041C0743G, EFFECTIVE DECEMBER 7, 2018.
3. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
4. THERE WILL BE NO DIRECT ACCESS FROM ANY LOT TO ACADEMY BOULEVARD.
5. THIS PLAT DOES NOT CONSTITUTE A TITLE SEARCH TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHT-OF-WAY AND TITLE OF RECORD, CLASSIC CONSULTING ENGINEERS AND SURVEYORS AND THE SURVEYOR OF RECORD RELIED UPON THE TITLE COMMITMENT ORDER NUMBER _____ DATED _____.
6. ADDRESSES WILL BE DETERMINED BY PIKES PEAK REGIONAL BUILDING ENUMERATIONS DEPARTMENT PRIOR TO FINAL PLAT AND CONSTRUCTION DRAWING APPROVAL.
7. BASIS OF BEARINGS: THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BEING MONUMENTED AT THE EASTERLY END BY A 2-1/2 INCH ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKINGS "PLS 28651" AND AT THE WESTERLY END BY CONCRETE POST WITH WASHER STAMPED "LS 3854", IS ASSUMED TO BEAR S89°53'21"W A DISTANCE OF 2632.07 FEET.
8. THE APPROVAL OF THIS REPLAT VACATES ALL PRIOR PLATS FOR THE AREA DESCRIBED BY THIS REPLAT.
9. ALL EASEMENTS SHOWN OR DEDICATED HEREON FOR PUBLIC UTILITY PURPOSES SHALL BE SUBJECT TO THOSE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT RECORDED AT RECEPTION NO. 212112548 OF THE RECORDS OF EL PASO COUNTY, COLORADO. ALL OTHER EASEMENTS OR INTERESTS OF RECORD AFFECTING ANY OF THE PLATTED PROPERTY DEPICTED HEREON SHALL NOT BE AFFECTED AND SHALL REMAIN IN FULL FORCE AND EFFECT.
10. ALL SIDE LOT LINES WILL BE PLATTED WITH A 5-FOOT WIDE NON-EXCLUSIVE PRIVATE DRAINAGE EASEMENT AND ALL REAR LOT LINES ARE HEREBY PLATTED WITH AN 8-FOOT WIDE NON-EXCLUSIVE PRIVATE DRAINAGE EASEMENT. ALL SUCH NON-EXCLUSIVE PRIVATE DRAINAGE EASEMENTS ARE HEREBY GRANTED FOR DRAINAGE PURPOSES FOR THE BENEFIT OF THE LOTS PLATTED HEREIN, AS APPLICABLE. THE SOLE RESPONSIBILITY FOR MAINTENANCE OF THESE EASEMENTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNERS.
11. PUBLIC AND PRIVATE DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED ON THE FINAL PLAT. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
12. WATER SERVICE FOR THIS SUBDIVISION IS PROVIDED BY STRATMOOR HILLS WATER DISTRICT SUBJECT TO THE CITY'S/DISTRICT'S RULES, REGULATIONS, AND SPECIFICATIONS.
13. WASTEWATER SERVICE FOR THIS SUBDIVISION IS PROVIDED BY STRATMOOR HILLS SANITATION DISTRICT SUBJECT TO THE DISTRICT'S RULES, REGULATIONS, AND SPECIFICATIONS.
14. THE PROPOSED INTERNAL ROADWAYS ARE PRIVATE AND WILL BE MAINTAINED BY THE PROPERTY OWNERS.
15. ACCESS EASEMENTS WILL BE DETERMINED WITH SITE DEVELOPMENT PLANS TO EACH LOT AND RECORDED BY SEPARATE INSTRUMENT. AN ACCESS EASEMENT TO THE UNPLATTED PARCEL TO THE NORTH WILL BE PROVIDED OFF WALMART HTS. AND EXACT LOCATION WILL BE DETERMINED PRIOR TO FINAL PLAT RECORDATION.
16. NOTICE AND WARNING: COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT ("ADA") AND OTHER FEDERAL AND STATE ACCESSIBILITY LAWS IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THEREFORE, COMPLIANCE WITH CITY CODES DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. THE CITY OF FOUNTAIN IS NOT RESPONSIBLE FOR ENFORCEMENT OF THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS.



SITE DATA:

TOTAL ACRES	6.163 AC. (2.053 AC. NO-BUILD)
NUMBER OF LOTS	4
LOT 1	1.341 AC. (0.002 AC. NO-BUILD)
LOT 2	1.549 AC. (0.644 AC. NO-BUILD)
LOT 3	1.303 AC. (0.540 AC. NO-BUILD)
LOT 4	1.970 AC. (0.867 AC. NO-BUILD)
USE	COMMERCIAL

NOTICE IS HEREBY GIVEN:

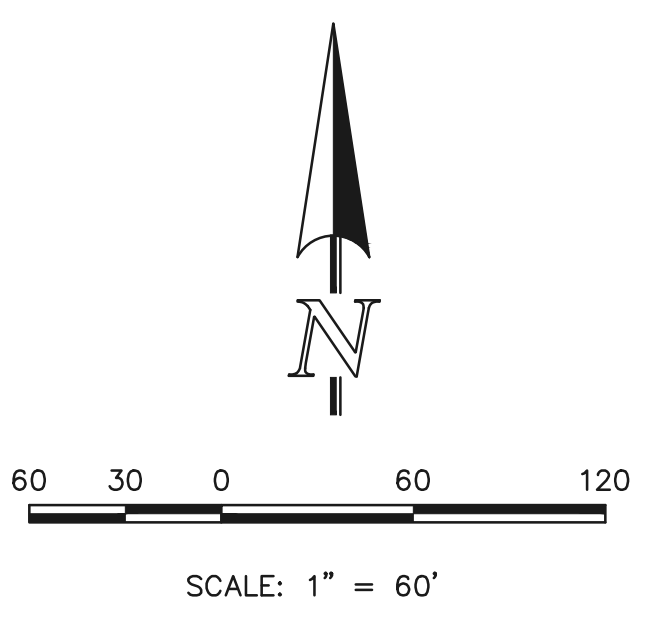
THAT THE AREA INCLUDED IN THE PLAT/REPLAT DESCRIBED HEREIN IS SUBJECT TO THE CODE OF THE CITY OF FOUNTAIN, AS AMENDED. THE CITY SHALL NOT BE OBLIGATED TO ISSUE BUILDING PERMITS FOR BUILDING SITES WITHIN THIS PLAT/REPLAT UNTIL ALL REQUIRED FEES HAVE BEEN PAID AND ALL REQUIRED PUBLIC AND PRIVATE IMPROVEMENTS HAVE BEEN INSTALLED AS SPECIFIED BY THE SUBDIVISION ORDINANCE OF THE CITY OF FOUNTAIN OR ANY APPLICABLE SUBDIVISION IMPROVEMENT AGREEMENT. THE CITY SHALL NOT BE OBLIGATED TO AUTHORIZE THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY FOR ANY HABITABLE STRUCTURE WITHIN THIS PLAT/REPLAT UNTIL ALL REQUIRED PUBLIC IMPROVEMENTS ARE COMPLETED AND FORMALLY ACCEPTED FOR MAINTENANCE AND OWNERSHIP BY THE CITY OF FOUNTAIN.

CITY APPROVAL:

ON BEHALF OF THE CITY OF FOUNTAIN PLANNING COMMISSION, THE UNDERSIGNED HEREBY APPROVES THE PRELIMINARY PLAT OF "SOUTH ACADEMY HIGHLANDS FILING NO. 4" AS APPROVED BY THE PLANNING COMMISSION AT ITS MEETING ON THE _____ DAY OF _____, 2021 IN THE CITY OF FOUNTAIN, EL PASO COUNTY, COLORADO.

BY: _____ DATE: _____
CHAIRPERSON, PLANNING COMMISSION

ATTEST: _____ DATE: _____
CITY CLERK



KEY MAP
SCALE: 1" = 60'

NO.	REVISION	DATE

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719) 785-0790
(719) 785-0799 (Fax)

SOUTH ACADEMY HIGHLANDS
FILING NO. 4
PRELIMINARY PLAT

DESIGNED BY	MAL	SCALE	DATE	06/04/21
DRAWN BY	BB	(H) 1"=VARIES	SHEET	1 OF 4
CHECKED BY	(V) 1"= N/A	JOB NO.	2186.90	

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SOUTH ACADEMY HIGHLANDS FILING NO. 4 - PRELIMINARY PLAT

A PORTION OF SECTION 4, TOWNSHIP 15 SOUTH,
RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN
CITY OF FOUNTAIN, COUNTY OF EL PASO, STATE OF COLORADO

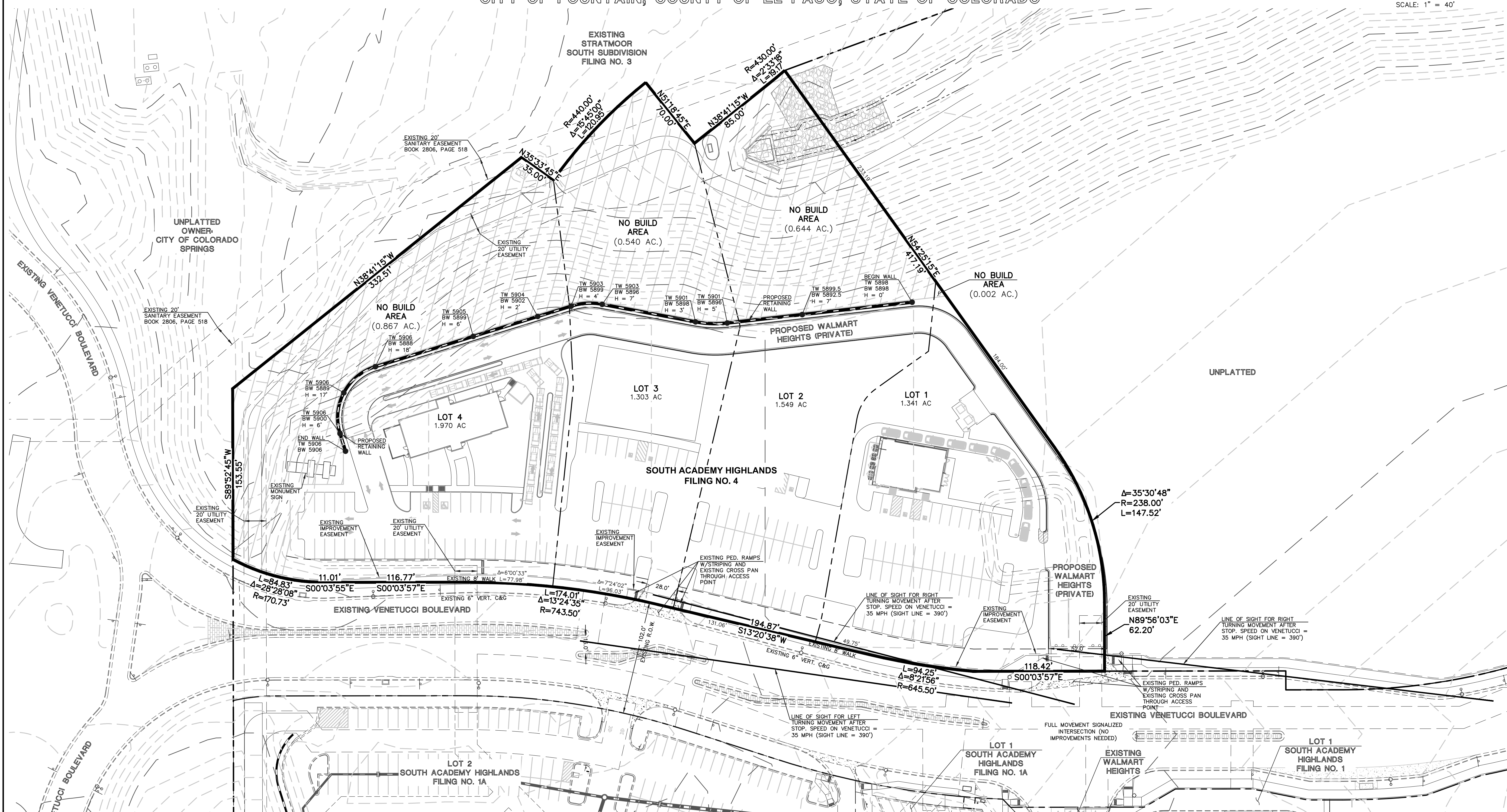
LEGEND

EXISTING GROUND CONTOUR (5910)

SUBDIVISION BOUNDARY

PROPOSED RETAINING WALL

SCALE: 1" = 40'



NO.	REVISION	DATE

CLASSIC CONSULTING

619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719) 785-0790
(719) 785-0799 (Fax)

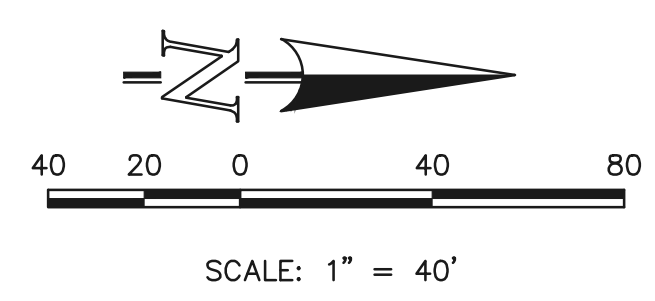
SOUTH ACADEMY HIGHLANDS FILING NO. 4 PRELIMINARY PLAT

DESIGNED BY	MAL	SCALE	DATE	06/04/21
DRAWN BY	BB	(H) 1" = 40'	SHEET	2 OF 4
CHECKED BY	(V) 1" = N/A	JOB NO.	2186.90	

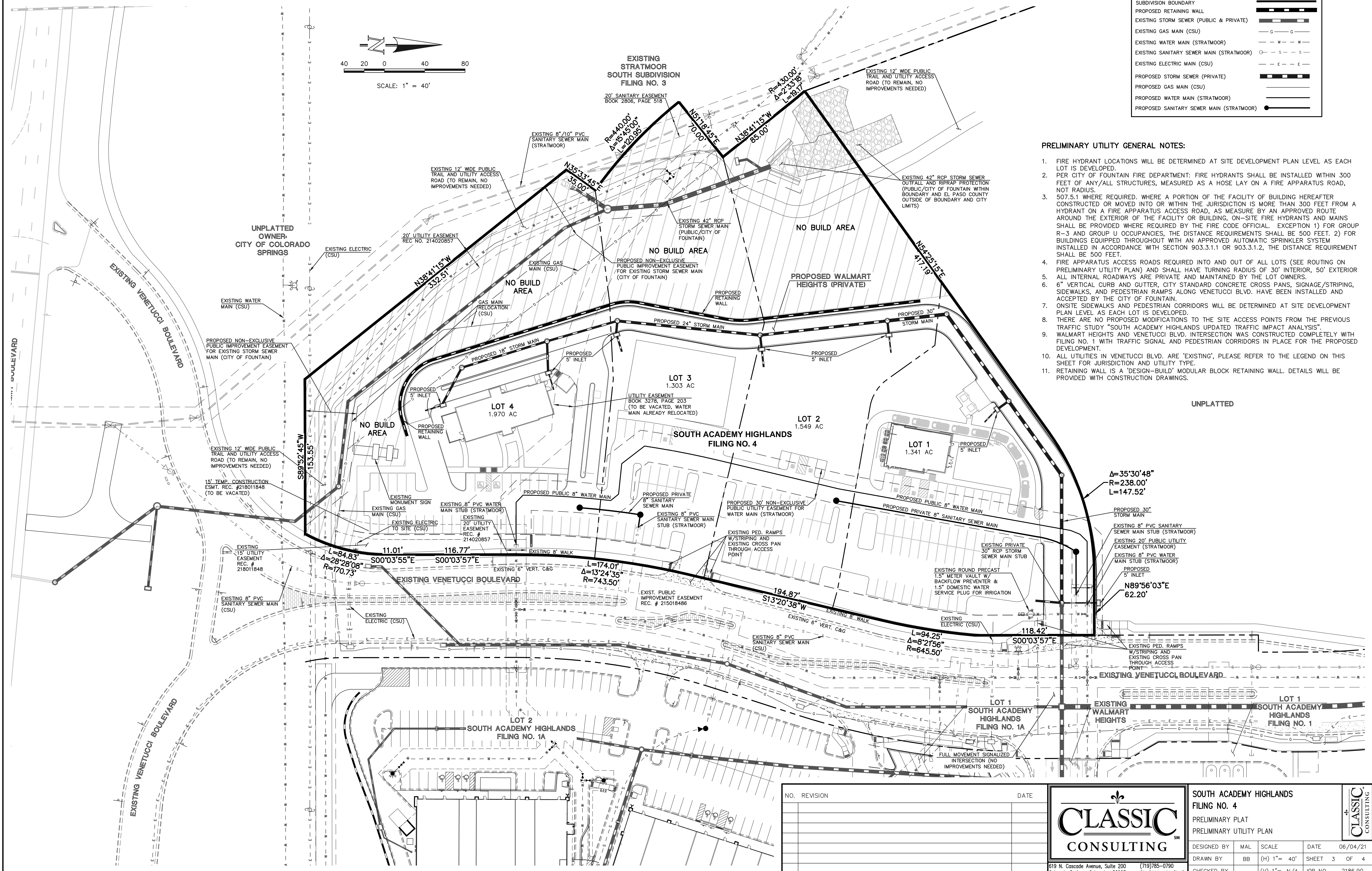
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PRELIMINARY UTILITY PLAN

LEGEND	
SUBDIVISION BOUNDARY	— — — — —
PROPOSED RETAINING WALL	— — — — —
EXISTING STORM SEWER (PUBLIC & PRIVATE)	— — — — —
EXISTING GAS MAIN (CSU)	— G — G —
EXISTING WATER MAIN (STRATMOOR)	— W — W —
EXISTING SANITARY SEWER MAIN (STRATMOOR)	— S — S —
EXISTING ELECTRIC MAIN (CSU)	— E — E —
PROPOSED STORM SEWER (PRIVATE)	— — — — —
PROPOSED GAS MAIN (CSU)	— — — — —
PROPOSED WATER MAIN (STRATMOOR)	— — — — —
PROPOSED SANITARY SEWER MAIN (STRATMOOR)	— — — — —



- PRELIMINARY UTILITY GENERAL NOTES:**
- FIRE HYDRANT LOCATIONS WILL BE DETERMINED AT SITE DEVELOPMENT PLAN LEVEL AS EACH LOT IS DEVELOPED.
 - PER CITY OF FOUNTAIN FIRE DEPARTMENT: FIRE HYDRANTS SHALL BE INSTALLED WITHIN 300 FEET OF ANY/ALL STRUCTURES, MEASURED AS A HOSE LAY ON A FIRE APPARATUS ROAD, NOT RADIUS.
 - 507.5.1 WHERE REQUIRED, WHERE A PORTION OF THE FACILITY OF BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION IS MORE THAN 300 FEET FROM A HYDRANT ON A FIRE APPARATUS ACCESS ROAD, AS MEASURE BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING, ON-SITE FIRE HYDRANTS AND MAINS SHALL BE PROVIDED WHERE REQUIRED BY THE FIRE CODE OFFICIAL. EXCEPTION 1) FOR GROUP R-3 AND GROUP U OCCUPANCIES, THE DISTANCE REQUIREMENTS SHALL BE 500 FEET. 2) FOR BUILDINGS EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE DISTANCE REQUIREMENT SHALL BE 500 FEET.
 - FIRE APPARATUS ACCESS ROADS REQUIRED INTO AND OUT OF ALL LOTS (SEE ROUTING ON PRELIMINARY UTILITY PLAN) AND SHALL HAVE TURNING RADIUS OF 30' INTERIOR, 50' EXTERIOR ALL INTERNAL ROADWAYS ARE PRIVATE AND MAINTAINED BY THE LOT OWNERS.
 - 6" VERTICAL CURB AND GUTTER, CITY STANDARD CONCRETE CROSS PANS, SIGNAGE/STRIPING, SIDEWALKS, AND PEDESTRIAN RAMPS ALONG VENETUCCI BLVD. HAVE BEEN INSTALLED AND ACCEPTED BY THE CITY OF FOUNTAIN.
 - ON-SITE SIDEWALKS AND PEDESTRIAN CORRIDORS WILL BE DETERMINED AT SITE DEVELOPMENT PLAN LEVEL AS EACH LOT IS DEVELOPED.
 - THERE ARE NO PROPOSED MODIFICATIONS TO THE SITE ACCESS POINTS FROM THE PREVIOUS TRAFFIC STUDY "SOUTH ACADEMY HIGHLANDS UPDATED TRAFFIC IMPACT ANALYSIS".
 - WALMART HEIGHTS AND VENETUCCI BLVD. INTERSECTION WAS CONSTRUCTED COMPLETELY WITH FILING NO. 1 WITH TRAFFIC SIGNAL AND PEDESTRIAN CORRIDORS IN PLACE FOR THE PROPOSED DEVELOPMENT.
 - ALL UTILITIES IN VENETUCCI BLVD. ARE 'EXISTING', PLEASE REFER TO THE LEGEND ON THIS SHEET FOR JURISDICTION AND UTILITY TYPE.
 - RETAINING WALL IS A 'DESIGN-BUILD' MODULAR BLOCK RETAINING WALL. DETAILS WILL BE PROVIDED WITH CONSTRUCTION DRAWINGS.



NO.	REVISION	DATE

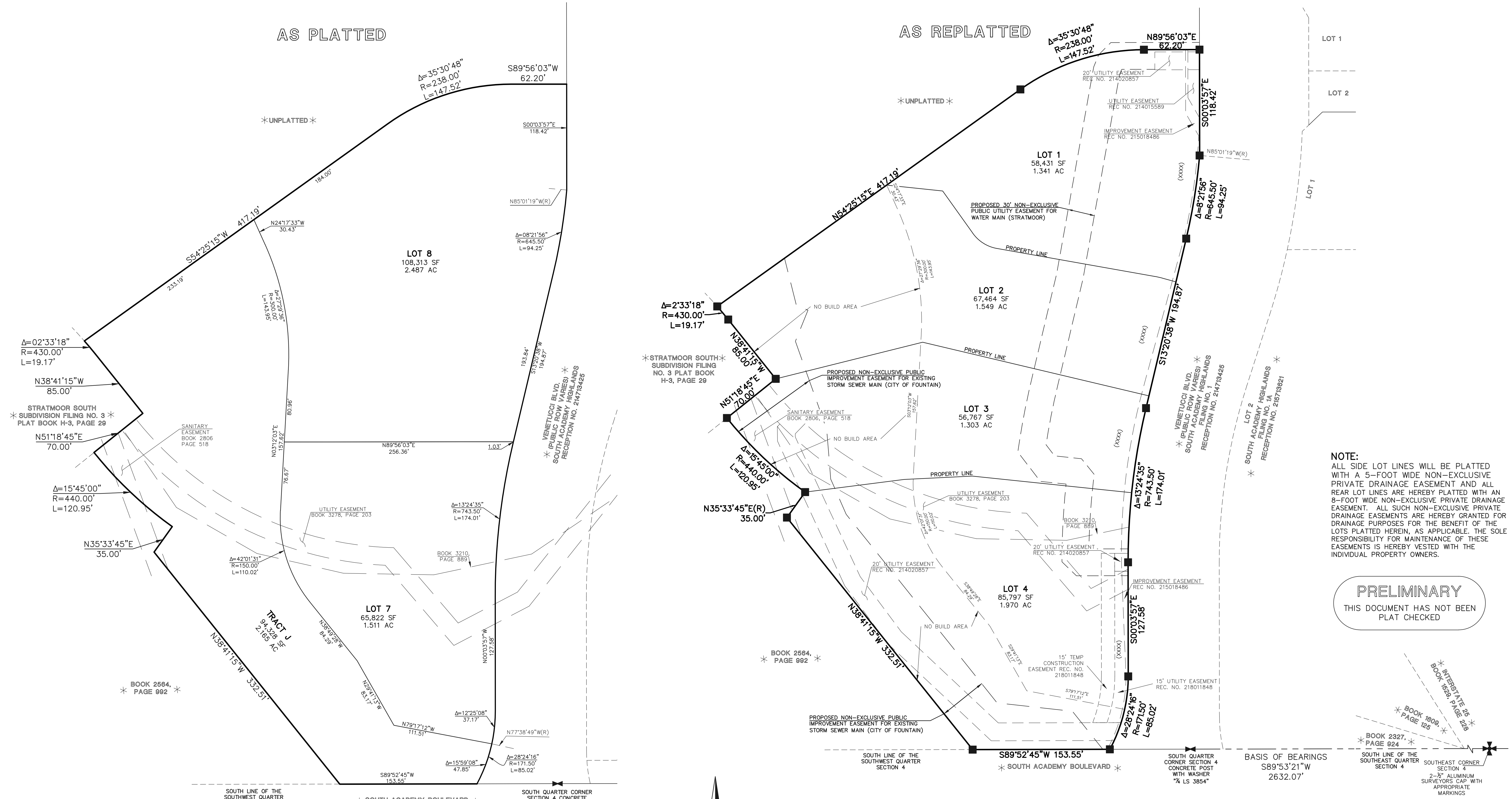


SOUTH ACADEMY HIGHLANDS			
FILING NO. 4			
PRELIMINARY PLAT			
PRELIMINARY UTILITY PLAN			
DESIGNED BY	MAL	SCALE	DATE 06/04/21
DRAWN BY	BB	(H) 1" = 40'	SHEET 3 OF 4
CHECKED BY	(V) 1" = N/A	JOB NO.	2186.90

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 Colorado Springs, Colorado 80903 (719) 785-0799 (Fax)

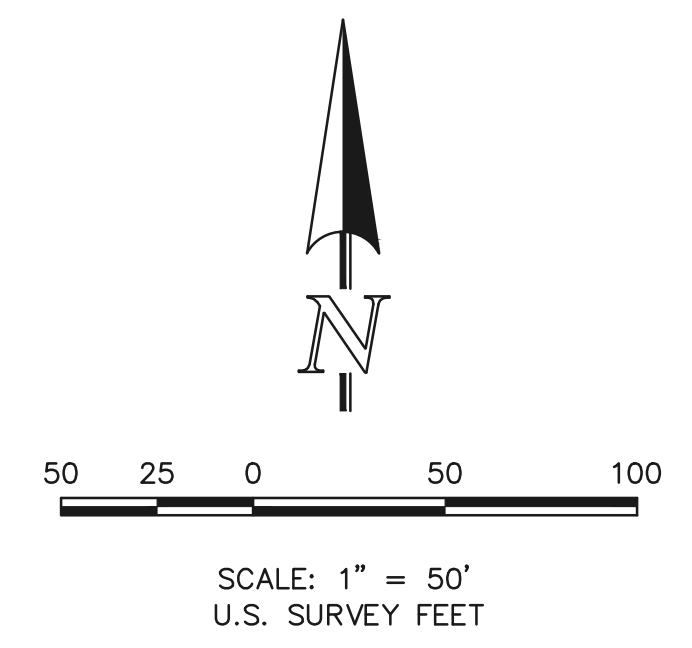
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PRELIMINARY PLAT SOUTH ACADEMY HIGHLANDS FILING NO. 4



NOTE:
ALL SIDE LOT LINES WILL BE PLATTED WITH A 5-FOOT WIDE NON-EXCLUSIVE PRIVATE DRAINAGE EASEMENT AND ALL REAR LOT LINES ARE HEREBY PLATTED WITH AN 8-FOOT WIDE NON-EXCLUSIVE PRIVATE DRAINAGE EASEMENT. ALL SUCH NON-EXCLUSIVE PRIVATE DRAINAGE EASEMENTS ARE HEREBY GRANTED FOR DRAINAGE PURPOSES FOR THE BENEFIT OF THE LOTS PLATTED HEREIN, AS APPLICABLE. THE SOLE RESPONSIBILITY FOR MAINTENANCE OF THESE EASEMENTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNERS.

PRELIMINARY
THIS DOCUMENT HAS NOT BEEN
PLAT CHECKED



- LEGEND**
- AC ACRES
 - SF SQUARE FEET
 - (R) RADIAL BEARING
 - * NOT PART OF THIS PLAT
 - (XXXX) STREET ADDRESS
 - NO. 5 REBAR WITH 1-1/2" ALUMINUM SURVEYORS CAP STAMPED "CCES LLC PLS 30118" RECOVERED FLUSH WITH THE GROUND.
 - NO. 5 REBAR WITH 1-1/2" ALUMINUM SURVEYORS CAP STAMPED "CCES LLC PLS 30118" TO BE SET FLUSH WITH THE GROUND.

SOUTH ACADEMY HIGHLANDS
FILING NO. 4
JOB NO. 2186.90
JULY 9, 2021
SHEET 4 OF 4



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