LAND AREA:

55,024 SQ. FT. OR 1.263 ACRES MORE OR LESS

BASIS OF BEARING:

BEARINGS ARE BASED ON THE NORTH LINE OF TRACT D, CARRIAGE MEADOWS NORTH FILING NO. 1, BEARING N89°48'24" E, A DISTANCE OF 699.24 FEET, AS MONUMENTED AT BOTH ENDS BY A FOUND YELLOW PLASTIC CAP STAMPED "FWS PLS 38226".

BENCHMARK:

ELEVATIONS ARE BASED UPON A FOUND 2" ALUMINUM CAP STAMPED "FARNSWORTH GROUP INC. PLS 38053" ON THE WEST LINE OF TRACT B AS SHOWN AS HEREON (ELEVATION = 5724.52)

LEGAL DESCRIPTION

VILLAGE AT LORSON RANCH FILING NO.1, LOT 2.

GENERAL NOTES:

- 1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE.
- 2. THE OWNER IS AWARE THAT THE ACCESS PERMITS (AP211569, AP211570) ARE SUBJECT TO CONDITIONS OF APPROVAL.

FEMA CLASSIFICATION

THE FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 08041C0957G EFFECTIVE DATE DECEMBER 7, 2018, HAS BEEN EXAMINED AS IT RELATES TO THE PROPERTY BEING PLATTED. THE PROPERTY LIES WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD.

NOTICE AND WARNING:

COMPLIANCE WITH THE AMERICANS FOR DISABILITIES ACT ("ADA") AND OTHER FEDERAL AND STATE ACCESSIBILITY LAWS IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THEREFORE, COMPLIANCE WITH CITY CODES DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. EL PASO COUNTY IS NOT RESPONSIBLE FOR ENFORCEMENT OF THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS.

PROPERTY OWNER ACKNOWLEDGEMENT

CRALDAN, LLC, BEING THE OWNER(S) OF THE LAND DESCRIBED HEREIN HAVE CAUSED SAID LAND TO BE SITE PLANNED UNDER THE NAME OF MCDONALD'S USA, LLC. ALL CONDITIONS, TERMS, AND SPECIFICATIONS DESIGNATED OR DESCRIBED ON THIS DOCUMENT SHALL BE BINDING ON THE OWNERS, THEIR HEIRS, SUCCESSORS AND ASSIGNS.

NO CHANGES MAY BE MADE TO THIS SITE DEVELOPMENT PLAN WITHOUT CITY APPROVAL. MINOR CHANGES TO THE SITE DEVELOPMENT PLAN MAY BE APPROVED ADMINISTRATIVELY BY THE CITY PLANNING DEPARTMENT. MAJOR CHANGES TO THIS SITE DEVELOPMENT PLAN, ESPECIALLY DELETIONS OF APPROVED ITEMS OR SUBSTANTIAL CHANGES IN BUILDING LOCATION SHALL BE SUBJECT TO THE SAME APPLICATION, REVIEW AND APPEAL PROCESSES APPLICABLE TO THE ORIGINAL SITE DEVELOPMENT PLAN. ENGINEERING, GRADING, AND CONSTRUCTION PLANS ARE NOT PART OF THIS APPROVAL.

IN WITNESS WHEREOF. WE HAVE HEREUNTO SET OUR HANDS AND SEALS THIS _____ DAY OF _____, 20___.

[PROPERTY OWNER]

NOTARY CERTIFICATE (STATE OF (COUNTY OF

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____, BY _____ (NAME AND TITLE)

MY COMMISSION EXPIRES: _____

ADDRESS OF NOTARY: _____

NOTARY PUBLIC

CONTACTS:

DEVELOPER:

MCDONALD'S USA, LLC 110 N. CARPENTER STREET CHICAGO, IL 60607 TEL: (206)-348-4374 CONTÀCT: ROBERT YAGUSESKY EMAIL: ROBERT. YAGUSESKY@US.MCD.COM

ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC. 2 NORTH NEVADA AVE., SUITE 900 COLORADO SPRINGS, CO 80903 TEL: (719) 284-7275 CONTÀCT: JESSICA MCCALLUM, P.E. EMAIL: JESSICA.MCCALLUM@KIMLEY-HORN.COM

LANDSCAPE ARCHITECT: KIMLEY-HORN AND ASSOCIATES, INC. 2 NEVADA NORTH AVE., SUITE 300 COLORADO SPRINGS, CO 80903 TEL: (719) 453-0180 CONTACT: JEREMY POWELL, P.L.A. EMAIL: JEREMY.POWELL@KIMLEY-HORN.COM

ARCHITECT: CORE STATES GROUP 135 WATER STREET, SUITE 201 NAPERVILLE, IL 60540 TEL: (224) 585-4591 CONTÀCT: JOY VRCHOTA EMAIL: JVROCHOTA@CORE-STATES.COM

SURVEYOR:

KIMLEY-HORN AND ASSOCIATES, INC. 6200 S. SYRACUSE WAY, SUITE 300 GREENWOOD VILLAGE, CO 80111 TEL: (303) 228-2300 CONTÀCT: DARREN WOLTERSTORFF, P.L.S. EMAIL: DARREN.WOLTERSTORFF@KIMLEY-HORN.COM

CRADLAN COMMERCIAL, LLLP 212 N. WAHSATCH AVE, SUITE 301 COLORADO SPRINGS, CO 80903 TEL: (719)-635-3200 CONTÀCT: JEFF MARK EMAIL: JMARK@LANDHUISCO.COM

MCDONALD'S AT FONTAINE AND MARKSHEFFEL SITE DEVELOPMENT PLAN VILLAGE AT LORSON RANCH FILING NO.1 LOT 2

 S_2^1 of se $\frac{1}{4}$ of section 15, township 15s, range 65 west of the 6th p.m., county of el paso, state of colorado



VICINITY MAP

NOT TO SCALE

SITE DEVELOPMENT PLAN						
SHEET NUMBER SHEET TITLE						
1 COVER						
2	EXISTING CONDITIONS AND DEMO PLAN					
3	SITE PLAN					
4	SITE PLAN – DETAILS					
5	UTILITY PLAN					
6	GRADING PLAN					
7	LANDSCAPE PLAN					
8	LANDSCAPE NOTES					
9	LANDSCAPE DETAILS					

SITE DATA						
SITE AREA:	1.263± AC (55,024 SF)					
AREA OF DISTURBANCE	1.11± AC					
ZONING CLASSIFICATION: LAND USE:	COMMERCIAL SERVICE (CS) FAST FOOD RESTAURANT WITH DRIVE-THRU					
JURISDICTION:	EL PASO COUNTY					
SITE ADDRESS:	STREET ADDRESS: 9664 FONTAINE BLVD CITY: COLORADO SPRINGS COUNTY: EL PASO STATE: COLORADO					
TAX SCHEDULE NO .:	5515413054					
BUILDING SETBACKS:	25' FRONT SETBACK O' SIDE SETBACK O' REAR SETBACK					
LANDSCAPE SETBACKS:	10' - N 10' - E N/A - S N/A - W					
MAXIMUM LOT COVERAGE:	N/A					
PROPOSED EASEMENTS:	N/A					
LANDSCAPE:	5% OF INTERIOR LOT (NOT INCLUDING LANDSCAPE BUFFER)					
SITE COVERAGE:	BUILDING - 3694 SF 6.71%± DRIVEWAY AND PARKING - 35,792 SF 65.08%± SIDEWALKS AND HARDSCAPE - 2,037 SF 3.70%± LANDSCAPING - 13,486 SF 24.51%±					
BUILDING DATA	3694 S.F.					
BUILDING HEIGHT: PROPOSED: MAXIMUM BY CODE:	18'-9 1/2" 45.0				<u>Kimlaw When</u>	
PROPOSED LOT COVERAGE:	6.72%±				2,	
CONSTRUCTION TYPE: OCCUPANCY CLASSIFICATION:	VB A2					2

PARKING COUNTS

JORTH

	PARKING REQUIR	ED	PARKING PROVIDED
OFF-STREET PARKING	1/100 sf	37	43
ADA	2		2
BICYCLE PARKING	3		3

OWNER/DEVELOPER STATEMENT

I, THE OWNER/DEVELOPER ACCEPT THE CONDITIONS AND RESTRICTIONS AS SET FORTH ON THE FINAL DEVELOPMENT PLAN.

	10 6
MCDONALD'S USA, LLC	PREF
BY:	~
TITLE:	M N
ADDRESS:	DRA



Know what's **below**. Call before you dig ary duced ed are s the es the rized.

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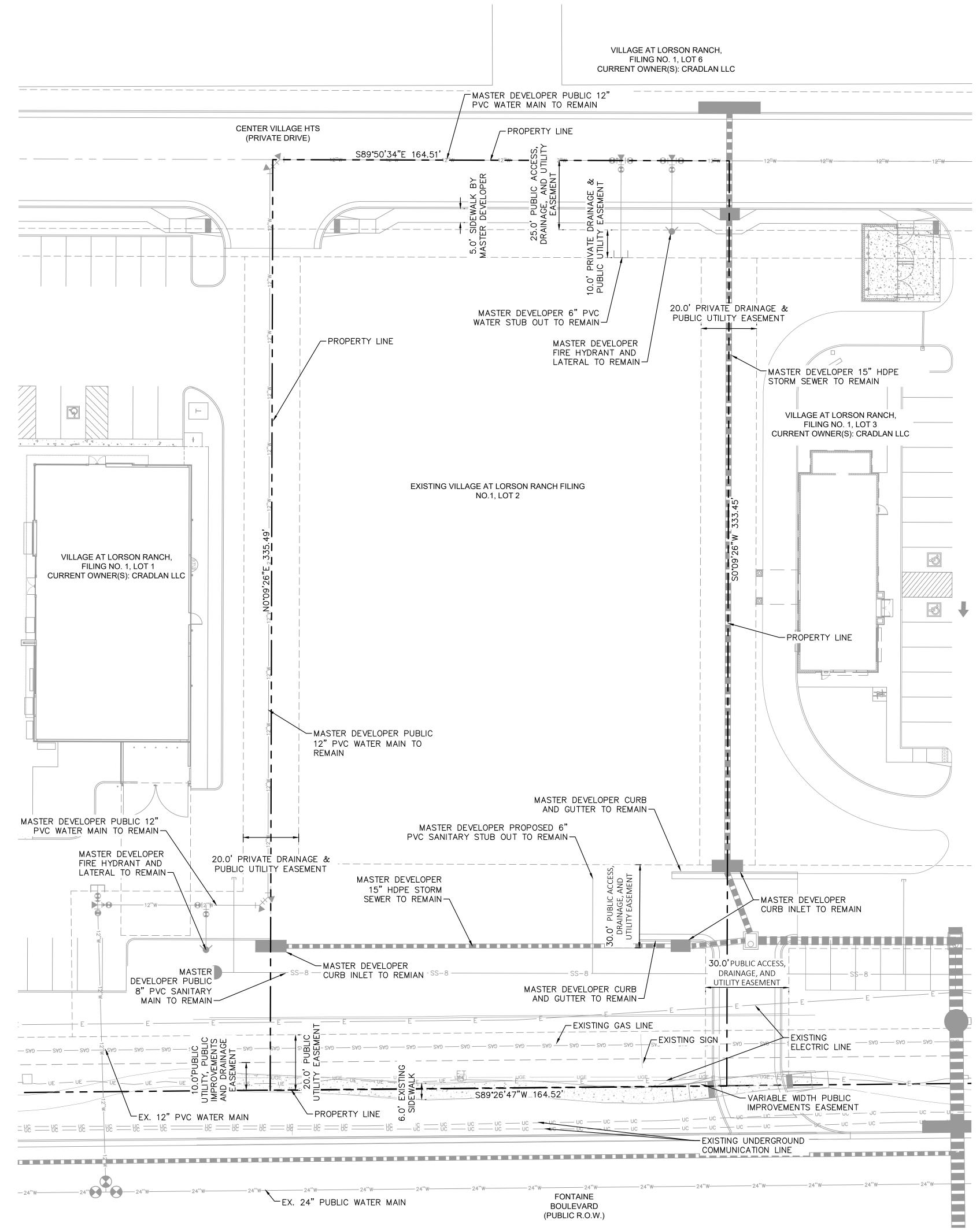
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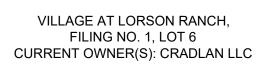
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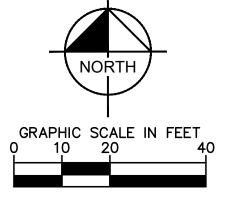
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SITE

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LEGEND

------ PROPERTY LINE ----PROPOSED EASEMENT -----EXISTING EASEMENT EXISTING CONCRETE

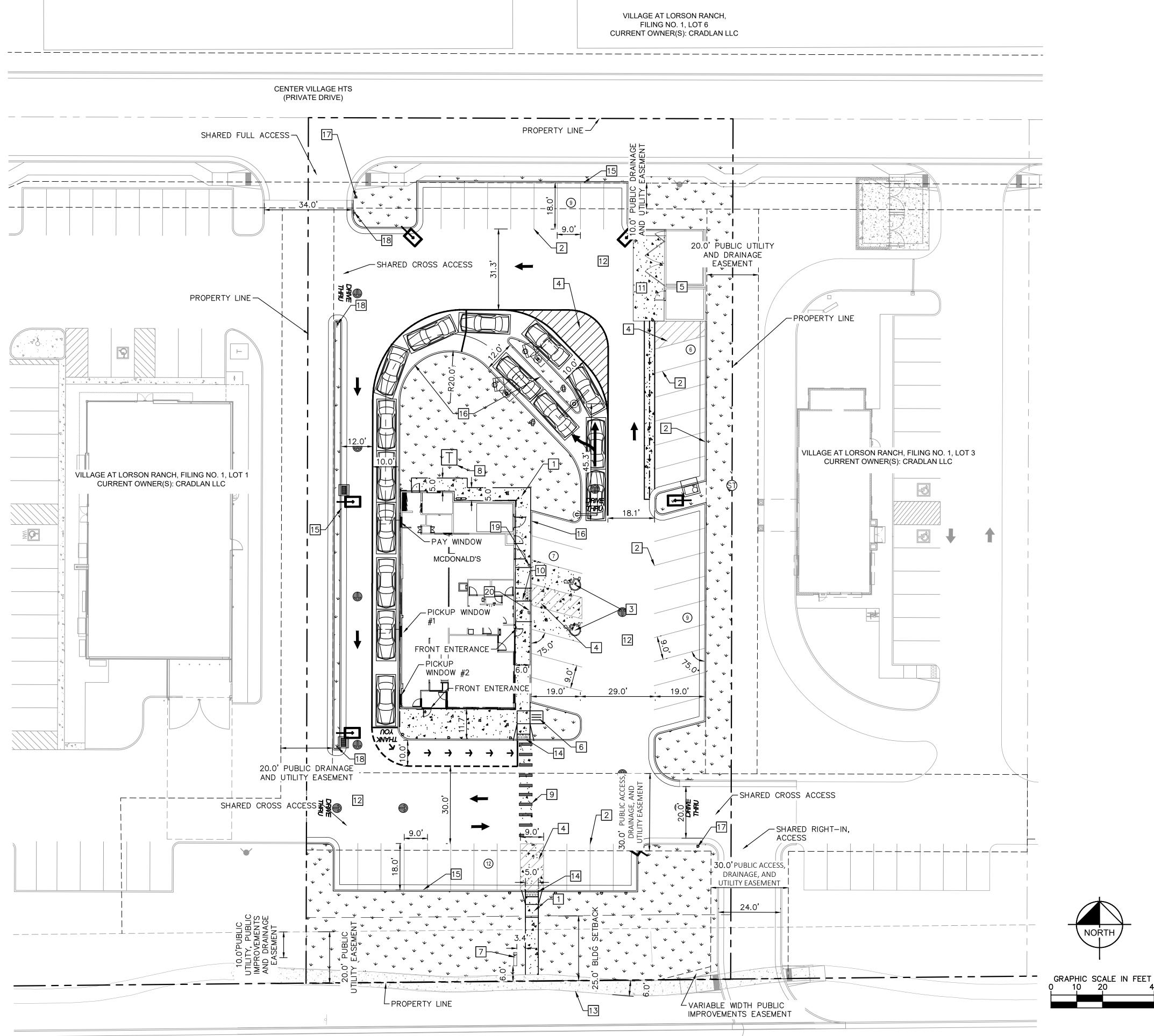
GENERAL NOTES

- 1. ALL EXISTING UTILITIES TO REMAIN UNLESS OTHERWISE NOTED.
- 2. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.

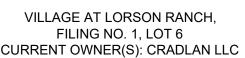
						BY
						DESCRIPTION
		Vimlov Morn				REV DATE
PREPARED BY:						
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DRAWN BY P ALS	STD ISSUE DATE 7/30/2024	Ъ		DATE ISSUED 7/30/2024		EL PASU CUUNIY NO: EA2467
	SITE DEVELOPMENT PLAN	DESCRIPTION				51028 9664 FONTAINE BLVD, COLORADO SPRINGS, COLORADO
		2)			

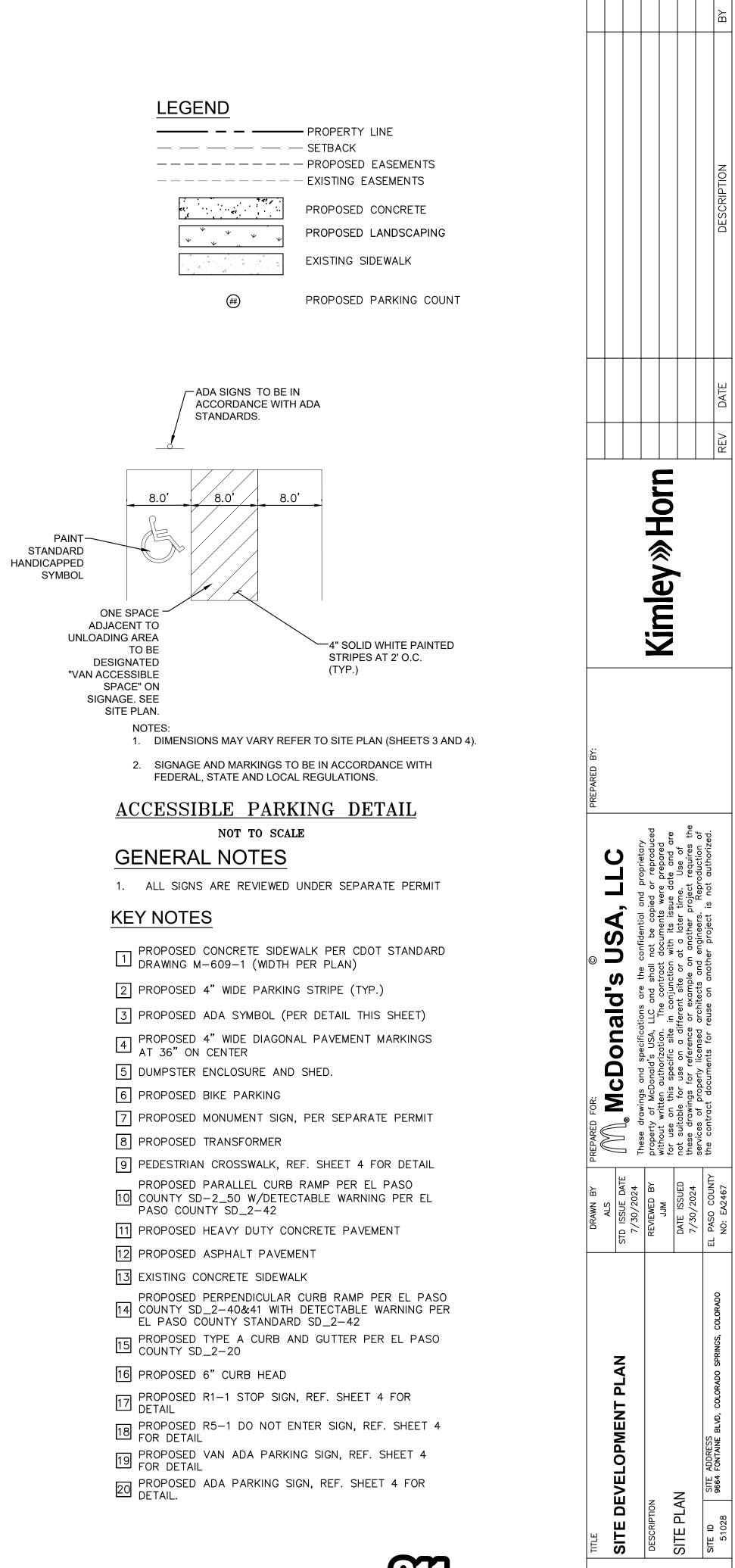


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FONTAINE BOULEVARD (PUBLIC R.O.W.)

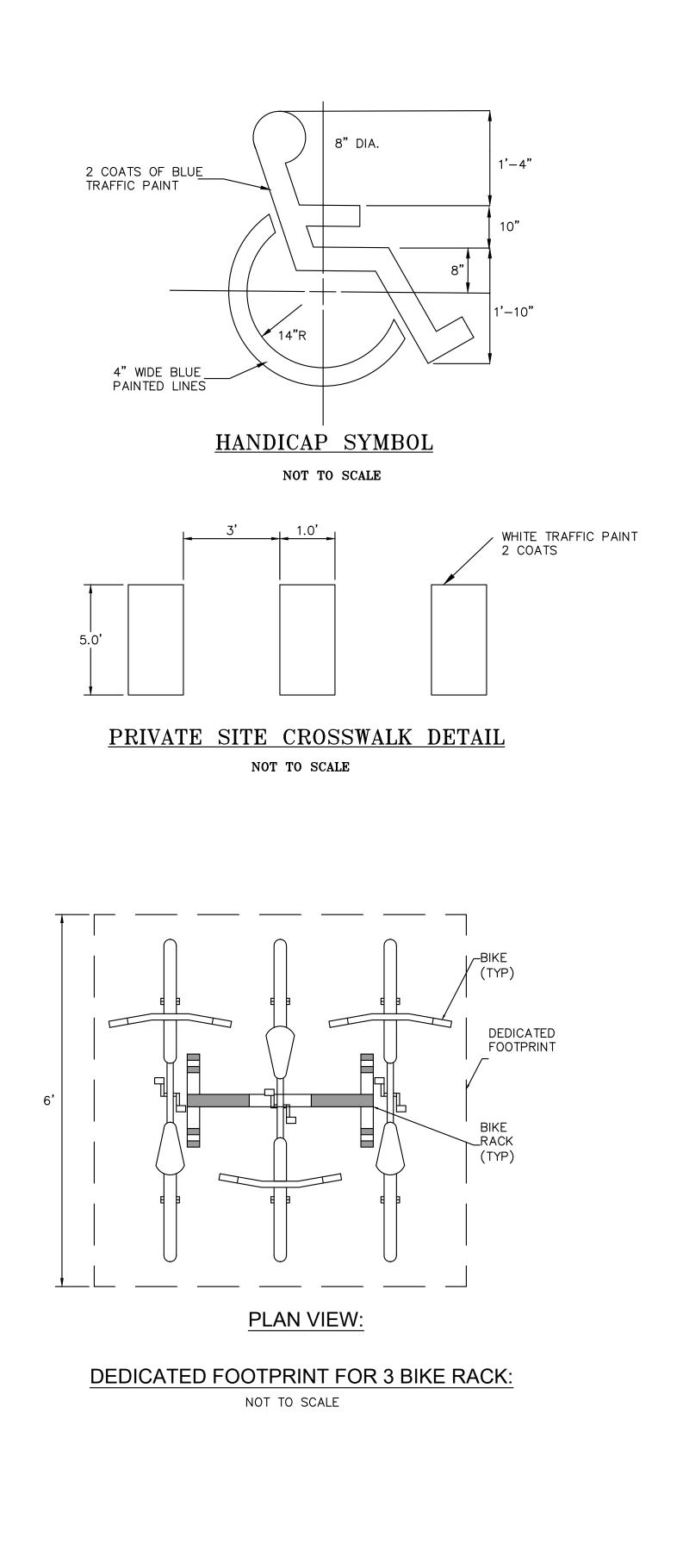






Know what's **below**. Call before you dig

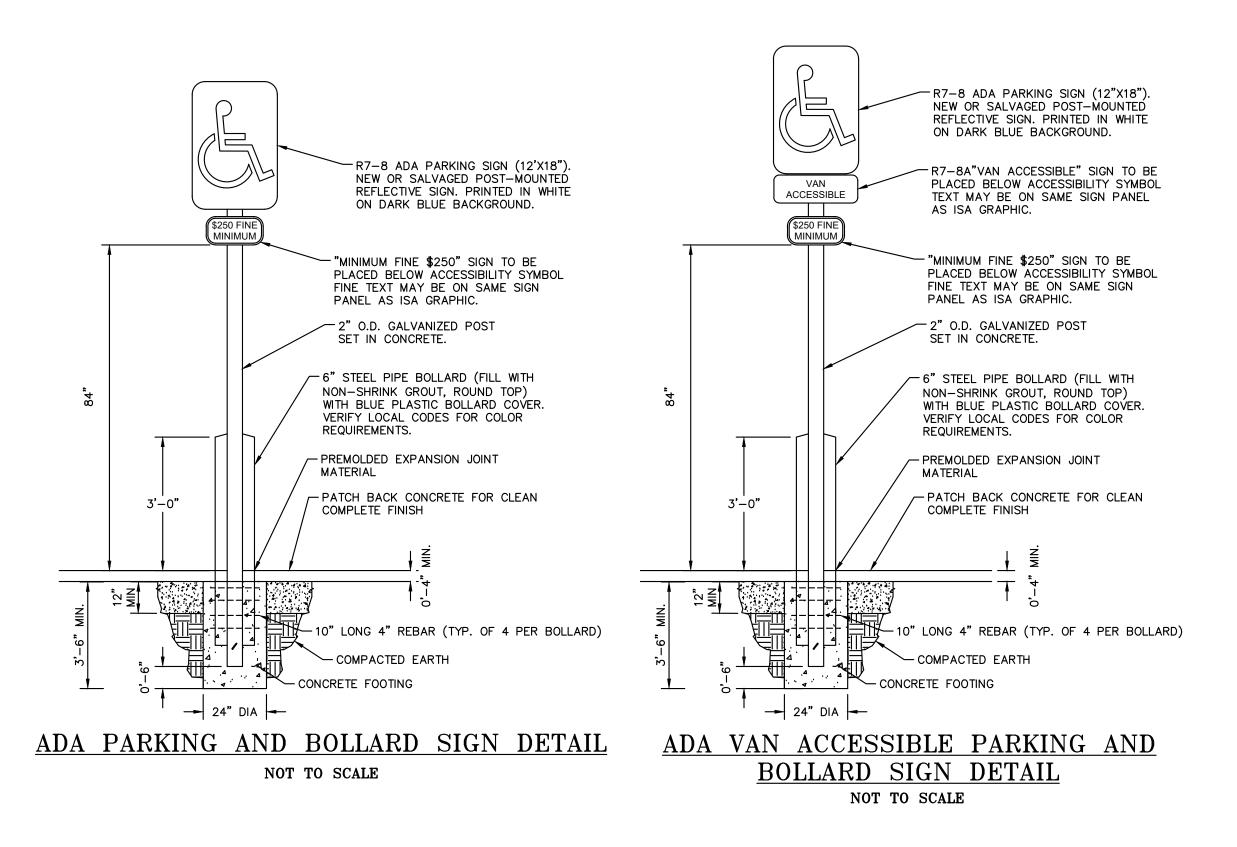
3





STANDARD RED AND WHITE SIGN R5-1 30"X30"

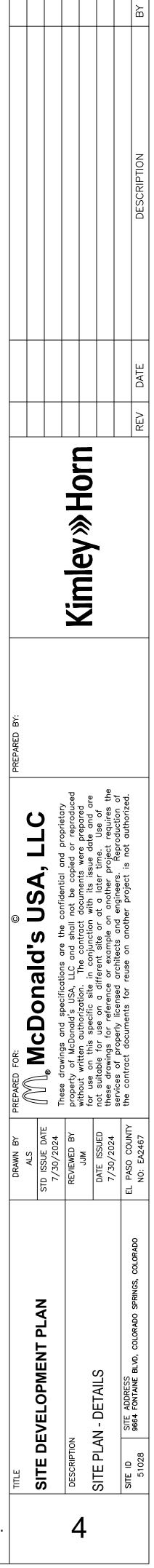
MUTCD R5-1 DO NOT ENTER SIGN DETAIL NOT TO SCALE





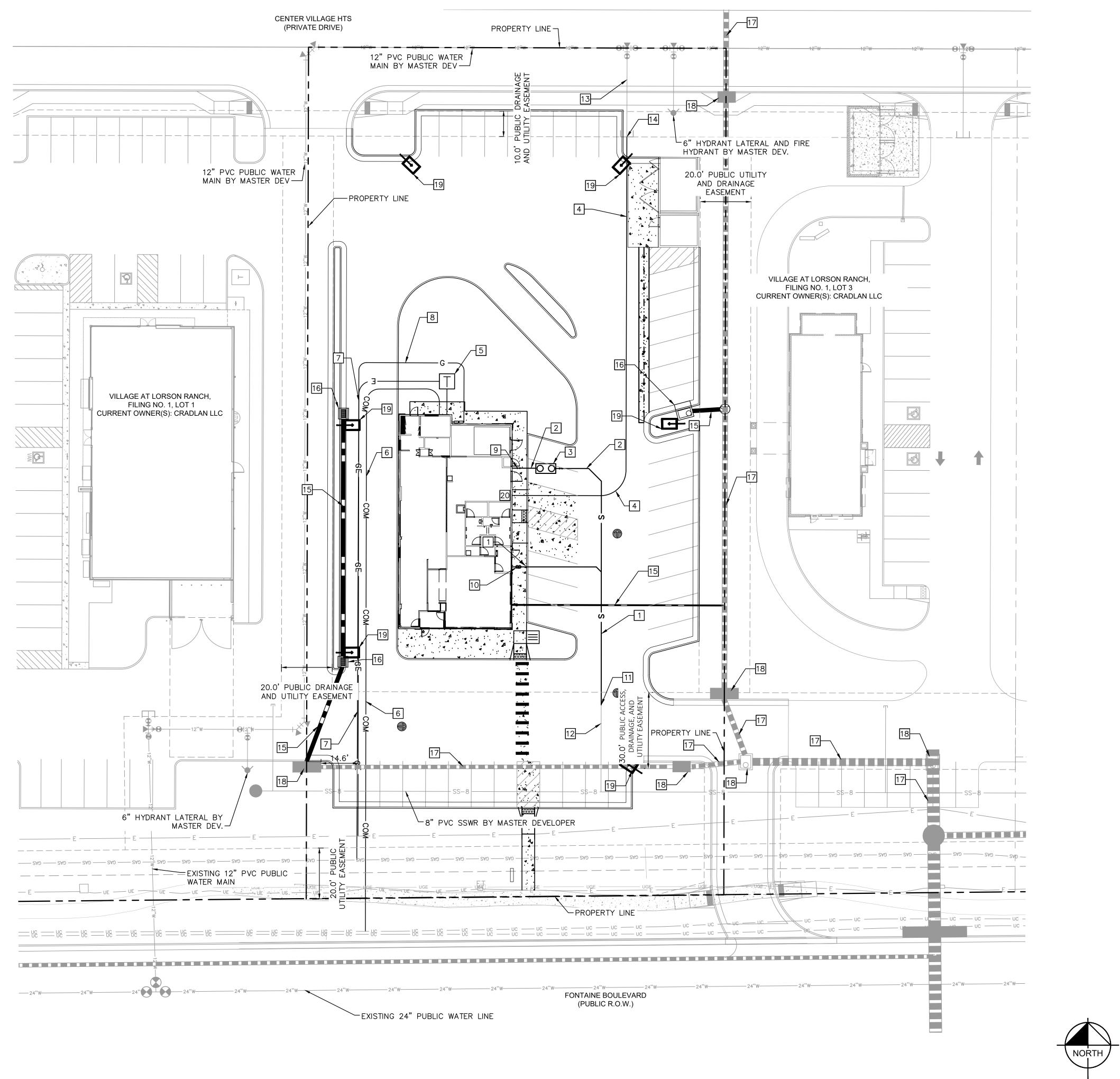
30"x30" MINIMUM SIZE BACKGROUND 4090 (3M-WHITE DIAMOND GRADE) OR EQUIVALENT FOREGROUND 1172 C (3M-RED EC FILM) OR EQUIVALENT

MUTCD R1-1 STOP SIGN DETAIL NOT TO SCALE

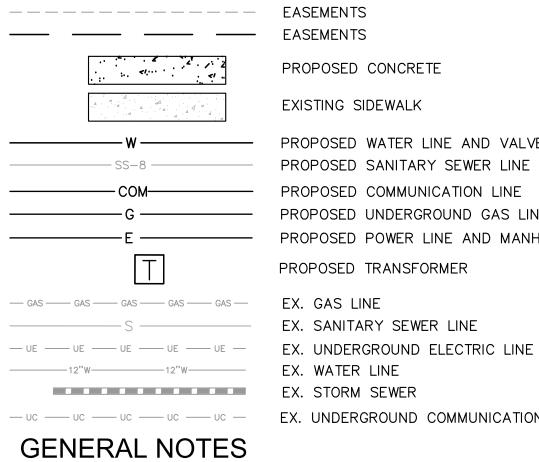




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LEGEND



PROPERTY LINE EASEMENTS

PROPOSED CONCRETE EXISTING SIDEWALK

PROPOSED WATER LINE AND VALVE PROPOSED SANITARY SEWER LINE PROPOSED UNDERGROUND GAS LINE PROPOSED POWER LINE AND MANHOLE PROPOSED TRANSFORMER

- EX. SANITARY SEWER LINE

- uc uc uc uc EX. UNDERGROUND COMMUNICATION LINE

1. NOTE THAT THE LAYOUT FOR DRY UTILITIES IS PRELIMINARY AND FOR CONCEPTUAL USE ONLY.

2. UTILITY CLEARANCES BETWEEN STORM SEWER AND WATER MAINS MUST MAINTAIN A VERTICAL SEPARATION OF AT LEAST 18".

KEYNOTES

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12

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PROPOSED PRIVATE 4" PVC SANITARY SEWER SERVICE LINE
PROPOSED PRIVATE 4" PVC SANITARY SEWER SERVICE LINE
PROPOSED PRIVATE SCHIER GB-500 GREASE INTERCEPTOR
PROPOSED PRIVATE 2" PVC WATER SERVICE LINE
PROPOSED PRIVATE TRANSFORMER
PROPOSED PRIVATE TELECOMMUNICATIONS SERVICE LINE
PROPOSED PRIVATE ELECTRIC SERVICE LINE
PROPOSED PRIVATE GAS SERVICE LINE
PROPOSED PRIVATE 4" SANITARY SEWER 2-WAY CLEANOUT
PROPOSED PRIVATE 4" SANITARY SEWER 2-WAY CLEANOUT
PROPOSED PRIVATE SANITARY SEWER CONNECTION TO STUB
PROPOSED PRIVATE 4" PVC SANITARY SEWER STUB TO BE CONSTRUCTED WITH MASTER DEVELOPMENT
PROPOSED PRIVATE 6" WATER STUB TO BE CONSTRUCTED WITH MASTER DEVELOPMENT
PROPOSED PRIVATE WATER CONNECTION TO STUB
PROPOSED PRIVATE STORM SEWER
PROPOSED PRIVATE STORM INLET
PRIVATE STORM SEWER BY MASTER DEV.
PRIVATE STORM SEWER INLET BY MASTER DEV.

19 PROPOSED SITE LIGHT

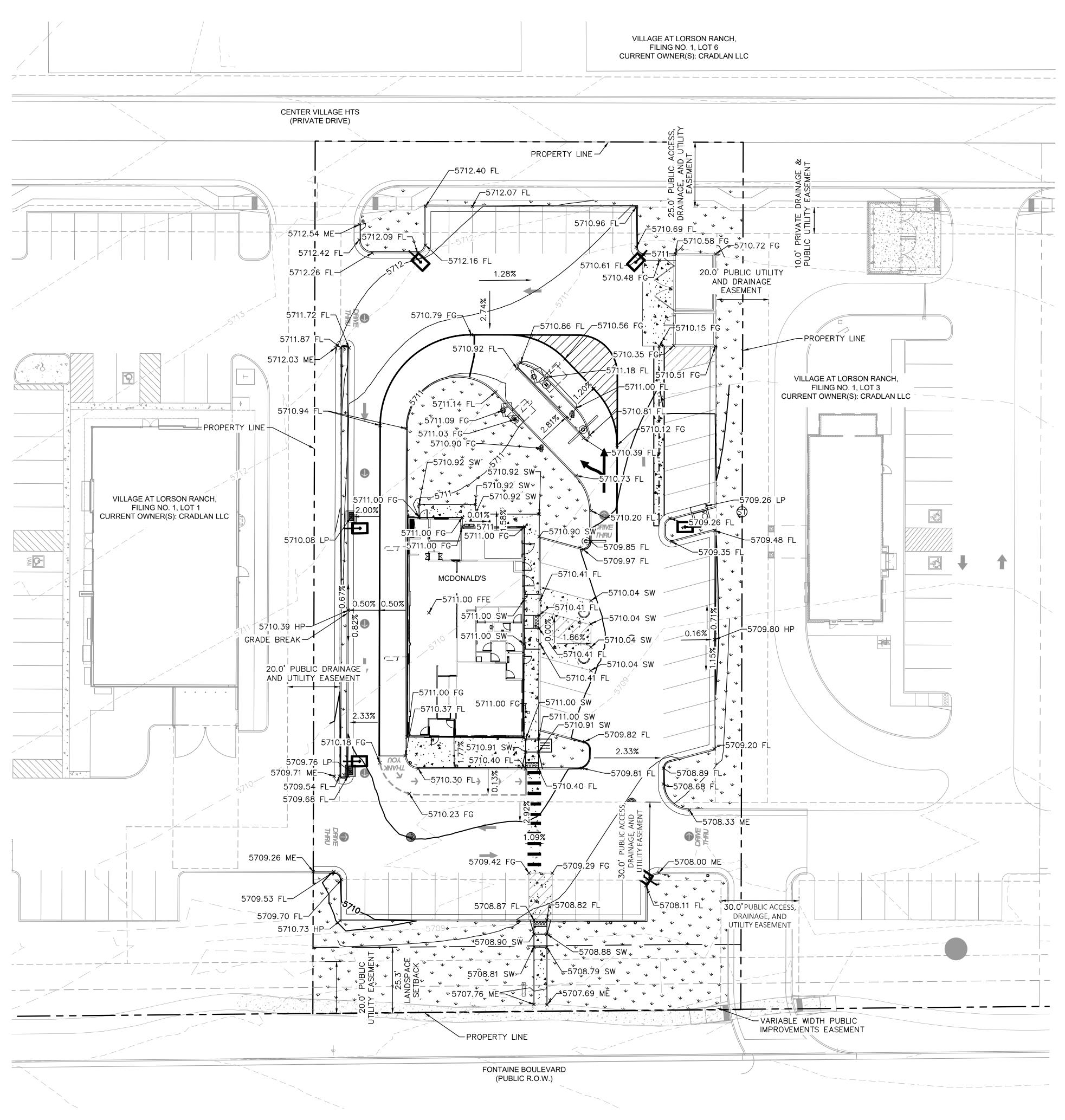
20 DOM. WATER POC W/ 2" REDUCED PRESSURE BACKFLOW PREVENTER (RPBP) INSIDE

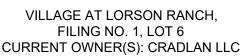
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				DESCRIPTION
				REV DATE
PREPARED BY:		Kimlewighter		
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DRAWN BY	ALS STD ISSUE DATE 7/30/2024	REVIEWED BY	DATE ISSUED	EL PASO COUNTY NO: EA2467
	SITE DEVELOPMENT PLAN		Z	SITE ADDRESS 9664 FONTAINE BLVD, COLORADO SPRINGS, COLORADO
ТПТЕ	SITE DEVEL	DESCRIPTION	UTILITY PLAN	SITE ID SITE 51028 966



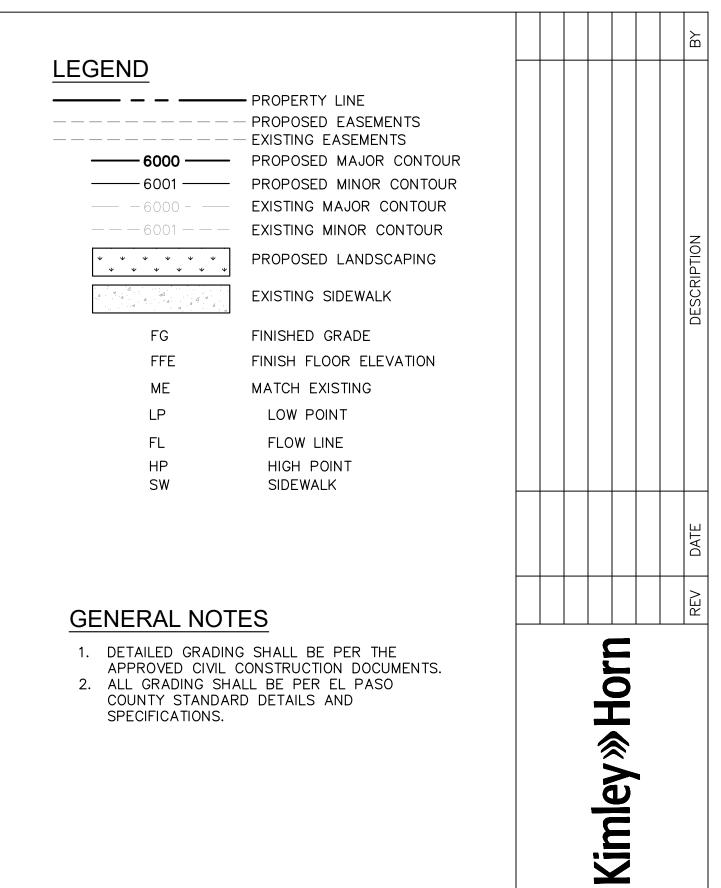
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GRAPHIC SCALE IN FEET





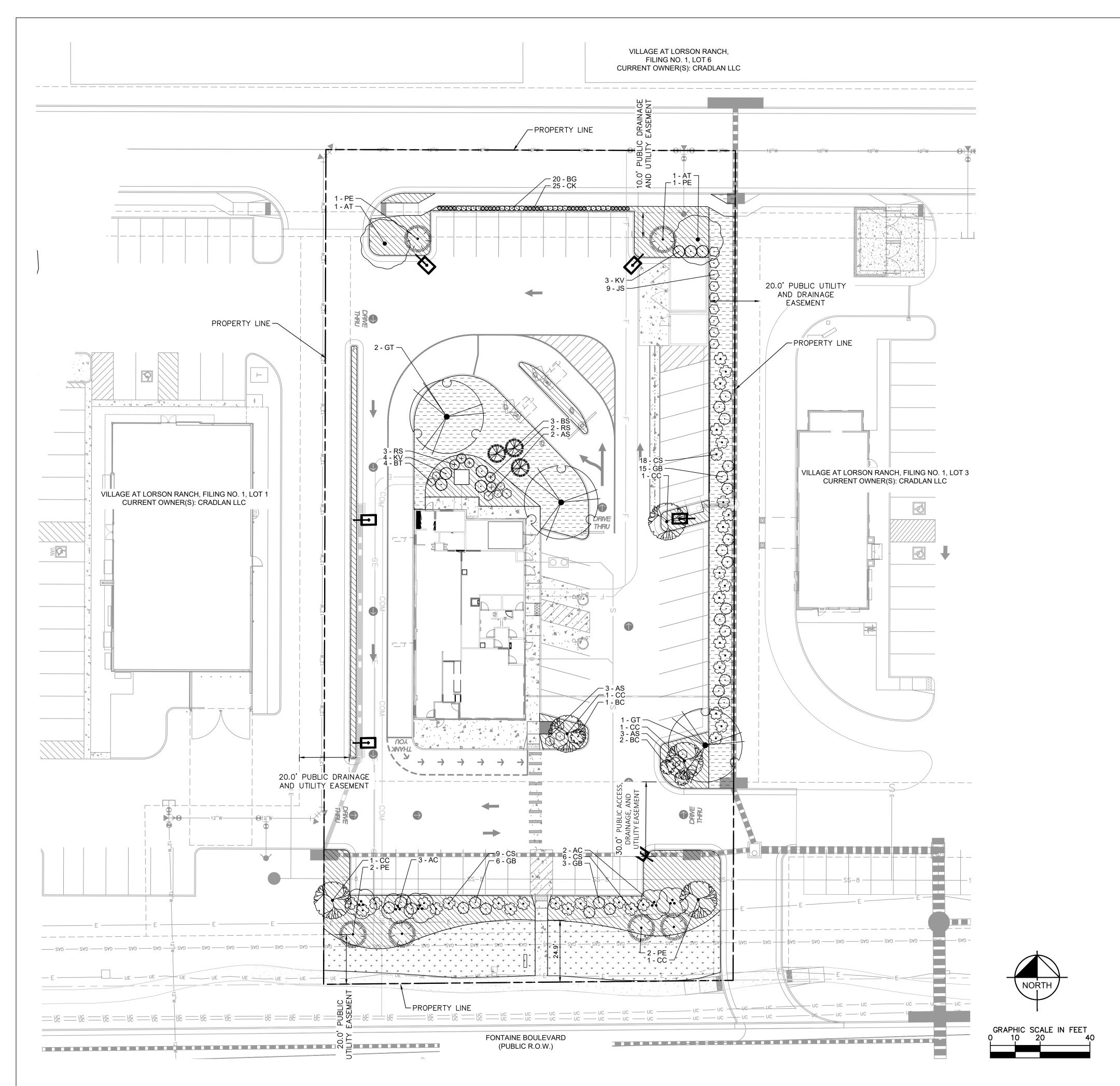
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DRAWN BY PREF	STD ISSUE DATE [] 7/30/2024 Th _i	REVIEWED BY pro JJM wit	DATE ISSUED noi 7/30/2024 the	EL PASO COUNTY the NO: EA2467
	SITE DEVELOPMENT PLAN	7	3 PLAN	SITE ADDRESS 9664 FONTAINE BLVD, COLORADO SPRINGS, COLORADO
	SITE DE	DESCRIPTION	GRADING PLAN	SITE ID 51028
		6		



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SYMBOL CODE DECIDUOUS TREES AC AT EVERGREEN TREES BS BS P SYMBOL CODE DECIDUOUS SHRUBS AS AS **В**Т О ки + rs EVERGREEN SHRUBS K BC Cs cs GB GB al 🕥 GRASSES BG Manager CK SYMBOL CODE ROUND COVERS ____ ROCK N ROCK1

PLANT SCHEDULE

•••						
<u>QTY</u>	BOTANICAL / COMMON NAME	CONT.	SIZE / CAL	WIDTH	HEIGHT	CODE REQ.
5	AMELANCHIER CANADENSIS SHADBLOW SERVICEBERRY MULTITRUNK	В&В	1.5" CAL O.A. 5 STEM MIN	15`-20`	15`-20`	STREAM
2	ACER TATARICUM GINNALA AMUR MAPLE	B & B	1.5" CAL MIN	15`-20`	15`-20`	ROW/MEDIANS
5	CRATAEGUS CRUS-GALLI `INERMIS` THORNLESS HAWTHORN	B & B	2.5" CAL MIN	15`-25`	15`-25`	ROW/MEDIANS
3	GLEDITSIA TRIACANTHOS INERMIS 'SUNBURST' SUNBURST HONEYLOCUST	B&B	2.5" CAL MIN	30`-40`	30`-40`	PARK/ROW/MEDIAN
3	PICEA PUNGENS 'FASTIGIATA' FASTIGIATE BLUE SPRUCE	B & B	6` HGT.	10`-15`	25`-40`	SCREEN/WALL/TRASH
6	PINUS EDULIS PINON PINE	B & B	6` HGT.	10`-20`	20`-30`	SCREEN/WALL/TRASH
<u>QTY</u>	BOTANICAL / COMMON NAME	SIZE/WTR USE	SPACING	WIDTH	HEIGHT	CODE REQ.
8	SPIRAEA X BUMALDA 'ANTHONY WATERER' ANTHONY WATERER SPIREA	5 GAL	SEE PLAN	3`-5`	2`-3`	
4	BERBERIS THUNBERGII `CHERRY BOMB` RED LEAF JAPANESE BARBERRY	5 GAL.	SEE PLAN	3`-5`	3`-5`	
7	VIBURNUM CARLESII KOREANSPICE VIBURNUM	5 GAL	SEE PLAN	4`-6`	4`-6`	
5	PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	5 GAL.	SEE PLAN	3`-4`	3`-4`	
3	JUNIPERUS HORIZONTALIS 'BLUE CHIP' BLUE CHIP CREEPING JUNIPER	5 GAL	SEE PLAN	6`-8`	1`-2`	
33	CYTISUS PURGANS 'SPANISH GOLD' SPANISH GOLD BROOM	5 GAL.	SEE PLAN	4`-6`	2`-4`	
24	PICEA PUNGENS 'GLOBOSA' DWARF GLOBE BLUE SPRUCE	5 GAL	SEE PLAN	5`-6`	3`-5`	
9	JUNIPERUS SCOPULORUM 'MEDORA' MEDORA JUNIPER	5 GAL	SEE PLAN	4`-6`	15`-20`	
20	BOUTELOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA	1 GAL.	SEE PLAN	2`-3`	2`-3`	
25	CALAMAGROSTIS X ACUTIFLORA `KARL FOERSTER` FEATHER REED GRASS	5 GAL.	SEE PLAN	18"-24"	4`-5`	
<u>QTY</u>	BOTANICAL / COMMON NAME	<u>TYPE</u>	INSTALL RATE	WEED FABRIC	MFR.	
4,637 SF	3/4" SADDLEBACK SWIRL ROCK MULCH SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. 2" - 6" COLORADO ROSE ROCK MULCH	ROCK MULCH	4"	YES	C&C SAND	
5,875 SF	INSTALLED AT A MINIMUM DEPTH OF 3" OVER WEED BARRIER FABRIC. SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	ROCK MULCH	3" DEPTH	YES	PIONEER SAND	
2,845 SF	PBSI NATIVE LAWN MIX 50% BUFFALOGRASS, 50% BLUE GRAMA	SEED			PAWNEE BUTTES SEED	

INTERNAL LANDSCAPING							
GROSS SITE AREA:	55,024 SF (1.26 AC)						
PERCENT MINIMUM INTERNAL AREA:	5%						
INTERNAL LANDSCAPE AREA REQ. / PROV.	2,751 SF / 14,052 SF						
TREE PER FEET REQ.	1 TREE PER 500 SF						
INTERNAL TREES REQ. / PROV.	6 / 6						
SHRUB SUBSTITUTES REQ. / PROV.	0 / 0						
ORN. GRASS SUBSTITUTES REQ. / PROV.	0 / 0						
PLANT ABBREVIATION DENOTED ON PLAN:	IN						
% GROUND PLANE VEG. REQ. / PROV.	75% / 75%						

PARKING LOT LANDSCAPING						
NUMBER OF VEHICLE SPACES PROVIDED: 43						
SHADE TREES REQUIRED: 1 TREE PER 15 STALLS						
SHADE TREES REQ. / PROV.: 3 / 3						
PARKING LOT FRONTAGES:	NORTH	SOUTH	EAST			
LENGTH OF FRONTAGE:	82'	182'	147'			
LENGTH OF 3' TALL SCREENING PLANTS REQ. / PROV.:	54' / 54'	121' / 121'	97'/ 97'			
LENGTH OF BERM OR FENCE REQ. / PROV.:	N/A	N/A	N/A			
PLANT ABBREVIATION DENOTED ON PLAN:		PL				

LANDSCAPE SETBACKS AND BUFFERS

STREET NAME OR BOUNDARY:	PRIVATE DRIVE (NORTH PROPERTY LINE)	FONTAINE BOULEVARD (SOUTH PROPERTY LINE)	COMMERCIAL (EAST PROPERTY LINE)	COMMERCIAL (WEST PROPERTY LINE)
STREET CLASSIFICATION:	NON ARTERIAL	ARTERIAL	N/A	N/A
SETBACK DEPTH REQUIRED / PROVIDED:	10' / 10'	25' / 25'	0' / 0'	0' / 0'
LINEAR FOOTAGE:	164'	164'	333'	335'
TREE PER FEET REQ.:	1 TREE PER 30 LF	1 TREE PER 20 LF	N/A	N/A
NUMBER OF TREES REQ. / PROV.	6 / 6	9/9	N/A	N/A
EVERGREEN TREES REQ. / PROV.	2/2	N/A	N/A	N/A
SHRUB SUBSTITUTES REQ. / PROV.	N/A	N/A	N/A	N/A
ORN. GRASS SUBSTITUTES REQ. / PROV.	N/A	N/A	N/A	N/A
OPAQUE SCREEN REQ. / PROV.	N/A	N/A	N/A	N/A
PLANT ABBREVIATION DENOTED ON PLAN:	PD	FB	ES	WS
% GROUND PLANE VEG. REQ. / PROV.	75% / 75%	75% / 75%	75% / 75%	75% / 75%



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PREPARED FOR:		7/30/2024 These drawing	REVIEWED BY property of		DATE ISSUED not su 7/30/2024 these	FI PASO COLINITY the	
PREPARED BY:	McDonald's USA_LLC	us and specifications are the confidential and proprietary	McDonald's USA, LLC and shall not be copied or reproduced	this specific site in conjunction with its issue date and are	not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the	ces of properly licensed architects and engineers. Reproduction of contract documents for reuse on another project is not authorized.	
			Vimbo		•		
							REV DATE
							DESCRIPTION

۹.	SCOPE OF WORK	Н.	MULCH
1.	THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.		1. MULCH MATERIAL SHALL BE M A DEPTH OF THREE (3) INCHES MULCH SHALL BE DOUBLE SHI
2.	WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.		PROJECT LANDSCAPE ARCHIT BED, GROUND COVER, VINE B EXISTING LANDSCAPE AREAS
	PROTECTION OF EXISTING STRUCTURES	I.	DIGGING AND HANDLING
1.	ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.		1. ALL TREES SPECIFIED SHALL ARCHITECT.
2.	DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.		2. PROTECT ROOTS OR ROOT BAN NECESSARY UNTIL PLANTING. TREES TRANSPORTED MORE THE SITE SHALL BE SPRAYED TRANSPIRATIONAL WATER LO
3. 4.	PROJECT.		3. B&B, AND FIELD GROWN (FG) F ENCOMPASS THE FIBROUS AN IF THE BALL IS CRACKED OR B
	COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR; REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA; LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR	J.	CONTAINER GROWN STOCK 1. ALL CONTAINER GROWN MATE CONTAINER IN WHICH THEY A
	SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION. PROTECTION OF EXISTING PLANT MATERIALS		 AN ESTABLISHED CONTAINER CONTAINER SUFFICIENTLY LO
1.			WILL RETAIN ITS SHAPE AND H NOT BE HANDLED BY THEIR ST 3. ROOT BOUND PLANTS ARE NO
	DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF	K.	MATERIALS LIST
	FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.		1. QUANTITIES NECESSARY TO C QUANTITY ESTIMATES HAVE E FOR OMISSIONS OR ERRORS. PLANS SHALL GOVERN. ALL D
	SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.	L.	FINE GRADING
1.	GENERAL		1. FINE GRADING UNDER THIS CO HAVE BEEN DISTURBED DURIN
	MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.		2. THE CONTRACTOR SHALL FINI FINISHED GRADE ALLOWING F
	MATERIALSAMPLE SIZEMULCHONE (1) CUBIC FOOTTOPSOIL MIXONE (1) CUBIC FOOTPLANTSONE (1) CUBIC FOOT		3. ALL PLANTING AREAS SHALL E DRAIN SYSTEMS. AREAS ADJA PLANS FOR FINAL GRADES, IF
2.	PLANTS ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY) PLANT MATERIALS	Μ.	PLANTING PROCEDURES
	a. FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT; AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.		1. THE CONTRACTOR SHALL CLE ALL MORTAR, CEMENT, BUILD AREAS. THESE MATERIALS SH PLANTING AREAS WHICH WILL THE ATTENTION OF THE OWNE MEASURES THE RESPONSIBIL
	 b. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. c. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY POWER DRY OFFICE OF THE OUTY FORESTED. 		2. VERIFY LOCATIONS OF ALL UT GAS (LINES AND TANKS), WAT MAINTAIN AND PROTECT EXIS CONSTRUCTION.
	 ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER. d. PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 AND COLORADO NUPSERV ACT FOR TYPES AND FORM OF PLANTS RECUMPED, PLANTS OF A LARGER SIZE MAY BE LIGED IF ACCEPTABLE TO 		3. CONTRACTOR IS RESPONSIBL
	 NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS. e. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF 		PLANTING AREAS TO A MINIMU PLANTING AREAS TO ROUGH F IF LIMEROCK OR OTHER ADVE CONTRACTOR, AND POSITIVE PLANTING DETAIL.
	INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.		4. FURNISH NURSERY'S CERTIFIC PLANT MATERIALS BEFORE PL
	f. TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN ³ / ₄ INCH (19 MM) IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.		5. COMPLY WITH APPLICABLE FE WORK. UPON ARRIVAL AT THE PLANTED. PLANTS STORED ON EXCEEDING TWENTY-FOUR (24 PRACTICES AS USED IN THE T
	g. FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.		6. WORK SHALL BE COORDINATE WORK TO ASSURE AVAILABILI
	h. LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.		7. ALL PLANTING OPENINGS SHA STANDARD FOR NURSERY STO
	 IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING. SOIL MIXTURE 		8. TEST ALL TREE OPENINGS WI ALLOWANCE WILL BE MADE FO DRAINAGE CONDITION" PLANT
1.	CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:		9. TREES SHALL BE SET PLUMB A SLOW, FULL HOSE STREAM. AN AND UNDER THE SUPERVISION
2.	SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.		10. PRIOR TO EXCAVATION OF TR ROTO-TILLED TO A DEPTH EQU
	a. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS,		11. EXCAVATION OF TREE OPENIN SUBSURFACE ELEMENTS SUC
	LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.		12. IN CONTINUOUS SHRUB AND G FOOT BEYOND THE DIAMETER DEPTH PLUS 6".
0	b. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.		13. TREE OPENINGS FOR WELL DE UNDISTURBED SOIL AND THE TREE OPENING SHALL BE DUG
3.	TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.		 TREE OPENING SHALL BE DUG 1" ABOVE FINISH GRADE. PLAN TAKE ALL NECESSARY PRECA TREES.
	WATER		15. SOIL MIXTURE SHALL BE AS SI
1.	PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC		16. TREES AND SHRUBS SHALL BE ONE (1) TO TWO (2) INCHES AE BACK FILLED, THOROUGHLY T
	IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER. * WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.		17. AMEND PINE AND OAK PLANT RECOMMENDATION. ALL OTHE MANUFACTURER'S RECOMMEN
.	FERTILIZER		
1.	CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.		
	* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.		

IOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT ES CLEAR MULCH FROM EACH PLANT'S CROWN (BASE) OR AS SHOWN IN PLANTING DETAILS. REDDED HARDWOOD MULCH. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO TECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, AND TREE RING (6' MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY AS SHOWN ON PLANS.

BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE

ALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO WITH AN ANTITRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE

PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

ERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE RE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A

GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT ING ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL

OT ACCEPTABLE AND WILL BE REJECTED.

COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

ONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT NG CONSTRUCTION.

E GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FOR THICKNESS OF SOD AND/OR MULCH DEPTH.

BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM ACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S = APPLICABLE.

EAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. DING MATERIALS. AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING ALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO IER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE LITY OF THE CONTRACTOR.

TILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, FER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY STING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO

LE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL UM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE ERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION

CATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT LANTS ARE DUG AT NURSERY OR GROWING SITE

EDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND SITE. PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL INSITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD 24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL RADE SHALL BE EXERCISED.

ED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION LITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.

ALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN

ITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO OR LOST PLANTS DUE TO IMPROPER DRAINAGE, IF POOR DRAINAGE EXISTS, UTILIZE "POOR FING DETAIL.

AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES ON OF A QUALIFIED LANDSCAPE FOREMEN.

REE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE UAL TO THE DEPTH OF THE ROOT BALL.

INGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND CH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.

GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE R OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL

RAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE G SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS ANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.

AUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING

PECIFIED IN SECTION 'E'.

E SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).

OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S HER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER ENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION

- 18. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.
- 19. ALL BURLAP, ROPE, WIRES, BASKETS, ETC.., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
- 20. TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.
- 21. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
- 22. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING. THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.

23. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

N. LAWN SODDING

- 1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER
- 2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
- 3. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY. 4. SODDING
- a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- b. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD. CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
- 5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
- 6. LAWN MAINTENANCE
- a. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADING IF NECESSARY.
- b. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

Ο. EDGING

a. CONTRACTOR SHALL INSTALL 4" X_8 " ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS. P. CLEANUP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE. THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE. PLANT MATERIAL MAINTENANCE Q.

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING. CULTIVATING. SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

R. FINAL INSPECTION AND ACCEPTANCE OF WORK

1. FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

S. WARRANTY

- THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
- ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
- 3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE. THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

PARKING LOT ISLAND NOTE Τ.

> 1. THE SOIL OF ANY PLANTER WITHIN THE PARKING LOT SHALL BE STRUCTURALLY RENOVATED (TILLED) OR REMOVED TO A DEPTH OF THIRTY INCHES (30") AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES INDICATED FOR INSTALLATION.

MAINTENANCE

1. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER, AND/ OR THEIR ASSIGNS.

2. ALL STREET TREES AND STREETSCAPE IMPROVEMENTS LOCATED IN THE R.O.W. WILL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.

- PERMIT APPLICATION AND SHALL BE APPROVED BEFORE ANY BUILDING PERMIT APPROVAL, ANY LANDSCAPE OR IRRIGATION CONSTRUCTION, AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY

- COPIES OF RECEIPTS/DELIVERY TICKETS FOR SOIL AMENDMENTS INSTALLED ON THE PROJECT ARE REQUIRED TO BE PROVIDED WITH THE INSPECTION AFFIDAVITS. IF SOIL IN THE PARKING LOT HAS BEEN COMPACTED BY GRADING OPERATIONS, THE SOIL WITHIN THE PLANTER SHALL BE TILLED, OR
- REMOVED TO A DEPTH OF THIRTY (30) INCHES AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES BEING INSTALLED.
- REQUIRED FOR ALL LANDSCAPE PLANTING AREAS. ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER CITY ENGINEERING STANDARD DRAWINGS AND SPECIFICATIONS. ENGINEERING DEVELOPMENT REVIEW DIVISION INSPECTOR WILL HAVE THE FINAL
- OFFICE (719-385-5982)
 - - TILLING OF THE EXISTING SOIL TO INCORPORATE AMENDMENTS AND COUNTER ANY COMPACTION OR SOIL CONSOLIDATION SHALL BE
 - AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.

<u>standard city of colorado springs landscape n¢tes</u>

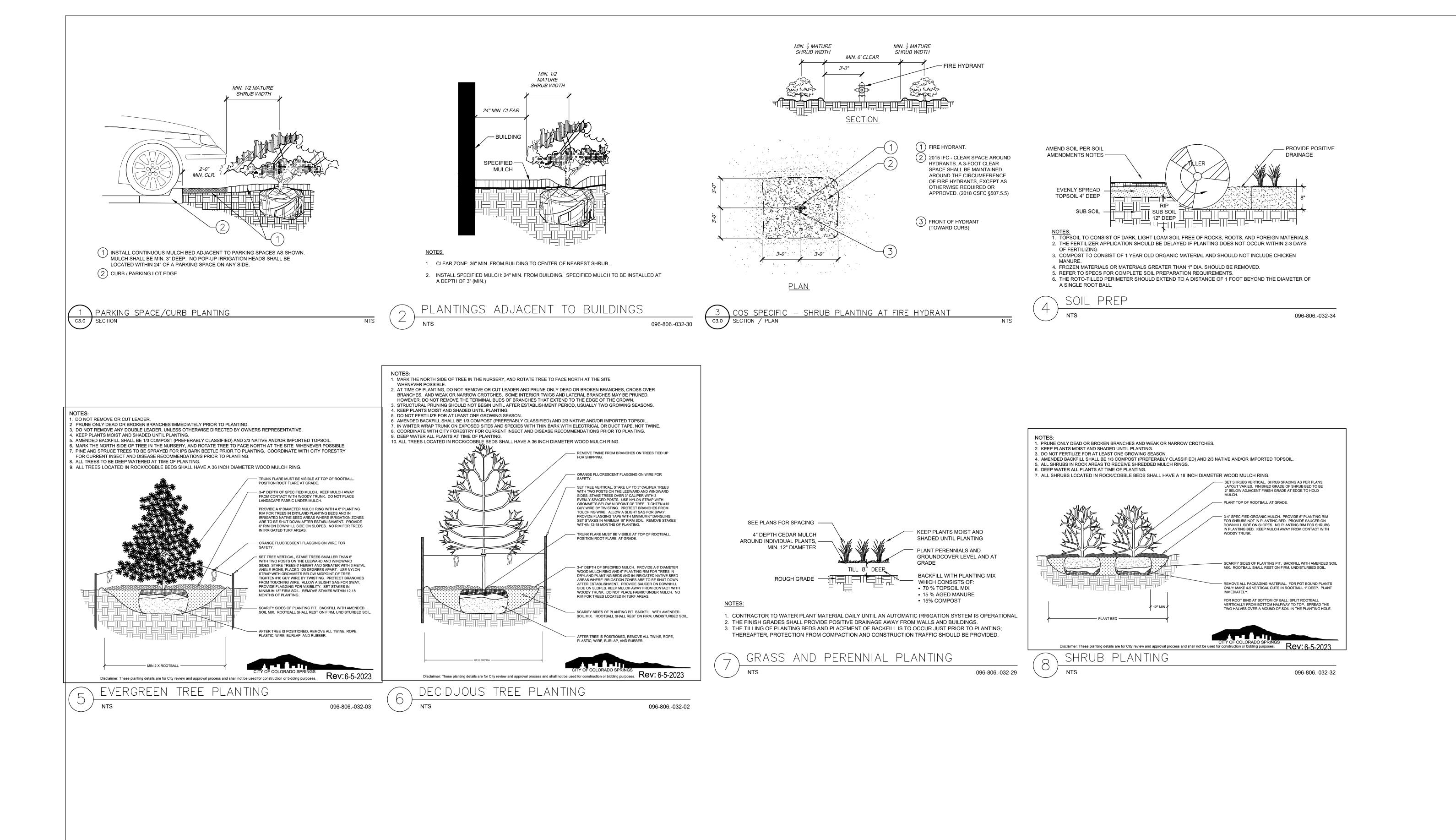
A FINAL LANDSCAPE AND IRRIGATION PLAN, WITH APPLICABLE SUPPORTING MATERIAL, SHALL BE SUBMITTED AT TIME OF BUILDING

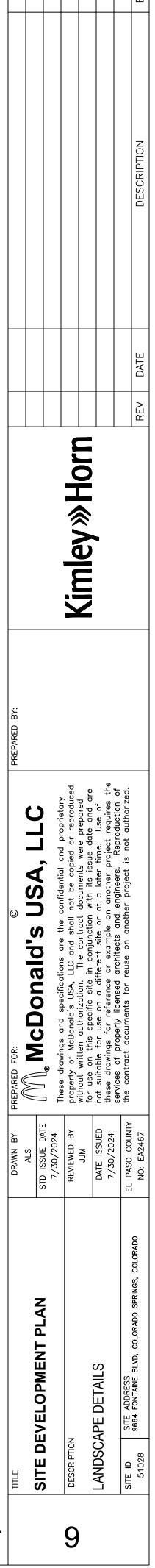
ALL PROPOSED LANDSCAPING SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM WHICH WILL PROVIDE DRIP IRRIGATION TO ALL SHRUB BEDS AND TREES WITHIN NATIVE SEED AREAS AND SPRAY IRRIGATION TO ALL HIGH-WATER USE TURF AND NATIVE SEED AREAS. THE OWNER OR DEVELOPER IS REQUIRED TO PROVIDE INSPECTION AFFIDAVITS EXECUTED BY THE COLORADO LICENSED LANDSCAPE ARCHITECT OR CERTIFIED IRRIGATION DESIGNER OF RECORD FOR THE PROJECT, WHICH CERTIFIES THAT THE PROJECT WAS INSTALLED AND IN COMPLIANCE WITH THE APPROVED FINAL LANDSCAPE AND IRRIGATION PLAN ON FILE IN CITY PLANNING. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS TO ACCURATELY COMPLETE THE AFFIDAVITS. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-385-5905) AND AS NECESSARY OUR DRE



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