### PANDA EXPRESS RESTAURANT SITE DEVELOPMENT PLAN

LOT 4 SOUTH ACADEMY HIGHLANDS FIL. NO. 4 LOCATED IN THE SOUTH HALF OF SECTION 4, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF FOUNTIAN, COUNTY OF EL PASO, STATE OF COLORADO

#### PROJECT CONTACTS

OWNER	
PANDA RESTAURANT GROUP, 1683 WALNUT GROVE AVE. ROSEMEAD, CA 91770	INC.
DEVELOPER	
PANDA RESTAURANT GROUP.	INC.

ROSEMEAD, CA 91770 CIVIL ENGINEER

1683 WALNUT GROVE AVE.

6162 S. WILLOW DR., STE. 320 GREENWOOD VILLAGE, CO 80111 TEL: (303) 770-8884

CONTACT: JOE PARK, P.E. **ARCHITECT** 

HEIGHTS VENTURE, INC. 1111 N. LOOP WEST, SUITE 800 HOUSTON, TX 77008 TEL: (972) 490-7292 CONTÀCT: ERIC ABELN

**SURVEYOR** GALLOWAY & COMPANY, INC

1155 KELLY JOHNSON BOULEVARD, SUITE 305 COLORADO SPRINGS, CO 80920 TEL: (719) 900-7220 CONTACT: BRIAN DENNIS

PHOTOMETRIC CONSULTANT VILLA LIGHTING

2929 CHOUTEAU AVE. ST. LOUIS, MO 63103 TEL: (314) 633-0423

LANDSCAPE ARCHITECT EVERGREEN DESIGN GROUP

15305 DALLAS PKWY., SUITE 300 ADDISON, TX 75001 TEL: (800) 680-6630

GEOTECHNICAL ENGINEER

TERRACON CONSULTANTS INC. 10625 W. I-70 FRONTAGE RD N. SUITE 3 WHEAT RIDGE, CO 80033 TEL: (303) 423-3300

ENGINEERING/STORM SEWER CITY OF FOUNTAIN — ENGINEERING SERVICES 116 SOUTH MAIN STREET FOUNTAIN, CO 80817 TEL: (719) 393-4930 CONTACT: CARL SPENGLER

PLANNING/SIGNAGE CITY OF FOUNTAIN - PLANNING & ZONING DEPARTMENT 116 SOUTH MAIN STREET

FOUNTAIN, CO 80817 TEL: (719) 322-2017 CONTÀCT: JORDAN OTT

**BUILDING DEPARTMENT** PIKES PEAK REGIONAL BUILDING DEPARTMENT 2880 INTERNATIONAL CIRCLE COLORADO SPRINGS, CO 80910

CONTÀCT: JANE CASSIDY **NATURAL GAS PROVIDER** COLORADO SPRINGS UTILITIES 111 S. CASCADE AVE

TEL: (719) 327-2927

COLORADO SPRINGS, CO 80903 TEL: (719) 448-4808 WATER DEPARTMENT

STRATMOOR HILLS WATER COLORADO SPRINGS, CO 80906 TEL: (719) 576-0311

ELECTRIC PROVIDER 111 S. CASCADE AVE COLORADO SPRINGS, CO 80903 TEL: (719) 448-4808

SANITARY SEWER STRATMOOR HILLS WATER COLORADO SPRINGS, CO 80906

TEL: (719) 576-0311

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FIRE DEPARTMENT CITY OF FOUNTAIN - FIRE DEPARTMENT 811 NORTH SANTA FE AVENUE FOUNTAIN, CO 80817

#### LEGAL DESCRIPTION

OT 1, SOUTH ACADEMY HIGHLANDS FILING NO.4, RECORDED UNDER RECEPTION NO. \_\_\_\_\_, RECORDS OF EL PASO COUNTY, COLORADO.

#### BASIS OF BEARING

IE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BEING MONUMENTED AT THE EASTERLY END BY A 2-1/2 INCH ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKINGS "PLS 28651" AND AT THE WESTERLY END BY CONCRETE POST WITH WASTER STAMPED "LS 3854", IS ASSUMED TO BEAR S89°53'21"W A DISTANCE OF 2632.07 FEET.

#### **BENCHMARK**

NGS BENCHMARK X404, BENG A FLANGE ENCASED ROD IN LOGO CAP, LOCATED IN FORT CARSON, AT THE JUNCTION OF BARKLEY AND BARGER AVENUES, ON TOP OF AND NEAR THE CENTER OF THE NORTH EDGE OF A KNOLL, REPORTED BY NGS AS HAVING A NAVD88 ELEVATION OF 5907.92

#### FLOODPLAIN STATEMENT

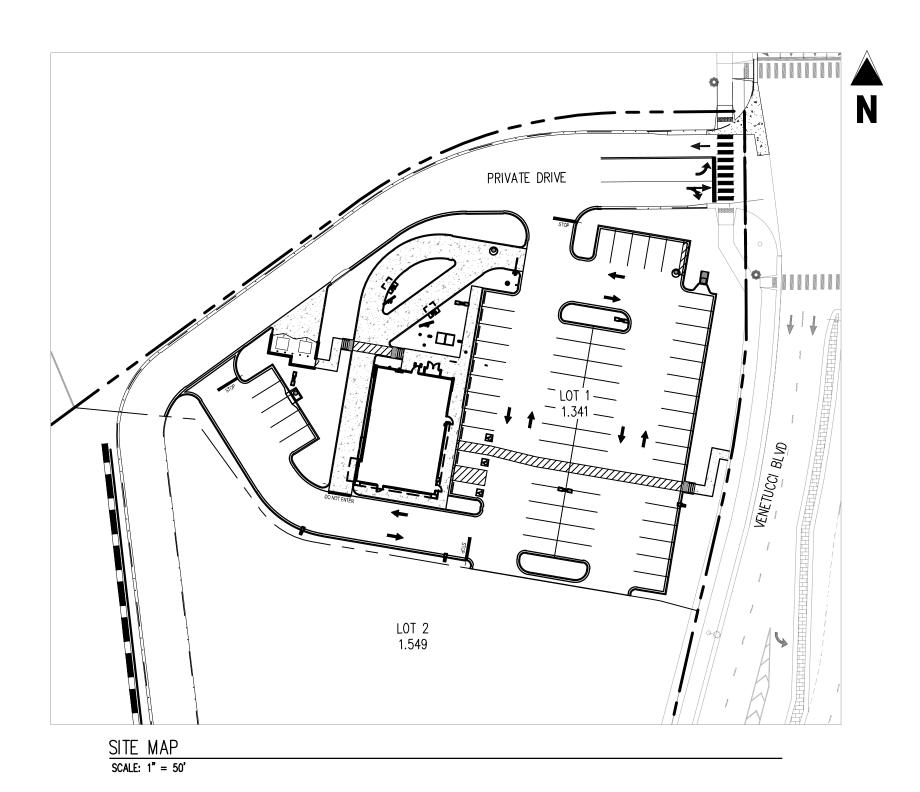
PER THE FEMA FLOOD INSURANCE RATE MAPS (FIRM), MAP NO. 08041C0743G, HAVING AN EFFECTIVE DATE OF DECEMBER 7, 2018, INDICATES THE SUBJECT PROPERTY TO BE DESIGNATED AS ZONE X (AREAS OF MINIMAL FLOODING).

#### STANDARD GUIDELINES/CONSTRUCTION SPECIFICATIONS NOTES

- 1. ALL WORK WITHIN PUBLIC R.O.W. SHALL BE PER CITY OF FOUNTAIN CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- 2. ALL WORK FOR WATER SERVICE, FIRE SERVICE, AND FIRE HYDRANT ASSEMBLIES SHALL BE PER STRATMOOR WATER AND SANITATION DISTRICT STANDARD SPECIFICATIONS.
- 3. ALL WASTEWATER WORK SHALL BE PER CITY OF FOUNTAIN CONSTRUCTION STANDARDS AND
- 4. SEE SOIL PREPARATION NOTE FOR SOIL RECOMMENDATIONS.
- REFERENCE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION, FOR ADDITIONAL INFORMATION.



VICINITY MAP SCALE: 1" = 1000'



SHEET INDEX		
SHEET NUMBER	SHEET TITLE	
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2	NOTES SHEET	
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4	HORIZONTAL CONTROL PLAN	
5	SITE DETAILS	
6	UTILITY PLAN	
7	GRADING PLAN	
8	EROSION CONTROL PLAN	
LP-1	LANDSCAPE PLANTING	
LP-2	LANDSCAPE DETAILS & SPECIFICATIONS	
1 OF 1	PHOTOMETRIC PLAN	
AS-100	SCHEMATIC FLOOR PLAN	
A-202	COLORED ELEVATIONS	
A-407	TRASH ENCLOSURE	

ITEM	AREA (SQ. FT.)	% OF GROSS SITE
I I CIVI	AILA (SQ. 11.)	% OF GROSS SITE
GROSS SITE AREA (PER PLAT)	58,431	100
BUILDING FOOTPRINT	2,589	4.4
PARKING AND PAVED DRIVES	41348	70.8
SIDEWALK	1652	2.8
LANDSCAPE AREA	12,842	22.0
PARKING DATA	REQUIRED SPACES	PROVIDED SPACES
STANDARD SPACES	26	61
HANDICAP SPACES	2	3
TOTAL SPACES	28	64
PARKING RATIO	1 SPACE / 100 SF	1.6 SPACES / 3 SEATS
BICYCLE PARKING	3 (5% OF TOTAL PARKING - 64 SPACES)	3

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK. BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM COUNTY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

#### CAUTION - NOTICE TO CONTRACTOR

. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO

METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE





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ONS:			
	ONS:	DNS:	DNS:

ISSUE DATE:					
1	1ST SDP SUBMITTAL	03-03-22			

DRAWN BY: DDJ CHECKED BY: JDP

PANDA PROJECT #: S8-22-D8204 D8204

PANDA STORE #: ARCH PROJECT #: 21013



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PANDA EXPRESS

HEIGHTS VENTURE 4446 VENETUCCI BLVD. FOUNTAIN, CO 80906

COVER SHEET

- STANDARD GEC PLAN NOTES
- NO CLEARING, GRADING, EXCAVATION, OR OTHER LAND DISTURBING ACTIVITIES SHALL BE ALLOWED (EXCEPT FOR WORK DIRECTLY RELATED TO THE INSTALLATION OF INITIAL CONTROL MEASURES) UNTIL A CITY GEC PERMIT HAS BEEN ISSUED.
- 2. ALL LAND DISTURBING ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH AND THE APPROVED GEC PLAN AND CSWMP.
- 3. INITIAL CONTROL MEASURES SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY LAND DISTURBANCE ACTIVITIES TAKING PLACE. AN INITIAL SITE INSPECTION WILL NOT BE SCHEDULED UNTIL A CITY GEC PERMIT HAS BEEN "CONDITIONALLY APPROVED" CALL CITY STORMWATER INSPECTIONS, 385-5980, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO SCHEDULE AN INITIAL INSPECTION AND OBTAIN FULL PERMIT
- 4. INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25. ARTICLE 8. CRS) AND THE "CLEAN WATER ACT" (33 USC 1344), INCLUDING REGULATIONS PROMULGATED AND CERTIFICATIONS OR PERMITS ISSUED, IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE CITY'S MS4 PERMIT, STORMWATER CONSTRUCTION MANUAL. IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS.
- ALL CONSTRUCTION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION MEASURES ARE IMPLEMENTED. TEMPORARY CONSTRUCTION CONTROL MEASURES MUST BE REMOVED PRIOR TO PERMIT CLOSEOUT.
- 7. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS OR ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR
- 8. BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONSTRUCTION CONTROL MEASURES MAY BE REQUIRED BY THE GEC INSPECTOR IF DEEMED NECESSARY BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES (E.G., ESTIMATED TIME OF EXPOSURE, SEASON OF THE YEAR, ETC.).
- ALL WASTES COMPOSED OF BUILDING MATERIALS MUST BE REMOVED FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- 10. THE PERMITTEE SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AS A RESULT OF CONSTRUCTION ACTIVITIES.
- 11. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS. MATERIALS SHALL NOT BE STORED IN A LOCATION WHERE THEY MAY BE CARRIED BY STORMWATER RUNOFF INTO THE STORM SEWER SYSTEM AT ANY TIME
- 12. SPILL PREVENTION AND CONTAINMENT MEASURES SHALL BE USED AT ALL STORAGE, EQUIPMENT FUELING, AND EQUIPMENT SERVICING AREAS SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING THE MS4, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITY. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE SECONDARY CONTAINMENT OR FOUIVALENT ADEQUATE PROTECTION, ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. OR CONTAINED UNTIL APPROPRIATE CLEANUP METHODS CAN BE EMPLOYED. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE FOLLOWED, ALONG WITH PROPER DISPOSAL METHODS.
- 13. SEDIMENT (MUD AND DIRT) TRANSPORTED ONTO A PUBLIC ROAD, REGARDLESS OF THE SIZE OF THE SITE. SHALL BE CLEANED AS SOON AS POSSIBLE AFTER DISCOVERY.
- 14. NO CHEMICALS ARE TO BE ADDED TO THE DISCHARGE UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED BY THE STATE. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- 15. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN FOURTEEN (14) CALENDAR DAYS AFTER FINAL GRADING OR FINAL LAND DISTURBANCE HAS BEEN COMPLETED. DISTURBED AREAS WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN FOURTEEN (14) DAYS SHALL BE ROUGHENED, MULCHED, TACKIFIED, OR STABILIZED WITH TARPS WITHIN FOURTEEN (14) DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN SIXTY (60) DAYS SHALL ALSO BE SEEDED. UNLESS AN ALTERNATIVE STABILIZATION MEASURE IS ACCEPTED AT THE INSPECTOR'S DISCRETION. ALL TEMPORARY CONSTRUCTION CONTROL MEASURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION IS ACHIEVED.
- 16. THE GEC PLAN WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE STORMWATER ENTERPRISE SHOULD ANY OF THE FOLLOWING OCCUR: GRADING DOES NOT COMMENCE WITHIN TWELVE (12) MONTHS OF THE CITY'S ACCEPTANCE OF THE PLAN, THE CONSTRUCTION SITE IS IDLE FOR TWELVE (12) CONSECUTIVE MONTHS. A CHANGE IN PROPERTY OWNERSHIP OCCURS, THE PLANNED DEVELOPMENT CHANGES, OR ANY OTHER MAJOR MODIFICATIONS ARE PROPOSED AS DEFINED IN THE STORMWATER CONSTRUCTION
- 17. IT IS NOT PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH ON ANY UTILITY EASEMENT OR UTILITY RIGHT OF-WAY WITHOUT WRITTEN APPROVAL FROM THE UTILITY OWNER. CITY ACCEPTANCE OF THE GEC PLAN AND CSWMP DOES NOT SATISFY THIS REQUIREMENT. THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO EXISTING UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE APPROVED BY THE AFFECTED UTILITY OWNER PRIOR TO IMPLEMENTING THE PLAN. THE COST TO RELOCATE OR PROTECT EXISTING UTILITIES OR TO PROVIDE INTERIM ACCESS SHALL BE AT THE APPLICANT'S EXPENSE.
- 18. APPLICANT REPRESENTS AND WARRANTS THAT THEY HAVE THE LEGAL AUTHORITY TO GRADE AND/OR CONSTRUCT IMPROVEMENTS ON ADJACENT PROPERTY. THE CITY HAS NOT REVIEWED THE DEVELOPER'S AUTHORITY TO MODIFY ADJACENT PROPERTY. AN APPROVED GEC PERMIT DOES NOT PROVIDE APPROVAL FOR THE APPLICANT TO PERFORM WORK ON ADJACENT PROPERTY.

#### LIST OF ABBREVIATIONS

- SHT SHEET Δ - DEFLECTION ANGLE
- LENGTH R - RADIUS
- CB CHORD BEARING C - CHORD LENGTH
- N NORTH/NORTHING W - WEST
- E EAST/EASTING S - SOUTH
- DET DETAIL EX - EXISTING
- W/ WITH
- PC POINT OF CURVATURE/PORTLAND CEMENT WWF - WELDED WIRE FABRIC
- VERT VERTICAL OC - ON CENTER
- FDC FIRE DEPARTMENT CONNECTION
- CT COURT DR - DRIVE
- TYP TYPICAL REC - RECEPTION NUMBER

INV - INVERT

- ø, DIA DIAMETER PT - POINT OF TANGENCY
- MIN MINIMUM MAX - MAXIMUM HDPE - HIGH DENSITY POLYETHYLENE
- STA STATION TBC - TOP BACK OF CURB

- GENERAL CONSTRUCTION NOTES:
- 1. REQUIREMENTS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL GOVERN. DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNERS REP. PRIOR TO BID.
- 2. NO WORK IS TO BEGIN UNTIL ALL PERMITS HAVE BEEN OBTAINED.

GRADE CHANGES IN EXCESS OF 0.05' WITHOUT COMPANY APPROVAL.

- CONTRACTOR TO PROVIDE ALL EQUIPMENT AND PERSONNEL REQUIRED FOR FINAL
- CHECKOUT OF ALL FACILITIES BY OWNER'S REPRESENTATIVE.
- 4. ENTIRE INSTALLATION SHALL MEET ALL APPLICABLE CODES.
- 5. VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. 6. FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY COMPANY REPRESENTATIVE. NO
- 7. ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY ENGINEER COMPLIANT TO THE RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT AND SHALL MEET FOUNTAIN ENGINEERING REQUIREMENTS FOR ALL NON-STRUCTURAL FILL.
- 8. SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATING CORNERS BY A REGISTERED SURVEYOR.
- 9. THIS DESIGN IS BASED ON THE GEOTECHNICAL REPORT NO. XXXXXXX DATED XXXXXXX XX, 202X, BY XXXXXXXXXXXXXX.. A COPY OF THIS REPORT SHOULD BE ON-SITE AT ALL
- 10. GENERAL CONTRACTOR SHALL RECEIVE, UNLOAD, STORE AND UNCRATE ALL EQUIPMENT FURNISHED BY THE OWNER AND SHIPPED TO THE SITE. SEE SPECIFICATIONS FOR EQUIPMENT FURNISHED BY OWNER.
- 11. GENERAL CONTRACTOR TO REFER TO STANDARD DETAILS INCLUDED IN THE SPECIFICATIONS FOR INSTALLING EQUIPMENT, INCLUDING PRODUCT DISPENSERS AND REMOTE READ-OUT EQUIPMENT.
- 12. LANDSCAPING AND IRRIGATION SYSTEM BY GENERAL CONTRACTOR.
- 13. GENERAL CONTRACTOR TO PERFORM GENERAL YARD AND BUILDING CLEAN-UP AT COMPLETION OF WORK.
- 14. SEE THE SITE SURVEY FOR SURVEY INFORMATION & LEGAL DESCRIPTION.
- 15. ALL TOP OF CURB GRADES ARE 6" HIGHER THAN FINISH GRADES SHOWN ON DRIVE UNLESS OTHERWISE NOTED. 16. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE
- SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION. REFER TO EROSION CONTROL PLANS AND DETAILS FOR ADDITIONAL INFORMATION.
- 17. ALL LANDSCAPING AREAS SHALL BE GRADED TO WITHIN 0.10' WITH COMPANY APPROVED TOP SOIL TO A MINIMUM 6" DEPTH.
- 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE COUNTY, ITS AGENTS, OWNER OR GALLOWAY AT ALL TIMES. DIMENSIONS SHALL BE ANNOTATED ON AS-BUILT RECORD DRAWINGS. AS-BUILT DRAWINGS ARE REQUIRED PRIOR TO ISSUANCE OF FINAL PAYMENT. AS BUILT DRAWINGS WILL BE SUPPLIED TO THE OWNER AND COUNTY PRIOR TO CERTIFICATE OF OCCUPANCY.
- 19. GRADING/UTILITY CONTRACTOR TO COMPLETE GRADING BELOW FINISHED GRADE IN ACCORDANCE WITH PAVING RECOMMENDATIONS OF THE GEOTECHNICAL REPORT
- PREPARED FOR THIS SITE, SHOWN TO TOLERANCE OF ± 0.1' IN ALL PAVING AREAS. 20. ALL FILL IN OLD TANK AREAS, OLD BASEMENTS, CESSPOOLS, OTHER EXCAVATIONS AND
- INSIDE BUILDING TO BE APPROVED BY GEOTECHNICAL ENGINEER. 21. GENERAL CONTRACTOR TO PROVIDE BARRICADE PROTECTION WITH FLASHING LIGHTS AROUND ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK.
- 22. CONTRACTOR RESPONSIBLE FOR ALL WORK NECESSARY FOR FINAL ACCEPTANCE OF WORK FROM COUNTY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY, INCLUDING BUT NOT LIMITED TO AS-BUILT DRAWINGS, INSPECTIONS, TESTING REPORTS AND CERTIFICATIONS.
- 23. SURVEYOR TO OBTAIN AutoCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

#### <u>DEMOLITION NOTES:</u>

GRADE.

- 1. ALL DEMOLITION TO BE IN ACCORDANCE WITH STATE, LOCAL, AND FEDERAL
- 2. CONTRACTOR TO VERIFY ALL UTILITY SERVICE LOCATIONS AND EXISTING SITE CONDITIONS PRIOR TO PROCEEDING. ANY SITE CONDITIONS THAT ARE NOT AS SHOWN MUST BE REPORTED TO THE COMPANY REPRESENTATIVE PRIOR TO BID.
- 3. CONTRACTOR TO REMOVE OR RELOCATE EXISTING UTILITIES PER UTILITY COMPANY REQUIREMENTS.
- 4. CONTRACTOR TO ERECT BARRIERS, FENCES, GUARDRAILS, ENCLOSURES, ETC. TO PROTECT SITE. THE PROTECTION PLAN MUST BE REVIEWED BY THE COMPANY REPRESENTATIVE PRIOR TO PROCEEDING.
- 5. COMPANY REPRESENTATIVE WILL DETERMINE WHEN CONDITIONS ARE SUITABLE TO COMMENCE WORK, CONTRACTOR TO VERIFY AREAS TO BE DEMOLISHED ARE UNOCCUPIED
- 6. REMOVE ALL STRUCTURES ALONG WITH ALL ELECTRICAL, MECHANICAL AND OTHER APPURTENANCES.
- 7. ABANDON BOTTOM SLABS IN PLACE EXCEPT IN THE FOLLOWING INSTANCES: A. IF ANY POINT OF THE SLAB IS LESS THAN 4' BELOW FINISH GRADE
- B. IF THE SLAB INTERFERES WITH CONSTRUCTION OF OTHER FACILITIES. 8. DISPOSE OF AND TRANSPORT DEBRIS TO AREA OBTAINED BY CONTRACTOR. DO NOT STORE OR BURN MATERIALS ON SITE.
- 9. REMOVE ALL ASPHALT, TREES, POSTS AND OTHER IMPROVEMENTS UNLESS THE ITEM IS SPECIFIED TO REMAIN.
- 10. FILL AND COMPACT BASEMENTS, CESSPOOLS, AND OTHER LARGE EXCAVATED AREAS WITH CLEAN FILL SUITABLE TO THE COMPANY REPRESENTATIVE AND IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. GRADE TO MATCH EXISTING OR PROPOSED FINISH
- 11. SEE PROJECT SPECIFICATIONS FOR EXISTING ITEMS TO BE SALVAGED AND OTHER REQUIREMENTS PERTAINING TO THE SALVAGE THEREOF.
- 12. REMOVE ALL EXISTING FOUNDATION WALLS AND FOOTINGS COMPLETELY UNLESS OTHERWISE NOTED OR SPECIFIED.
- 13. ALL UNDERGROUND STORM SEWER, WATER, AND SANITARY SEWER MAIN LOCATIONS ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY.
- 14. ALL UNDERGROUND GAS AND ELECTRIC UTILITY INFORMATION SHOWN IS BASED ON MAPS PROVIDED BY UTILITY COMPANY AND ARE TO BE CONSIDERED AS AN APPROXIMATE LOCATION ONLY BASED ON SAID MAPS.
- 15. CONTRACTOR TO OBTAIN ALL PERMITS AND LICENSES REQUIRED FOR DEMOLITION OF WORK SHOWN.

#### STORM SEWER CONSTRUCTION NOTES:

- 1. ALL STORM DRAINAGE CONSTRUCTION IS SUBJECT TO THE GENERAL NOTES ON THE COVER SHEET OF THESE PLANS, AS WELL AS THE STORM DRAINAGE CONSTRUCTION NOTES LISTED HERE.
- 2. ALL STORM DRAINAGE PIPE SHALL BE PER LOCAL JURISDICTION SPECIFICATIONS, AND IF NOT AVAILABLE: REINFORCED CONCRETE PIPE (RCP) PER ASTM C76, CL III OR CL IV. AND JOINTING SHALL CONFORM TO ASTM C443. PVC (SDR-35). SHALL BE IN ACCORDANCE WITH ASTM D-3034: ANY STORM DRAINAGE PIPE UNDER A PROPOSED OR FUTURE TRAFFIC AREA SHALL BE RCP CL III AS A MINIMUM. RCP TO BE JACKED SHALL BE CL-V AS A MINIMUM.
- 3. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 24", UNLESS OTHERWISE NOTED. UNDER NO CIRCUMSTANCES WILL ANY PIPE HAVE LESS THAN 18" COVER FROM THE FINISH SURFACE TO THE OUTSIDE WALL OF THE PIPE.
- 4. ALL STORM DRAINAGE PIPE SHALL BE BEDDED IN ACCORDANCE WITH STANDARD DETAILS INCLUDED AFTER THE STORM SEWER PLAN AND PROFILES OF THE PLAN SET. STORM SEWER PIPE SHALL BE BEDDING CLASS "B" UNLESS THE GEOTECHNICAL ENGINEER OR COUNTY ENGINEER DEEM NECESSARY A CHANGE IN BEDDING CLASS DUE TO SOIL CONDITION.
- 5. ALL STORM DRAINAGE TRENCHES SHALL BE SLOPED OR BRACED AND SHEETED AS NECESSARY, FOR THE SAFETY OF THE WORKERS AND THE PROTECTION OF OTHER UTILITIES, AND IN COMPLIANCE WITH ALL APPLICABLE STATE AND FEDERAL REQUIREMENTS. ALL EXCAVATION OPERATION SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 6. ALL MANHOLE RIM ELEVATIONS GIVEN ON THESE PLANS ARE TO BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL SET THE FINAL RIM ELEVATION BASED ON THE COMPLETED FINISH SURFACE.
- 7. ALL STORM DRAINAGE PIPES SHALL HAVE A MINIMUM HORIZONTAL SEPARATION OF 10' FROM ALL WATER LINES. WHERE LINES CROSS, THERE SHALL BE A MINIMUM OF 18" CLEAR VERTICAL SEPARATION. ANY STORM SEWER LINE ABOVE A WATER LINE SHALL HAVE JOINTS ENCASED IN CONCRETE PER DETAIL ON THIS SHEET IF WITHIN 18" VERTICAL SEPARATION. IF STORM SEWER IS ABOVE WATER LINE AND VERTICAL SEPARATION IS LESS THAN 1.5' THE STORM SEWER SHALL BE FULLY ENCASED IN CONCRETE PER THE APPROPRIATE ENCASEMENT DETAIL.
- 8. LENGTHS OF STORM SEWER PIPES ARE THE HORIZONTAL DISTANCES FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. THEREFORE, LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND STRUCTURE
- 9. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ROOF AND CANOPY DOWNSPOUTS.
- 10. ASPHALT / ROAD BASE, ETC. (FOR PAVEMENT CONSTRUCTION) TO BE INSTALLED ABOVE STORM PIPE BACKFILL SHALL BE ACCORDING TO GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.

GENERAL SANITARY SEWER NOTES:

- 1. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE STANDARD WATER AND SEWER SPECIFICATIONS FOR COUNTY AND REGULATORY AGENCY UTILITY SPECIFICATIONS, CURRENT EDITION.
- 2. THE CONTRACTOR SHALL NOTIFY THE COUNTY AND REGULATORY AGENCY 48 WORKING HOURS PRIOR TO BEGINNING CONSTRUCTION.
- 3. THE CONTRACTOR SHALL HAVE ONE SIGNED COPY OF THE APPROVED PLANS, ONE COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS AND A COPY OF ANY
- 4. THE CONTRACTOR SHALL VERIFY THE INVERT OF THE DOWNSTREAM TIE IN POINT PRIOR

PERMITS AND EXTENSION AGREEMENTS NEEDED AT THE JOB SITE AT ALL TIMES.

- TO BEGINNING ANY CONSTRUCTION. REPORT ANY DISCREPANCY TO THE ENGINEER. 5. ALL SANITARY SEWER LINES AT 4.5 FOOT DEPTH OR GREATER SHALL BE POLYVINYL CHLORIDE PIPE (PVC), ASTM D-3034 SDR35. SEWER LINE MATERIALS AND
- 6. DISTANCES FOR SANITARY SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF MANHOLE OR CLEANOUT TO CENTER OF SAME.

CONSTRUCTION SHALL CONFORM TO ASTM STANDARDS AND SPECIFICATIONS.

- 7. ALL SANITARY SEWER MAIN TESTING SHALL BE IN ACCORDANCE WITH THE COUNTY AND
- 8. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE RESTORATION (I.E., LANDSCAPE,

REGULATORY AGENCY UTILITY SPECIFICATIONS.

ENGINEER.

- ASPHALT, CONCRETE, ETC.)
- REQUIRED BY OSHA OR AS REQUIRED BY STATE OR LOCAL LAWS. 10. SANITARY SEWER PIPE SHALL BE BEDDED AND BACKFILLED PER COUNTY / DISTRICT

9. ALL TRENCH EXCAVATION SHALL BE PROPERLY SLOPED OR SUPPORTED IN A MANOR

- STANDARDS. 11. NO CONNECTIONS TO THE EXISTING SYSTEM SHALL BE MADE UNTIL THE NEW LINES
- HAVE BEEN TESTED AND ACCEPTED BY THE COUNTY AND REGULATORY AGENCY. 12. CONTRACTOR SHALL OBTAIN ALL NECESSARY TEMPLATES FROM EQUIPMENT SUPPLIERS
- AND STUB LINES ACCORDINGLY. 13. CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, WHETHER SHOWN OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY CONFLICTS TO THE
- 14. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL TAP FEES REQUIRED. OWNER SHALL PAY FOR ALL SPECIAL ASSESSMENTS.
- 15. ALL DIMENSIONS ARE MEASURED HORIZONTALLY FROM CENTER OF MANHOLE OR INLETS.

GENERAL WATER CONSTRUCTION NOTES:

- 1. ALL WATER LINE CONSTRUCTION IS SUBJECT TO THE WATER LINE CONSTRUCTION NOTES LISTED HERE. IF A CONFLICT ARISES BETWEEN THESE NOTES AND DETAILS AND DISTRICT STANDARDS. THE DISTRICT STANDARDS SHALL SUPERSEDE THESE NOTES AND DETAILS. CONTRACTOR TO KEEP A COPY OF DISTRICT STANDARD SPECIFICATIONS ON THE JOB SITE AT ALL TIMES. OBTAIN LATEST EDITION OF DISTRICT STANDARDS FROM STRATMOOR HILLS WATER & SANITATION DISTRICT — 1811 B STREET, COLORADO SPRINGS, CO 80906 (719) 576-0311.
- 2. ALL WATER LINES SHALL BE; PVC C900, CONFORMING TO THE REQUIREMENTS OF AWWA C900 WITH A PRESSURE CLASS OF 150. PUSH-ON GASKETED JOINTS OR MECHANICAL JOINT ENDS. IN CONFORMANCE WITH AWWA C110 & AWWA C111.
- WATER LINE FITTINGS SHALL BE DIP CONFORMING TO AWWA C110 AND SHALL HAVE A PRESSURE RATING OF 250 PSI. ALL FITTINGS SHALL BE MECHANICAL JOINT, UNLESS SPECIFIED OTHERWISE IN THE PLANS. UNLESS SPECIFIED OTHERWISE IN THE PLANS, AND SHALL BE CEMENT MORTAR LINED.
- 4. ALL DIP AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE TUBING TO PREVENT CORROSION. POLYETHYLENE TUBING, TAPE AND INSTALLATION SHALL MEET THE REQUIREMENTS OF AWWA C105.
- GATE VALVES SHALL CONFORM TO AWWA C509, AND SHALL BE DOUBLE-RISE, PARALLEL-SEAT, IRON BODY, BRONZE-MOUNTED, NON-RISING STEM, EQUIPPED WITH "O" RING STEM SEALS, AND SHALL CLOSE BY TURNING CLOCKWISE. VALVE ENDS SHALL BE MECHANICAL JOINT, UNLESS SPECIFIED OTHERWISE IN THE PLANS.
- 6. ALL FIRE HYDRANTS SHALL BE 48" BURY, 6" BARREL, 4 1/2" PUMPER AND (2) 2 1/2" HOSE NOZZLE HYDRANTS (WATEROUS, US METROPOLITAN, OR MUELLER). REFER TO FIRE HYDRANT DETAILS.
- 7. ALL WATER LINES SHALL BE BURIED AN ABSOLUTE MINIMUM OF 4.5' FROM FINISHED GRADE. THE MAXIMUM BURY SHALL BE 6', UNLESS ADDITIONAL DEPTH IS REQUIRED FOR UTILITY CROSSINGS OR OTHER CONFLICTS. WHEREVER SUCH CROSSINGS OR CONFLICTS OCCUR, THE UTILITY CROSSING DETAIL SHALL BE USED.
- 8. ALL WATER LINES SHALL BE BEDDED IN ACCORDANCE WITH WATER MAIN BEDDING REQUIREMENTS DETAIL.
- 9. CONTRACTOR SHALL MAINTAIN A MINIMUM 18" VERTICAL CLEARANCE, AND 10' HORIZONTAL CLEARANCE, BETWEEN ALL WATER LINES AND SANITARY SEWER LINES, STORM LINES, AND IRRIGATION LINES.
- 10. ALL BENDS, TEES, FIRE HYDRANTS, AND PLUGS AT DEADEND MAINS, SHALL BE RESTRAINED FROM THRUST BY USING CONCRETE THRUST BLOCKS PER THE BEARING AREA AND THRUST BLOCK DETAILS.
- BOXES TO FINISH GRADE, IN ACCORDANCE WITH DISTRICT STANDARDS OR DETAILS ON THIS SHEET. 12. ALL WATER LINES SHALL BE TESTED IN ACCORDANCE WITH DISTRICT REGULATIONS.

11. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL FIRE HYDRANTS AND VALVE

TESTING, FLUSHING, AND DISINFECTING THE INSTALLED WATER LINES. TESTING SHALL BE DONE IN THE PRESENCE OF THE DISTRICT INSPECTOR. 13. DISTANCES FOR WATER LINES ARE THE HORIZONTAL DISTANCE FROM THE CENTER OF

THE FITTING TO CENTER OF THE FITTING. THEREFORE, DISTANCES SHOWN ON THE

PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND FITTING

CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL PROCEDURES FOR

DIMENSIONS. 14. ALL DOMESTIC SERVICE WATER LINES SHALL BE CLASS 200 COPPER TUBE SIZE POLYETHYLENE FROM THE MAIN TO THE METER, AND SHALL BE INSTALLED BY THE CONTRACTOR, METER INSTALLATION TO BE COORDINATED WITH THE DISTRICT. THE

BE DUCTILE IRON.

15. WATER LINE TRENCHES SHALL BE SLOPED OR BRACED AND SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKERS AND THE PROTECTION OF OTHER UTILITIES, IN COMPLIANCE WITH ALL APPLICABLE STATE AND FEDERAL REQUIREMENTS. FOR ALL EXCAVATION OPERATIONS, SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.

WATER SERVICE LINE FROM THE REDUCER AFTER THE METER TO THE BUILDING SHALL

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ARCH PROJECT #: 21013

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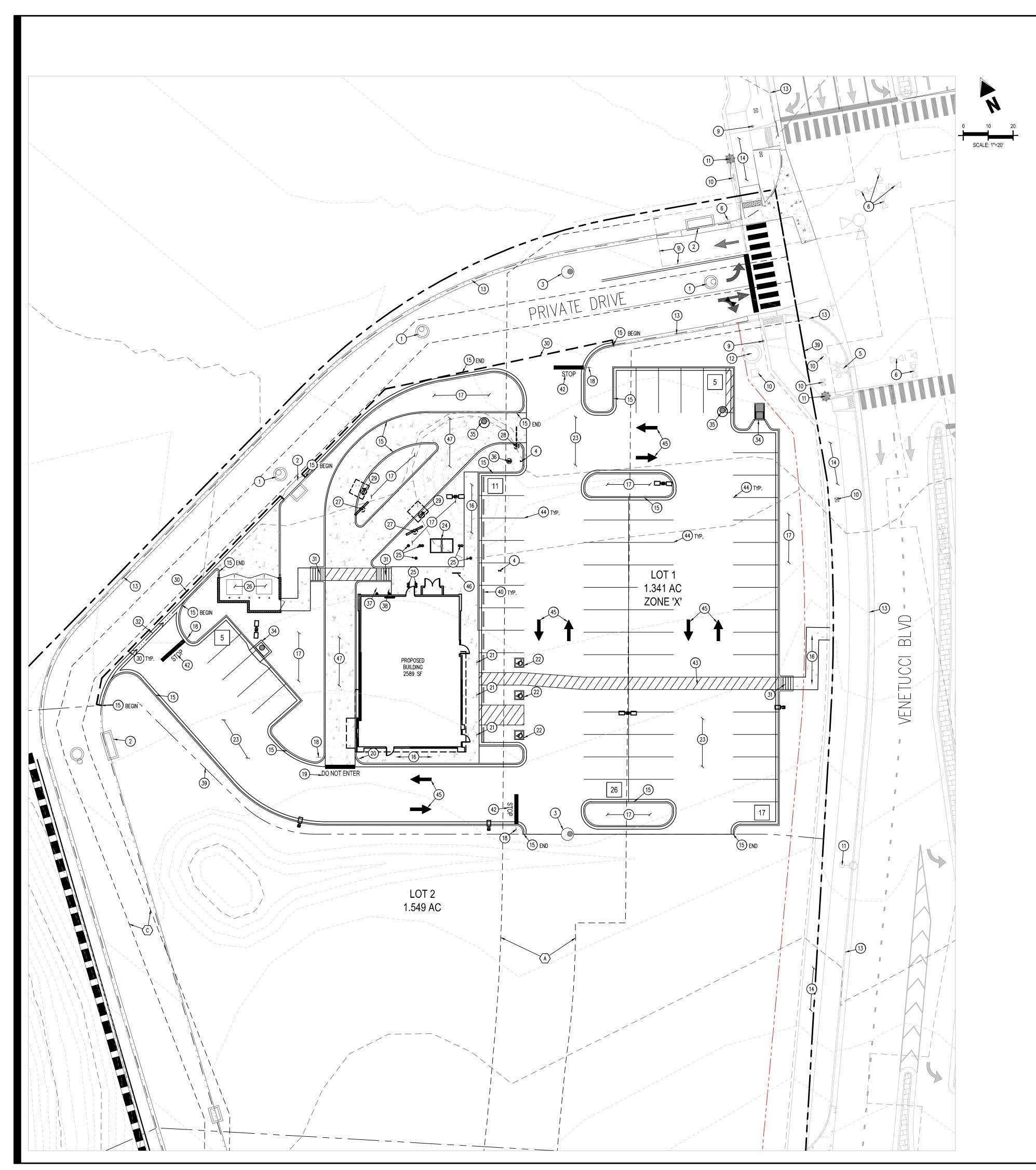
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NOTES

TRUE WARM & WELCOME 2300 R5

RE



#### SCHEDULE

- EXISTING STORM SEWER MANHOLE TO REMAIN AND BE ADJUSTED TO FINISHED GRADE AS NECESSARY
- (2) EXISTING STORM SEWER INLET TO REMIAN
- 3 EXISTING SANITARY SEWER MANHOLE TO REMAIN AND BE ADJUSTED TO FINISHED GRADE AS NECESSARY (4) PROPOSED WATER VALVE. REFERENCE UTILITY PLAN FOR ADDITIONAL INFORMATION.
- (5) EXISTING FIRE HYDRANT TO REMAIN

- (6) EXISTING WATER VALVE TO REMAIN
- (7) EXISTING ELECTRIC RISER TO REMAIN
- (8) EXISTING ELECTRIC TRANSFORMER BOX TO REMAIN
- (9) EXISTING PEDESTRIAN CROSSING BUTTON TO REMAIN
- (10) EXISTING UTILITY VAULT TO REMAIN
- (11) EXISTING LIGHT AND TRAFFIC SIGNAL POLE TO REMAIN
- 22 EXISTING WATER MANHOLE TO REMAIN AND BE ADJUSTED TO FINISHED GRADE AS NECESSARY
- (13) EXISTING CURB AND GUTTER TO REMAIN
- (14) EXISTING SIDEWALK TO REMAIN
- (15) PROPOSED CURB AND GUTTER. REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION.
- PROPOSED CONCRETE SIDEWALK. REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION.
- PROPOSED LANDSCAPED AREA. REFERENCE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
- PROPOSED 30" STOP SIGN (MUTCD R1-1). REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION.
- PROPOSED "DO NOT ENTER" PAVEMENT MARKING AND BAR. REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION.
- PROPOSED 30" "DO NOT ENTER" SIGN (MUTCD R5-1). REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION.
- 21) PROPOSED ADA ACCESSIBLE SIGNAGE. REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION.
- PROPOSED ADA PAVEMENT MARKING. REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION.
- PROPOSED ASPHALT PAVING (PARKING STALLS LIGHT DUTY, DRIVE ISLES MEDIUM DUTY). REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION.
- PROPOSED GREASE INTERCEPTOR. REFERENCE UTILITY PLAN FOR ADDITIONAL INFORMATION.
- PROPOSED SANITARY CLEANOUT. REFERENCE UTILITY PLAN FOR ADDITIONAL INFORMATION.
- PROPOSED TRASH ENCLOSURE. REFERENCE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- PROPOSED MENU BOARD SIGNAGE. REFERENCE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- PROPOSED HEIGHT RESTRICTION SIGNAGE AND POST. REFERENCE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- PROPOSED COMMUNICATIONS INTERFACE. REFERENCE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.

- PROPOSED PEDESTRIAN RAMP. REFERENCE GRADING PLAN FOR ADDITIONAL INFORMATION.
- (32) PROPOSED CONCRETE PAN. REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION.
- (33) PROPOSED CURB BREAK. REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION.
- PROPOSED STORM SEWER INLET. REFERENCE GRADING PLAN FOR ADDITIONAL INFORMATION.
- (37) PROPOSED GAS METER. REFERENCE UTILITY PLAN FOR ADDITIONAL INFORMATION.
- (38) PROPOSED ELECTRIC METER. REFERENCE UTILITY PLAN FOR ADDITIONAL INFORMATION.
- (39) EXISTING PROPERTY LINE
- 40) PROPOSED WHEEL STOP. REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION.
- PROPOSED MONUMENT SIGN. REFERENCE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- PROPOSED "STOP" PAVEMENT MARKING AND BAR. REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION.
- 44) PROPOSED 4" WIDE WHITE PARKING STALL STRIPING

- 47) PROPOSED CONCRETE PAVEMENT

#### SITE LEGEND

PROPERTY BOUNDARY LINE ——— — EXISTING PROPERTY LINE

---- Existing easement line — — — — — PROPOSED EASEMENT

PROPOSED PEDESTRIAN ACCESS PATH PROPOSED CURB AND GUTTER

> EXISTING CURB AND GUTTER EXISTING STORM SEWER INLET

EXISTING SANITARY SEWER MANHOLE

EXISTING STORM SEWER MANHOLE

EXISTING FIBER OPTIC PULL BOX EXISTING FIBER OPTIC VAULT

EXISTING FIRE HYDRANT EXISTING WATER VALVE

> EXISTING ELECTRIC RISER EXISTING LIGHT POLE

EXISTING TREE

PROPOSED STORM SEWER INLET PROPOSED FIRE HYDRANT

PROPOSED WATER METER PROPOSED FIBER OPTIC PEDESTAL

PROPOSED SIGN PARKING COUNT

EXISTING SIDEWALK PROPOSED CONCRETE

PROPOSED ASPHALT PAVEMENT PROPOSED LANDSCAPING/SOD

(30) PROPOSED SAWCUT OF EXISTING PAVEMENT/ CURB AND GUTTER

- (36) PROPOSED WATER METER. REFERENCE UTILITY PLAN FOR ADDITIONAL INFORMATION.

- PROPOSED CROSSWALK STRIPING. REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION.
- PROPOSED DIRECTIONAL ARROW STRIPING. REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION.
- (46) PROPOSED BIKE RACK. REFERENCE SITE DETAILS FOR ADDITIONAL INFORMATION.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM COUNTY, JTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR HALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

OTE: CONTRACTOR MUST CONTACT CITY OF GRAND JUNCTION TRAFFIC OPERATIONS SUPERVISOR PRIOR TO CONSTRUCTION OR PLACEMENT OF TRAFFIC CONTROL DEVICES/FEATURES (STRIPING, SIGNALS, MEDIANS, ETC.) FOR CONSTRUCTION IN THE RIGHT-ÓF-WAY.

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WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

#### EASEMENT SCHEDULE

(A) 50' PUBLIC UTILITY EASEMENT (STRATMOOR).

B 20' UTILITY EASEMENT (REC NO. 214020857).

(C) 10' PRIVATE STORM SEWER EASEMENT.





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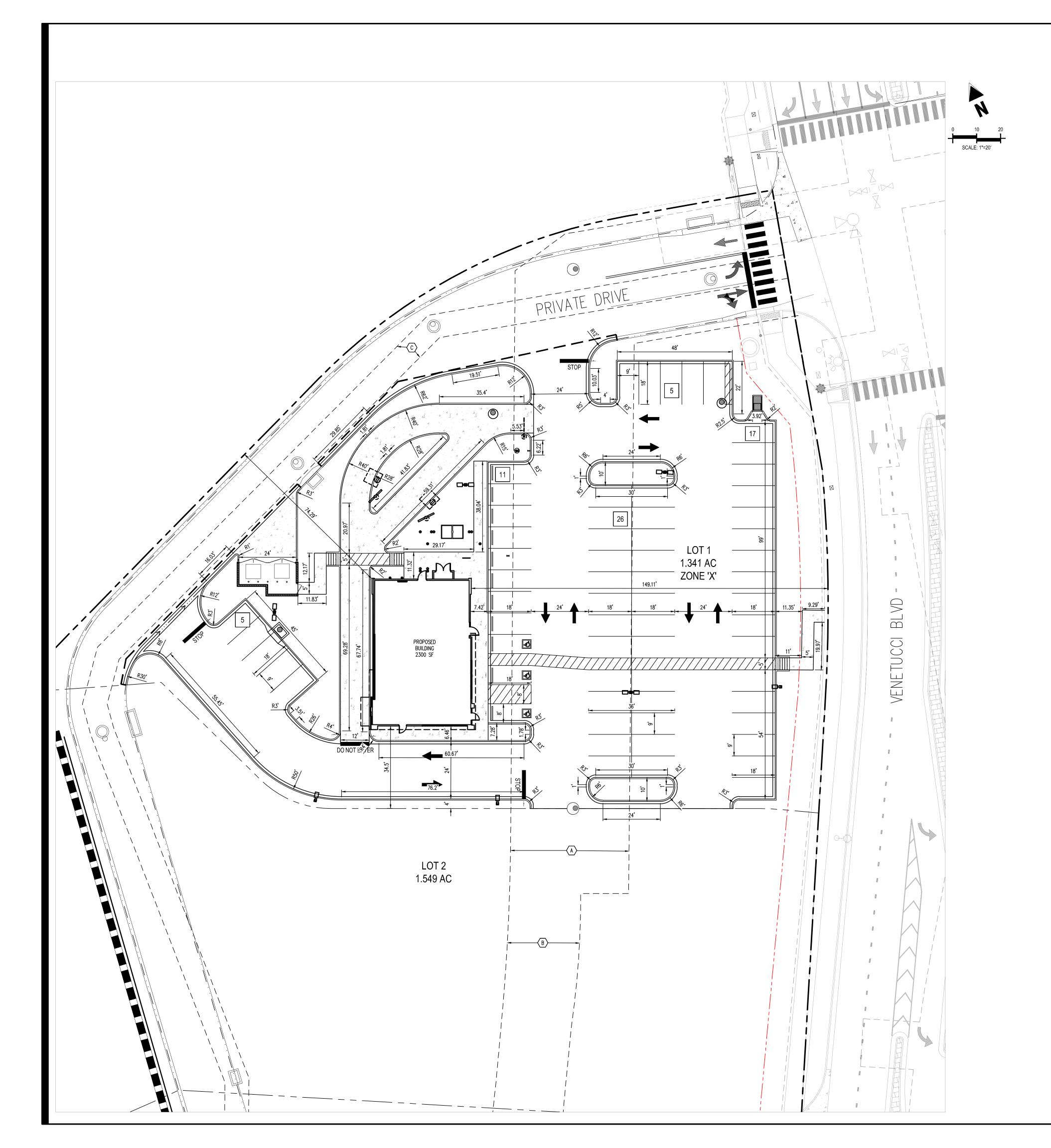


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SITE PLAN



<u>SITE LEG</u>END PROPERTY BOUNDARY LINE ——— — EXISTING PROPERTY LINE ---- Existing easement line — — — — — PROPOSED EASEMENT PROPOSED PEDESTRIAN ACCESS PATH PROPOSED CURB AND GUTTER EXISTING CURB AND GUTTER EXISTING STORM SEWER INLET EXISTING STORM SEWER MANHOLE EXISTING SANITARY SEWER MANHOLE EXISTING FIBER OPTIC PULL BOX EXISTING FIBER OPTIC VAULT EXISTING FIRE HYDRANT EXISTING WATER VALVE EXISTING ELECTRIC RISER EXISTING LIGHT POLE EXISTING TREE PROPOSED STORM SEWER INLET PROPOSED FIRE HYDRANT PROPOSED WATER METER PROPOSED FIBER OPTIC PEDESTAL PROPOSED SIGN PARKING COUNT EXISTING SIDEWALK PROPOSED CONCRETE

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

PROPOSED ASPHALT PAVEMENT

PROPOSED LANDSCAPING/SOD

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#### EASEMENT SCHEDULE

- A 50' PUBLIC UTILITY EASEMENT (STRATMOOR).
- $\langle B \rangle$  20' UTILITY EASEMENT (REC NO. 214020857).
- © 10' PRIVATE STORM SEWER EASEMENT.



Know what's below.

Call before you dig.



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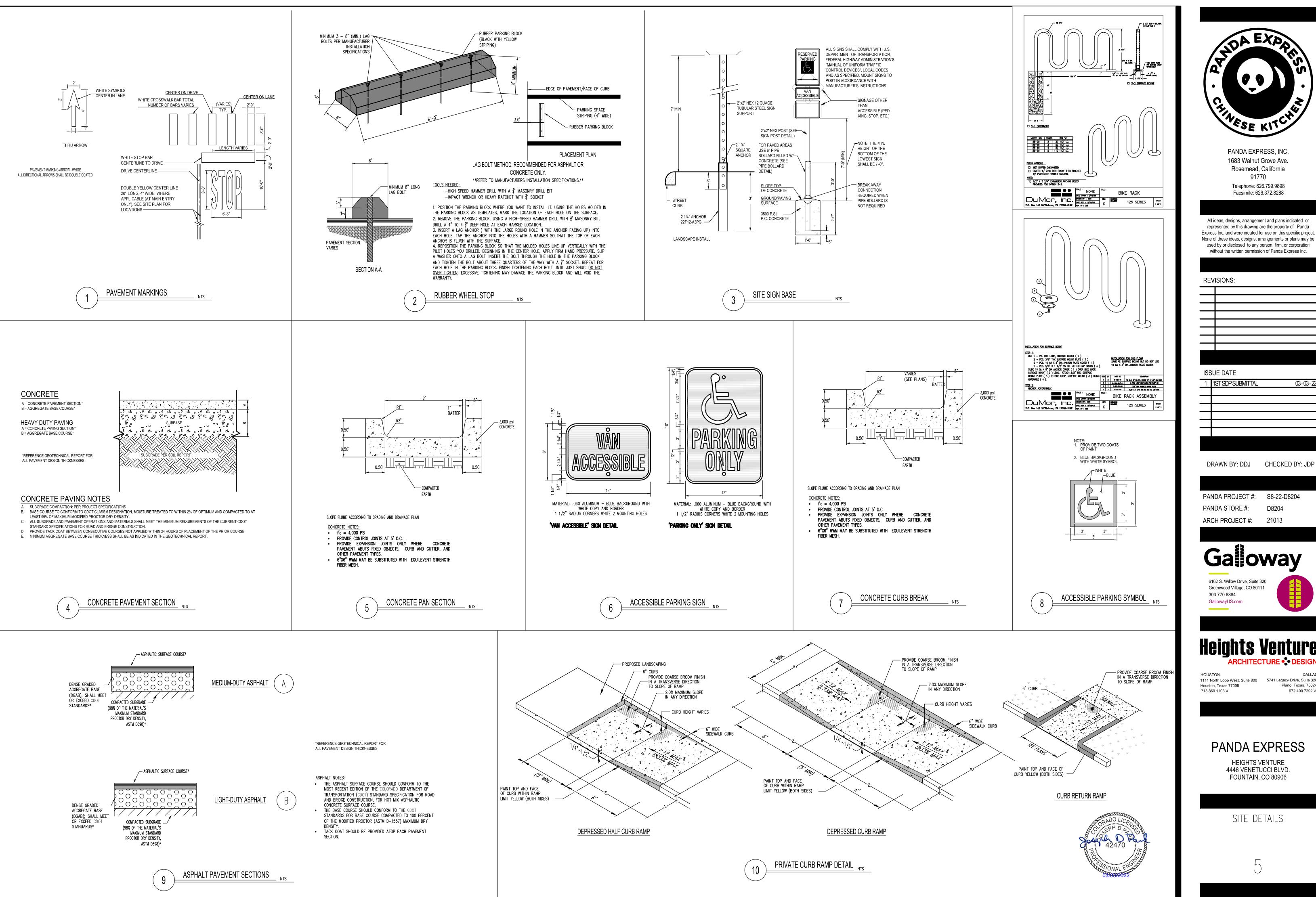
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#### PANDA EXPRESS

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HORIZONTAL CONTROL PLAN



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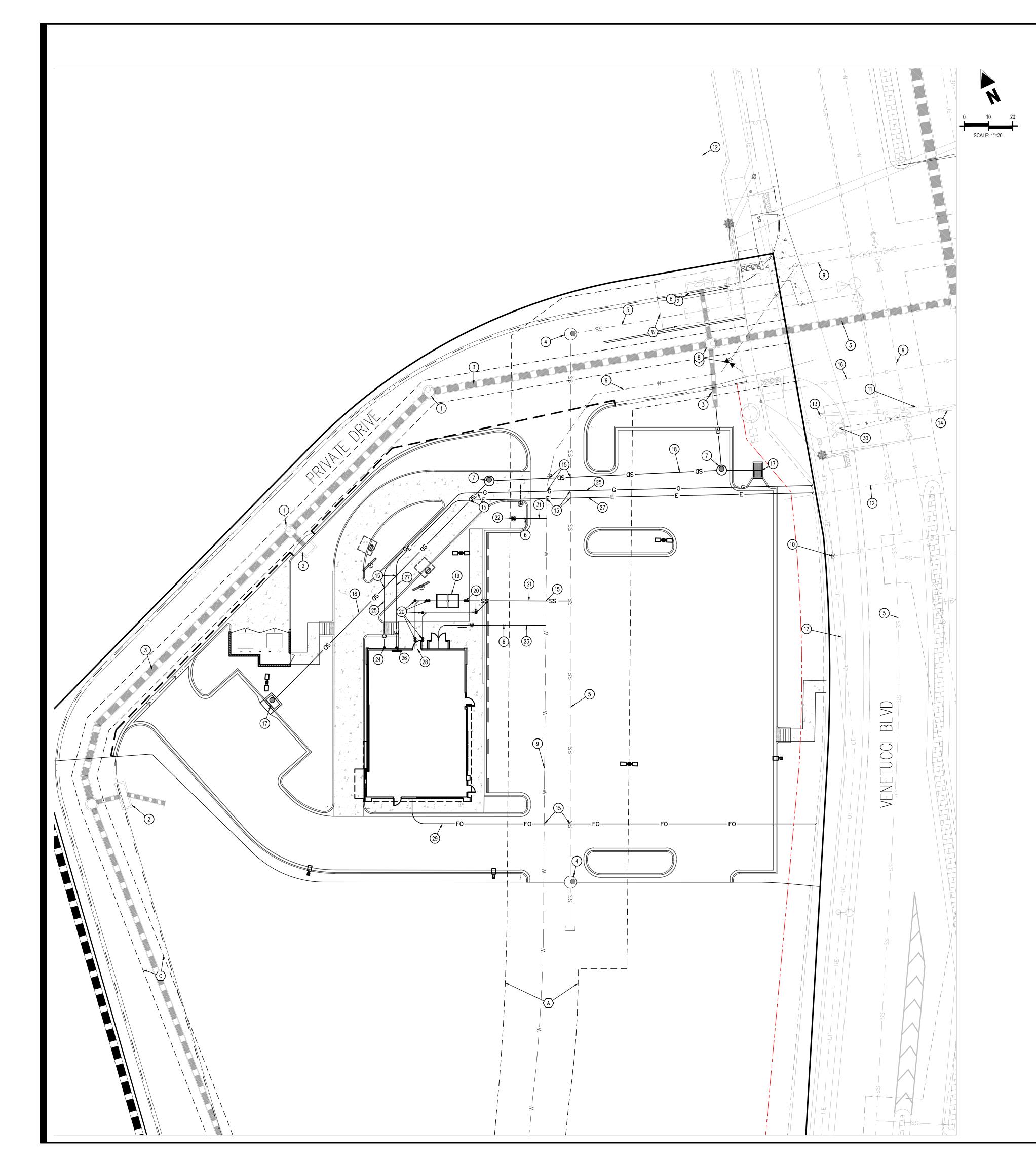
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FOUNTAIN, CO 80906

SITE DETAILS

REVIEW



#### SCHEDULE

- EXISTING STORM SEWER MANHOLE TO REMAIN AND BE ADJUSTED TO FINISHED GRADE AS NECESSARY
- (2) EXISTING STORM SEWER INLET TO REMIAN
- (3) EXISTING STORM SEWER TO REAMIN
- EXISTING SANITARY SEWER MANHOLE TO REMAIN AND BE ADJUSTED TO FINISHED GRADE AS NECESSARY
- (5) EXISTING SANITARY SEWER TO REMAIN
- 6 PROPOSED WATER VALVE.
- 7 PROPOSED STORM SEWER MANHOLE. REFERENCE GRADING PLAN FOR ADDITIONAL INFORMATION.
- 8 EXISTING WATER VALVE TO REMAIN AND BE ADJUSTED TO FINISHED GRADE AS NECESSARY
- 9 EXISTING WATER LINE TO REMAIN
- (10) EXISTING ELECTRIC RISER TO REMAIN
- (11) EXISTING UNDERGROUND TELEPHONE LINE TO REMAIN
- (12) EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN
- (13) EXISTING FIBER OPTIC VAULT TO REMAIN
- (14) EXISTING FIBER OPTIC LINE TO REMAIN
- (15) !!! CAUTION, UTILITY CROSSING. MAINTAIN MINIMUM 18" VERTICAL CLEARANCE!!!
- (16) EXISTING GAS LINE TO REMAIN
- PROPOSED STORM SEWER INLET. REFERENCE GRADING PLAN FOR ADDITIONAL INFORMATION.
- (18) PROPOSED STORM SEWER. REFERENCE GRADING PLAN FOR ADDITIONAL INFORMATION.
- (19) PROPOSED GREASE INTERCEPTOR
- (20) PROPOSED SANITARY CLEANOUT
- 21) PROPOSED SANITARY SEWER
- 22) PROPOSED WATER METER

(25) PROPOSED GAS SERVICE LINE

- 23) PROPOSED 1.5" WATER SERVICE LINE
- (24) PROPOSED GAS METER. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER
- (26) PROPOSED ELECTRIC METER. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER.
- (27) PROPOSED UNDERGROUND ELECTRIC SERVICE LINE
- 28) PROPOSED KNOX BOX. SEE ARCHITECTURAL PLANS. (29) PROPOSED FIBER OPTIC SERVICE LINE
- (30) EXISTING FIRE HYDRANT TO REMAIN
- (31) PROPOSED 3/4" IRRIGATION WATER SERVICE LINE

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Know what's below.

#### SITE LEGEND PROPERTY BOUNDARY LINE

PROPOSED PROPERTY LINE ---- Existing easement line

--- PROPOSED SAWCUT

PROPOSED CURB AND GUTTER EXISTING CURB AND GUTTER

> EXISTING STORM SEWER INLET EXISTING STORM SEWER MANHOLE

EXISTING FIBER OPTIC PULL BOX

EXISTING SANITARY SEWER MANHOLE

EXISTING FIBER OPTIC VAULT EXISTING FIRE HYDRANT

EXISTING WATER VALVE EXISTING ELECTRIC RISER

EXISTING LIGHT POLE

PROPOSED STORM SEWER INLET PROPOSED FIRE HYDRANT

PROPOSED WATER METER

PROPOSED FIBER OPTIC PEDESTAL PROPOSED SIGN

EXISTING SIDEWALK PROPOSED CONCRETE

EXISTING STORM SEWER EXISTING SANITARY SEWER

EXISTING WATER LINE EXISTING UNDERGROUND ELECTRIC LINE

EXISTING UNDERGROUND FIBER OPTIC LINE EXISTING GAS LINE

—SD — PROPOSED STORM SEWER

—SS———— PROPOSED SANITARY SEWER — W———— PROPOSED WATER LINE

— E — PROPOSED UNDERGROUND ELECTRIC LINE

FO———— PROPOSED UNDERGROUND FIBER OPTIC LINE

### EASEMENT SCHEDULE

(A) 50' PUBLIC UTILITY EASEMENT (STRATMOOR).

B 20' UTILITY EASEMENT (REC NO. 214020857).

C 10' PRIVATE STORM SEWER EASEMENT.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM COUNTY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

NOTE: MAINTAIN MINIMUM 18" VERTICAL AND 10" HORIZONTAL SEPARATION BETWEEN POTABLE WATERLINE AND STORM OR SANITARY SEWERS AND LATERALS. A 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN IRRIGATION LINES.

NOTE: ALL WATER AND SEWER SERVICE LINES SHALL BE SURVEYED, AND SHOWN ON AS-BUILT SHALL ALSO BE AS-BUILT.





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DRAWN BY: DDJ CHECKED BY: JDP

PANDA PROJECT #: S8-22-D8204 D8204 PANDA STORE #:

ARCH PROJECT #: 21013

## Galloway

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## Heights Venture ARCHITECTURE CONTROL DESIGN

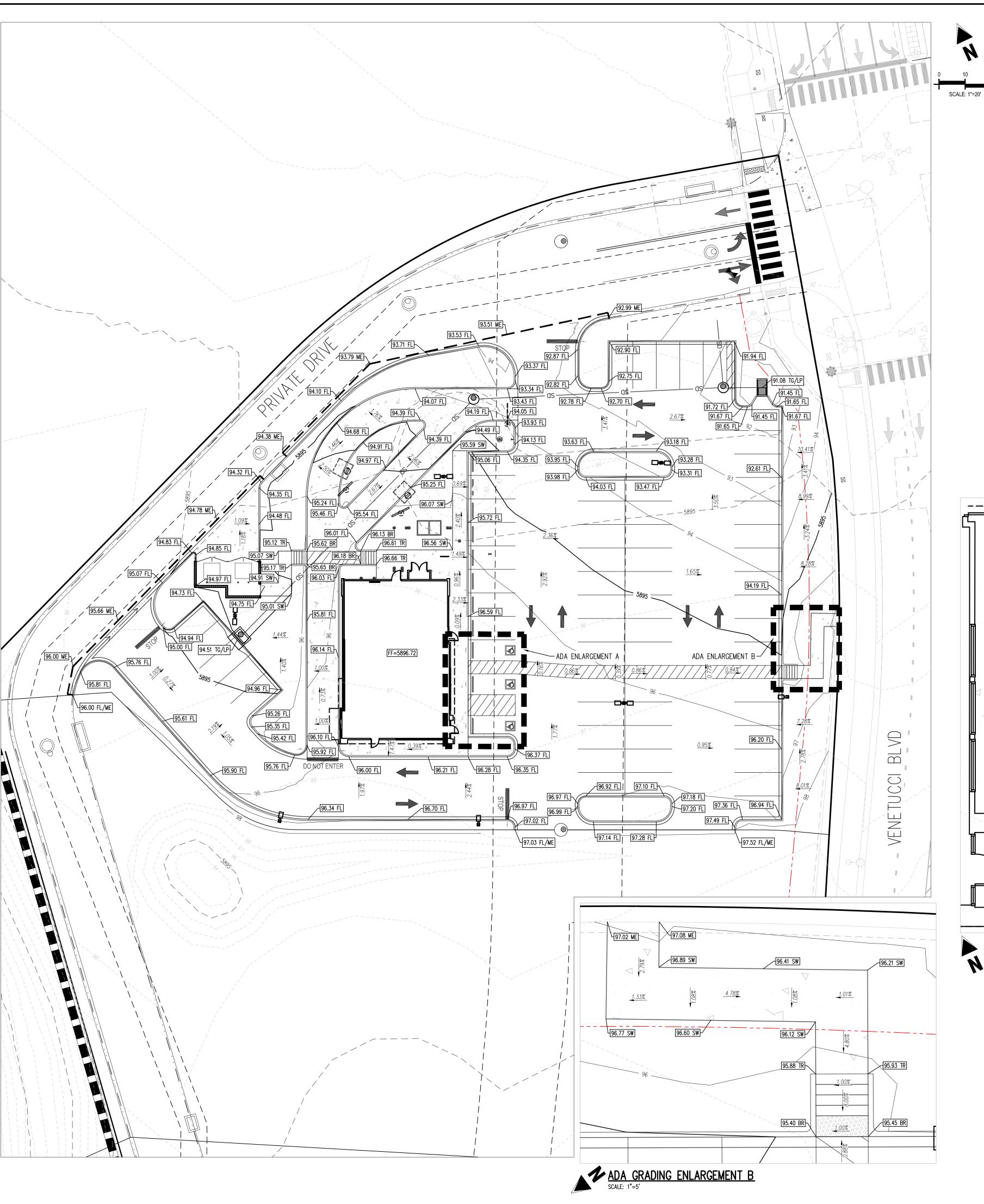
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### PANDA EXPRESS

HEIGHTS VENTURE 4446 VENETUCCI BLVD. FOUNTAIN, CO 80906

UTILITY PLAN



ADA DESIGN PROFESSIONAL STANDARDS NOTES:

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF AURORA DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

#### RAMPS/FLATS:

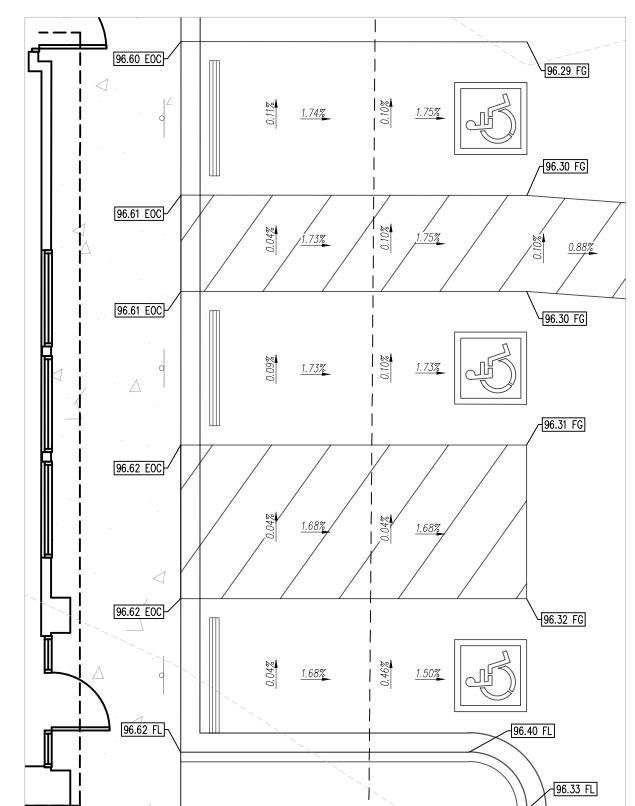
- RAMPS MUST NOT EXCEED 8.33% LONGITUDINAL SLOPE, 2% CROSS
- FLATS MUST NOT EXCEED 2% IN ANY DIRECTION SIDEWALKS MUST NOT EXCEED 5% LONGITUDINAL SLOPE, 2% CROSS SLOPE UNLESS OTHERWISE APPROVED BY THE CITY.

ADA PARKING AREA MUST NOT EXCEED 2% IN ANY DIRECTION

#### GRADING NOTES

1. ADD 4500 TO ALL SPOT ELEVATIONS

- 2. WALKS SLOPE AWAY FROM BUILDING AT 1.0% MINIMUM
- 3. THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS OF EXISTING UTILITY LINES. ACCEPTANCE OF THIS PLAN DOES NOT CONSTITUTE APPROVAL TO GRADE IN ANY UTILITY EASEMENT OR RIGHT OF WAY. APPROVALS TO GRADE WITHIN UTILITY EASEMENTS MUST BE OBTAINED FROM THE APPROPRIATE UTILITY COMPANY. IT IS NOT PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH ON ANY COLORADO SPRINGS UTILITIES EASEMENT OR UTILITY RIGHT-OF-WAY WITHOUT THEIR WRITTEN APPROVAL. THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO EXISTING UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE APPROVED BY THE AFFECTED UTILITY OWNER PRIOR TO IMPLEMENTING THE PLAN. THE COST TO RELOCATE OR PROTECT EXISTING UTILITIES OR TO PROVIDE INTERIM ACCESS IS AT THE APPLICANT'S EXPENSE.
- 4. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEYORS BENCHMARKS AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
- 5. ALL GRADES SHOWN REFERENCE PROPOSED ELEVATIONS AT FINISHED GRADE AND FACE OF CURB AT FLOW LINE, UNLESS OTHERWISE NOTED.
- 6. RED LINE AS-BUILTS FOR CONCRETE ARE REQUIRED PRIOR TO PAVING.



ADA GRADING ENLARGEMENT A

SITE LEGEND

— — — PROPOSED PROPERTY LINE — — — — — GRADE BREAK - - - - - - EXISTING EASEMENT LINE — PROPOSED SAWCUT PROPOSED CURB AND GUTTER EXISTING CURB AND GUTTER EXISTING STORM SEWER INLET

PROPERTY BOUNDARY LINE

EXISTING STORM SEWER MANHOLE EXISTING SANITARY SEWER MANHOLE EXISTING FIBER OPTIC PULL BOX

EXISTING FIBER OPTIC VAULT EXISTING FIRE HYDRANT EXISTING WATER VALVE

EXISTING ELECTRIC RISER EXISTING LIGHT POLE

PROPOSED STORM SEWER INLET

PROPOSED FIRE HYDRANT

EXISTING TREE

PROPOSED WATER METER

PROPOSED FIBER OPTIC PEDESTAL PROPOSED SIGN

EXISTING SIDEWALK

PROPOSED CONCRETE — SD — PROPOSED STORM SEWER

----- 4555---- EXISTING MAJOR CONTOUR EXISTING MINOR CONTOUR

PROPOSED MINOR CONTOUR — — — — PROPOSED GRADE BREAK

FINISHED FLOOR FINISHED GRADE

FLOWLINE

EDGE OF CONCRETE

MATCH EXISTING TOP BACK OF CURB

> TOP OF RAMP BOTTOM OF RAMP

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

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#### CAUTION - NOTICE TO CONTRACTOR

. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO





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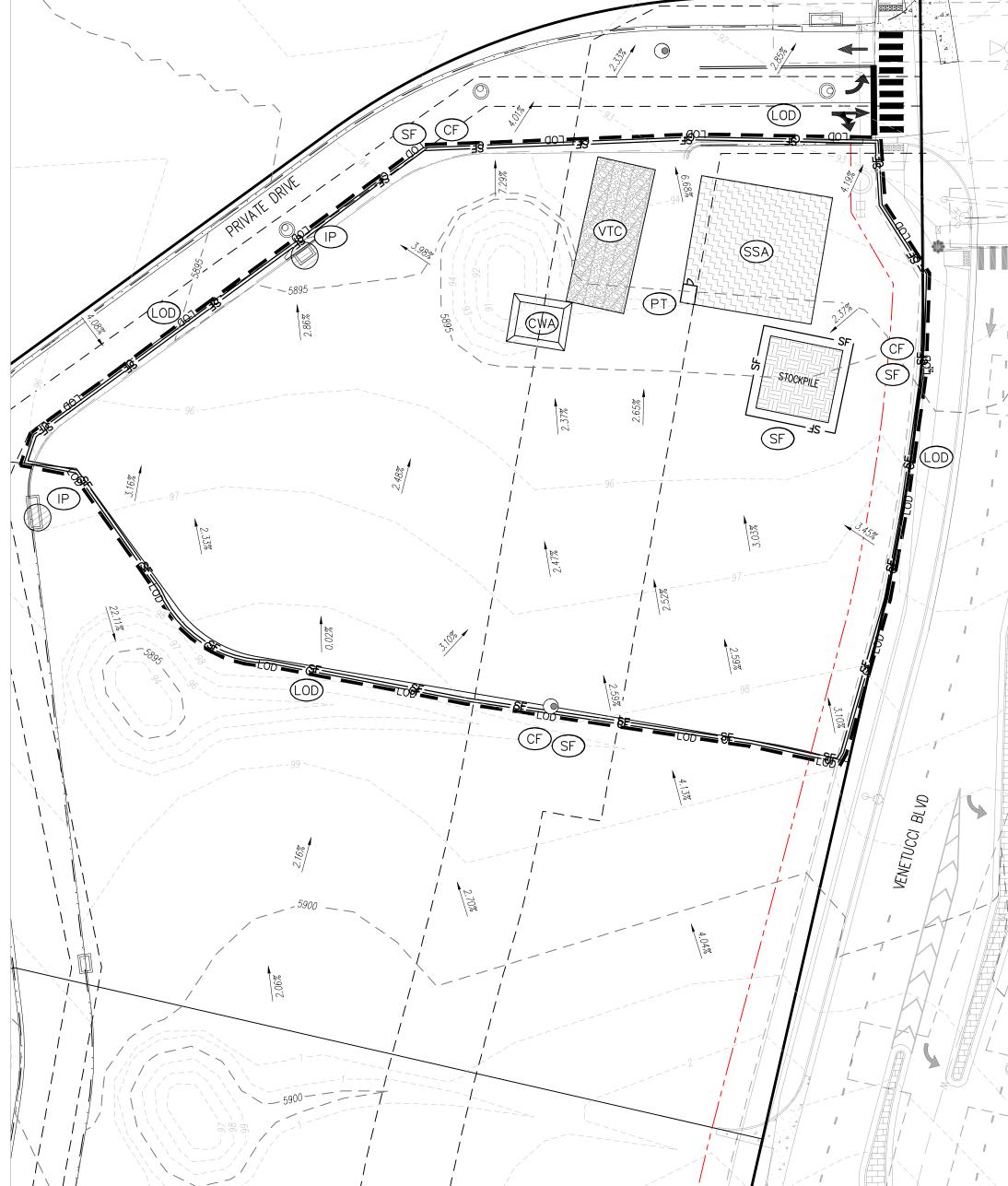


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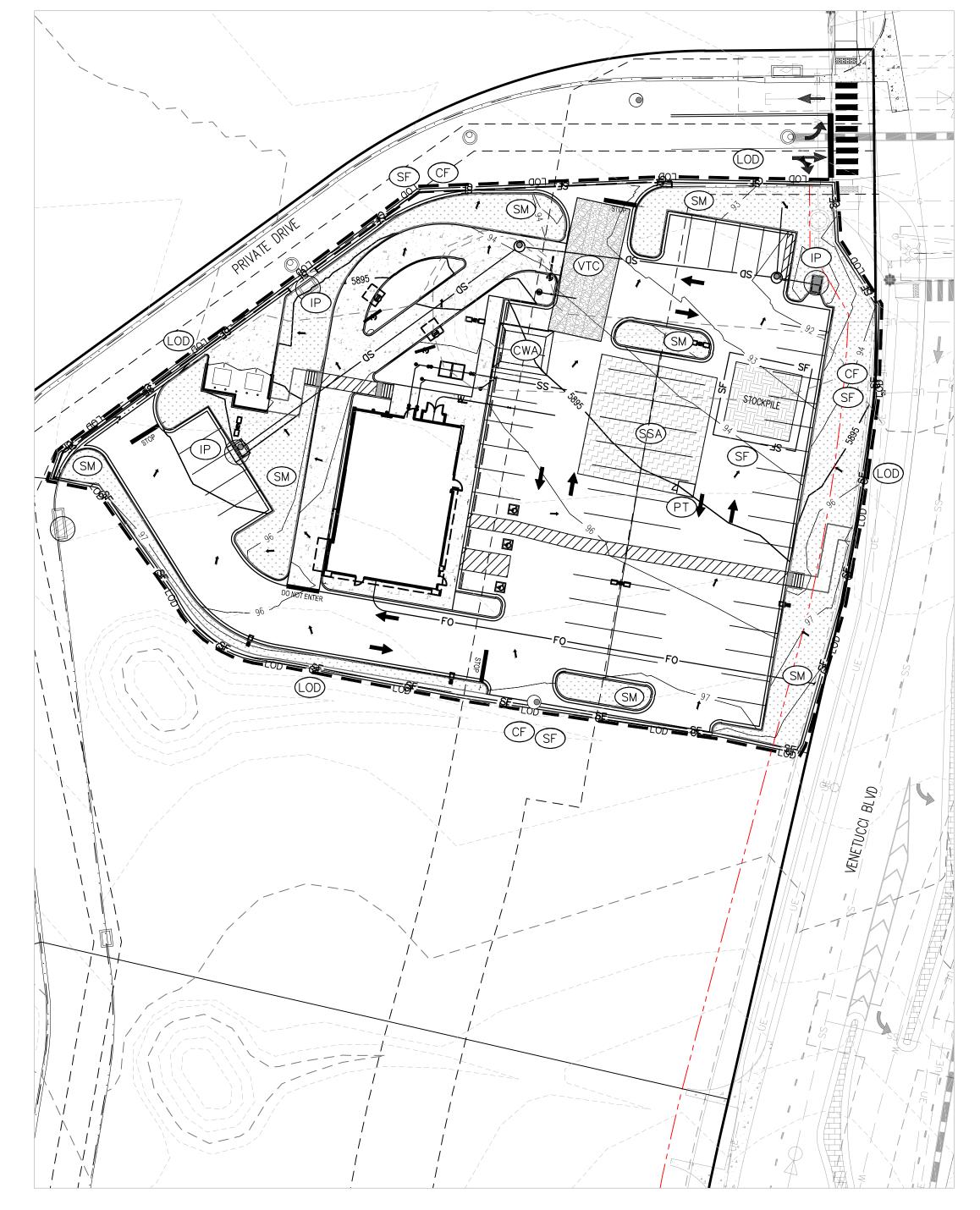
### PANDA EXPRESS

HEIGHTS VENTURE 4446 VENETUCCI BLVD. FOUNTAIN, CO 80906

GRADING PLAN



INITIAL EROSION CONTROL PLAN



INTERIM / FINAL EROSION CONTROL PLAN

#### STORMWATER MANAGEMENT PLANS GENERAL NOTES

1. THE CONTRACTOR AND/OR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO OR, ACCUMULATE IN, THE FLOW LINES AND PUBLIC RIGHTS OF WAYS OF THE CITY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.

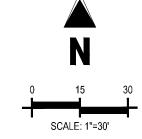
- 2. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL BE THE OBLIGATION OF THE PERMIT HOLDER UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED AND THE PERMIT IS RELEASED.
- 3. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION, EXCAVATION, TRENCHING, BORING, GRADING OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE
- IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT. 4. THE CONTRACTOR SHALL LOCATE, INSTALL, AND MAINTAIN ALL EROSION CONTROL AND WATER QUALITY "BEST MANAGEMENT PRACTICES" AS INDICATED IN THE APPROVED STORMWATER
- MANAGEMENT PLAN. 5. THE DEVELOPER, GENERAL CONTRACTOR, GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHTS OF WAY.
- 6. SOILS THAT WILL BE STOCKPILED FOR MORE THAN 30 DAYS SHALL BE PROTECTED FROM WIND AND WATER EROSION WITHIN 14 DAYS OF STOCKPILE CONSTRUCTION. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF A DRAINAGEWAY, ADDITIONAL SEDIMENT CONTROLS SUCH AS TEMPORARY DIKES OR SILT FENCE SHALL BE REQUIRED.
- 7. APPROVED EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR OF THE DURATION OF THIS PROJECT. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A BMP WHEN THE SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE BMP.

#### BMP MAINTENANCE NOTE:

ALL EROSION AND SEDIMENT CONTROL PRACTICES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SWMP MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. PROPER SELECTION AND INSTALLATION OF BMP'S AND IMPLEMENTATION OF COMPREHENSIVE INSPECTION AND MAINTENANCE PROCEDURES IN ACCORDANCE WITH THE SWMP, SHOULD BE ADEQUATE TO MEET THIS CONDITION. BMP'S THAT ARE NOT ADEQUATELY MAINTAINED IN ACCORDANCE WITH GOOD ENGINEERING, HYDROLOGIC AND POLLUTION CONTROL PRACTICES, INCLUDING REMOVAL OF COLLECTED SEDIMENT OUTSIDE THE ACCEPTABLE TOLERANCES OF THE BMP'S, ARE CONSIDERED TO BE NO LONGER OPERATING EFFECTIVELY AND MUST BE ADDRESSED.

SOIL EROSION/SEDIMENTATI	ON	C	ON.	TRC	)L	OPI	ER/	\TI(	ON	TIM	1E	SCI	HEC	DUL	Ε.									
NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR ESTIMATED PROJECT SCHEDULE																								
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	ОСТ	NOV	DEC
TEMPORARY CONSTRUCTION EXITS																								
TEMPORARY CONTROL MEASURES																								
STRIP & STOCKPILE TOPSOIL																								
ROUGH GRADING																								
STORM FACILITIES																								
SITE CONSTRUCTION																								
FINISH GRADING																								
FOUNDATION / BUILDING CONSTRUCTION																								
LANDSCAPING/SEED/FINAL STABILIZATION																								

1) CONTRACTOR MUST COMPLETE TABLE WITH ESTIMATED DATES OR PROJECT ACTIVITIES PRIOR TO BMP CERTIFICATION. 2) TIME SCHEDULE MUST COINCIDE WITH THE SWMP IMPLEMENTATION SEQUENCE.



SITE LEGEND PROPERTY BOUNDARY LINE EXISTING EASEMENT LINE PROPOSED CURB AND GUTTER EXISTING CURB AND GUTTER EXISTING STORM SEWER INLET EXISTING STORM SEWER MANHOLE EXISTING SANITARY SEWER MANHOLE EXISTING FIBER OPTIC PULL BOX EXISTING FIBER OPTIC VAULT EXISTING FIRE HYDRANT EXISTING WATER VALVE EXISTING ELECTRIC RISER EXISTING LIGHT POLE PROPOSED STORM SEWER INLET PROPOSED FIRE HYDRANT PROPOSED WATER METER PROPOSED FIBER OPTIC PEDESTAL PROPOSED SIGN EXISTING SIDEWALK PROPOSED CONCRETE EROSION CONTROL LEGEND EXISTING MINOR CONTOUR --- 5840 --- EXISTING MAJOR CONTOUR PROPOSED MINOR CONTOUR -- LOD -- (LOD) LIMITS OF DISTURBANCE (0.83 AC) ——CF CF TEMPORARY CONSTRUCTION FENCE VTC) VEHICLE TRACKING CONTROL ——SF—— SF SILT FENCE CWA CONCRETE WASHOUT AREA SSA STABILIZED STAGING AREA SP SITE POSTING (CONTACTS AND PERMITS) PT PORTABLE TOILET IP INLET PROTECTION SM) PERMANENT LANDSCAPING (SEE LANDSCAPE PLAN)

NOTE: REFER TO MILE HIGH FLOOD DISTRICT URBAN STORM DRAINAGE CRITERIA MANUAL VOLUME 3 FOR BMP NOTES AND DETAILS.

NOTE: CONTRACTOR IS RESPONSIBLE FOR PERMANENTLY STABILIZING ALL ON-SITE AND OFF-SITE AREAS DISTURBED DURING CONSTRUCTION, WHETHER THESE AREAS ARE SHOWN ON THESE PLANS OR NOT, INCLUDING MAINTENANCE OF ALL BMPS UNTIL A NOTICE OF INACTIVATION HAS BEEN ACCEPTED BY THE STATE.

#### FINAL EROSION CONTROL PLAN

PERMANENT LANDSCAPE MATERIALS PER THE ACCOMPANYING PLAN WILL BE USED TO STABLIZE ALL ON-SITE OPEN SPACE. ALL OTHER ON-SITE AREAS WILL BE STABILIZED WITH HARDSCAPE OR BUILDING CONSTRUCTION. DISTURBED OFF-SITE AREAS WILL BE PROVIDED WITH REPLACEMENT LANDSCAPE, HARDSCAPE OR FULLY ESTABLISHED NATIVE SEED REVEGETATION AS INDICATED ON THE INTERIM/FINAL EROSION CONTROL PLAN, THIS SHEET.

#### CAUTION - NOTICE TO CONTRACTOR

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2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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### PANDA EXPRESS

HEIGHTS VENTURE 4446 VENETUCCI BLVD. FOUNTAIN, CO 80906

EROSION CONTROL PLAN

#### PRELIMINARY LANDSCAPE PLAN NOTES

- 1) A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO 1ISSUANCE OF A BUILDING PERMIT.
- 2) SOIL TYPE PER NRCS SOIL SURVEY: BLENDON SANDY LOAM, 0-3% SLOPES 3) THERE IS NO EXISTING SIGNIFICANT VEGETATION AND NO NATURAL FEATURES ON SITE.

#### LANDSCAPE MAINTENANCE

LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER. STREET TREES, STREETSCAPE IMPROVEMENTS, AND VEGETATION WITHIN THE CITY R.O.W. SHALL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.

#### MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

#### GENERAL GRADING AND PLANTING NOTES

- 1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO
- 3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
- THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING
- SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS. IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE
- SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT,
- THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER. 4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE
- PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN

THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR

- CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE. b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL
- NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS). THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT. AND APPROVE OR REJECT. ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO
- SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.

6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

#### **ROOT BARRIERS**

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL

#### IRRIGATION CONCEPT

(11) LILO =

- 1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- 2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- 3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- 4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

(3) PIMU

#### PLANTING LEGEND

SYMBOL	QUAN.	BOTANIC NAME	COMMON NAME	MATURE WIDTH	SIZE	SPACING
TREES						
CEOC	6	Celtis occidentalis	Western Hackberry	40'-50'	2.5" cal, 10', B&B	Per plan
CRVI	4	Crataegus viridis 'Winter King'	Winter King Hawthorne	20'-25'	2.5" cal, 10', B&B	Per plan
GIBI	4	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	30'-35'	2.5" cal, 10', B&B	Per plan
QUAL	5	Quercus alba	White Oak	40'-80'	2.5" cal, 10', B&B	Per plan

SHRUBS						
BERG	31	Berberis japonica 'Rose Glow'	Rose Glow Barberry	4'-5'	5 gallon	4' o.c.
CACL	29	Caryopteris x clandonensis	Blue Mist Spiraea	2'-3'	5 gallon	3' o.c.
JUBC	22	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	5'-6'	5 gallon	5' o.c.
LILO	64	Ligustrum vulgare 'Lodense'	Lodense Privet	4'	5 gallon	4' o.c.
MARE	33	Mahonia repens	Creeping Mahonia	2'	5 gallon	2' o.c.
PHAV	20	Philadelphus x lemoinei 'Avalanche'	Avalanche Mock Orange	4'-5'	5 gallon	4' o.c.
PIMU	14	Pinus mugo 'White Bud'	White Bud Mugo Pine	2'-3'	5 gallon	3' o.c.

GROUND COVER	

\_ \_ \_

3) PIMÚ

(26) LILO -

(3) JUBC

(3) PHAV -

(4) JUBC

UTILITY EASEMENT

10' LANDSCAPE STRIF

(2) PHAV -

(3) CACL

(14) LILO -

OTTOOIND O	OVEIL							
	~1,842 sf	Poa hybrids	Sod					
	~4,395 sf	Rock cobble mulch, 2"-4" size, 4"-6" o	Rock cobble mulch, 2"-4" size, 4"-6" deep, placed over permeable weed barrier fabric w/ no fabric visible					
	~6,511 sf	Shredded Wood Mulch, 3" deep over	all planting areas not covered with rock or sod					

#### LANDSCAPE CALCULATIONS

(5) QUAL- L

TOTAL SITE AREA: 58,731 SF OPEN SPACE REQUIRED: 8,810 SF (15% OF TOTAL AREA) OPEN SPACE PROVIDED: ±11,905 SF (20% OF SITE AREA)

NO MORE THAN 50% OF THE REQ. LANDSCAPED AREA CAN BE COVERED BY NON-LIVING GROUND COVER MAX. NON-LIVING LANDSCAPE MATERIAL: 8,810 x 50% = 4,405 SF PROPOSED ROCK MULCH: 4,240 SF (48%)

MINIMUM LANDSCAPE 10' LANDSCAPE STRIP ALONG R.O.W. W/ 1 TREE + 2 SHRUBS PER 20 LF **VENETUCCI BLVD.:** ±210 LF TREES REQUIRED: 10.5 TREES (11)

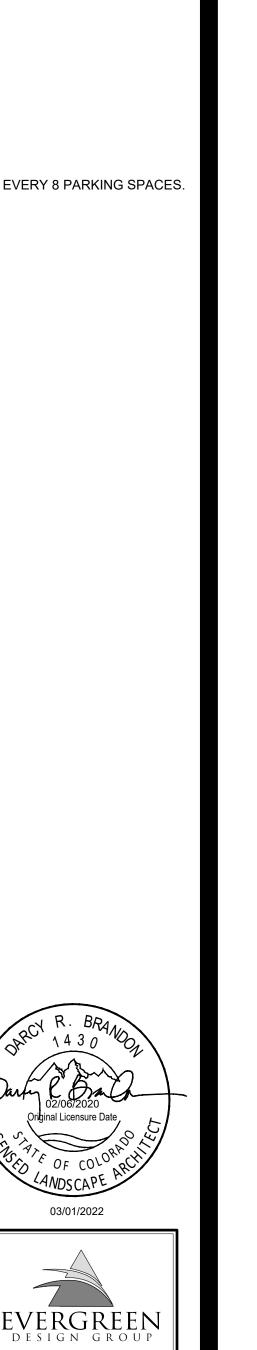
TREES PROVIDED: 11 TREES 21 SHRUBS SHRUBS REQUIRED: SHRUBS PROVIDED: 28 SHRUBS

5% OF GROSS VEHICULAR USE AREA (VUA) TO BE LANDSCAPED. 1 TREE FOR EVERY 8 PARKING SPACES.

Scale 1" = 20'

40,187 SF REQUIRED LANDSCAPE AREA (5%): 2,009 SF LANDSCAPE AREA PROVIDED: 2,117 SF PARKING SPACES PROPOSED:

TREES REQUIRED (1 TREE/8 PARKING SPACES): 64 / 8 = 8 TREES TREES PROVIDED: 8 TREES



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Eric J. Abeln, AIA

### **Heights Venture**

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#### PANDA EXPRESS

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LANDSCAPE PLANTING 5

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#### PLANTING SPECIFICATIONS

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
- 2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
- THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.

#### B. SCOPE OF WORK WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN

- ON THE LANDSCAPE PLANS, NOTES, AND DETAILS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY,
- TRANSPORTATION AND INSTALLATION OF MATERIALS. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF

#### PRODUCTS

- ALL MANUFACTURED PRODUCTS SHALL BE NEW. CONTAINER AND BALLED-AND-BURLAPPED PLANTS
  - FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR
- CLIMACTIC CONDITIONS. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS
- TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED
- ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE. 4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY. FVFN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND
- OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL ALL TREES SHALL BE STANDARD IN FORM. UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS
- 6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT ELARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER
- MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
- ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM
- HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER,
- COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE
- FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A
- QUALIFIED SOIL-TESTING AGENCY (SEE BELOW). MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- H. TREE STAKING AND GUYING STAKES: 6' LONG GREEN METAL T-POSTS.
- GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH
- STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL
- PRE-EMERGENT HERBICIDES: ANY GRANLII AR NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

#### <u>METHODS</u>

#### A. SOIL PREPARATION

- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALI LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
- a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
- b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
- c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURE, AND NATIVE

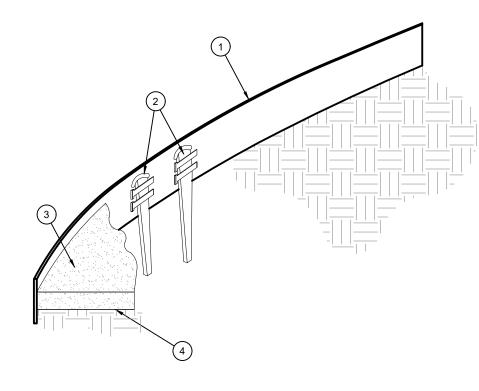
SEED. AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY

- OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER
- INCREASE OR DECREASE. SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOIL OWING a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF
- ROTOTILLING AFTER CROSS-RIPPING: NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1.000 S.F. ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000
- iii. "CLAY BUSTER" OR EQUAL USE MANUFACTURER'S RECOMMENDED RATE
- b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
- NITROGEN STABILIZED ORGANIC AMENDMENT 4 CU. YDS. PER 1,000 S.F.
- 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) 10 LBS. PER CU. YD. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
- IRON SULPHATE 2 LBS. PER CU. YD. 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION. b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT
- AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING
- c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE. IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE. TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS
- e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS. IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON
- THE GRADING PLANS AT APPROXIMATELY 18" AWAY FROM THE WALKS f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER
- 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES. IF REQUIRED. TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE
- APPROPRIATE). 3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES. EDGING. AND LANDSCAPE FABRICS (IF ANY). 4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C GENERAL PLANTING
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS. 2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
- TRENCHING NEAR EXISTING TREES: CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE
- ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
- ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
- ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES. 2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE. 3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS. THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE
- ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL. 4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE. 5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1"
- ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK. USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF

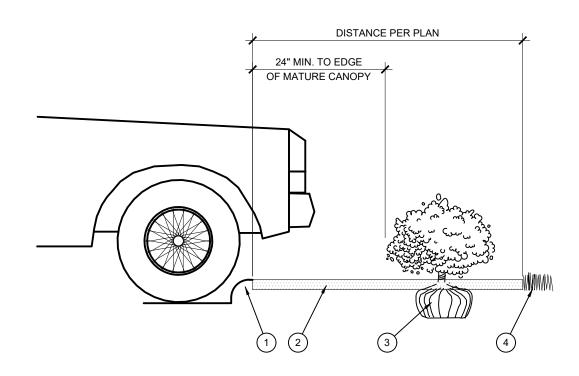
DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD

- TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES: TWO STAKES PER TREE
- 2-1/2"-4" TREES THREE STAKES PER TREE TREES OVER 4" CALIPER GUY AS NEEDED
- THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS MULTI-TRUNK TREES NEEDED TO STABILIZE THE TREE
- MULTI-TRUNK TREES THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE 7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE.
- COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH
- MULCH (TYPE AND DEPTH PER PLANS). E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
- DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
- 2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
- LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES
- ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL
- 5 WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND 2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH
- COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL. 1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
- 2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE. INSPECTION AND ACCEPTANCE
- 1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY. 2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE
- LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN
- NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE. LANDSCAPE MAINTENANCE
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING RESTAKING OF TREES RESETTING OF PLANTS THAT HAVE SETTLED. MOWING AND AERATION OF LAWNS. WEEDING. TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP. AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER. 3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING
- CONDITIONS MUST OCCUR: THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
- SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE
- K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN
- EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH
- CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



- (1) ROLLED-TOP STEEL EDGING PER PLANS. (2) TAPERED STEEL STAKES.
- (3) MULCH, TYPE AND DEPTH PER PLANS. 4 ) FINISH GRADE.
- 1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED. 2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE. 3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.



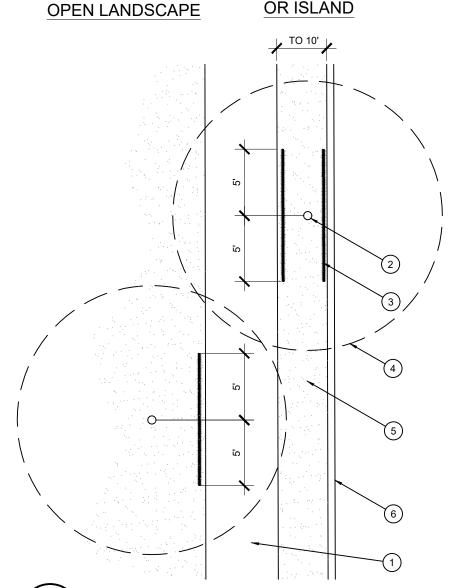


- (1) CURB. (2) MULCH LAYER. (3) PLANT.
- $ig( \, 4 \, ig) \,$  TURF (WHERE SHOWN ON PLAN)



PLANTING AT PARKING AREA

PARKWAY



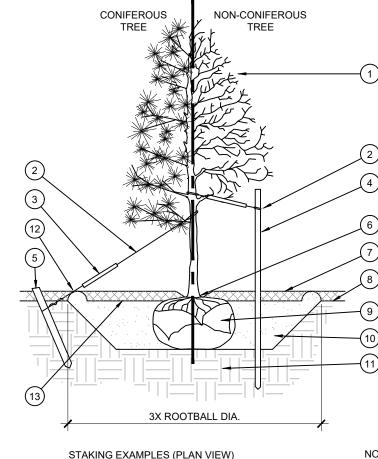
(1) TYPICAL WALKWAY OR PAVING 2) TREE TRUNK LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS. (4) TREE CANOPY

5 TYPICAL PLANTING AREA

(6) TYPICAL CURB AND GUTTER

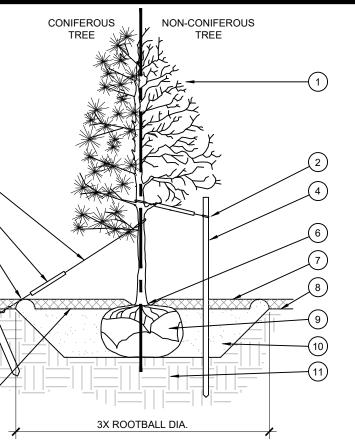
1) INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. 2) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL

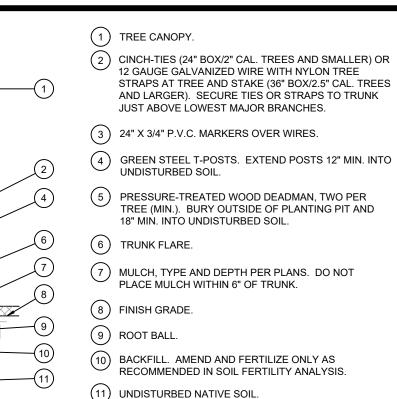
**ROOT BARRIER - PLAN VIEW** 



STAKING EXAMPLES (PLAN VIEW) PREVAILING PREVAILING WINDS

TREE PLANTING





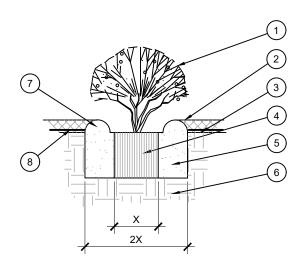
SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE. . REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE

(12) 4" HIGH EARTHEN WATERING BASIN.

(13) FINISH GRADE.

SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE. 3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE, REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL. 4. REMOVE ALL NURSERY STAKES AFTER PLANTING.

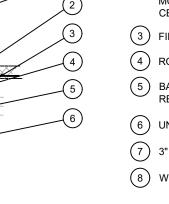
5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE) SPACED EVENLY AROUND TREE 6 STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT



- ( 1 ) SHRUB, PERENNIAL, OR ORNAMENTAL GRASS. 2 ) MULCH, TYPE AND DEPTH PER PLANS. PLACE NO
- (3) FINISH GRADE.
- (4) ROOT BALL.
- (5) BACKFILL. AMEND AND FERTILIZE ONLY AS
- (6) UNDISTURBED NATIVE SOIL.

(8) WEED FABRIC UNDER MULCH.

SHRUB AND PERENNIAL PLANTING



MORE THAN 1" OF MULCH WITHIN 6" OF PLANT

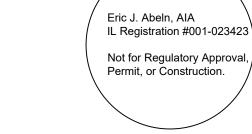
03/01/2022

EVERGREEN

(800) 680-6630 1600 Broadway, Suite 1600 Denver, CO 80202 www.EvergreenDesignGroup.com

RECOMMENDED IN SOIL FERTILITY ANALYSIS.

(7) 3" HIGH EARTHEN WATERING BASIN.



PANDA STORE #:

ARCH PROJECT #:

PANDA PROJECT #: - \$8-22-D8204

PANDA EXPRESS, INC

1683 Walnut Grove Ave

Rosemead, California

Telephone: 626.799.9898

Facsimile: 626.372.8288

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### PANDA EXPRESS

TRUE WARM & WELCOME 4446 Venetucci Blvd Fountain, CO

LANDSCAPE DETAILS & SPECIFICATIONS
LP-2

TRUE WARM & WELCOME 2500

Designer
R. ZINSELMEIER
Date
)2/25/2022
Scale
NOTED
Drawing No.

Summary

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	3.1 fc	8.1 fc	0.7 fc	11.6:1	4.4:1
TRASH ENCLOSURE	+	3.8 fc	4.6 fc	2.7 fc	1.7:1	1.4:1

#### Note

148.5

148.5

297

100%

100%

100%

Schedule

B

D

Label Quantity Catalog Number

-70CRI-IL

SLM-LED-18L-SIL-FT-40-CONTACT RYAN ZINSELMEIER-

SLM-LED-18L-SIL-3-40- CONTACT RYAN ZINSELMEIER-

SLM-LED-18L-SIL-FT-40- CONTACT RYAN ZINSELMEIER-

314-531-2600

314-531-2600

314-531-2600

SLM-LED-18L-

SLM-LED-18L-SIL-3-40-70CRI-

SLM-LED-18L-

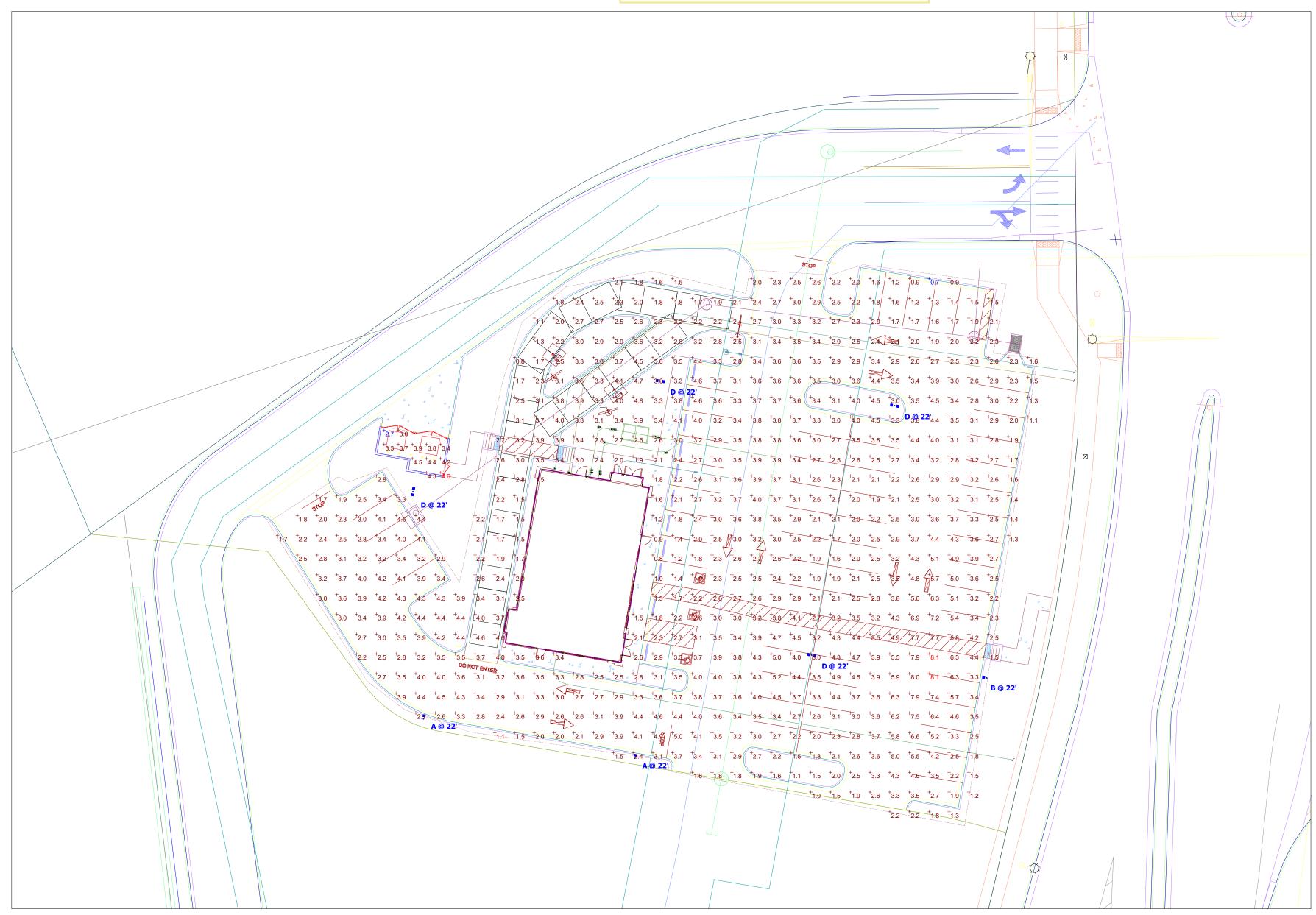
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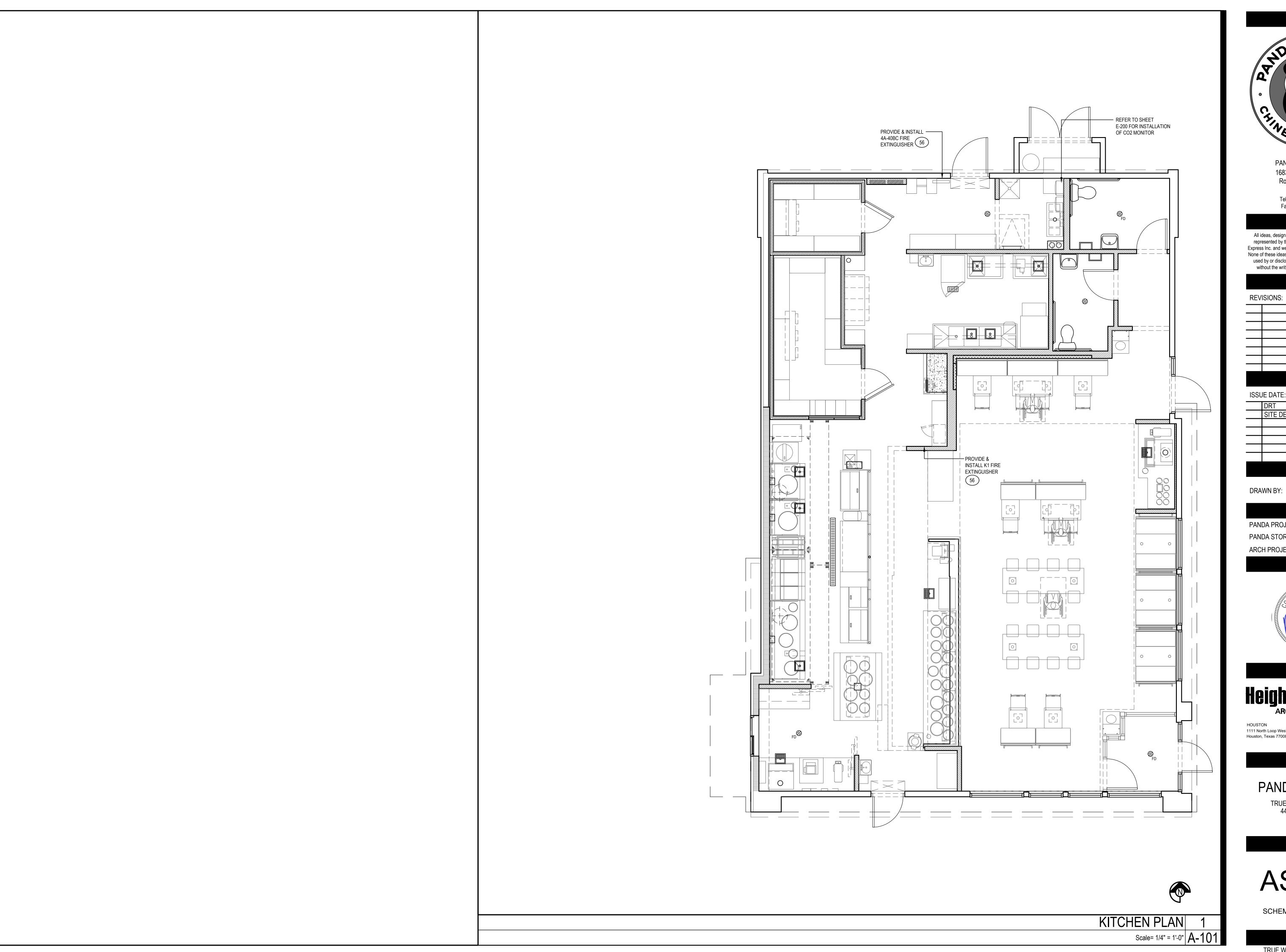
-IL.ies

- 1. MOUNTING HEIGHT OF 22' (20'POLE)
- CALCULATIONS TAKEN AT GROUND LEVEL
   CONTACT VILLA LIGHTING- RYAN ZINSELMEIER-
- RYAN.ZINSELMEIER@VILLALIGHTING.COM- 314-531-2600



Plan View

Scale - 1" = 25ft





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ISSL	JE DATE:	
	DRT	01-14-22
	SITE DEVELOPMENT	03-03-21

PANDA PROJECT #: - S8-22-D8204

PANDA STORE #: ARCH PROJECT #: -21013



## Heights Venture ARCHITECTURE & DESIGN

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PERMIT/BID SET AS-100

SCHEMATIC FLOOR PLAN

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### ISSUE DATE:

DRT	01-14-22
SITE DEVELOPMENT	03-03-21

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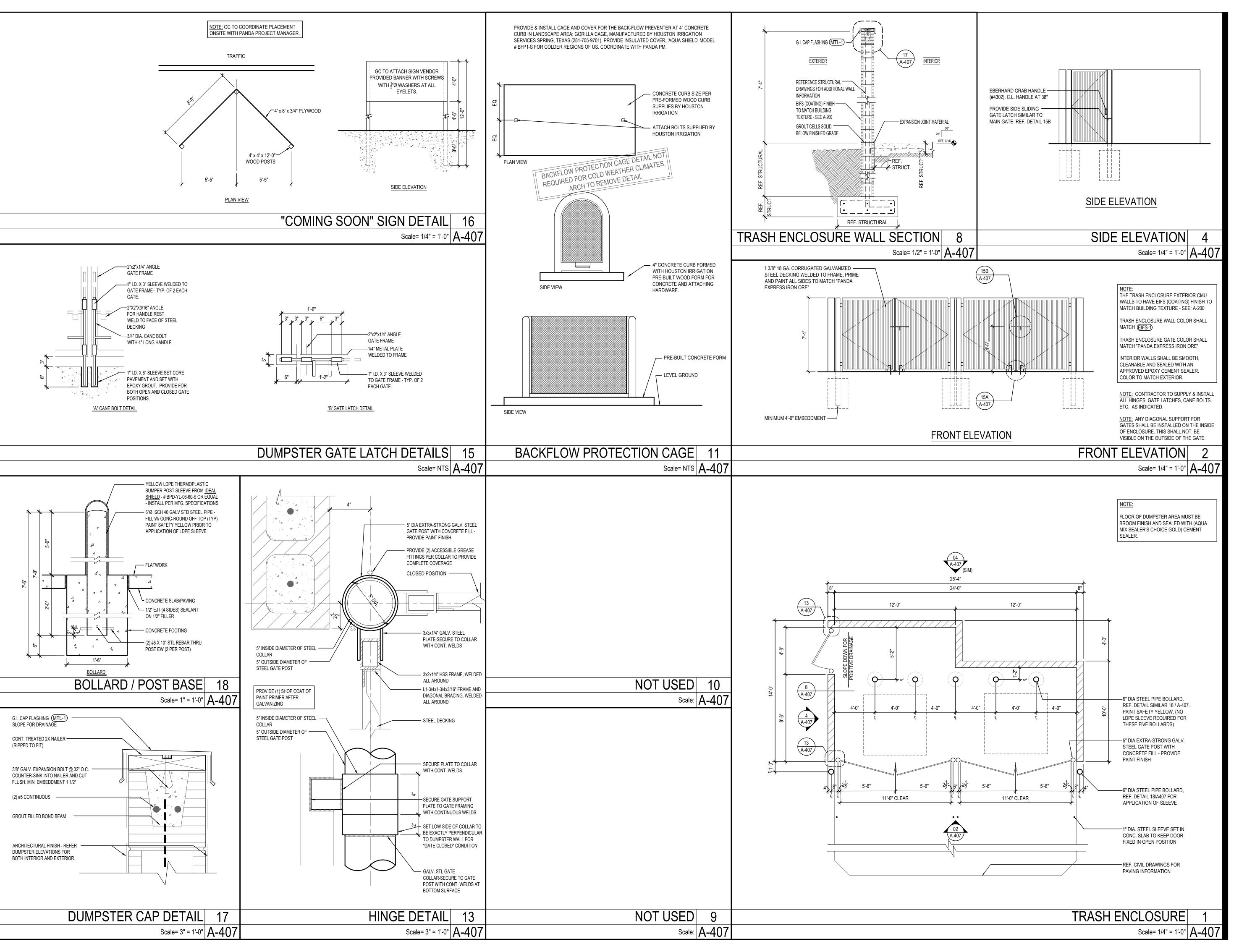
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PERMIT/BID SET

EXTERIOR COLOR ELEVATIONS

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# **REVISIONS:**

**ISSUE DATE:** 

DRT 01-14-22 SITE DEVELOPMENT 03-03-21

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## Heights Venture ARCHITECTURE CONTROLL DESIGN

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TRASH ENCLOSURE

**DETAILS** 

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