

# PANDA EXPRESS RESTAURANT SITE DEVELOPMENT PLAN

LOT 4 SOUTH ACADEMY HIGHLANDS FIL. NO. 4  
LOCATED IN THE SOUTH HALF OF SECTION 4,  
TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
CITY OF FOUNTIAN, COUNTY OF EL PASO, STATE OF COLORADO

## PROJECT CONTACTS

**OWNER**  
PANDA RESTAURANT GROUP, INC.  
1683 WALNUT GROVE AVE.  
ROSEMEAD, CA 91770

**DEVELOPER**  
PANDA RESTAURANT GROUP, INC.  
1683 WALNUT GROVE AVE.  
ROSEMEAD, CA 91770

**CIVIL ENGINEER**  
GALLOWAY & COMPANY, INC.  
8162 S. WILLOW DR., STE. 320  
GREENWOOD VILLAGE, CO 80111  
TEL: (303) 770-8884  
CONTACT: JOE PARK, P.E.

**ARCHITECT**  
HEIGHTS VENTURE, INC.  
1111 N. LOOP WEST, SUITE 800  
HOUSTON, TX 77008  
TEL: (972) 490-7292  
CONTACT: ERIC ABELN

**SURVEYOR**  
GALLOWAY & COMPANY, INC.  
1155 KELLY JOHNSON BOULEVARD, SUITE 305  
COLORADO SPRINGS, CO 80920  
TEL: (719) 900-7220  
CONTACT: BRIAN DENNIS

**PHOTOMETRIC CONSULTANT**  
VILLA LIGHTING  
2929 CHOUTEAU AVE.  
ST. LOUIS, MO 63103  
TEL: (314) 633-0423

**LANDSCAPE ARCHITECT**  
EVERGREEN DESIGN GROUP  
15305 DALLAS PKWY., SUITE 300  
ADDISON, TX 75001  
TEL: (800) 680-8630

**GEOTECHNICAL ENGINEER**  
TERRACON CONSULTANTS INC.  
10625 W. I-70 FRONTAGE RD N, SUITE 3  
WHEAT RIDGE, CO 80033  
TEL: (303) 423-3300

**ENGINEERING/STORM SEWER**  
CITY OF FOUNTAIN - ENGINEERING SERVICES  
116 SOUTH MAIN STREET  
FOUNTAIN, CO 80817  
TEL: (719) 393-4630  
CONTACT: CARL SPENZLER

**PLANNING/SIGNAGE**  
CITY OF FOUNTAIN - PLANNING & ZONING DEPARTMENT  
116 SOUTH MAIN STREET  
FOUNTAIN, CO 80817  
TEL: (719) 322-2017  
CONTACT: JORDAN OIT

**BUILDING DEPARTMENT**  
PIKES PEAK REGIONAL BUILDING DEPARTMENT  
2880 INTERNATIONAL CIRCLE  
COLORADO SPRINGS, CO 80910  
TEL: (719) 327-2927  
CONTACT: JANE CASSIDY

**NATURAL GAS PROVIDER**  
COLORADO SPRINGS UTILITIES  
111 S. CASCADE AVE.  
COLORADO SPRINGS, CO 80903  
TEL: (719) 448-4808

**WATER DEPARTMENT**  
STRAITMOOR HILLS WATER  
1811 B ST.  
COLORADO SPRINGS, CO 80906  
TEL: (719) 576-0311

**ELECTRIC PROVIDER**  
COLORADO SPRINGS UTILITIES  
111 S. CASCADE AVE.  
COLORADO SPRINGS, CO 80903  
TEL: (719) 448-4808

**SANITARY SEWER**  
STRAITMOOR HILLS WATER  
1811 B ST.  
COLORADO SPRINGS, CO 80906  
TEL: (719) 576-0311

**FIRE DEPARTMENT**  
CITY OF FOUNTAIN - FIRE DEPARTMENT  
811 NORTH SANTA FE AVENUE  
FOUNTAIN, CO 80817  
TEL: (719) 382-7800



VICINITY MAP  
SCALE: 1" = 1000'

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## SITE DATA TABLE

ITEM	AREA (SQ. FT.)	% OF GROSS SITE
GROSS SITE AREA (PER PLAT)	58,431	100
BUILDING FOOTPRINT	2,589	4.4
PARKING AND PAVED DRIVES	41,348	70.8
SIDEWALK	1,652	2.8
LANDSCAPE AREA	12,842	22.0
PARKING DATA	REQUIRED SPACES	PROVIDED SPACES
STANDARD SPACES	26	61
HANDICAP SPACES	2	3
TOTAL SPACES	28	64
PARKING RATIO	1 SPACE / 100 SF	1.6 SPACES / 3 SEATS
BICYCLE PARKING	3 (5% OF TOTAL PARKING - 64 SPACES)	3

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM COUNTY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

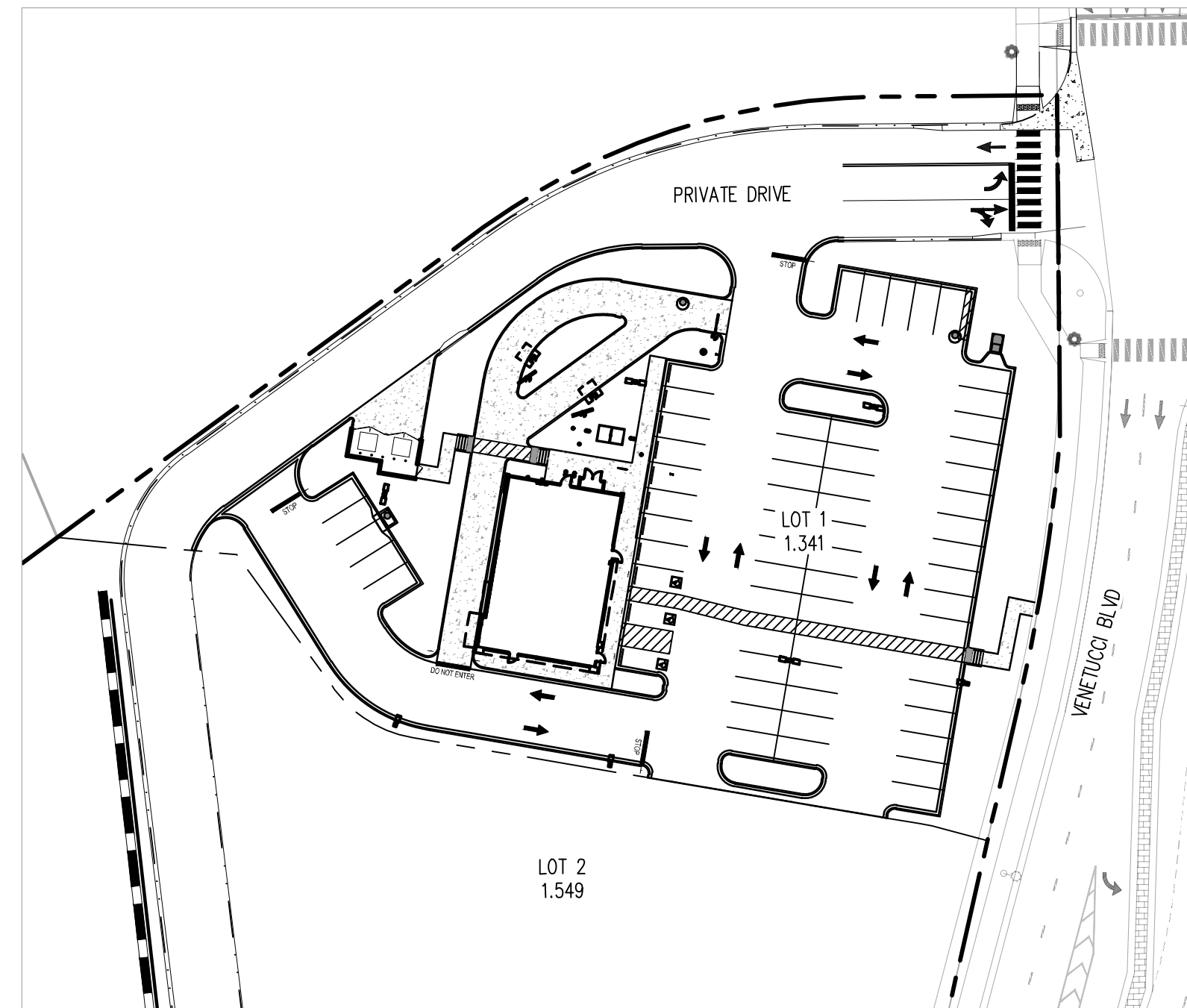
## CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below.  
Call before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



SITE MAP  
SCALE: 1" = 50'

## LEGAL DESCRIPTION

LOT 1, SOUTH ACADEMY HIGHLANDS FILING NO. 4, RECORDED UNDER RECEPTION NO. \_\_\_\_\_, RECORDS OF EL PASO COUNTY, COLORADO.

## BASIS OF BEARING

THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BEING MONUMENTED AT THE EASTERLY END BY A 2-1/2 INCH ALUMINUM SURVEYOR'S CAP WITH APPROPRIATE MARKINGS "1.5 28551" AND AT THE WESTERLY END BY CONCRETE POST WITH MASTER STAMPED "1.5 3854", IS ASSUMED TO BEAR S89°53'21" W A DISTANCE OF 2632.07 FEET.

## BENCHMARK

N6S BENCHMARK X404, BEING A FLANGE ENCASED ROD IN LOGO CAP, LOCATED IN FORT CARSON, AT THE JUNCTION OF BARKLEY AND BARBER AVENUES, ON TOP OF AND NEAR THE CENTER OF THE NORTH EDGE OF A HAZEL, REPORTED BY N6S AS HAVING A NAVD88 ELEVATION OF 5907.92 FEET.

## FLOODPLAIN STATEMENT

PER THE FEMA FLOOD INSURANCE RATE MAPS (FIRM), MAP NO. 08041C0743Q, HAVING AN EFFECTIVE DATE OF DECEMBER 7, 2016, INDICATES THE SUBJECT PROPERTY TO BE DESIGNATED AS ZONE X (AREAS OF MINIMAL FLOODING).

## STANDARD GUIDELINES/CONSTRUCTION SPECIFICATIONS NOTES

- ALL WORK WITHIN PUBLIC R.O.W. SHALL BE PER CITY OF FOUNTAIN CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- ALL WORK FOR WATER SERVICE, FIRE SERVICE, AND FIRE HYDRANT ASSEMBLIES SHALL BE PER STRAITMOOR WATER AND SANITATION DISTRICT STANDARD SPECIFICATIONS.
- ALL WASTEWATER WORK SHALL BE PER CITY OF FOUNTAIN CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- SEE SOIL PREPARATION NOTE FOR SOIL RECOMMENDATIONS.
- REFERENCE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION, FOR ADDITIONAL INFORMATION.



PANDA EXPRESS, INC.  
1683 Walnut Grove Ave.  
Rosemead, California  
91770  
Telephone: 626.799.9898  
Facsimile: 626.372.8288

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## REVISIONS:

NO.	DESCRIPTION	DATE

## ISSUE DATE:

1 1ST SDP SUBMITTAL 03-03-22

DRAWN BY: DDJ CHECKED BY: JDP

PANDA PROJECT #: S8-22-D8204

PANDA STORE #: D8204

ARCH PROJECT #: 21013

**Galloway**

6162 S. Willow Drive, Suite 320  
Greenwood Village, CO 80111  
303.770.8884  
GallowayUS.com



**Heights Venture**  
ARCHITECTURE + DESIGN

HOUSTON 1111 North Loop West, Suite 800 713.869.1103.v  
DALLAS 5741 Legacy Drive, Suite 320 Plano, Texas 75024 972.490.7292.v

PANDA EXPRESS

HEIGHTS VENTURE  
4446 VENETUCCI BLVD.  
FOUNTAIN, CO 80906

COVER SHEET

1

TRUE WARM & WELCOME 2300 R5



SITE PLAN REVIEW



**STANDARD GEC PLAN NOTES:**

- NO CLEARING, GRADING, EXCAVATION, OR OTHER LAND DISTURBING ACTIVITIES SHALL BE ALLOWED (EXCEPT FOR WORK DIRECTLY RELATED TO THE INSTALLATION OF INITIAL CONTROL MEASURES) UNTIL A CITY GEC PERMIT HAS BEEN ISSUED.
- ALL LAND DISTURBING ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH AND THE APPROVED GEC PLAN AND CSWMP.
- INITIAL CONTROL MEASURES SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY LAND DISTURBANCE ACTIVITIES TAKING PLACE. AN INITIAL SITE INSPECTION WILL NOT BE SCHEDULED UNTIL A CITY GEC PERMIT HAS BEEN "CONDITIONALLY APPROVED" CALL CITY STORMWATER INSPECTIONS, 365-5980, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO SCHEDULE AN INITIAL INSPECTION AND OBTAIN FULL PERMIT APPROVAL.
- INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS) AND THE "CLEAN WATER ACT" (33 USC 1344), INCLUDING REGULATIONS PROMULGATED AND CERTIFICATIONS OR PERMITS ISSUED, IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE CITY'S MS4 PERMIT, STORMWATER CONSTRUCTION MANUAL. IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS.
- ALL CONSTRUCTION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION MEASURES ARE IMPLEMENTED. TEMPORARY CONSTRUCTION CONTROL MEASURES MUST BE REMOVED PRIOR TO PERMIT CLOSEOUT.
- CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS OR ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONSTRUCTION CONTROL MEASURES MAY BE REQUIRED BY THE GEC INSPECTOR IF DEEMED NECESSARY BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES (E.G., ESTIMATED TIME OF EXPOSURE, SEASON OF THE YEAR, ETC.).
- ALL WASTES COMPOSED OF BUILDING MATERIALS MUST BE REMOVED FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- THE PERMITTEE SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AS A RESULT OF CONSTRUCTION ACTIVITIES.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS. MATERIALS SHALL NOT BE STORED IN A LOCATION WHERE THEY MAY BE CARRIED BY STORMWATER RUNOFF INTO THE STORM SEWER SYSTEM AT ANY TIME.
- SPILL PREVENTION AND CONTAINMENT MEASURES SHALL BE USED AT ALL STORAGE, EQUIPMENT FUELING, AND EQUIPMENT SERVICING AREAS SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING THE MS4, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITY. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE SECONDARY CONTAINMENT OR EQUIVALENT ADEQUATE PROTECTION. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY, OR CONTAINED UNTIL APPROPRIATE CLEANUP METHODS CAN BE EMPLOYED. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE FOLLOWED, ALONG WITH PROPER DISPOSAL METHODS.
- SEDIMENT (MUD AND DIRT) TRANSPORTED ONTO A PUBLIC ROAD, REGARDLESS OF THE SIZE OF THE SITE, SHALL BE CLEANED AS SOON AS POSSIBLE AFTER DISCOVERY.
- NO CHEMICALS ARE TO BE ADDED TO THE DISCHARGE UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED BY THE STATE. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN FOURTEEN (14) CALENDAR DAYS AFTER FINAL GRADING OR FINAL LAND DISTURBANCE HAS BEEN COMPLETED. DISTURBED AREAS WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN FOURTEEN (14) DAYS SHALL BE ROUGHENED, MULCHED, TACKIFIED, OR STABILIZED WITH TARPS WITHIN FOURTEEN (14) DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN SIXTY (60) DAYS SHALL ALSO BE SEEDED, UNLESS AN ALTERNATIVE STABILIZATION MEASURE IS ACCEPTED AT THE INSPECTOR'S DISCRETION. ALL TEMPORARY CONSTRUCTION CONTROL MEASURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION IS ACHIEVED.
- THE GEC PLAN WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE STORMWATER ENTERPRISE SHOULD ANY OF THE FOLLOWING OCCUR: GRADING DOES NOT COMMENCE WITHIN TWELVE (12) MONTHS OF THE CITY'S ACCEPTANCE OF THE PLAN, THE CONSTRUCTION SITE IS IDLE FOR TWELVE (12) CONSECUTIVE MONTHS, A CHANGE IN PROPERTY OWNERSHIP OCCURS, THE PLANNED DEVELOPMENT CHANGES, OR ANY OTHER MAJOR MODIFICATIONS ARE PROPOSED AS DEFINED IN THE STORMWATER CONSTRUCTION MANUAL.
- IT IS NOT PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH ON ANY UTILITY EASEMENT OR UTILITY RIGHT OF-WAY WITHOUT WRITTEN APPROVAL FROM THE UTILITY OWNER. CITY ACCEPTANCE OF THE GEC PLAN AND CSWMP DOES NOT SATISFY THIS REQUIREMENT. THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO EXISTING UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE APPROVED BY THE AFFECTED UTILITY OWNER PRIOR TO IMPLEMENTING THE PLAN. THE COST TO RELOCATE OR PROTECT EXISTING UTILITIES OR TO PROVIDE INTERIM ACCESS SHALL BE AT THE APPLICANT'S EXPENSE.
- APPLICANT REPRESENTS AND WARRANTS THAT THEY HAVE THE LEGAL AUTHORITY TO GRADE AND/OR CONSTRUCT IMPROVEMENTS ON ADJACENT PROPERTY. THE CITY HAS NOT REVIEWED THE DEVELOPER'S AUTHORITY TO MODIFY ADJACENT PROPERTY. AN APPROVED GEC PERMIT DOES NOT PROVIDE APPROVAL FOR THE APPLICANT TO PERFORM WORK ON ADJACENT PROPERTY.

**LIST OF ABBREVIATIONS**

- SHT - SHEET
- Δ - DEFLECTION ANGLE
- L - LENGTH
- R - RADIUS
- CB - CHORD BEARING
- C - CHORD LENGTH
- N - NORTH/NORTHING
- W - WEST
- E - EAST/EASTING
- S - SOUTH
- DET - DETAIL
- EX - EXISTING
- W/ - WITH
- PC - POINT OF CURVATURE/PORTLAND CEMENT
- WWF - WELDED WIRE FABRIC
- VERT - VERTICAL
- OC - ON CENTER
- FDG - FIRE DEPARTMENT CONNECTION
- CT - COURT
- DR - DRIVE
- TYP - TYPICAL
- REC - RECEPTION NUMBER
- Ø, DIA - DIAMETER
- PT - POINT OF TANGENCY
- MIN - MINIMUM
- MAX - MAXIMUM
- HDPE - HIGH DENSITY POLYETHYLENE
- STA - STATION
- TBC - TOP BACK OF CURB
- INV - INVERT

**GENERAL CONSTRUCTION NOTES:**

- REQUIREMENTS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL GOVERN. DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING, CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNERS REP. PRIOR TO BID.
- NO WORK IS TO BEGIN UNTIL ALL PERMITS HAVE BEEN OBTAINED.
- CONTRACTOR TO PROVIDE ALL EQUIPMENT AND PERSONNEL REQUIRED FOR FINAL CHECKOUT OF ALL FACILITIES BY OWNER'S REPRESENTATIVE.
- ENTIRE INSTALLATION SHALL MEET ALL APPLICABLE CODES.
- VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.
- FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY COMPANY REPRESENTATIVE. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT COMPANY APPROVAL.
- ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY ENGINEER COMPLIANT TO THE RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT AND SHALL MEET FOUNTAIN ENGINEERING REQUIREMENTS FOR ALL NON-STRUCTURAL FILL.
- SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATING CORNERS BY A REGISTERED SURVEYOR.
- THIS DESIGN IS BASED ON THE GEOTECHNICAL REPORT NO. XXXXXX DATED XXXXXX XX, 202X, BY XXXXXXXXXXXX. A COPY OF THIS REPORT SHOULD BE ON-SITE AT ALL TIMES.
- GENERAL CONTRACTOR SHALL RECEIVE, UNLOAD, STORE AND UNCRATE ALL EQUIPMENT FURNISHED BY THE OWNER AND SHIPPED TO THE SITE. SEE SPECIFICATIONS FOR EQUIPMENT FURNISHED BY OWNER.
- GENERAL CONTRACTOR TO REFER TO STANDARD DETAILS INCLUDED IN THE SPECIFICATIONS FOR INSTALLING EQUIPMENT, INCLUDING PRODUCT DISPENSERS AND REMOTE READ-OUT EQUIPMENT.
- LANDSCAPING AND IRRIGATION SYSTEM BY GENERAL CONTRACTOR.
- GENERAL CONTRACTOR TO PERFORM GENERAL YARD AND BUILDING CLEAN-UP AT COMPLETION OF WORK.
- SEE THE SITE SURVEY FOR SURVEY INFORMATION & LEGAL DESCRIPTION.
- ALL TOP OF CURB GRADES ARE 6" HIGHER THAN FINISH GRADES SHOWN ON DRIVE UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION. REFER TO EROSION CONTROL PLANS AND DETAILS FOR ADDITIONAL INFORMATION.
- ALL LANDSCAPING AREAS SHALL BE GRADED TO WITHIN 0.10' WITH COMPANY APPROVED TOP SOIL TO A MINIMUM 6" DEPTH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE COUNTY, ITS AGENTS, OWNER OR GALLOWAY AT ALL TIMES. DIMENSIONS SHALL BE ANNOTATED ON AS-BUILT RECORD DRAWINGS. AS-BUILT DRAWINGS ARE REQUIRED PRIOR TO ISSUANCE OF FINAL PAYMENT. AS BUILT DRAWINGS WILL BE SUPPLIED TO THE OWNER AND COUNTY PRIOR TO CERTIFICATE OF OCCUPANCY.
- GRADING/UTILITY CONTRACTOR TO COMPLETE GRADING BELOW FINISHED GRADE IN ACCORDANCE WITH PAVING RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED FOR THIS SITE, SHOWN TO TOLERANCE OF ± 0.1' IN ALL PAVING AREAS.
- ALL FILL IN OLD TANK AREAS, OLD BASEMENTS, CESSPOOLS, OTHER EXCAVATIONS AND INSIDE BUILDING TO BE APPROVED BY GEOTECHNICAL ENGINEER.
- GENERAL CONTRACTOR TO PROVIDE BARRICADE PROTECTION WITH FLASHING LIGHTS AROUND ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK.
- CONTRACTOR RESPONSIBLE FOR ALL WORK NECESSARY FOR FINAL ACCEPTANCE OF WORK FROM COUNTY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY, INCLUDING BUT NOT LIMITED TO AS-BUILT DRAWINGS, INSPECTIONS, TESTING REPORTS AND CERTIFICATIONS.
- SURVEYOR TO OBTAIN AutoCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

**DEMOLITION NOTES:**

- ALL DEMOLITION TO BE IN ACCORDANCE WITH STATE, LOCAL, AND FEDERAL REQUIREMENTS.
- CONTRACTOR TO VERIFY ALL UTILITY SERVICE LOCATIONS AND EXISTING SITE CONDITIONS PRIOR TO PROCEEDING. ANY SITE CONDITIONS THAT ARE NOT AS SHOWN MUST BE REPORTED TO THE COMPANY REPRESENTATIVE PRIOR TO BID.
- CONTRACTOR TO REMOVE OR RELOCATE EXISTING UTILITIES PER UTILITY COMPANY REQUIREMENTS.
- CONTRACTOR TO ERECT BARRIERS, FENCES, GUARDRAILS, ENCLOSURES, ETC. TO PROTECT SITE. THE PROTECTION PLAN MUST BE REVIEWED BY THE COMPANY REPRESENTATIVE PRIOR TO PROCEEDING.
- COMPANY REPRESENTATIVE WILL DETERMINE WHEN CONDITIONS ARE SUITABLE TO COMMENCE WORK. CONTRACTOR TO VERIFY AREAS TO BE DEMOLISHED ARE UNOCCUPIED AND NOT IN USE.
- REMOVE ALL STRUCTURES ALONG WITH ALL ELECTRICAL, MECHANICAL AND OTHER APPURTENANCES.
- ABANDON BOTTOM SLABS IN PLACE EXCEPT IN THE FOLLOWING INSTANCES:  
A. IF ANY POINT OF THE SLAB IS LESS THAN 4' BELOW FINISH GRADE.  
B. IF THE SLAB INTERFERES WITH CONSTRUCTION OF OTHER FACILITIES.
- DISPOSE OF AND TRANSPORT DEBRIS TO AREA OBTAINED BY CONTRACTOR. DO NOT STORE OR BURN MATERIALS ON SITE.
- REMOVE ALL ASPHALT, TREES, POSTS AND OTHER IMPROVEMENTS UNLESS THE ITEM IS SPECIFIED TO REMAIN.
- FILL AND COMPACT BASEMENTS, CESSPOOLS, AND OTHER LARGE EXCAVATED AREAS WITH CLEAN FILL SUITABLE TO THE COMPANY REPRESENTATIVE AND IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. GRADE TO MATCH EXISTING OR PROPOSED FINISH GRADE.
- SEE PROJECT SPECIFICATIONS FOR EXISTING ITEMS TO BE SALVAGED AND OTHER REQUIREMENTS PERTAINING TO THE SALVAGE THEREOF.
- REMOVE ALL EXISTING FOUNDATION WALLS AND FOOTINGS COMPLETELY UNLESS OTHERWISE NOTED OR SPECIFIED.
- ALL UNDERGROUND STORM SEWER, WATER, AND SANITARY SEWER MAIN LOCATIONS ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY.
- ALL UNDERGROUND GAS AND ELECTRIC UTILITY INFORMATION SHOWN IS BASED ON MAPS PROVIDED BY UTILITY COMPANY AND ARE TO BE CONSIDERED AS AN APPROXIMATE LOCATION ONLY BASED ON SAID MAPS.
- CONTRACTOR TO OBTAIN ALL PERMITS AND LICENSES REQUIRED FOR DEMOLITION OF WORK SHOWN.

**STORM SEWER CONSTRUCTION NOTES:**

- ALL STORM DRAINAGE CONSTRUCTION IS SUBJECT TO THE GENERAL NOTES ON THE COVER SHEET OF THESE PLANS, AS WELL AS THE STORM DRAINAGE CONSTRUCTION NOTES LISTED HERE.
- ALL STORM DRAINAGE PIPE SHALL BE PER LOCAL JURISDICTION SPECIFICATIONS, AND IF NOT AVAILABLE: REINFORCED CONCRETE PIPE (RCP) PER ASTM C76, CL III OR CL IV, AND JOINTING SHALL CONFORM TO ASTM C443. PVC (SDR-35), SHALL BE IN ACCORDANCE WITH ASTM D-3034; ANY STORM DRAINAGE PIPE UNDER A PROPOSED OR FUTURE TRAFFIC AREA SHALL BE RCP CL III AS A MINIMUM. RCP TO BE JACKED SHALL BE CL-V AS A MINIMUM.
- ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 24", UNLESS OTHERWISE NOTED. UNDER NO CIRCUMSTANCES WILL ANY PIPE HAVE LESS THAN 18" COVER FROM THE FINISH SURFACE TO THE OUTSIDE WALL OF THE PIPE.
- ALL STORM DRAINAGE PIPE SHALL BE BEDDED IN ACCORDANCE WITH STANDARD DETAILS INCLUDED AFTER THE STORM SEWER PLAN AND PROFILES OF THE PLAN SET. STORM SEWER PIPE SHALL BE BEDDING CLASS "B" UNLESS THE GEOTECHNICAL ENGINEER OR COUNTY ENGINEER DEEM NECESSARY A CHANGE IN BEDDING CLASS DUE TO SOIL CONDITION.
- ALL STORM DRAINAGE TRENCHES SHALL BE SLOPED OR BRACED AND SHEETED AS NECESSARY, FOR THE SAFETY OF THE WORKERS AND THE PROTECTION OF OTHER UTILITIES, AND IN COMPLIANCE WITH ALL APPLICABLE STATE AND FEDERAL REQUIREMENTS. ALL EXCAVATION OPERATION SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL MANHOLE RIM ELEVATIONS GIVEN ON THESE PLANS ARE TO BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL SET THE FINAL RIM ELEVATION BASED ON THE COMPLETED FINISH SURFACE.
- ALL STORM DRAINAGE PIPES SHALL HAVE A MINIMUM HORIZONTAL SEPARATION OF 10' FROM ALL WATER LINES. WHERE LINES CROSS, THERE SHALL BE A MINIMUM OF 18" CLEAR VERTICAL SEPARATION. ANY STORM SEWER LINE ABOVE A WATER LINE SHALL HAVE JOINTS ENCASED IN CONCRETE PER DETAIL ON THIS SHEET IF WITHIN 18" VERTICAL SEPARATION. IF STORM SEWER IS ABOVE WATER LINE AND VERTICAL SEPARATION IS LESS THAN 1.5' THE STORM SEWER SHALL BE FULLY ENCASED IN CONCRETE PER THE APPROPRIATE ENCASEMENT DETAIL.
- LENGTHS OF STORM SEWER PIPES ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. THEREFORE, LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE WIDTHS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ROOF AND CANOPY DOWNSPOUTS.
- ASPHALT / ROAD BASE , ETC. (FOR PAVEMENT CONSTRUCTION) TO BE INSTALLED ABOVE STORM PIPE BACKFILL SHALL BE ACCORDING TO GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.

**GENERAL SANITARY SEWER NOTES:**

- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE STANDARD WATER AND SEWER SPECIFICATIONS FOR COUNTY AND REGULATORY AGENCY UTILITY SPECIFICATIONS, CURRENT EDITION.
- THE CONTRACTOR SHALL NOTIFY THE COUNTY AND REGULATORY AGENCY 48 WORKING HOURS PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE ONE SIGNED COPY OF THE APPROVED PLANS, ONE COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED AT THE JOB SITE AT ALL TIMES.
- THE CONTRACTOR SHALL VERIFY THE INVERT OF THE DOWNSTREAM TIE IN POINT PRIOR TO BEGINNING ANY CONSTRUCTION. REPORT ANY DISCREPANCY TO THE ENGINEER.
- ALL SANITARY SEWER LINES AT 4.5 FOOT DEPTH OR GREATER SHALL BE POLYVINYL CHLORIDE PIPE (PVC), ASTM D-3034 SDR35. SEWER LINE MATERIALS AND CONSTRUCTION SHALL CONFORM TO ASTM STANDARDS AND SPECIFICATIONS.
- DISTANCES FOR SANITARY SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF MANHOLE OR CLEANOUT TO CENTER OF SAME.
- ALL SANITARY SEWER MAIN TESTING SHALL BE IN ACCORDANCE WITH THE COUNTY AND REGULATORY AGENCY UTILITY SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE RESTORATION (I.E., LANDSCAPE, ASPHALT, CONCRETE, ETC.)
- ALL TRENCH EXCAVATION SHALL BE PROPERLY SLOPED OR SUPPORTED IN A MANOR REQUIRED BY OSHA OR AS REQUIRED BY STATE OR LOCAL LAWS.
- SANITARY SEWER PIPE SHALL BE BEDDED AND BACKFILLED PER COUNTY / DISTRICT STANDARDS.
- NO CONNECTIONS TO THE EXISTING SYSTEM SHALL BE MADE UNTIL THE NEW LINES HAVE BEEN TESTED AND ACCEPTED BY THE COUNTY AND REGULATORY AGENCY.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY TEMPLATES FROM EQUIPMENT SUPPLIERS AND STUB LINES ACCORDINGLY.
- CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, WHETHER SHOWN OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY CONFLICTS TO THE ENGINEER.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL TAP FEES REQUIRED. OWNER SHALL PAY FOR ALL SPECIAL ASSESSMENTS.
- ALL DIMENSIONS ARE MEASURED HORIZONTALLY FROM CENTER OF MANHOLE OR INLETS.

**GENERAL WATER CONSTRUCTION NOTES:**

- ALL WATER LINE CONSTRUCTION IS SUBJECT TO THE WATER LINE CONSTRUCTION NOTES LISTED HERE. IF A CONFLICT ARISES BETWEEN THESE NOTES AND DETAILS AND DISTRICT STANDARDS, THE DISTRICT STANDARDS SHALL SUPERSEDE THESE NOTES AND DETAILS. CONTRACTOR TO KEEP A COPY OF DISTRICT STANDARD SPECIFICATIONS ON THE JOB SITE AT ALL TIMES. OBTAIN LATEST EDITION OF DISTRICT STANDARDS FROM STRATMOOR HILLS WATER & SANITATION DISTRICT - 1811 B STREET, COLORADO SPRINGS, CO 80906 (719) 576-0311.
- ALL WATER LINES SHALL BE; PVC C900, CONFORMING TO THE REQUIREMENTS OF AWWA C900 WITH A PRESSURE CLASS OF 150. PUSH-ON GASKETED JOINTS OR MECHANICAL JOINT ENDS, IN CONFORMANCE WITH AWWA C110 & AWWA C111.
- WATER LINE FITTINGS SHALL BE DIP CONFORMING TO AWWA C110 AND SHALL HAVE A PRESSURE RATING OF 250 PSI. ALL FITTINGS SHALL BE MECHANICAL JOINT, UNLESS SPECIFIED OTHERWISE IN THE PLANS. UNLESS SPECIFIED OTHERWISE IN THE PLANS, AND SHALL BE CEMENT MORTAR LINED.
- ALL DIP AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE TUBING TO PREVENT CORROSION. POLYETHYLENE TUBING, TAPE AND INSTALLATION SHALL MEET THE REQUIREMENTS OF AWWA C105.
- GATE VALVES SHALL CONFORM TO AWWA C509, AND SHALL BE DOUBLE-RISE, PARALLEL-SEAT, IRON BODY, BRONZE-MOUNTED, NON-RISING STEM, EQUIPPED WITH "O" RING STEM SEALS, AND SHALL CLOSE BY TURNING CLOCKWISE. VALVE ENDS SHALL BE MECHANICAL JOINT, UNLESS SPECIFIED OTHERWISE IN THE PLANS.
- ALL FIRE HYDRANTS SHALL BE 48" BURY, 6" BARREL, 4 1/2" PUMPER AND (2) - 2 1/2" HOSE NOZZLE HYDRANTS (WATEROUS, US METROPOLITAN, OR MUELLER). REFER TO FIRE HYDRANT DETAILS.
- ALL WATER LINES SHALL BE BURIED AN ABSOLUTE MINIMUM OF 4.5' FROM FINISHED GRADE. THE MAXIMUM BURY SHALL BE 6', UNLESS ADDITIONAL DEPTH IS REQUIRED FOR UTILITY CROSSINGS OR OTHER CONFLICTS. WHEREVER SUCH CROSSINGS OR CONFLICTS OCCUR, THE UTILITY CROSSING DETAIL SHALL BE USED.
- ALL WATER LINES SHALL BE BEDDED IN ACCORDANCE WITH WATER MAIN BEDDING REQUIREMENTS DETAIL.
- CONTRACTOR SHALL MAINTAIN A MINIMUM 18" VERTICAL CLEARANCE, AND 10' HORIZONTAL CLEARANCE, BETWEEN ALL WATER LINES AND SANITARY SEWER LINES, STORM LINES, AND IRRIGATION LINES.
- ALL BENDS, TEES, FIRE HYDRANTS, AND PLUGS AT DEADEND MAINS, SHALL BE RESTRAINED FROM THRUST BY USING CONCRETE THRUST BLOCKS PER THE BEARING AREA AND THRUST BLOCK DETAILS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL FIRE HYDRANTS AND VALVE BOXES TO FINISH GRADE, IN ACCORDANCE WITH DISTRICT STANDARDS OR DETAILS ON THIS SHEET.
- ALL WATER LINES SHALL BE TESTED IN ACCORDANCE WITH DISTRICT REGULATIONS. CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL PROCEDURES FOR TESTING, FLUSHING, AND INSPECTING THE INSTALLED WATER LINES. TESTING SHALL BE DONE IN THE PRESENCE OF THE DISTRICT INSPECTOR.
- DISTANCES FOR WATER LINES ARE THE HORIZONTAL DISTANCE FROM THE CENTER OF THE FITTING TO CENTER OF THE FITTING. THEREFORE, DISTANCES SHOWN ON THE PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND FITTING DIMENSIONS.
- ALL DOMESTIC SERVICE WATER LINES SHALL BE CLASS 200 COPPER TUBE SIZE POLYETHYLENE FROM THE MAIN TO THE METER, AND SHALL BE INSTALLED BY THE CONTRACTOR. METER INSTALLATION TO BE COORDINATED WITH THE DISTRICT. THE WATER SERVICE LINE FROM THE REDUCER AFTER THE METER TO THE BUILDING SHALL BE DUCTILE IRON.
- WATER LINE TRENCHES SHALL BE SLOPED OR BRACED AND SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKERS AND THE PROTECTION OF OTHER UTILITIES, IN COMPLIANCE WITH ALL APPLICABLE STATE AND FEDERAL REQUIREMENTS. FOR ALL EXCAVATION OPERATIONS, SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.



PANDA EXPRESS, INC.  
1683 Walnut Grove Ave.  
Rosemead, California  
91770  
Telephone: 626.799.9898  
Facsimile: 626.372.8288

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ARCH PROJECT #: 21013

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6162 S. Willow Drive, Suite 320  
Greenwood Village, CO 80111  
303.770.8884  
GallowayUS.com



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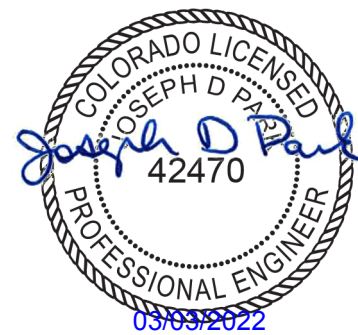
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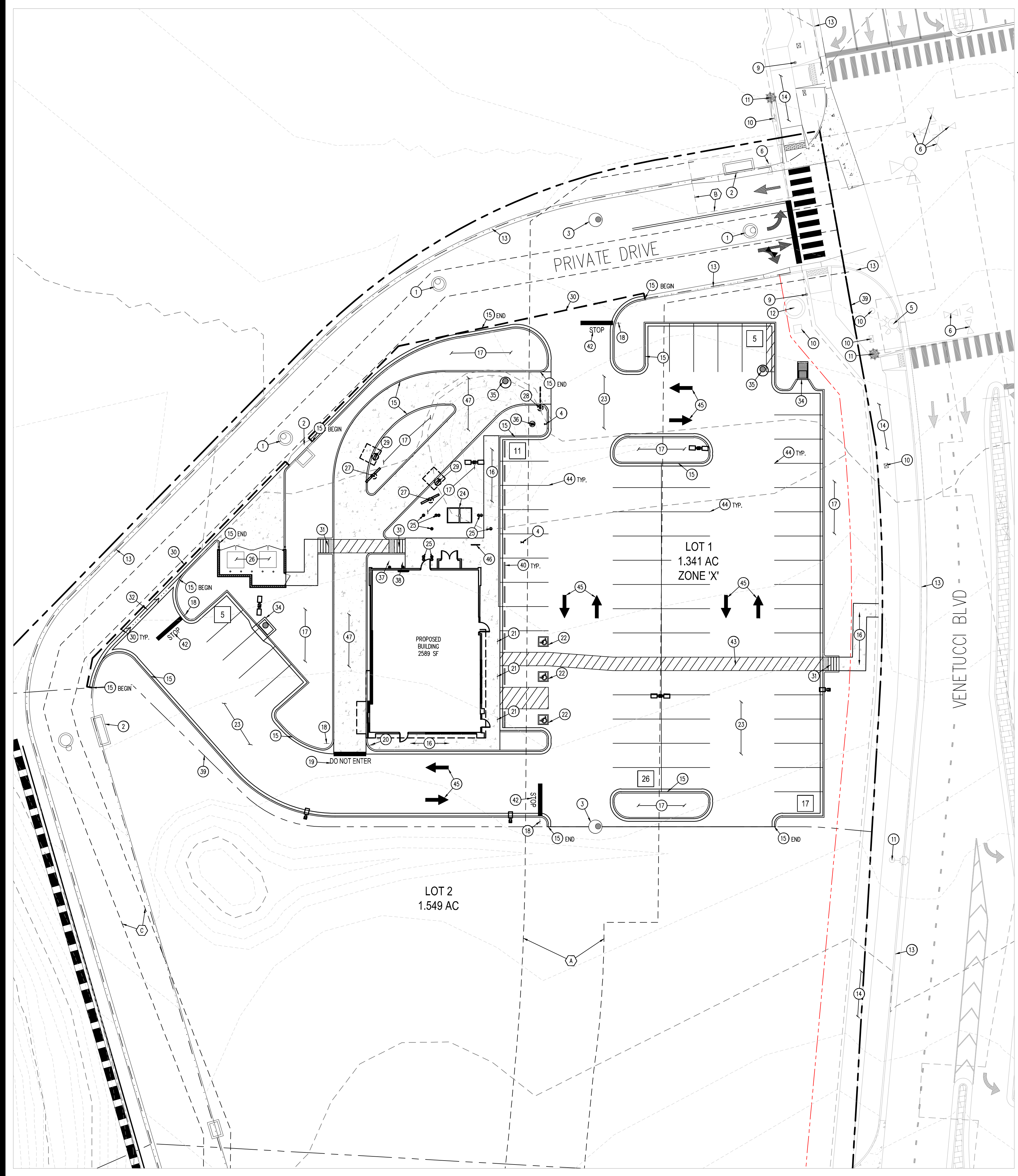
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FOUNTAIN, CO 80906

**NOTES**

2







**SCHEDULE**

- 1 EXISTING STORM SEWER MANHOLE TO REMAIN AND BE ADJUSTED TO FINISHED GRADE AS NECESSARY
- 2 EXISTING STORM SEWER INLET TO REMAIN
- 3 EXISTING SANITARY SEWER MANHOLE TO REMAIN AND BE ADJUSTED TO FINISHED GRADE AS NECESSARY
- 4 PROPOSED WATER VALVE, REFERENCE UTILITY PLAN FOR ADDITIONAL INFORMATION
- 5 EXISTING FIRE HYDRANT TO REMAIN
- 6 EXISTING WATER VALVE TO REMAIN
- 7 EXISTING ELECTRIC RISER TO REMAIN
- 8 EXISTING ELECTRIC TRANSFORMER BOX TO REMAIN
- 9 EXISTING PEDESTRIAN CROSSING BUTTON TO REMAIN
- 10 EXISTING UTILITY VAULT TO REMAIN
- 11 EXISTING LIGHT AND TRAFFIC SIGNAL POLE TO REMAIN
- 12 EXISTING WATER MANHOLE TO REMAIN AND BE ADJUSTED TO FINISHED GRADE AS NECESSARY
- 13 EXISTING CURB AND GUTTER TO REMAIN
- 14 EXISTING SIDEWALK TO REMAIN
- 15 PROPOSED CURB AND GUTTER, REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- 16 PROPOSED CONCRETE SIDEWALK, REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- 17 PROPOSED LANDSCAPED AREA, REFERENCE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION
- 18 PROPOSED 30" STOP SIGN (MUTCD R1-1), REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- 19 PROPOSED "DO NOT ENTER" PAVEMENT MARKING AND BAR, REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- 20 PROPOSED 30" "DO NOT ENTER" SIGN (MUTCD R5-1), REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- 21 PROPOSED ADA ACCESSIBLE SIGNAGE, REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- 22 PROPOSED ADA PAVEMENT MARKING, REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- 23 PROPOSED ASPHALT PAVING (PARKING STALLS LIGHT DUTY, DRIVE ISLES MEDIUM DUTY), REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- 24 PROPOSED GREASE INTERCEPTOR, REFERENCE UTILITY PLAN FOR ADDITIONAL INFORMATION
- 25 PROPOSED SANITARY CLEANOUT, REFERENCE UTILITY PLAN FOR ADDITIONAL INFORMATION
- 26 PROPOSED TRASH ENCLOSURE, REFERENCE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- 27 PROPOSED MENU BOARD SIGNAGE, REFERENCE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- 28 PROPOSED HEIGHT RESTRICTION SIGNAGE AND POST, REFERENCE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- 29 PROPOSED COMMUNICATIONS INTERFACE, REFERENCE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- 30 PROPOSED SAWCUT OF EXISTING PAVEMENT/ CURB AND GUTTER
- 31 PROPOSED PEDESTRIAN RAMP, REFERENCE GRADING PLAN FOR ADDITIONAL INFORMATION
- 32 PROPOSED CONCRETE PAN, REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- 33 PROPOSED CURB BREAK, REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- 34 PROPOSED STORM SEWER INLET, REFERENCE GRADING PLAN FOR ADDITIONAL INFORMATION
- 35 PROPOSED STORM SEWER MANHOLE, REFERENCE UTILITY PLAN FOR ADDITIONAL INFORMATION
- 36 PROPOSED WATER METER, REFERENCE UTILITY PLAN FOR ADDITIONAL INFORMATION
- 37 PROPOSED GAS METER, REFERENCE UTILITY PLAN FOR ADDITIONAL INFORMATION
- 38 PROPOSED ELECTRIC METER, REFERENCE UTILITY PLAN FOR ADDITIONAL INFORMATION
- 39 EXISTING PROPERTY LINE
- 40 PROPOSED WHEEL STOP, REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- 41 PROPOSED MONUMENT SIGN, REFERENCE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- 42 PROPOSED "STOP" PAVEMENT MARKING AND BAR, REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- 43 PROPOSED CROSSWALK STRIPING, REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- 44 PROPOSED 4" WIDE WHITE PARKING STALL STRIPING
- 45 PROPOSED DIRECTIONAL ARROW STRIPING, REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- 46 PROPOSED BIKE RACK, REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION
- 47 PROPOSED CONCRETE PAVEMENT

**SITE LEGEND**

- PROPERTY BOUNDARY LINE
- - - EXISTING PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT
- - - PROPOSED SAWCUT
- - - PROPOSED PEDESTRIAN ACCESS PATH
- ===== EXISTING CURB AND GUTTER
- ===== PROPOSED CURB AND GUTTER
- EXISTING STORM SEWER INLET
- EXISTING STORM SEWER MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING FIBER OPTIC PULL BOX
- EXISTING FIBER OPTIC VAULT
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING ELECTRIC RISER
- ⊕ EXISTING LIGHT POLE
- ⊕ EXISTING TREE
- PROPOSED STORM SEWER INLET
- ⊕ PROPOSED FIRE HYDRANT
- ⊕ PROPOSED WATER METER
- PROPOSED FIBER OPTIC PEDESTAL
- ⊕ PROPOSED SIGN
- 1 PARKING COUNT
- ===== EXISTING SIDEWALK
- ===== PROPOSED CONCRETE
- ===== PROPOSED ASPHALT PAVEMENT
- ===== PROPOSED LANDSCAPING/SOD

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM COUNTY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

NOTE: CONTRACTOR MUST CONTACT CITY OF GRAND JUNCTION TRAFFIC OPERATIONS SUPERVISOR PRIOR TO CONSTRUCTION OR PLACEMENT OF TRAFFIC CONTROL DEVICES/FEATURES (STRIPING, SIGNALS, MEDIANS, ETC.) FOR CONSTRUCTION IN THE RIGHT-OF-WAY.

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**EASEMENT SCHEDULE**

- (A) 50' PUBLIC UTILITY EASEMENT (STRATMOOR).
- (B) 20' UTILITY EASEMENT (REC NO. 214020857).
- (C) 10' PRIVATE STORM SEWER EASEMENT.



PANDA EXPRESS, INC.  
1683 Walnut Grove Ave.  
Rosemead, California  
91770  
Telephone: 626.799.9898  
Facsimile: 626.372.8288

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**Galloway**  
6162 S. Willow Drive, Suite 320  
Greenwood Village, CO 80111  
303.770.8884  
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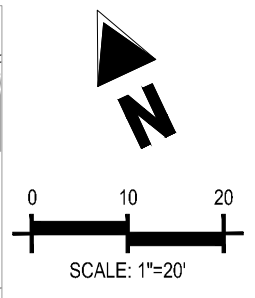
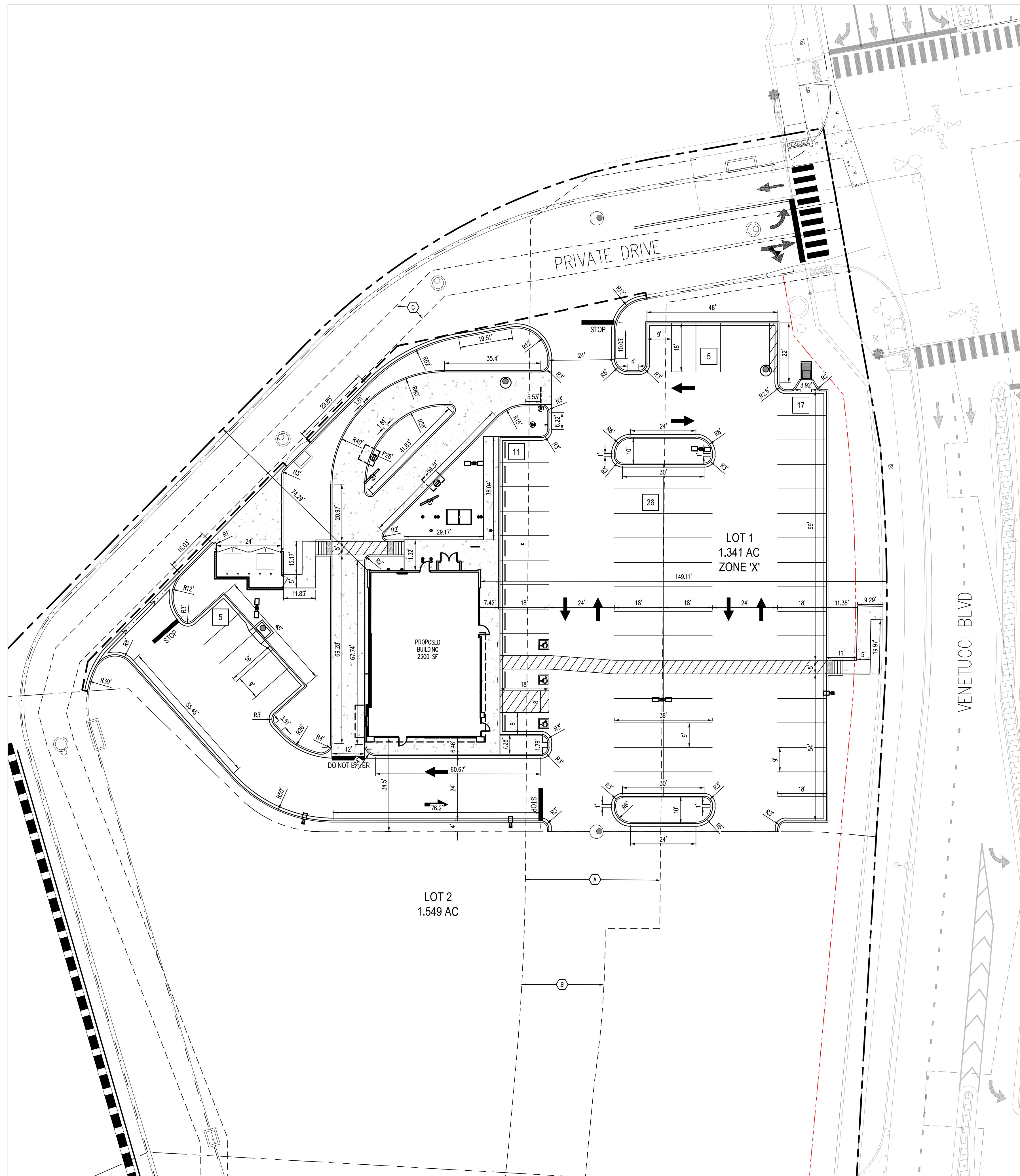
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ARCHITECTURE + DESIGN

HOUSTON: 1111 North Loop West, Suite 800 | 713.869.1103 v  
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SITE PLAN





**SITE LEGEND**

- PROPERTY BOUNDARY LINE
- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT
- PROPOSED SAWCUT
- PROPOSED PEDESTRIAN ACCESS PATH
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- EXISTING STORM SEWER INLET
- EXISTING STORM SEWER MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING FIBER OPTIC PULL BOX
- EXISTING FIBER OPTIC VAULT
- ⊗ EXISTING FIRE HYDRANT
- ⊗ EXISTING WATER VALVE
- ⊗ EXISTING ELECTRIC RISER
- ⊗ EXISTING LIGHT POLE
- EXISTING TREE
- PROPOSED STORM SEWER INLET
- ⊗ PROPOSED FIRE HYDRANT
- ⊗ PROPOSED WATER METER
- ⊗ PROPOSED FIBER OPTIC PEDESTAL
- ⊗ PROPOSED SIGN
- 1 PARKING COUNT
- EXISTING SIDEWALK
- PROPOSED CONCRETE
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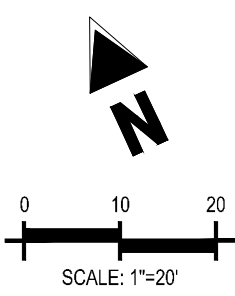
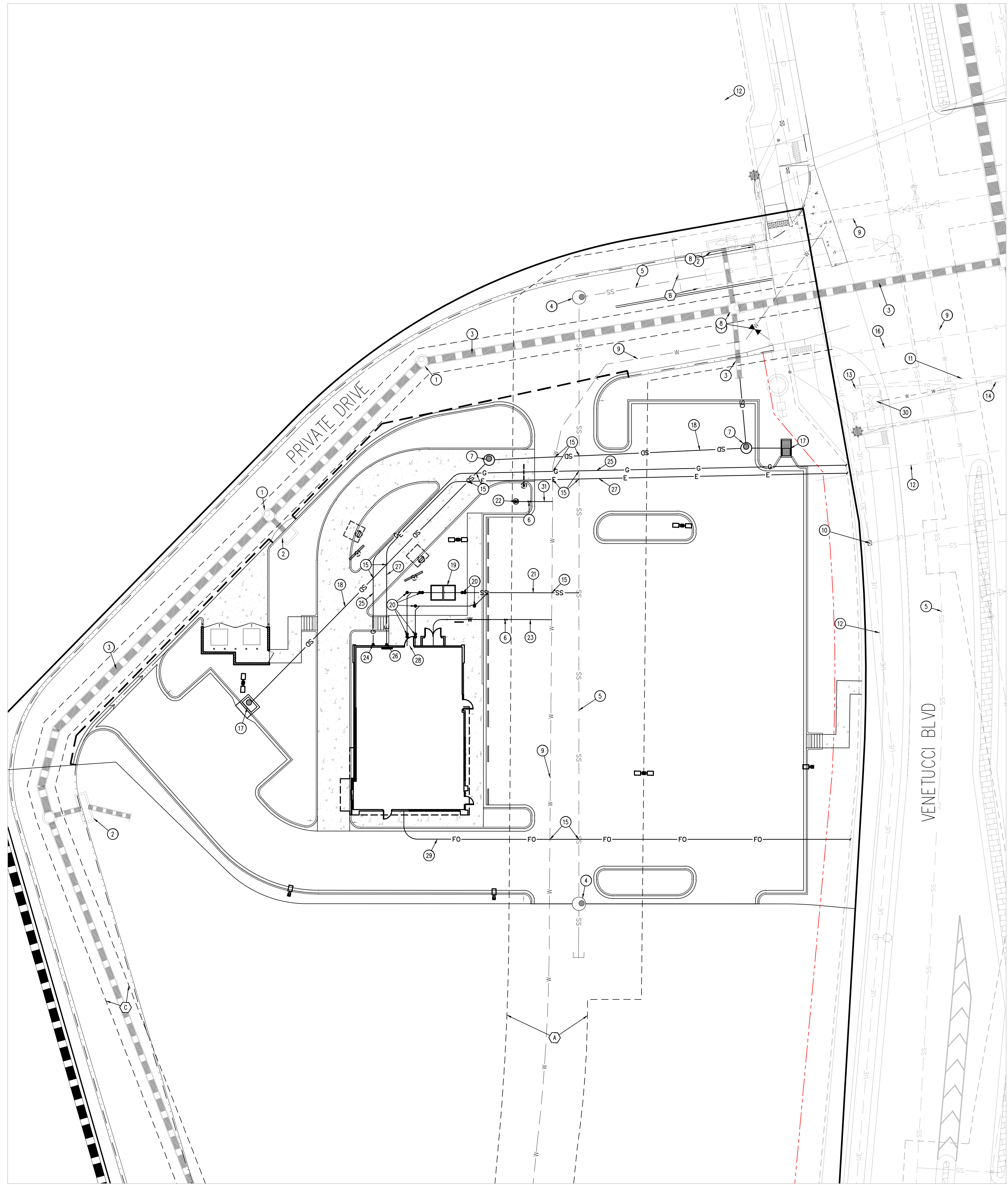
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4446 VENETUCCI BLVD.  
FOUNTAIN, CO 80906

HORIZONTAL CONTROL PLAN









**SCHEDULE**

- 1 EXISTING STORM SEWER MANHOLE TO REMAIN AND BE ADJUSTED TO FINISHED GRADE AS NECESSARY
- 2 EXISTING STORM SEWER INLET TO REMAIN
- 3 EXISTING STORM SEWER TO REMAIN
- 4 EXISTING SANITARY SEWER MANHOLE TO REMAIN AND BE ADJUSTED TO FINISHED GRADE AS NECESSARY
- 5 EXISTING SANITARY SEWER TO REMAIN
- 6 PROPOSED WATER VALVE
- 7 PROPOSED STORM SEWER MANHOLE. REFERENCE GRADING PLAN FOR ADDITIONAL INFORMATION.
- 8 EXISTING WATER VALVE TO REMAIN AND BE ADJUSTED TO FINISHED GRADE AS NECESSARY
- 9 EXISTING WATER LINE TO REMAIN
- 10 EXISTING ELECTRIC RISER TO REMAIN
- 11 EXISTING UNDERGROUND TELEPHONE LINE TO REMAIN
- 12 EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN
- 13 EXISTING FIBER OPTIC VAULT TO REMAIN
- 14 EXISTING FIBER OPTIC LINE TO REMAIN
- 15 !!! CAUTION, UTILITY CROSSING. MAINTAIN MINIMUM 18" VERTICAL CLEARANCE!!!
- 16 EXISTING GAS LINE TO REMAIN
- 17 PROPOSED STORM SEWER INLET. REFERENCE GRADING PLAN FOR ADDITIONAL INFORMATION.
- 18 PROPOSED STORM SEWER. REFERENCE GRADING PLAN FOR ADDITIONAL INFORMATION.
- 19 PROPOSED GREASE INTERCEPTOR
- 20 PROPOSED SANITARY CLEANOUT
- 21 PROPOSED SANITARY SEWER
- 22 PROPOSED WATER METER
- 23 PROPOSED 1.5" WATER SERVICE LINE
- 24 PROPOSED GAS METER. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER
- 25 PROPOSED GAS SERVICE LINE
- 26 PROPOSED ELECTRIC METER. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER.
- 27 PROPOSED UNDERGROUND ELECTRIC SERVICE LINE
- 28 PROPOSED KNOX BOX. SEE ARCHITECTURAL PLANS.
- 29 PROPOSED FIBER OPTIC SERVICE LINE
- 30 EXISTING FIRE HYDRANT TO REMAIN
- 31 PROPOSED 3/4" IRRIGATION WATER SERVICE LINE

**CAUTION – NOTICE TO CONTRACTOR**

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



**SITE LEGEND**

- PROPERTY BOUNDARY LINE
- - - PROPOSED PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED SAWCUT
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- EXISTING STORM SEWER INLET
- ⊙ EXISTING STORM SEWER MANHOLE
- ⊙ EXISTING SANITARY SEWER MANHOLE
- ⊙ EXISTING FIBER OPTIC PULL BOX
- ⊙ EXISTING FIBER OPTIC VAULT
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING ELECTRIC RISER
- ⊙ EXISTING LIGHT POLE
- ⊙ PROPOSED STORM SEWER INLET
- ⊙ PROPOSED FIRE HYDRANT
- ⊙ PROPOSED WATER METER
- ⊙ PROPOSED FIBER OPTIC PEDESTAL
- ⊙ PROPOSED SIGN
- EXISTING SIDEWALK
- PROPOSED CONCRETE
- SD — EXISTING STORM SEWER
- SS — EXISTING SANITARY SEWER
- EXISTING WATER LINE
- UE — EXISTING UNDERGROUND ELECTRIC LINE
- FO — EXISTING UNDERGROUND FIBER OPTIC LINE
- G — EXISTING GAS LINE
- SD — PROPOSED STORM SEWER
- SS — PROPOSED SANITARY SEWER
- W — PROPOSED WATER LINE
- E — PROPOSED UNDERGROUND ELECTRIC LINE
- FO — PROPOSED UNDERGROUND FIBER OPTIC LINE
- G — PROPOSED GAS LINE

**EASEMENT SCHEDULE**

- A 50' PUBLIC UTILITY EASEMENT (STRATMOOR).
- B 20' UTILITY EASEMENT (REC NO. 214020857).
- C 10' PRIVATE STORM SEWER EASEMENT.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM COUNTY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

NOTE: MAINTAIN MINIMUM 18" VERTICAL AND 10" HORIZONTAL SEPARATION BETWEEN POTABLE WATERLINE AND STORM OR SANITARY SEWER AND LATERALS. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

NOTE: ALL WATER AND SEWER SERVICE LINES SHALL BE SURVEYED, AND SHOWN ON AS-BUILT DRAWINGS, IN THREE DIMENSIONS AT EACH END AND ALL ANGLE POINTS. TOP OF WATER PIPE SHALL ALSO BE AS-BUILT.



PANDA EXPRESS, INC.  
1683 Walnut Grove Ave.  
Rosemead, California  
91770  
Telephone: 626.799.9898  
Facsimile: 626.372.8288

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ARCH PROJECT #: 21013

**Galloway**  
6162 S. Willow Drive, Suite 320  
Greenwood Village, CO 80111  
303.770.8884  
GallowayUS.com

**Heights Venture**  
ARCHITECTURE + DESIGN

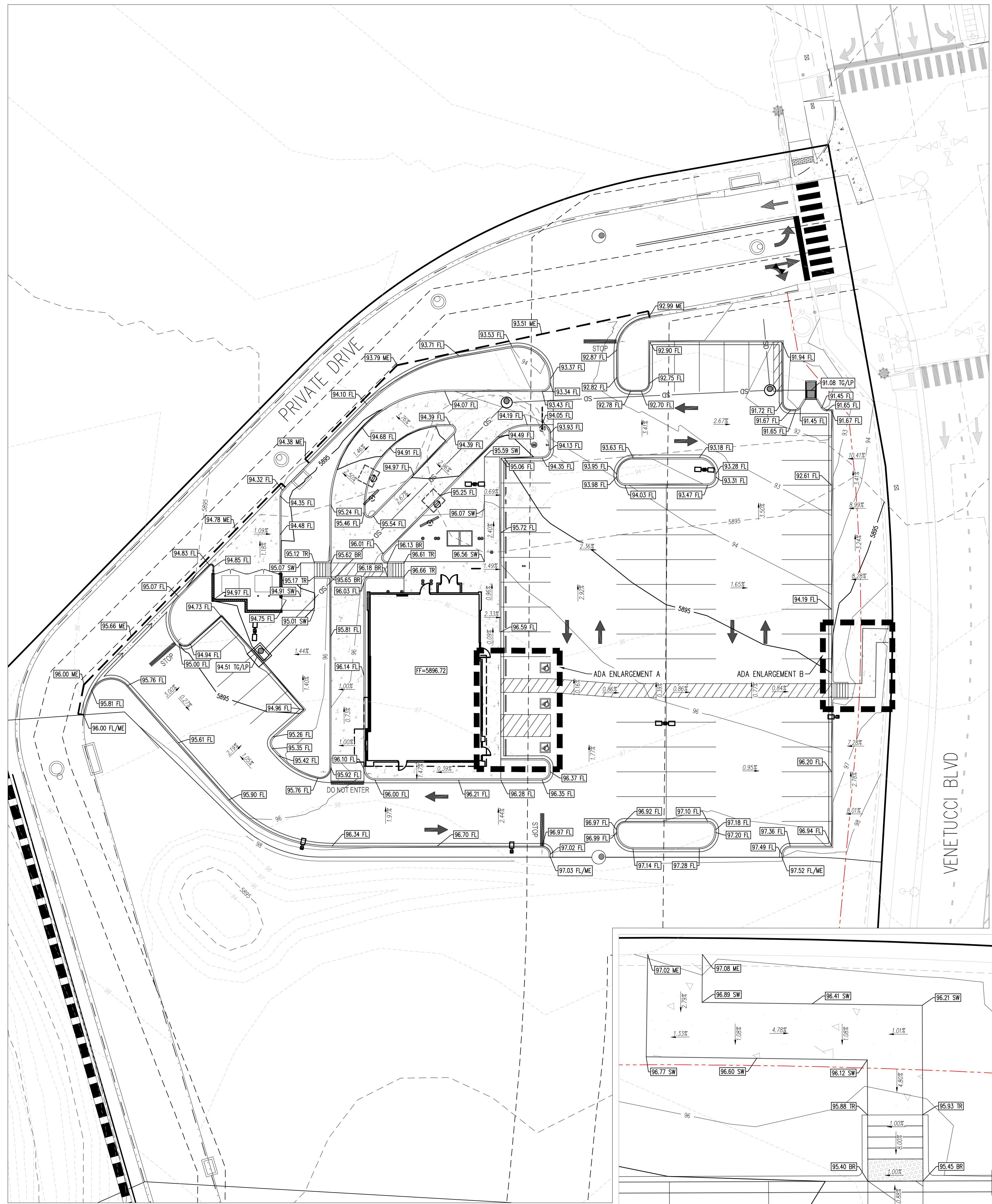
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4446 VENETUCCI BLVD.  
FOUNTAIN, CO 80906



UTILITY PLAN



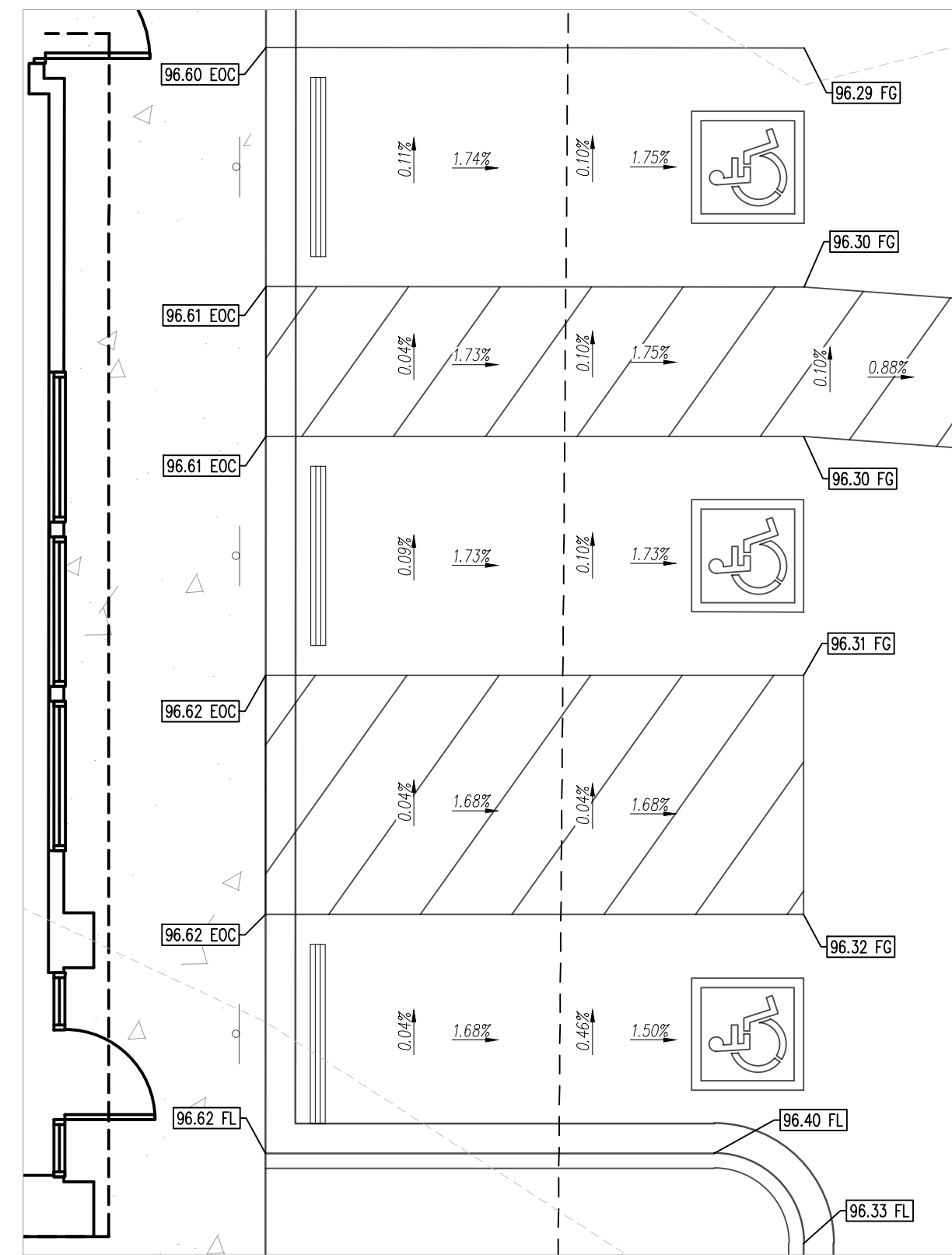


**ADA DESIGN PROFESSIONAL STANDARDS NOTES:**  
 THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF AURORA DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

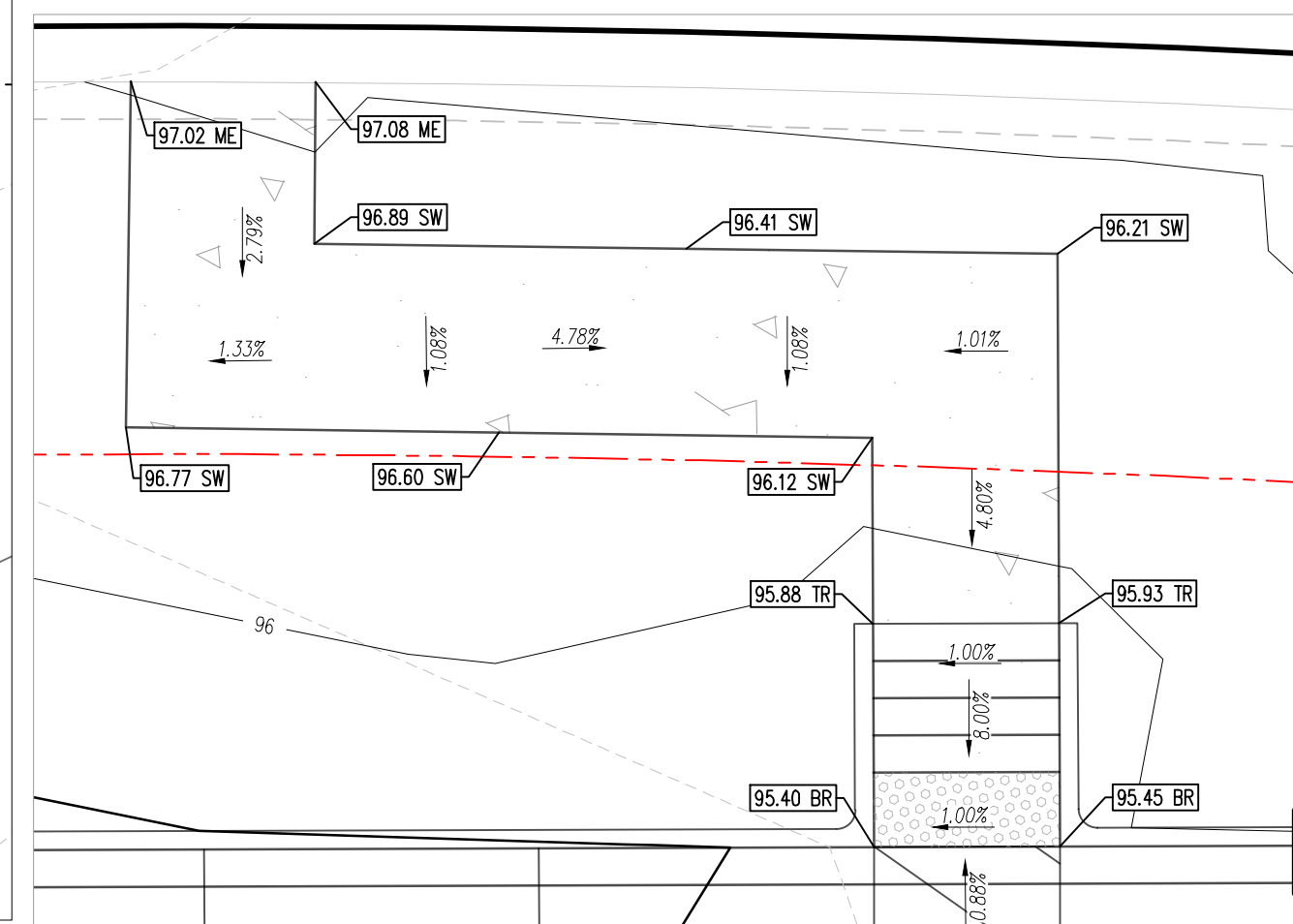
- RAMPS/FLATS:**
- RAMP'S MUST NOT EXCEED 8.33% LONGITUDINAL SLOPE, 2% CROSS SLOPE
  - FLATS MUST NOT EXCEED 2% IN ANY DIRECTION
  - SIDEWALKS MUST NOT EXCEED 5% LONGITUDINAL SLOPE, 2% CROSS SLOPE UNLESS OTHERWISE APPROVED BY THE CITY.

**PARKING:**  
 ADA PARKING AREA MUST NOT EXCEED 2% IN ANY DIRECTION

- GRADING NOTES**
1. ADD 4500 TO ALL SPOT ELEVATIONS
  2. WALKS SLOPE AWAY FROM BUILDING AT 1.0% MINIMUM
  3. THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS OF EXISTING UTILITY LINES. ACCEPTANCE OF THIS PLAN DOES NOT CONSTITUTE APPROVAL TO GRADE IN ANY UTILITY EASEMENT OR RIGHT OF WAY. APPROVALS TO GRADE WITHIN UTILITY EASEMENTS MUST BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANY. IT IS NOT PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH ON ANY COLORADO SPRINGS UTILITIES EASEMENT OR UTILITY RIGHT-OF-WAY WITHOUT THEIR WRITTEN APPROVAL. THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO EXISTING UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE APPROVED BY THE AFFECTED UTILITY OWNER PRIOR TO IMPLEMENTING THE PLAN. THE COST TO RELOCATE OR PROTECT EXISTING UTILITIES OR TO PROVIDE INTERIM ACCESS IS AT THE APPLICANT'S EXPENSE.
  4. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEYORS BENCHMARKS AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
  5. ALL GRADES SHOWN REFERENCE PROPOSED ELEVATIONS AT FINISHED GRADE AND FACE OF CURB AT FLOW LINE, UNLESS OTHERWISE NOTED.
  6. RED LINE AS-BUILTS FOR CONCRETE ARE REQUIRED PRIOR TO PAVING.



**ADA GRADING ENLARGEMENT A**  
 SCALE: 1"=5'



**ADA GRADING ENLARGEMENT B**  
 SCALE: 1"=5'

**SITE LEGEND**

- PROPERTY BOUNDARY LINE
- - - PROPOSED PROPERTY LINE
- - - GRADE BREAK
- - - EXISTING EASEMENT LINE
- - - PROPOSED SAWCUT
- == PROPOSED CURB AND GUTTER
- == EXISTING CURB AND GUTTER
- EXISTING STORM SEWER INLET
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- EXISTING FIBER OPTIC VAULT
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- EXISTING WATER VALVE
- EXISTING ELECTRIC RISER
- EXISTING LIGHT POLE
- EXISTING TREE
- PROPOSED STORM SEWER INLET
- PROPOSED FIRE HYDRANT
- PROPOSED WATER METER
- PROPOSED FIBER OPTIC PEDESTAL
- PROPOSED SIGN
- EXISTING SIDEWALK
- PROPOSED CONCRETE
- SD- PROPOSED STORM SEWER
- - - 4555- EXISTING MAJOR CONTOUR
- - - 4554- EXISTING MINOR CONTOUR
- - - 4555- PROPOSED MAJOR CONTOUR
- - - 4554- PROPOSED MINOR CONTOUR
- - - PROPOSED GRADE BREAK
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FL FLOWLINE
- EOC EDGE OF CONCRETE
- HP HIGH POINT
- LP LOW POINT
- ME MATCH EXISTING
- TBC TOP BACK OF CURB
- TR TOP OF RAMP
- BR BOTTOM OF RAMP

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**Galloway**  
 6162 S. Willow Drive, Suite 320  
 Greenwood Village, CO 80111  
 303.770.8884  
 GallowayUS.com

**Heights Venture**  
 ARCHITECTURE • DESIGN

HOUSTON 1111 North Loop West, Suite 800 713.869.1103.v  
 DALLAS 5741 Legacy Drive, Suite 320 Plano, Texas 75024 972.490.7292.v

**PANDA EXPRESS**  
 HEIGHTS VENTURE  
 4446 VENETUCCI BLVD.  
 FOUNTAIN, CO 80906

GRADING PLAN

SITE PLAN REVIEW







**PRELIMINARY LANDSCAPE PLAN NOTES**

- 1) A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- 2) SOIL TYPE PER NRCS SOIL SURVEY: BLENDON SANDY LOAM, 0-3% SLOPES
- 3) THERE IS NO EXISTING SIGNIFICANT VEGETATION AND NO NATURAL FEATURES ON SITE.

**LANDSCAPE MAINTENANCE**

LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER. STREET TREES, STREETSCAPE IMPROVEMENTS, AND VEGETATION WITHIN THE CITY R.O.W. SHALL BE MAINTAINED BY THE ADJUTING PROPERTY OWNER.

**MULCHES**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

**GENERAL GRADING AND PLANTING NOTES**

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/- 0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
  - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
  - a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
  - b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

**ROOT BARRIERS**

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

**IRRIGATION CONCEPT**

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

**PLANTING LEGEND**

SYMBOL	QUAN.	BOTANIC NAME	COMMON NAME	MATURE WIDTH	SIZE	SPACING
<b>TREES</b>						
CEOC	6	Celtis occidentalis	Western Hackberry	4'-5'	2.5" cal, 10', B&B	Per plan
CRVI	4	Crataegus viridis 'Winter King'	Winter King Hawthorne	20'-25'	2.5" cal, 10', B&B	Per plan
GIBI	4	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	30'-35'	2.5" cal, 10', B&B	Per plan
QUAL	5	Quercus alba	White Oak	40'-80'	2.5" cal, 10', B&B	Per plan
<b>SHRUBS</b>						
BERG	31	Berberis japonica 'Rose Glow'	Rose Glow Barberry	4'-5'	5 gallon	4' o.c.
CACL	29	Caryopteris x clandonensis	Blue Mist Spiraea	2'-3'	5 gallon	3' o.c.
JUBC	22	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	5'-6'	5 gallon	5' o.c.
LILO	64	Ligustrum vulgare 'Lodense'	Lodense Privet	4'	5 gallon	4' o.c.
MARE	33	Mahonia repens	Creeping Mahonia	2'	5 gallon	2' o.c.
PHAV	20	Philadelphus x lemoinei 'Avalanche'	Avalanche Mock Orange	4'-5'	5 gallon	4' o.c.
PIMU	14	Pinus mugo 'White Bud'	White Bud Mugo Pine	2'-3'	5 gallon	3' o.c.
<b>GROUND COVER</b>						
	-1,842 sf	Poa hybrids	Texas Bluegrass (as sold by Turf Master, LLC Ft. Collins, CO, (970) 493-8311, or equal)			Sod
	-4,395 sf		Rock cobble mulch, 2"-4" size, 4"-6" deep, placed over permeable weed barrier fabric w/ no fabric visible			
	-6,511 sf		Shredded Wood Mulch, 3" deep over all planting areas not covered with rock or sod			

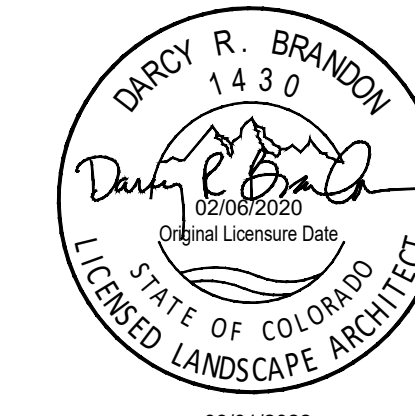
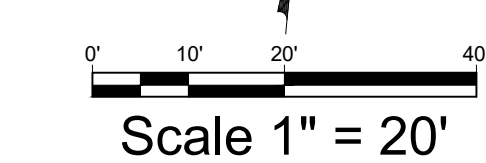
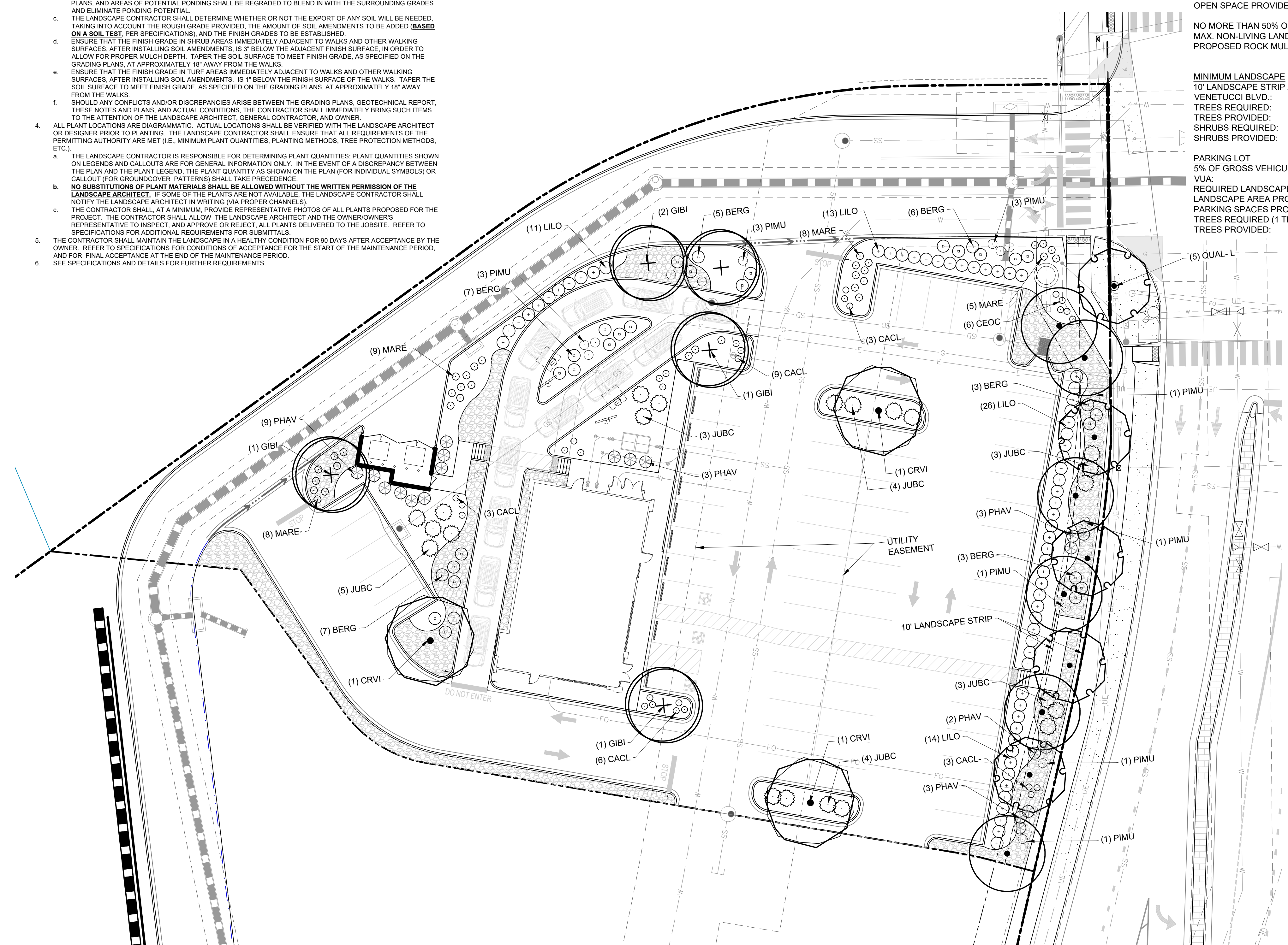
**LANDSCAPE CALCULATIONS**

TOTAL SITE AREA: 58,731 SF  
 OPEN SPACE REQUIRED: 8,810 SF (15% OF TOTAL AREA)  
 OPEN SPACE PROVIDED: ±11,905 SF (20% OF SITE AREA)

NO MORE THAN 50% OF THE REQ. LANDSCAPED AREA CAN BE COVERED BY NON-LIVING GROUND COVER  
 MAX. NON-LIVING LANDSCAPE MATERIAL: 8,810 x 50% = 4,405 SF  
 PROPOSED ROCK MULCH: 4,240 SF (48%)

MINIMUM LANDSCAPE  
 10' LANDSCAPE STRIP ALONG R.O.W. W/ 1 TREE + 2 SHRUBS PER 20 LF  
 VENETUCCI BLVD.: ±210 LF  
 TREES REQUIRED: 10.5 TREES (11)  
 TREES PROVIDED: 11 TREES  
 SHRUBS REQUIRED: 21 SHRUBS  
 SHRUBS PROVIDED: 28 SHRUBS

PARKING LOT  
 5% OF GROSS VEHICULAR USE AREA (VUA) TO BE LANDSCAPED. 1 TREE FOR EVERY 8 PARKING SPACES.  
 VUA: 40,187 SF  
 REQUIRED LANDSCAPE AREA (5%): 2,009 SF  
 LANDSCAPE AREA PROVIDED: 2,117 SF  
 PARKING SPACES PROPOSED: 64  
 TREES REQUIRED (1 TREE/8 PARKING SPACES): 64 / 8 = 8 TREES  
 TREES PROVIDED: 8 TREES



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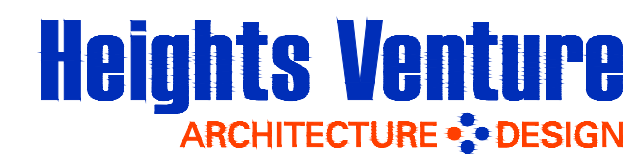
**ISSUE DATE:**

DATE	BY
01-14-22	DRT

**DRAWN BY:** - PM

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**PANDA STORE #:** - D8204  
**ARCH PROJECT #:** - 21013

Eric J. Abeln, AIA  
 IL Registration #001-023423  
 Not for Regulatory Approval, Permit, or Construction.



HOUSTON 1111 North Loop West, Suite 800 Houston, Texas 77008  
 DALLAS 5741 Legacy Drive, Suite 320 Plano, Texas 75024  
 281.854.6100

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**LANDSCAPE PLANTING SET**

**LP-1**

PERMIT/BID SET





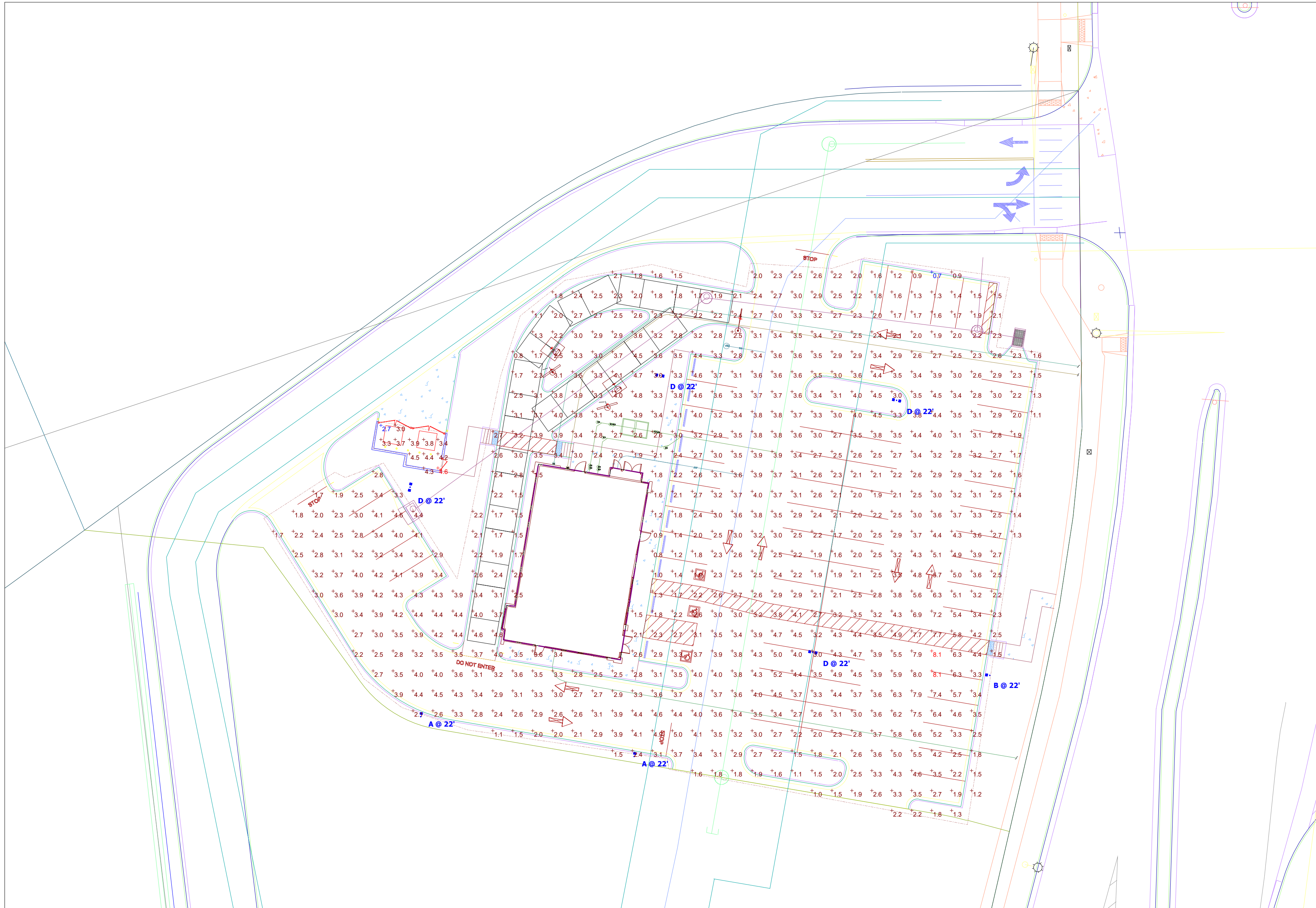


Symbol	Label	Quantity	Catalog Number	Description	Filename	Lumens Per Lamp	Lumen Multiplier	Light Loss Factor	Wattage	Efficiency
□	A	2	SLM-LED-18L-SIL-FT-40-70CRI-IL	CONTACT RYAN ZINSELMEIER-314-531-2600	SLM-LED-18L-SIL-FT-40-70CRI-IL.ies	12046	1	1	148.5	100%
□	B	1	SLM-LED-18L-SIL-3-40-70CRI-IL	CONTACT RYAN ZINSELMEIER-314-531-2600	SLM-LED-18L-SIL-3-40-70CRI-IL.ies	13767	1	1	148.5	100%
□	D	4	SLM-LED-18L-SIL-FT-40-70CRI-IL	CONTACT RYAN ZINSELMEIER-314-531-2600	SLM-LED-18L-SIL-FT-40-70CRI-IL.ies	12046	1	1	297	100%

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	3.1 fc	8.1 fc	0.7 fc	11.6:1	4.4:1
TRASH ENCLOSURE	+	3.8 fc	4.6 fc	2.7 fc	1.7:1	1.4:1

**Note**

1. MOUNTING HEIGHT OF 22' (20'POLE)
2. CALCULATIONS TAKEN AT GROUND LEVEL
3. CONTACT VILLA LIGHTING- RYAN ZINSELMEIER- RYAN.ZINSELMEIER@VILLALIGHTING.COM- 314-531-2600



**Plan View**  
Scale - 1" = 25ft

PANDA EXPRESS  
FOUNTAIN

Designer  
R. ZINSELMEIER  
Date  
02/25/2022  
Scale  
NOTED  
Drawing No.  
Summary





PANDA EXPRESS, INC.  
 1683 Walnut Grove Ave.  
 Rosemead, California  
 91770  
 Telephone: 626.799.9898  
 Facsimile: 626.372.8288

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REVISIONS:

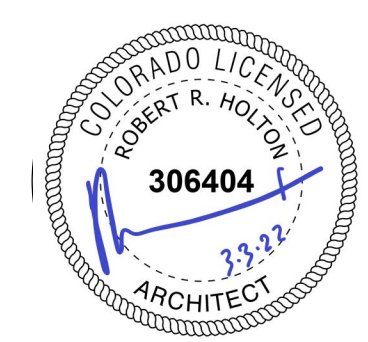
NO.	DESCRIPTION	DATE

ISSUE DATE:

DRT	01-14-22
SITE DEVELOPMENT	03-03-21

DRAWN BY: - PM

PANDA PROJECT #: - S8-22-D8204  
 PANDA STORE #: - D8204  
 ARCH PROJECT #: - 21013



**Heights Venture**  
 ARCHITECTURE + DESIGN

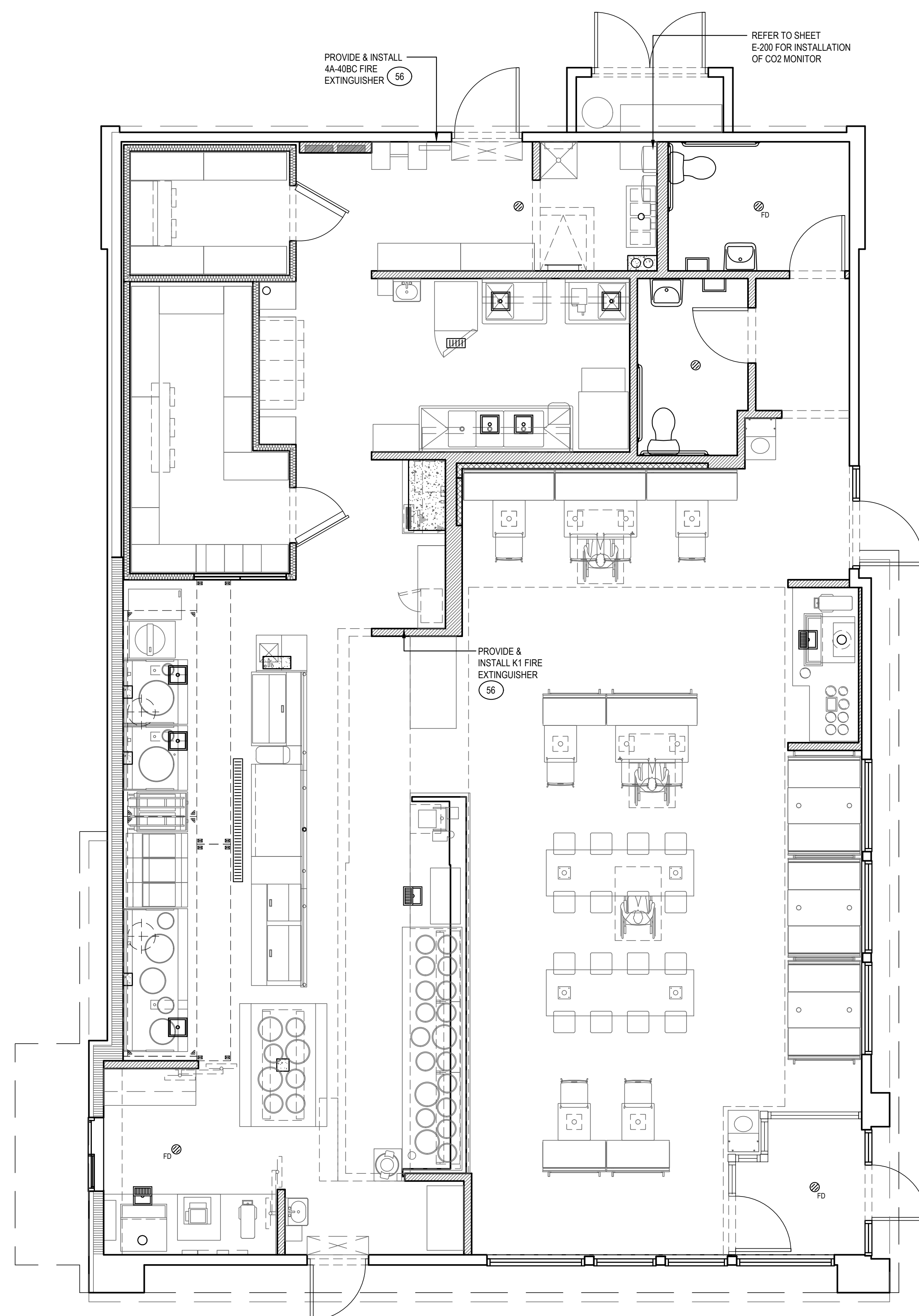
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**AS-100**

SCHEMATIC FLOOR PLAN

TRUE WARM & WELCOME 2500  
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KITCHEN PLAN 1  
 Scale= 1/4" = 1'-0" A-101

PERMIT/BID SET





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REVISIONS:

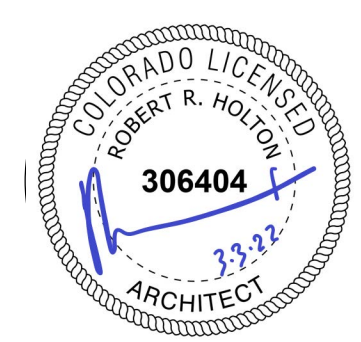
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**Heights Venture**  
ARCHITECTURE + DESIGN

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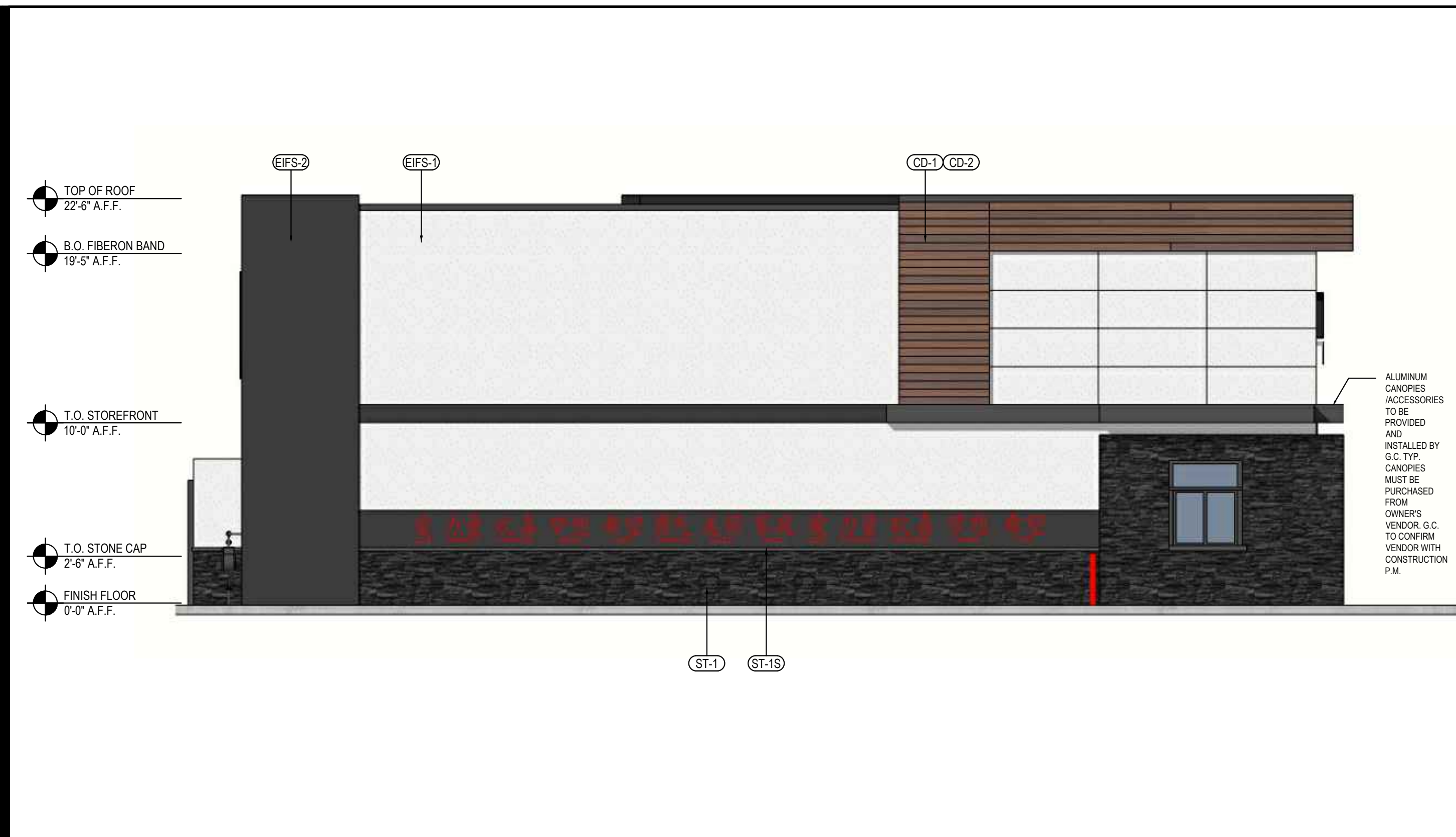
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Fountain, CO

**A-202**

EXTERIOR  
COLOR ELEVATIONS

TRUE WARM & WELCOME 2500  
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PERMIT/BID SET



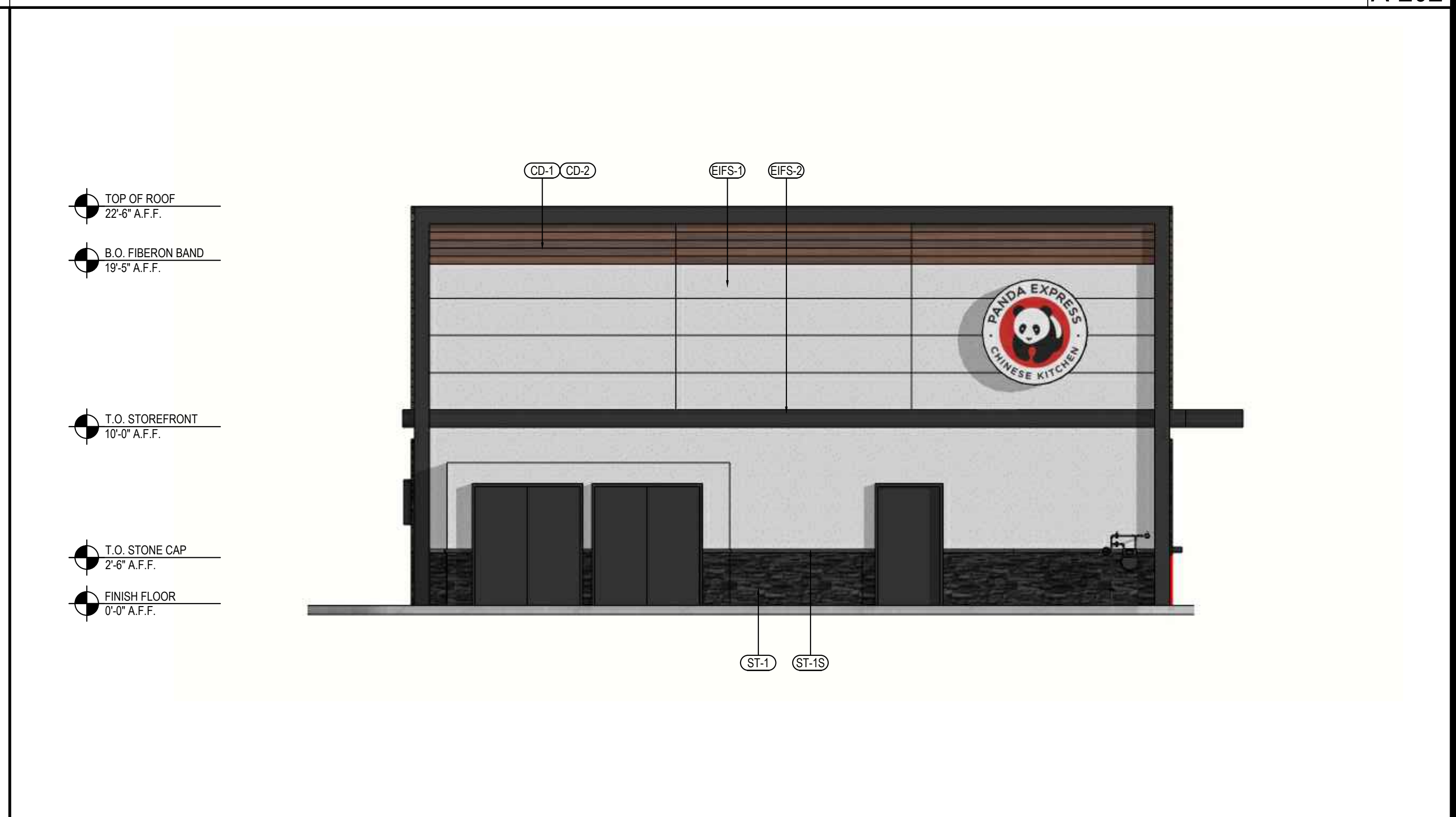
**EAST ELEVATION** 4  
Scale= NTS **A-202**



**NORTH ELEVATION** 2  
Scale= NTS **A-202**



**WEST ELEVATION** 3  
Scale= NTS **A-202**



**SOUTH ELEVATION** 1  
Scale= NTS **A-202**

EXTERIOR FINISH SCHEDULE					
INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE					
NO	MANUFACTURER	MFG#	COLOR	FINISH	NOTES
EIFS-1	STO	STOTHERM ESSENCE SYSTEM	SW 6252 ICE CUBE	FINE	BUILDING BODY
EIFS-2	STO	STOTHERM ESSENCE SYSTEM	SW 7069 IRON ORE	FINE	EIFS ACCENT BAND
ST-1S	CORONADO STONE PRODUCTS	900 SERIES	#2 GREY	-	STONE CAP (3/8" VERTICAL JOINT - MORTAR TO MATCH STONE CAP)
ST-1	CORONADO STONE PRODUCTS	INDUSTRIAL LEDGE	SHALE GREY	-	ENTRY PORTAL & WAINSCOT CONTACT: LISA KILGORE: 864-962-1221 PROVIDE 3/8" MORTAR JOINTS. MFG: ARGOS, COLOR: PUTTY
CD-1	FIBERON	WILDWOOD	MULGA	60% MATERIAL COVERAGE - RANDOM MIX (NON-GROOVE)	COMPOSITE DECKING - CONTACT: ERIC ATKINS @ 770-910-0930 EMAIL: Eric.Atkins@fiberondecking.com
CD-2	FIBERON	WILDWOOD	SUMAC	40% MATERIAL COVERAGE - RANDOM MIX (NON-GROOVE)	COMPOSITE DECKING - CONTACT: ERIC ATKINS @ 770-910-0930 EMAIL: Eric.Atkins@fiberondecking.com
(MTL-1)	EXCEPTIONAL METALS	-	"PANDA EXPRESS IRON ORE"	-	CAP FLASHING

**MATERIALS**

EIFS-1: Light grey finish swatch.  
EIFS-2: Dark grey finish swatch.  
ST-1S: Stone cap material swatch.  
ST-1: Stone ledge material swatch.  
CD-1: Mulga wood-grain composite decking swatch.  
CD-2: Sumac wood-grain composite decking swatch.



