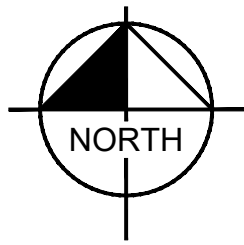


MCDONALD’S AT FONTAINE AND MARKSHEFFEL
CONSTRUCTION DOCUMENTS
VILLAGE AT LORSON RANCH FILING NO.1 LOT 2

S $\frac{1}{2}$ OF SE $\frac{1}{4}$ OF SECTION 15, TOWNSHIP 15S, RANGE 65 WEST OF THE
6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



VICINITY MAP
NOT TO SCALE



CONTACTS:

DEVELOPER:
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TEL: (719)–635–3200
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LAND AREA:

55,024 SQ. FT. OR 1.265 ACRES MORE OR LESS

BASIS OF BEARING:

BEARINGS ARE BASED ON THE NORTH LINE OF TRACT D, CARRIAGE MEADOWS NORTH FILING NO. 1, BEARING N89°48’24” E, A DISTANCE OF 699.24 FEET, AS MONUMENTED AT BOTH ENDS BY A FOUND YELLOW PLASTIC CAP STAMPED “FWS PLS 38226”.

BENCHMARK:

ELEVATIONS ARE BASED UPON A FOUND 2” ALUMINUM CAP STAMPED “FARNSWORTH GROUP INC. PLS 38053” ON THE WEST LINE OF TRACT B AS SHOWN AS HEREON (ELEVATION = 5724.52)

LEGAL DESCRIPTION

VILLAGE AT LORSON RANCH FILING NO.1, LOT 2

GENERAL NOTES:

- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE.

FEMA CLASSIFICATION

THE FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 08041C0957G EFFECTIVE DATE DECEMBER 7, 2018, HAS BEEN EXAMINED AS IT RELATES TO THE PROPERTY BEING PLATTED. THE PROPERTY LIES WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD.

NOTICE AND WARNING:

COMPLIANCE WITH THE AMERICANS FOR DISABILITIES ACT (“ADA”) AND OTHER FEDERAL AND STATE ACCESSIBILITY LAWS IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THEREFORE, COMPLIANCE WITH CITY CODES DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. EL PASO COUNTY IS NOT RESPONSIBLE FOR ENFORCEMENT OF THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS.

DESIGN ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

JESSICA MCCALLUM, P.E.# : 59054

DATE:

OWNER'S/DEVELOPER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

(NAME)

MCDONALD'S USA, LLC

DATE

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JOSHUA PALMER, P.E.

COUNTY ENGINEER / ECM ADMINISTRATOR

DATE

Kimley»Horn

PREPARED BY:

McDonald's USA, LLC
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TITLE	DRAWN BY	ALS	STD	ISSUE DATE	REVIEWED BY	JMM	DATE ISSUED	JMM	7/30/2024	SITE ADDRESS	9664 FONTAINE BLVD., COLORADO SPRINGS, COLORADO	SITE ID	51028	REV	DATE	BY
CONSTRUCTION DRAWINGS																
DESCRIPTION																
COVER																

C1.0



ENGINEERING CONSTRUCTION NOTES

1.

ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. THE LOCATIONS SHOWN ARE FOR BIDDING PURPOSES ONLY. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTORS RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME, IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
2.

CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING: SAFETY OF ALL PERSONS AND PROPERTY, AND THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
3.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
4.

CONTRACTOR SHALL CONTACT UTILITY NOTIFICATION CENTER FOR THE LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION (1-800-922-1987).
5.

CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
6.

THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL REQUIRED CONSTRUCTION PERMITS AND BONDS PRIOR TO CONSTRUCTION.
7.

THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
8.

ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN THE PUBLIC RIGHT-OF-WAY OR EASEMENT SHALL CONFORM TO THE CITY OF COLORADO SPRINGS'S SPECIFICATIONS AND STANDARDS. (LATEST EDITION)
9.

CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGGERS, AND ALL OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY IN ACCORDANCE WITH MUTCD CONSTRUCTION AREA TRAFFIC CONTROL.

ENGINEERING DEMOLITION NOTES

1.

ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER AND IN STRICT ACCORDANCE WITH OSHA REGULATIONS.
2.

ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THIS PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE OWNER AND THE ENGINEER PRIOR TO MAKING ANY CHANGES.
3.

THE CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION.
4.

WHEN UTILITIES ARE REMOVED, CAP AND SEAL A MINIMUM OF 8" BELOW FINISH GRADE.

ENGINEERING SITE NOTES

1.

CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
2.

CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING GRADE AT ALL TIE IN LOCATIONS.
3.

CONTRACTOR SHALL REMOVE PAVEMENT AND CONCRETE IN ACCORDANCE WITH SPECIFICATIONS OF EL PASO COUNTY AND/OR THE COLORADO STATE DEPARTMENT OF TRANSPORTATION.
4.

THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS AND ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
5.

CONTRACTOR SHALL REFER TO BUILDING PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES, TO INCLUDE, SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS, COORDINATE WITH ANY UTILITY COMPANIES FOR APPROVED LOCATIONS AND SCHEDULING OF TIE-INS/CONNECTIONS TO THEIR FACILITIES.
6.

CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
7.

CONTRACTOR TO REMOVE OR RELOCATE, WHEN APPLICABLE, ALL EXISTING BUILDINGS, FOUNDATIONS, BASEMENTS, CONNECTING IMPROVEMENTS, DRAIN PIPES, SANITARY SEWER PIPES, POWER POLES, AND GUY WIRES, WATER METERS AND WATER LINES, WELLS, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, SEPTIC TANKS, AND ASPHALT, SHOWN AND NOT SHOWN, WITHIN CONSTRUCTION LIMITS AND WHERE NEEDED, TO ALLOW FOR NEW CONSTRUCTION AS SHOWN.

ENGINEERING PAVING NOTES

1.

CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
2.

ALL CONCRETE SIDEWALKS SHALL HAVE CONTROL JOINTS CUT ON 5' CENTERS AND EXPANSION JOINTS PLACED ON 20' CENTERS. CONCRETE PAVEMENT JOINTS SHALL BE SPACED AT 12' CENTERS MAXIMUM.
3.

ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS.
4.

WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.

ENGINEERING GRADING NOTES

1.

CONTOURS ON SIDEWALKS AND PRIVATE/PUBLIC ROADWAYS ARE TO FINISH GRADE.
2.

FOR GROUND TREATMENT OF ALL DISTURBED AREAS WITHIN THE PROJECT SITE, REFER TO LANDSCAPE PLANS.
3.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
4.

THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL RE-GRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND OR OTHER FINAL LANDSCAPE PLANTING IS WELL ESTABLISHED.

ENGINEERING DRAINAGE AND STORM WATER NOTES

1.

ON-SITE STORM SEWER SYSTEM HAS BEEN PROVIDED TO MAINTAIN THE EXISTING DRAINAGE PATTERNS.
2.

ALL ON-SITE STORM SEWER IS PRIVATE, UNLESS OTHERWISE NOTED.
3.

EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
4.

THE CONTRACTOR SHALL DE-SILT ALL DRAINAGE STRUCTURES AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
5.

IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER PRIOR TO EXCAVATION.

ENGINEERING GENERAL NOTES FOR CONTRACTOR

THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTIONS TO THE CONTRACTOR BY THE ENGINEER OF THE PLANS.

1.

THE CITY OR COUNTY ENGINEER'S SIGNATURE ON THESE PLANS DOES NOT CONSTITUTE APPROVAL OF ANY OF THESE NOTES AND THE CITY WILL NOT BE HELD RESPONSIBLE FOR THEIR ENFORCEMENT.
2.

APPROVAL OF THESE PLANS BY THE CITY/COUNTY DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
3.

THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY EL PASO COUNTY DOES NOT AUTHORIZE THE SUBDIVIDER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
4.

NEITHER THE OWNER, NOR THE ENGINEER OF WORK WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
5.

CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING: SAFETY OF ALL PERSONS AND PROPERTY, AND THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
6.

THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT ALL SLOPES, STREETS, UTILITIES, AND STORM SEWERS ARE BUILT IN ACCORDANCE WITH THESE PLANS. IF THERE IS ANY QUESTION REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING THE ENGINEER OF WORK AT 719-453-0180. THE CONTRACTOR SHALL ALSO TAKE THE NECESSARY STEPS TO PROTECT THE PROJECT AND ADJACENT PROPERTY FROM ANY EROSION AND SILTATION THAT RESULT FROM HIS OPERATIONS BY APPROPRIATE MEANS (SAND BAGS, TEMPORARY DESILTING BASINS, DIKES, SHORING, ETC.) UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND ACCEPTED FOR MAINTENANCE BY WHATEVER OWNER, AGENCY, OR ASSOCIATION IS TO BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE.
7.

EXCEPT AS NOTED HEREON ALL UTILITY SERVICES WITHIN THIS DEVELOPMENT ARE UNDERGROUND INSTALLATIONS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO STARTING WORK NEAR THEIR FACILITIES, AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES. FOR UTILITY MARK-OUT SERVICE, CALL 811.
8.

THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO OTHER EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS. ALL DAMAGES THERETO CAUSED BY THE CONTRACTOR SHALL BE REPAIRED TO THE APPROPRIATE SPECIFICATIONS AND STANDARDS AT THE EXPENSE OF THE CONTRACTOR.
9.

LOCATION AND ELEVATION OF EXISTING IMPROVEMENTS SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK.
10.

CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
11.

FOR ALL UTILITY TRENCHES, SOILS REPORTS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY A QUALIFIED SOILS ENGINEER WHICH CERTIFY THAT TRENCH BACKFILL WAS COMPACTED AS DIRECTED BY THE SOILS ENGINEER IN ACCORDANCE WITH THE ON-SITE EARTHWORK SPECIFICATIONS.
12.

ANY WORK DONE WITHOUT INSPECTION OR MATERIALS TESTING IS SUBJECT TO REMOVAL OR CORRECTION.
13.

CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY DAMAGE TO THE EXISTING IMPROVEMENTS AND REPLACEMENT TO THE SATISFACTION OF THE FIELD ENGINEER.
14.

PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL JOIN CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES, INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.

15.

THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE PLANS, THE SOILS AND/OR GEOLOGY REPORTS, AND THE SITE CONDITIONS PRIOR TO COMMENCING WORK.
16.

SHOULD CONFLICTING INFORMATION BE FOUND ON THE PLANS OR IN THE FIELD, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AT KIMLEY-HORN BEFORE PROCEEDING WITH THE WORK IN QUESTION.
17.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE EL PASO COUNTY FIELD SURVEY SECTION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
18.

DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS THE COUNTY ENGINEER APPROVES A CONSTRUCTION CHANGE OR THE COUNTY/AGENCY INSPECTOR REQUIRES THE CHANGE.
19.

AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO ACCEPTANCE OF THIS PROJECT.
20.

THE AREA WHICH IS DEFINED AS A NON-GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY/COUNTY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT OR COLORADO DIVISION OF WILDLIFE. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
21.

NOTES AND DETAILS DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
22.

IF AT ANY TIME DURING THE GRADING OPERATION, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA SHALL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
23.

STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS. THE CONTRACTOR SHALL TAKE ADDITIONAL CARE TO ENSURE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE WHILE MEETING MINIMUM AND MAXIMUM PAVEMENT SLOPES AS DEFINED IN THE CRITERIA.
24.

ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
25.

DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
26.

CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN IN THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR.
27.

ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
28.

SPOT GRADES ARE TO FLOWLINE OR FINISH PAVEMENT GRADE UNLESS OTHERWISE NOTED.
29.

CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
30.

WATER SHALL BE PROVIDED ONSITE AND USED TO CONTROL DUST DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
31.

STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
32.

RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.

Signing and Striping Notes:

1.

All signs and pavement markings shall be in compliance with the current Manual on Uniform Traffic Control Devices (MUTCD).
2.

Removal of existing pavement markings shall be accomplished by a method that does not materially damage the pavement. The pavement markings shall be removed to the extent that they will not be visible under day or night conditions. At no time will it be acceptable to paint over existing pavement markings.
3.

Any deviation from the striping and signing plan shall be approved by El Paso County Planning and Community Development.
4.

All signs shown on the signing and striping plan shall be new signs. Existing signs may remain or be reused if they meet current El Paso County and MUTCD standards.
5.

Street name and regulatory stop signs shall be on the same post at intersections.
6.

All removed signs shall be disposed of in a proper manner by the contractor.
7.

All street name signs shall have "D" series letters, with local roadway signs being 4" upper-lower case lettering on 8" blank and non-local roadway signs being 6" lettering, upper-lower case on 12" blank, with a white border that is not recessed. Multi-lane roadways with speed limits of 35 mph or higher shall have 8" upper-lower case lettering on 12" blank with a white border that is not recessed. The width of the non-recessed white borders shall match page 255 of the 2012 MUTCD "Standard Highway Signs". Signal pole mounted and overhead street name signs shall be per MUTCD size standards.
8.

All traffic signs shall have a minimum High Intensity Prismatic grade sheeting.
9.

All local residential street signs shall be mounted on a 1.75" x 1.75" square tube sign post and stub post base. For other applications, refer to the CDOT Standard S-614-8 regarding use of the P2 tubular steel post slipbase design.
10.

All signs shall be single sheet aluminum with 0.100" minimum thickness.
11.

All limit lines/stop lines, crosswalk lines, pavement legends, and arrows shall be a minimum 125 mil thickness preformed thermoplastic pavement markings with tapered leading edges per CDOT Standard S-627-1. Stop bars shall be 24" in width. Crosswalks lines shall be 24" wide and a minimum of 9' long.
12.

Word and symbol markings shall be the narrow type.
13.

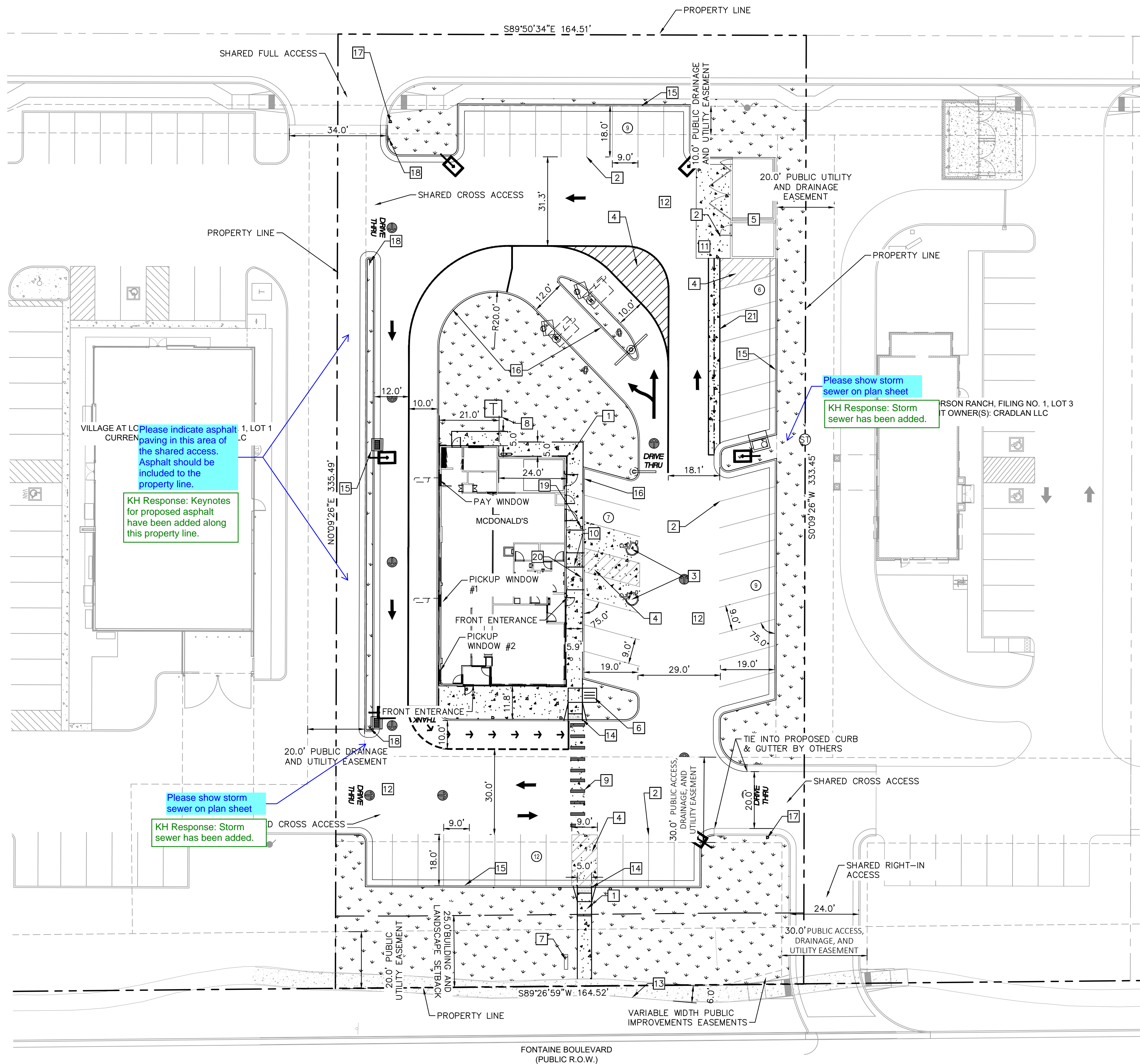
All longitudinal lines shall be a minimum 15mil thickness epoxy paint. All non-local residential roadways shall include both right and left edge line striping and any additional striping as required by CDOT S-627-1.
14.

The contractor shall notify El Paso County Planning and Community Development (719) 520-6819 prior to and upon completion of signing and striping.
15.

The contractor shall obtain a work in the right of way permit from the El Paso County Department of Public Works (DPW) prior to any signage or striping work within an existing El Paso County roadway.

KH Response: Notes have been added.

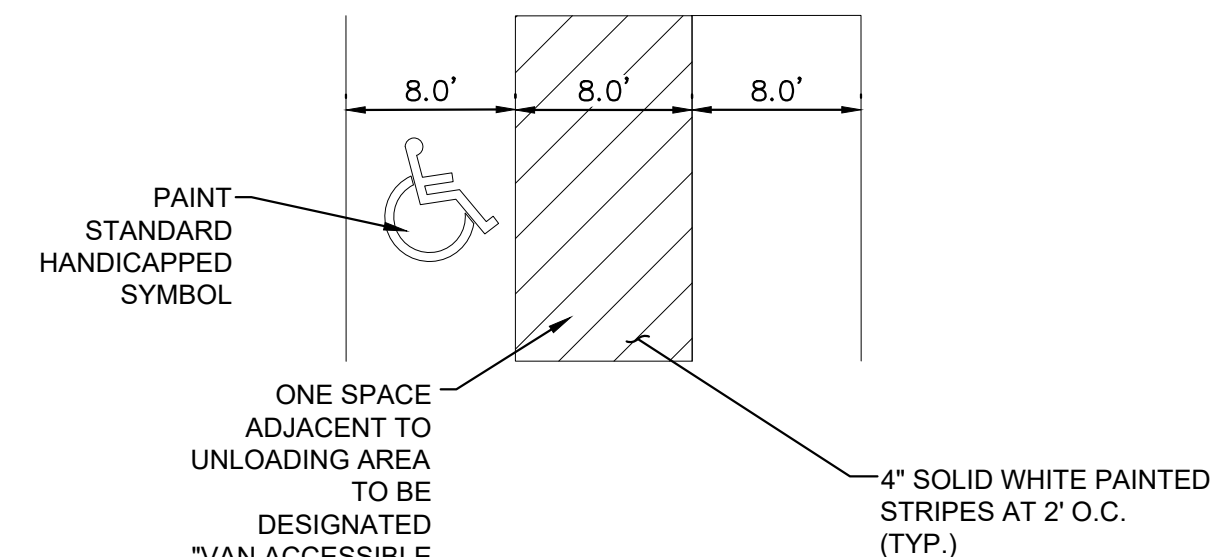
VILLAGE AT LORSON RANCH,
FILING NO. 1, LOT 6
CURRENT OWNER(S): CRADLAN LLC



LEGEND

- PROPERTY LINE
- SETBACK
- EASEMENTS
- PROPOSED CONCRETE
- PROPOSED LANDSCAPING
- EXISTING SIDEWALK
- PROPOSED PARKING COUNT

ADA SIGNS TO BE IN ACCORDANCE WITH ADA STANDARDS.



NOTES

- DIMENSIONS MAY VARY REFER TO SITE PLAN (SHEETS 3 AND 4).
- SIGNAGE AND MARKINGS TO BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.

ACCESSIBLE PARKING DETAIL


NOT TO SCALE

GENERAL NOTES

- ALL SIGNS ARE REVIEWED UNDER SEPARATE PERMIT

KEY NOTES

- PROPOSED CONCRETE SIDEWALK PER CDOT STANDARD DRAWING M-609-1 (WIDTH PER PLAN)
- PROPOSED 4" WIDE PARKING STRIPE (TYP.)
- PROPOSED ADA SYMBOL (PER DETAIL THIS SHEET)
- PROPOSED 4" WIDE DIAGONAL PAVEMENT MARKINGS AT 36" ON CENTER
- DUMPSTER ENCLOSURE AND SHED.
- PROPOSED BIKE PARKING
- PROPOSED MONUMENT SIGN, PER SEPARATE PERMIT
- PROPOSED TRANSFORMER
- PEDESTRIAN CROSSWALK, REF. SHEET 4 FOR DETAIL
- PROPOSED PARALLEL CURB RAMP PER EL PASO COUNTY SD_2_50 W/DETECTABLE WARNING PER EL PASO COUNTY SD_2-42
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- EXISTING CONCRETE SIDEWALK
- PROPOSED PERPENDICULAR CURB RAMP PER EL PASO COUNTY SD_2-40&41 WITH DETECTABLE WARNING PER EL PASO COUNTY STANDARD SD_2-42
- PROPOSED TYPE A CURB AND GUTTER PER EL PASO COUNTY SD_2-20
- PROPOSED 6" CURB HEAD
- PROPOSED R1-1 STOP SIGN, REF. SHEET 4 FOR DETAIL
- PROPOSED R5-1 DO NOT ENTER SIGN, REF. SHEET 4 FOR DETAIL
- PROPOSED VAN ADA PARKING SIGN, REF. SHEET 4 FOR DETAIL
- PROPOSED ADA PARKING SIGN, REF. SHEET 4 FOR DETAIL
- PROPOSED 4' WIDE CDOT V-GUTTER TYPE 2 PER CDOT STD. PLAN NO. M-609-1

C1.2	TITLE	DRAWN BY ALS	PREPARED FOR:	PREPARED BY:				
	CONSTRUCTION DRAWINGS	STD 7/30/2024	 McDonald's USA, LLC					
	DESCRIPTION	REVIEWED BY JMM	<p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by McDonald's USA, LLC and shall govern the project. Use of these drawings for reference or example on another project requires the written consent of McDonald's USA, LLC. Use of these drawings on the contract documents for reuse on another project is not authorized.</p>					
	SITE PLAN	DATE ISSUED 7/30/2024						
	SITE ID 51028	SITE ADDRESS 9664 FONTAINE BLVD, COLORADO SPRINGS, COLORADO						
					REV	DATE		BY
				</				



FINAL DRAINAGE REPORT for

**McDonald's at Fontaine and
Marksheffel
Village at Lorson Ranch
Filing No. 1, Lot 2
El Paso County, CO**

PCD File No. PPR2427

KH Response:
Added.

Prepared for:

**McDonald's USA, LLC.
110 North Carpenter Street
Chicago, IL 60607-2101
(206) 348-4374
Contact: Robert Yagusesky**

Prepared by:

**Kimley-Horn and Associates, Inc.
2 North Nevada Avenue, Suite 900
Colorado Springs, Colorado 80903
(719) 284-7275
Contact: Jessica McCallum, P.E.**

Project #: 096806032

Prepared: July 30, 2024
Resubmitted: 10/17/2024

Kimley»Horn

CERTIFICATION

ENGINEERS STATEMENT

The attached drainage plan and report were prepared under my direction and supervision and are correct to the best of my knowledge and belief. Said drainage report has been prepared according to the criteria established by the County for drainage reports and said report is in conformity with the master plan of the drainage basin. I accept responsibility for any liability caused by any negligent acts, errors or omissions on my part in preparing this report.

SIGNATURE (Affix Seal): _____ 10/15/2024
Colorado P.E. No. 59054 Date

DEVELOPER'S STATEMENT

I, McDonald's USA, LLC, the developer has read and will comply with all of the requirements specified in this drainage report and plan.

Business Name

Authorized Signature Date

Printed Name

Title

Address:

KH Response:
Updated.

El Paso County:

Filed in accordance with the requirements of the Drainage Criteria Manual, Volumes 1 and 2, El Paso County Engineering Criteria Manual and Land Development Code as amended.

Joshua Palmer, P.E.
County Engineer / ECM Administrator

Date

Conditions:

Post Construction Stormwater Management Applicability Evaluation Form

This form is to be used by the Engineer of Record to evaluate applicable construction activities to determine if the activities are eligible for an exclusion to permanent stormwater quality management requirements. Additionally Part III of the form is used to identify and document which allowable control measure design standard is used for the structure.

Part I. Project Information		
1. Project Name: McDonalds - Village at Lorson Ranch Filing No. 1, Lot 2		
2. El Paso County Project #: PPR2427	3. ESQCP #:	KH Response: Updated.
4. Project Location: NEC Marksheffel Rd/Fontaine	Project Location in MS4 Permit Area (Y or N): <input type="radio"/> N	
5. Project Description: Prop. commercial fast food restaurant development on a 1.263 ac site within a master development. 1.1 ac disturbance. Private WQ & detention provided downstream by Master Dev.		
If project is located within the El Paso County MS4 Permit Area, please provide copy of this completed form to the Stormwater Quality Coordinator for reporting purposes; and save completed form with project file.		

Part II. Exclusion Evaluation: Determine if Post-Construction Stormwater Management exclusion criteria are met. Note: Questions A thru K directly correlate to the MS4 permit Part I.E.4.a.i (A) thru (K). If Yes, to any of the following questions, then mark Not Applicable in Part III, Question 2.				
Questions	Yes	No	Not Applicable	Notes:
A. Is this project a "Pavement Management Site" as defined in Permit Part I E.4.a.i. (A)?		X		This exclusion applies to "roadways" only. Areas used primarily for parking or access to parking are not included.
B. Is the project "Excluded Roadway Development"?		X		
• Does the site add less than 1 acre of paved area per mile?			X	
• Does the site add 8.25 feet or less of paved width at any location to the existing roadway?			X	
C. Does the project increase the width of the existing roadway by less than 2 times the existing width?		X		For redevelopment of existing roadways, only the area of the existing roadway is excluded from post-construction requirements when the site does not increase the width by two times or more. <i>This exclusion only excludes the original roadway area it does NOT apply to entire project.</i>
D. Is the project considered an aboveground and Underground Utilities activity?		X		Activity can NOT permanently alter the terrain, ground cover or drainage patterns from those present prior to the activity
E. Is the project considered a "Large Lot Single-Family Site"?		X		Must be a single-residential lot or agricultural zoned land, ≥ 2.5 acres per dwelling and total lot impervious area < 10 percent.

Questions (cont'd)	Yes	No	Not Applicable	Notes
F. Do Non-Residential or Non-Commercial Infiltration Conditions exist? Post-development surface conditions do not result in concentrated stormwater flow or surface water discharge during an 80 th percentile stormwater runoff event.		X		Exclusion does not apply to residential or commercial sites for buildings. A site specific study is required and must show: rainfall and soil conditions; allowable slopes; surface conditions; and ratios of imperviousness area to pervious area.
G. Is the project land disturbance to Undeveloped Land where undeveloped land remains undeveloped following the activity?		X		Project must be on land with no human made structures such as buildings or pavement.
H. Is the project a Stream Stabilization Site?		X		Standalone stream stabilization projects are excluded.
I. Is the project a bike or pedestrian trail?		X		Bike lanes for roadways are not included in this exclusion, but may qualify if part of larger roadway activity is excluded in A, B or C above.
J. Is the project Oil and Gas Exploration?		X		Activities and facilities associated with oil and gas exploration are excluded.
K. Is the project in a County Growth Area?		X		Note, El Paso County does not apply this exclusion. All Applicable Construction Activity in El Paso County must comply the Post-Construction Stormwater Management criteria.

Part III. Post Construction (Permanent) Stormwater Control Determination		
Questions	Yes	No
1. Is project an Applicable Construction Activity?	X	
2. Do any of the Exclusions (A-K in Part II) apply?		X
<p>If the project is an Applicable Construction Activity and no Exclusions apply then Post-Construction (Permanent) Stormwater Management is required. Complete the applicable sections of Part IV below and then coordinate signatures for form and place in project file.</p> <p>If the project is not an Applicable Construction Activity, or Exclusion(s) apply then Post-Construction (Permanent) Stormwater Management is NOT required. Coordinate signatures for form and place in project file.</p>		

A Regional WQCV Control Measure means there is no conveyance from the project site to the regional control measure via Waters of the State. A Regional WQCV Facility is a facility where there is conveyance from the project site to the control measure occurs but the 8 conditions in the MS4 permit must be met. Based on the site plan I believe the project should have D Checked and not E but this needs verification from the design engineer.

KH Response: The site does not drain to the regional control measure via Waters of the State, so 'Applicable Development Site Draining to a Regional WQCV Control Measure' has been checked instead.

Conditions	Yes	No
Does align with Control		
A. water Quality Capture volume (WQCV) Standard		
B. Pollutant Removal/80% Total Suspended Solids Removal (TSS)		
C. Runoff Reduction Standard		
D. Applicable Development Site Draining to a Regional WQCV Control Measure		
E. Applicable Development Site Draining to a Regional WQCV Facility	X	
F. Constrained Redevelopment Sites Standard		
G. Previous Permit Term Standard		
2. Will any of the project permanent stormwater control measure(s) be maintained by another MS4? If Yes, you must obtain a structure specific maintenance agreement with the other MS4 prior to advertisement.		X
3. Will any of the project permanent stormwater control measures be maintained by a private entity or quasi-governmental agency (e.g. HOA or Special District, respectively)? If Yes, a Private Detention Basin/Stormwater Quality Best Management Practice Maintenance Agreement and Easement must be recorded with the El Paso County Clerk and Recorder.		X

Part V Notes (attach an additional sheet if you need more space)

The Project is not providing an Control Measures. These measures will be in place and are apart of the Master Development's construction permit.

Note that water quality will be provided by existing Detention Pond G1/G2

KH Response:
Added.

Project design is complete to include the project design, construction plans, drainage report, specifications, and maintenance and access agreements as required. The engineering, drainage considerations and information used to complete these documents is complete, true, and accurate to the best of my belief and knowledge.

Signature and Stamp of Engineer of Record

Date

Post-Construction Stormwater Management Applicability Form has been reviewed and the project design, construction plans, drainage report, specifications, and maintenance and access agreements as required, have been reviewed for compliance with the Post Construction Stormwater Management process and MS4 Permit requirements.

Signature of El Paso County Project Engineer

Date

S₂ OF SE ¹/₄ OF SECTION 15, TOWNSHIP 15S, RANGE 65 WEST OF THE
6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO

EPC STORMWATER REVIEW COMMENTS
IN ORANGE BOXES WITH BLACK TEXT

<u>OWNER'S SIGNATURE BLOCK</u>	
I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.	
_____ NAME	_____ DATE
<u>ENGINEER'S SIGNATURE BLOCK</u>	
THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.	
_____ JESSICA MCCALLUM, PE KIMLEY-HORN AND ASSOCIATES, INC.	_____ DATE
<u>EL PASO COUNTY REVIEW STATEMENT</u>	
COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSION, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/ OR ACCURACY OF THIS DOCUMENT.	
FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.	
IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR A CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF THE CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.	
_____ JOSHUA PALMER, P.E. COUNTY ENGINEER/ ECM ADMINISTRATOR	_____ DATE



VICINITY MAP

NOT TO SCALE

GRADING AND EROSION CONTROL PLAN	
SHEET NUMBER	SHEET TITLE
C2.0	COVER
C2.1	NOTES
C2.2	INITIAL EC
C2.3	FINAL EC
C2.4	CUT FILL PLAN
C2.5	EROSION CONTROL DETAILS
C2.6	EROSION CONTROL DETAILS
C2.7	EROSION CONTROL DETAILS
C2.8	EROSION CONTROL DETAILS
C2.9	EROSION CONTROL DETAILS

LAND AREA:

55,024 SQ. FT. OR 1.265 ACRES MORE OR LESS

BASIS OF BEARING:

BEARINGS ARE BASED ON THE NORTH LINE OF TRACT D, CARRIAGE MEADOWS NORTH FILING NO. 1, BEARING N89°48'24" E, A DISTANCE OF 699.24 FEET, AS MONUMENTED AT BOTH ENDS BY A FOUND YELLOW PLASTIC CAP STAMPED "FWS PLS 38226".

BENCHMARK:

ELEVATIONS ARE BASED UPON A FOUND 2" ALUMINUM CAP STAMPED "FARNSWORTH GROUP INC. PLS 38053" ON THE WEST LINE OF TRACT B AS SHOWN AS HEREON (ELEVATION = 5724.52)

LEGAL DESCRIPTION

VILLAGE AT LORSON RANCH FILING NO.1, LOT 2

GENERAL NOTES:

1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE.
2. THE OWNER IS AWARE THAT THE ACCESS PERMITS (AP211569, AP211570) ARE SUBJECT TO CONDITIONS OF APPROVAL.

FEMA CLASSIFICATION

THE FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 08041C0957G EFFECTIVE DATE DECEMBER 7, 2018, HAS BEEN EXAMINED AS IT RELATES TO THE PROPERTY BEING PLATTED. THE PROPERTY LIES WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD.

LIMITS OF CONSTRUCTION

ONSITE DISTURBANCE: = ±1.106 ACRES

OFFSITE DISTURBANCE: = ±0.004 ACRES

TOTAL: = ±1.110 ACRES

CONTACTS:

DEVELOPER:
MCDONALD'S USA, LLC
110 N. CARPENTER STREET
CHICAGO, IL 60607
TEL: (206) 348-4374
CONTACT: ROBERT YAGUSESKY
EMAIL: ROBERT.YAGUSESKY@US.MCD.COM

ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
2 NORTH NEVADA AVE., SUITE 900
COLORADO SPRINGS, CO 80903
TEL: (719) 284-7275
CONTACT: JESSICA MCCALLUM, P.E.
EMAIL: JESSICA.MCCALLUM@KIMLEY-HORN.COM

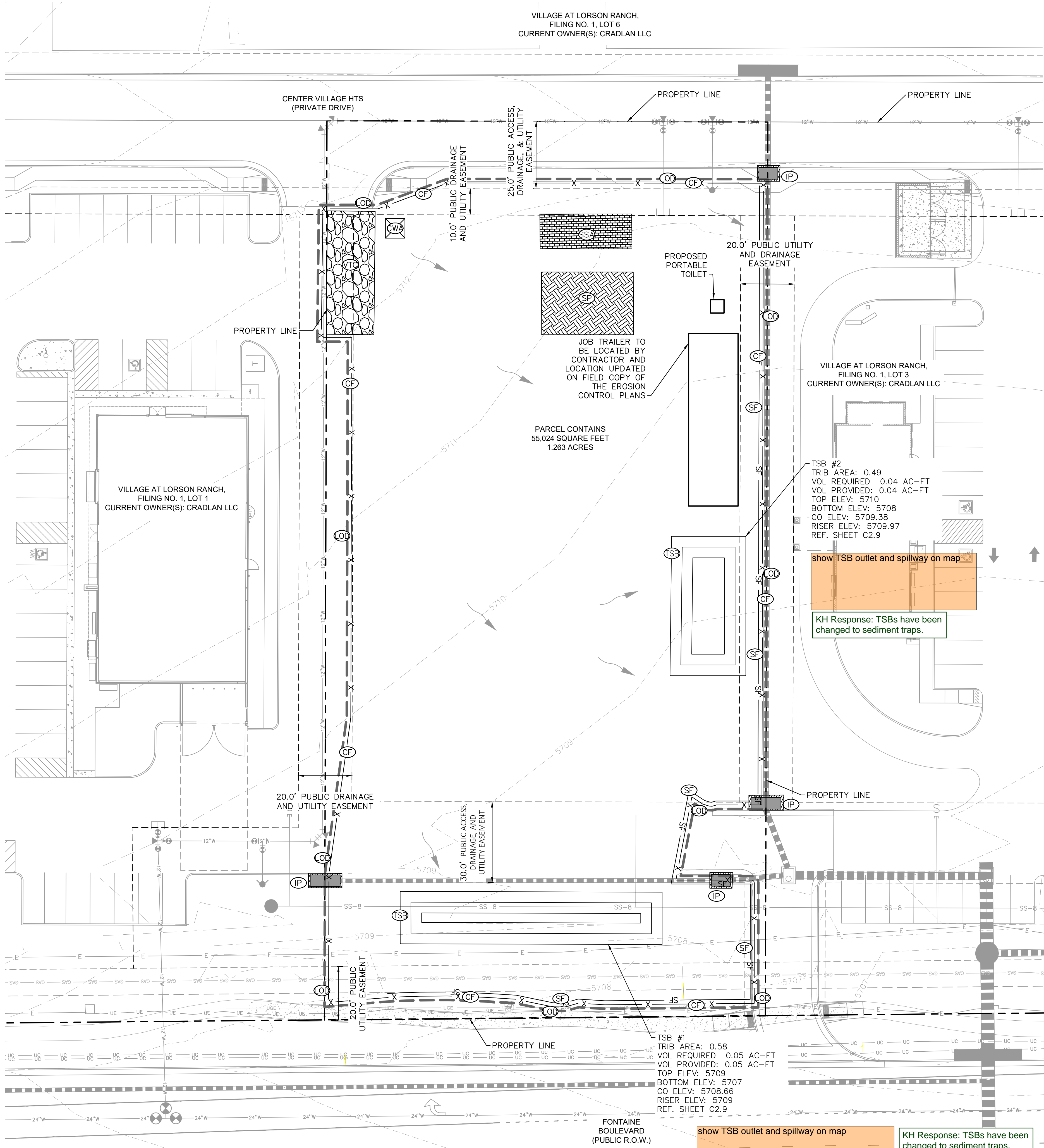
LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NEVADA NORTH AVE., SUITE 300
COLORADO SPRINGS, CO 80903
TEL: (719) 453-0180
CONTACT: JEREMY POWELL, P.L.A.
EMAIL: JEREMY.POWELL@KIMLEY-HORN.COM

ARCHITECT:
CORE STATES GROUP
135 WATER STREET, SUITE 201
NAPERVILLE, IL 60540
TEL: (224) 585-4591
CONTACT: JOY VRCHOTA
EMAIL: JVRCHOTA@CORE-STATES.COM

SURVEYOR:
KIMLEY-HORN AND ASSOCIATES, INC.
6200 S. SYRACUSE WAY, SUITE 300
GREENWOOD VILLAGE, CO 80111
TEL: (303) 228-2300
CONTACT: DARREN WOLTERSTORFF, P.L.S.
EMAIL: DARREN.WOLTERSTORFF@KIMLEY-HORN.COM

OWNER:
CRADLAN COMMERCIAL, LLLP
212 N. WAHSATCH AVE, SUITE 301
COLORADO SPRINGS, CO 80903
TEL: (719)-635-3200
CONTACT: JEFF MARK
EMAIL: JMARK@LANDHUISCO.COM

[illegible]



LEGEND

	PROPERTY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	LIMITS OF CONSTRUCTION/DISTURBANCE
	CONSTRUCTION FENCE
	SILT FENCE
	PROPOSED EASEMENTS
	EXISTING EASEMENTS
	PROPOSED SETBACKS
	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING STORM SEWER PIPE
	STABILIZED STAGING AREA
	CONCRETE WASHOUT VEHICLE TRACKING CONTROL
	SOIL STOCKPILE
	INLET PROTECTION
	TEMPORARY SEDIMENT BASIN
	EXISTING ELECTRIC LINE
	EXISTING UNDERGROUND COMMUNICATION LINE

Label TCMs as Initial, Interim, or Initial/Interim. All Initial TCMs will need to be installed prior to the initial inspection and notice to proceed.

KH Response: Initial, interim, and initial/interim TCMs have been labeled in legend. Initial TCMs will be installed prior to initial inspection.

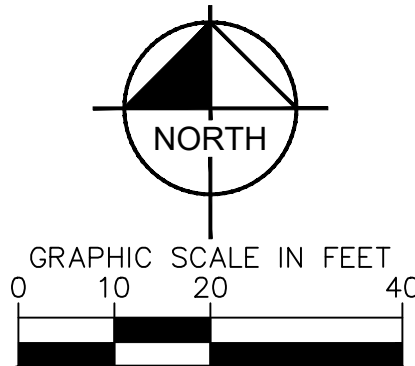
NOTES

- THE INTENT OF THIS PLAN IS TO IDENTIFY THE EROSION CONTROL PRACTICES RECOMMENDED. THE CONTRACTOR SHALL REFERENCE ADDITIONAL CONSTRUCTION PLANS FOR DEMOLITION OF EXISTING AND CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- ADJACENT STREETS AND SIDEWALK SHALL BE KEPT CLEAN AND FREE OF SEDIMENT AND/OR DEBRIS AT ALL TIMES. CONTRACTOR SHALL PERFORM STREET SWEEPING AT ALL TIMES DURING ACTIVE TRACKING AND AT A MINIMUM ON A DAILY BASIS AT THE END OF EACH CONSTRUCTION DAY.
- TEMPORARY STABILIZATION (TS) SHALL BE IMPLEMENTED WITHIN THE DISTURBED PORTIONS OF THE PROJECT SITE NO LATER THAN 14 DAYS FOLLOWING THE CEASE OF CONSTRUCTION ACTIVITIES WITHIN THE DISTURBED AREAS.
- PERMANENT STABILIZATION (PS) MAY BE USED WITHIN AREAS OF TEMPORARY STABILIZATION (TS) AT THE CONTRACTOR'S DISCRETION. STABILIZATION SHALL BE APPLIED IN ACCORDANCE WITH APPLICABLE TEMPORARY STABILIZATION SEQUENCING REQUIREMENTS.
- CONTRACTOR SHALL UTILIZE ROLLED EROSION CONTROL PRODUCTS ON ALL SLOPES 3H:1V OR GREATER TO ACHIEVE REQUIRED STABILIZATION.
- CONTRACTOR SHALL MAINTAIN ACCEPTABLE EROSION CONTROL PRACTICES WITHIN THE ANTICIPATED LIMITS OF CONSTRUCTION IDENTIFIED HEREIN. BEST MANAGEMENT PRACTICES AND STABILIZATION SHALL BE COMPLETED AS IDENTIFIED HEREIN IN ACCORDANCE WITH OWNER REQUIREMENTS.
- ALL WORK IN THE FONTAINE BOULEVARD ROW REQUIRES A ROW PERMIT FROM COLORADO SPRINGS. CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL NECESSARY ROW PERMITS.
- CONTRACTOR SHALL REFER TO THE APPROVED GEOTECHNICAL REPORT FOR OVEREXCAVATION REQUIREMENTS AND ADDITIONAL INFORMATION.
- SILT FENCE TO BE INSTALLED PRIOR TO COMMENCEMENT OF ONSITE GRADING AND CONSTRUCTION ACTIVITIES.
- DEMOLITION, REMOVAL AND SOIL TREATMENT SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER RECOMMENDATIONS AS NOTED IN THE APPROVED PROJECT GEOTECHNICAL REPORT.
- CONTRACTOR TO NOTE PROXIMITY OF EXISTING IMPROVEMENTS ADJACENT TO THE SITE AND PROVIDE NECESSARY MEASURES TO PROTECT ALL FACILITIES AND STRUCTURES IN PLACE.
- CONTRACTOR SHALL MAINTAIN STABILIZED STAGING AREA (SSA), VEHICLE TRACKING CONTROL (VTC), AND CONCRETE WASHOUT AREA (CWA) AT THE CONSTRUCTION ENTRANCE AT ALL TIMES. CONTRACTOR SHALL UPDATE THE EROSION CONTROL PLAN IN THE FIELD TO INDICATE THE LOCATION OF THE SSA, VTC, AND CWA BMPs AS EXCAVATION SEQUENCING DICTATES.
- CONTRACTOR MAY SUBSTITUTE SEDIMENT CONTROL LOGS (SCL) FOR SILT FENCE (SF) AS PERIMETER CONTROL, DEPENDING UPON SITE CONDITIONS. SCL, AND SF MAY BE INTERCHANGED DEPENDING ON SITE CONDITIONS.
- CONTRACTOR SHALL OBTAIN R.O.W. PERMITS FOR ANY R.O.W. CLOSURES.
- THE EXISTING VEGETATION CONSISTS OF NATIVE GRASSES. SEE FINAL LANDSCAPING PLAN IN THE SITE DEVELOPMENT PLAN FOR FINAL STABILIZATION MEASURES.

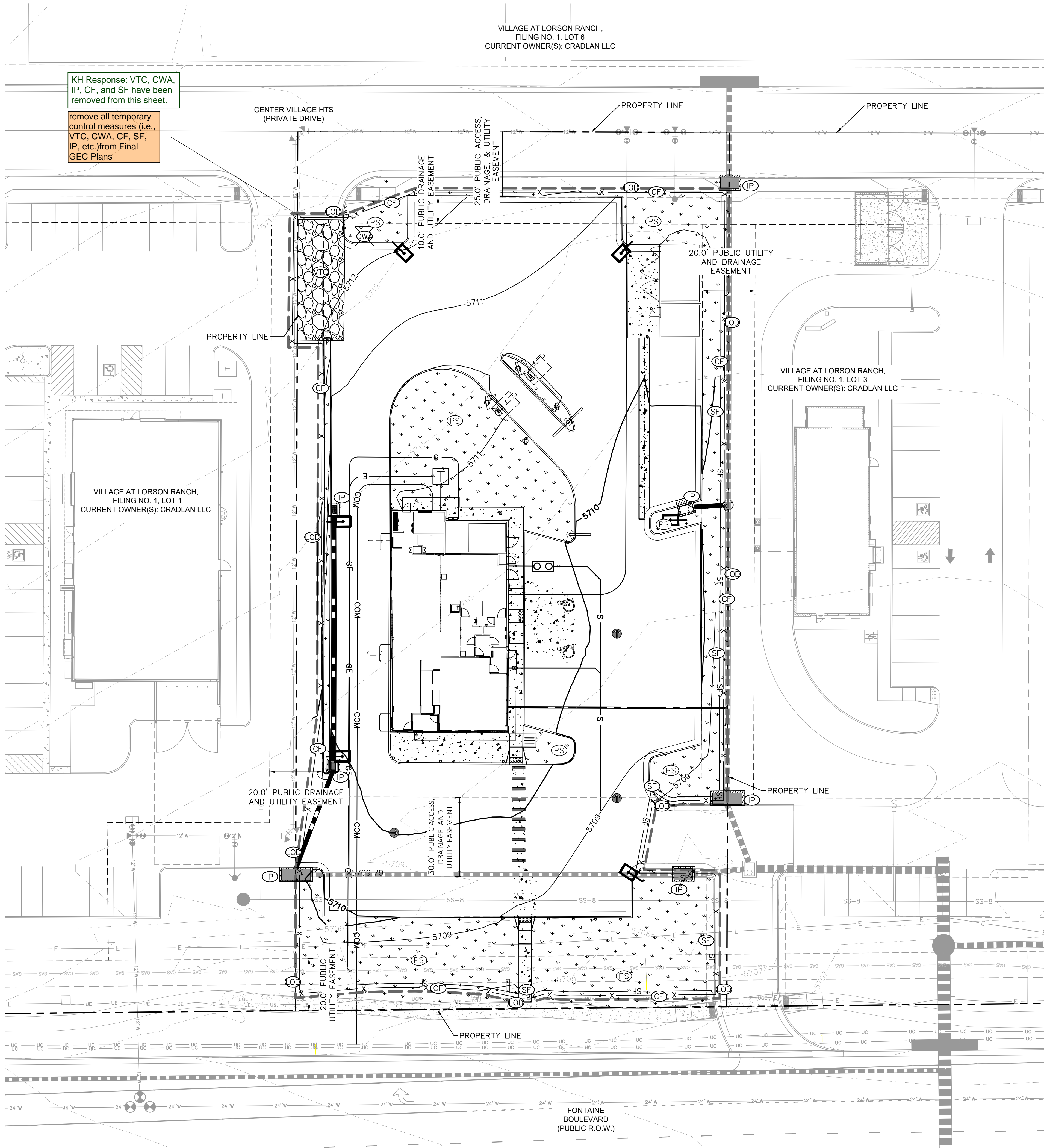
all initial BMPs

KH Response: Note updated.

Initial/Interim
KH Response:
Sheet title updated.



TITLE		CONSTRUCTION DRAWINGS		SITE ADDRESS		8604 FONTAINE BLVD., COLORADO SPRINGS, COLORADO	
DESCRIPTION		INITIAL EC		SITE ID		51028	
DRAWN BY		ALS		STD ISSUE DATE		7/30/2024	
REVIEWED BY		JMM		DATE ISSUED		7/30/2024	
PREPARED FOR:		McDonald's USA, LLC		These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the contractor to obtain written permission from McDonald's USA, LLC. Use of the contract documents for reuse on another project is not authorized.		Kimley»Horn	
PREPARED BY:				REV		DATE	



KH Response: VTC, CWA, IP, CF, and SF have been removed from this sheet.

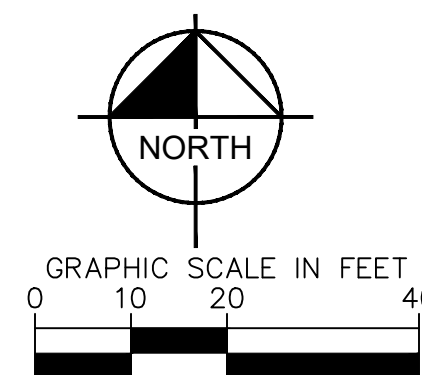
remove all temporary control measures (i.e., VTC, CWA, CF, SF, IP, etc.) from Final GEC Plans

LEGEND

	PROPERTY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	LIMITS OF CONSTRUCTION/DISTURBANCE
	CONSTRUCTION FENCE
	SILT FENCE
	EASEMENT
	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	EXISTING STORM SEWER PIPE
	PROPOSED GAS LINE
	STABILIZED STAGING AREA
	CONCRETE WASHOUT
	VEHICLE TRACKING CONTROL
	SOIL STOCKPILE
	INLET PROTECTION
	PERMANENT STABILIZATION. (REFERENCE FINAL LANDSCAPING PLANS)

NOTES

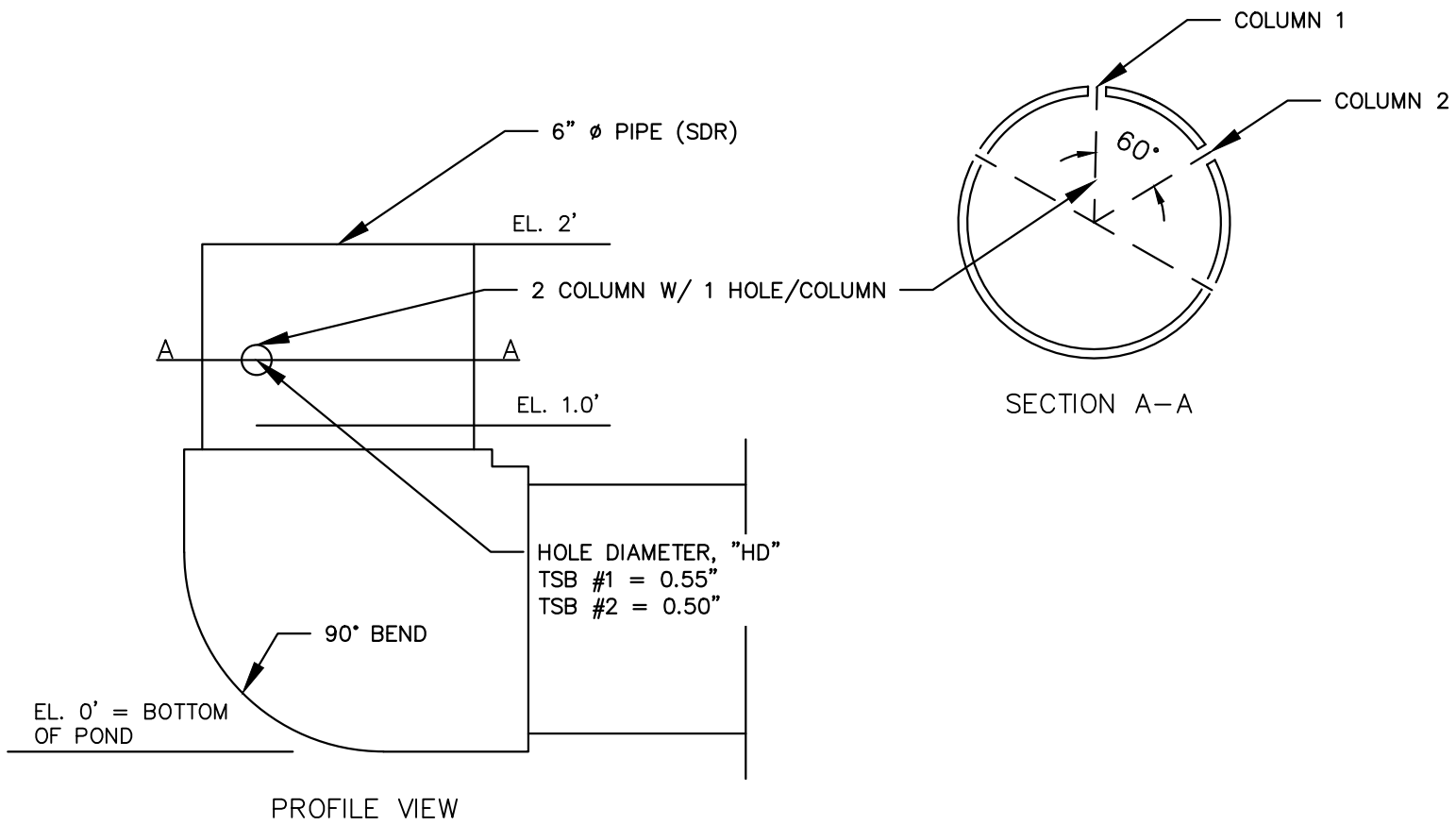
- THE INTENT OF THIS PLAN IS TO IDENTIFY THE EROSION CONTROL PRACTICES RECOMMENDED. THE CONTRACTOR SHALL REFERENCE ADDITIONAL CONSTRUCTION PLANS FOR DEMOLITION OF EXISTING AND CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- ADJACENT STREETS AND SIDEWALK SHALL BE KEPT CLEAN AND FREE OF SEDIMENT AND/OR DEBRIS AT ALL TIMES. CONTRACTOR SHALL PERFORM STREET SWEEPING AT ALL TIMES DURING ACTIVE TRACKING AND AT A MINIMUM ON A DAILY BASIS AT THE END OF EACH CONSTRUCTION DAY.
- TEMPORARY STABILIZATION (TS) SHALL BE IMPLEMENTED WITHIN THE DISTURBED PORTIONS OF THE PROJECT SITE NO LATER THAN 14 DAYS FOLLOWING THE CEASE OF CONSTRUCTION ACTIVITIES WITHIN THE DISTURBED AREAS.
- PERMANENT STABILIZATION (PS) MAY BE USED WITHIN AREAS OF TEMPORARY STABILIZATION (TS) AT THE CONTRACTOR'S DISCRETION. STABILIZATION SHALL BE APPLIED IN ACCORDANCE WITH APPLICABLE TEMPORARY STABILIZATION SEQUENCING REQUIREMENTS.
- CONTRACTOR SHALL UTILIZE ROLLED EROSION CONTROL PRODUCTS ON ALL SLOPES 3H:1V OR GREATER TO ACHIEVE REQUIRED STABILIZATION.
- CONTRACTOR SHALL MAINTAIN ACCEPTABLE EROSION CONTROL PRACTICES WITHIN THE ANTICIPATED LIMITS OF CONSTRUCTION IDENTIFIED HEREIN. BEST MANAGEMENT PRACTICES AND STABILIZATION SHALL BE COMPLETED AS IDENTIFIED HEREIN IN ACCORDANCE WITH OWNER REQUIREMENTS.
- ALL WORK IN THE FONTAINE BOULEVARD ROW REQUIRES A ROW PERMIT FROM COLORADO SPRINGS. CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL NECESSARY ROW PERMITS.
- CONTRACTOR SHALL REFER TO THE APPROVED GEOTECHNICAL REPORT FOR OVEREXCAVATION REQUIREMENTS AND ADDITIONAL INFORMATION.
- SILT FENCE TO BE INSTALLED PRIOR TO COMMENCEMENT OF ONSITE GRADING AND CONSTRUCTION ACTIVITIES.
- DEMOLITION, REMOVAL AND SOIL TREATMENT SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER RECOMMENDATIONS AS NOTED IN THE APPROVED PROJECT GEOTECHNICAL REPORT.
- CONTRACTOR TO NOTE PROXIMITY OF EXISTING IMPROVEMENTS ADJACENT TO THE SITE AND PROVIDE NECESSARY MEASURES TO PROTECT ALL FACILITIES AND STRUCTURES IN PLACE.
- CONTRACTOR SHALL MAINTAIN STABILIZED STAGING AREA (SSA), VEHICLE TRACKING CONTROL (VTC), AND CONCRETE WASHOUT AREA (CWA) AT THE CONSTRUCTION ENTRANCE AT ALL TIMES. CONTRACTOR SHALL UPDATE THE EROSION CONTROL PLAN IN THE FIELD TO INDICATE THE LOCATION OF THE SSA, VTC, AND CWA BMPS AS EXCAVATION SEQUENCING DICTATES.
- CONTRACTOR MAY SUBSTITUTE SEDIMENT CONTROL LOGS (SCL) FOR SILT FENCE (SF) AS PERIMETER CONTROL, DEPENDING UPON SITE CONDITIONS. SCL AND SF MAY BE INTERCHANGED DEPENDING ON SITE CONDITIONS.
- CONTRACTOR SHALL OBTAIN R.O.W. PERMITS FOR ANY R.O.W. CLOSURES.
- SEE FINAL LANDSCAPING PLAN IN THE SITE DEVELOPMENT PLAN FOR FINAL STABILIZATION MEASURES.



C2.3	TITLE	CONSTRUCTION DRAWINGS	DRAWN BY ALS	PREPARED FOR:	McDonald's USA, LLC	PREPARED BY:	Kimley»Horn			
	DESCRIPTION		STD ISSUE DATE 7/30/2024							
	FINAL EC		REVIEWED BY JMM							
			DATE ISSUED 7/30/2024							
	SITE ADDRESS 8664 FONTAINE BLVD., COLORADO SPRINGS, COLORADO									
	SITE ID 51028							REV	DATE	BY

include SC-7 sheet SB-5 for spillway details

KH Response:
Sediment traps will be utilized instead. Details have been added to this sheet.



SEDIMENT BASIN RISER PIPE
SCALE: NTS

Sediment Basin (SB)

SC-7

Description

A sediment basin is a temporary pond built on a construction site to capture eroded or disturbed soil transported in storm runoff prior to discharge from the site. Sediment basins are designed to capture site runoff and slowly release it to allow time for settling of sediment prior to discharge. Sediment basins are often constructed in locations that will later be modified to serve as post-construction stormwater basins.



Photograph SB-1. Sediment basin at the toe of a slope. Photo courtesy of WWE.

Appropriate Uses

Most large construction sites (typically greater than 2 acres) will require one or more sediment basins for effective management of construction site runoff. On linear construction projects, sediment basins may be impractical; instead, sediment traps or other combinations of BMPs may be more appropriate.

Sediment basins should not be used as stand-alone sediment controls. Erosion and other sediment controls should also be implemented upstream.

When feasible, the sediment basin should be installed in the same location where a permanent post-construction detention pond will be located.

Design and Installation

The design procedure for a sediment basin includes these steps:

- Basin Storage Volume:** Provide a storage volume of at least 3,600 cubic feet per acre of drainage area. To the extent practical, undisturbed and/or off-site areas should be diverted around sediment basins to prevent "clean" runoff from mixing with runoff from disturbed areas. For undisturbed areas (both on-site and off-site) that cannot be diverted around the sediment basin, provide a minimum of 500 ft³/acre of storage for undeveloped (but stable) off-site areas in addition to the 3,600 ft³/acre for disturbed areas. For stable, developed areas that cannot be diverted around the sediment basin, storage volume requirements are summarized in Table SB-1.
- Basin Geometry:** Design basin with a minimum length-to-width ratio of 2:1 (L:W). If this cannot be achieved because of site space constraints, baffling may be required to extend the effective distance between the inflow point(s) and the outlet to minimize short-circuiting.
- Dam Embankment:** It is recommended that embankment slopes be 4:1 (H:V) or flatter and no steeper than 3:1 (H:V) in any location.

Sediment Basins	
Functions	
Erosion Control	No
Sediment Control	Yes
Site/Material Management	No

August 2013 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 SB-1

SC-7

Sediment Basin (SB)

Maintenance and Removal

Maintenance activities include the following:

- Dredge sediment from the basin, as needed to maintain BMP effectiveness, typically when the design storage volume is no more than one-third filled with sediment.
- Inspect the sediment basin embankments for stability and seepage.
- Inspect the inlet and outlet of the basin, repair damage, and remove debris. Remove, clean and replace the gravel around the outlet on a regular basis to remove the accumulated sediment within it and keep the outlet functioning.
- Be aware that removal of a sediment basin may require dewatering and associated permit requirements.
- Do not remove a sediment basin until the upstream area has been stabilized with vegetation.

Final disposition of the sediment basin depends on whether the basin will be converted to a permanent post-construction stormwater basin or whether the basin area will be returned to grade. For basins being converted to permanent detention basins, remove accumulated sediment and reconfigure the basin and outlet to meet the requirements of the final design for the detention facility. If the sediment basin is not to be used as a permanent detention facility, fill the excavated area with soil and stabilize with vegetation.

SB-4 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 August 2013

Sediment Basin (SB)

SC-7

SEDIMENT BASIN MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SEDIMENT ACCUMULATED IN BASIN SHALL BE REMOVED AS NEEDED TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN SEDIMENT DEPTH REACHES ONE FOOT (I.E., TWO FEET BELOW THE SPILLWAY CREST).
- SEDIMENT BASINS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND GRASS COVER IS ACCEPTED BY THE LOCAL JURISDICTION.
- WHEN SEDIMENT BASINS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

August 2013 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 SB-7

TEMPORARY SEDIMENT BASIN CALCULATIONS - TSB #1					
PRISMOIDAL METHOD					
Volume Required = Tributary Area (acres) X 3600 (cu. ft./acre)					
Prismoidal Calculation Method = (1/3)*(ELEV1-ELEV2)*(AREA1+AREA2)+(SQRT(AREA1*AREA2))					
		ELEV. (FT)	AREA (SQ. FT.)	VOLUME (CU FT)	ACCUM. VOL. (AC-FT)
		0	290	0	0.00
		1	1,037	625	0.01
		2	1,911	1,452	0.05
Sedimentation Basin ID: A					
Disturbed Tributary Area (ac) = 0.59					
Undisturbed Tributary Area (ac) = 0.00					
Disturbed Volume Required (cu-ft) = 2,117					
Undisturbed Volume Required (cu-ft) = 0					
Total Volume Required (cu-ft) = 2,117					
Total Volume Required (ac-ft) = 0.05					
Total Tributary Area (ac) = 0.59					
Required Outlet Pipe? (Y/N): Y					
Sediment Cleanout Elevation 1.69 - - 1,058 0.02					
**50% Storage Volume - Lowest Perforation 2.03 - - 2,117 0.05					
Riser Pipe Elevation					
**100% Storage Volume - Riser Elevation					

Equation EDB-3 from UDFCD USDCM Vol 3 Extended Detention Basin Fact Sheet T-5

V= 0.05 acre-ft
T_D= 72 hrs
H= 0.33 ft
S= 0.005 ft/ft
Required A_O= 0.473 in² per row
d= 0.55 in
n₁= 2 column
n₂= 1 rows
Provided A_O= 0.476 in² per row

$$A_O = \frac{88V^{(0.95/H^{0.885})}}{T_D^{5.09} H^{(2.65^{0.83})}}$$

Equation EDB-3

Where:

A_O = area per row of orifices spaced on 4" centers (in²)
V = design volume (WQCV or EURV, acre ft)
T_D = time to drain the prescribed volume (hrs)
(i.e., 40 hours for WQCV or 72 hours for EURV)
H = depth of volume (ft)
S = slope (ft/ft)

TEMPORARY SEDIMENT BASIN CALCULATIONS - TSB #2					
PRISMOIDAL METHOD					
Volume Required = Tributary Area (acres) X 3600 (cu. ft./acre)					
Prismoidal Calculation Method = (1/3)*(ELEV1-ELEV2)*(AREA1+AREA2)+(SQRT(AREA1*AREA2))					
		ELEV. (FT)	AREA (SQ. FT.)	VOLUME (CU FT)	ACCUM. VOL. (AC-FT)
		0	431	0	0.00
		1	878	641	0.01
		2	1,454	1,154	0.04
Sedimentation Basin ID: A					
Disturbed Tributary Area (ac) = 0.51					
Undisturbed Tributary Area (ac) = 0.00					
Disturbed Volume Required (cu-ft) = 1,843					
Undisturbed Volume Required (cu-ft) = 0					
Total Volume Required (cu-ft) = 1,843					
Total Volume Required (ac-ft) = 0.04					
Total Tributary Area (ac) = 0.51					
Required Outlet Pipe? (Y/N): Y					
Sediment Cleanout Elevation 1.44 - - 922 0.02					
**50% Storage Volume - Lowest Perforation 2.04 - - 1,843 0.04					
Riser Pipe Elevation					
**100% Storage Volume - Riser Elevation					

Equation EDB-3 from UDFCD USDCM Vol 3 Extended Detention Basin Fact Sheet T-5

V= 0.04 acre-ft
T_D= 72 hrs
H= 0.60 ft
S= 0.005 ft/ft
Required A_O= 0.351 in² per row
d= 0.50 in
n₁= 2 column
n₂= 1 rows
Provided A_O= 0.393 in² per row

$$A_O = \frac{88V^{(0.95/H^{0.885})}}{T_D^{5.09} H^{(2.65^{0.83})}}$$

Equation EDB-3

Where:

A_O = area per row of orifices spaced on 4" centers (in²)
V = design volume (WQCV or EURV, acre ft)
T_D = time to drain the prescribed volume (hrs)
(i.e., 40 hours for WQCV or 72 hours for EURV)
H = depth of volume (ft)
S = slope (ft/ft)

McDonald's at Fontaine and Marksheffel

STORMWATER MANAGEMENT PLAN (SWMP)

EDARP FILE NO.: EA2467

EPC FILE NO: PPR2427

OCTOBER 2024

Prepared By:

Kimley»Horn

Preparing Engineer:

Kimley-Horn and Associates, Inc.
2 N Nevada Ave, Suite 900
Colorado Springs, CO 80903
Jessica McCallum, P.E.
719.453.0180

Permittee:

McDonald's USA, LLC
110 N. Carpenter Street
Chicago, IL 60607
Robert Yagusesky
206.348.4374

Stormwater Manager:

(SSA). All earth dikes shall be installed to prevent ponding and riprap shall be grouted. Embankments should be compacted to ninety (90) percent of maximum density.

Terracing (T) is the grading of steep slopes into a series of flat or nearly flat sections to shorten uninterrupted flow lengths on steep slopes to control erosion. Terraces should be graded back to slope at a minimum three (3) percent grade and should be compacted to ninety (90) percent of maximum density.

Rock Socks (RS) are placed upstream of inlets to prevent transport of sediment. Rock socks should be installed in the locations indicated on the GEC Plans. They should be installed at angles along the curb line, typically near inlet protection or access driveways.

Sediment Basins (SB) or Sediment Traps (ST) are ponds designed to capture sediment from eroded or disturbed soil. Due to the disturbed greater than 1-acre, one SB or two ST are required. Two sediment traps are provided – sized/located to capture the entire disturbed area.

2 Sediment Basins are shown on the plans. Revise accordingly

Stockpile Management (SP) is intended to minimize erosion and sediment. All stockpiles shall be protected from stormwater with the use of appropriate BMPs to inhibit soil transport as well as at material storage areas. All stockpiles shall:

KH Response: Temporary sediment traps will be used. GEC plans have been updated.

- Not be located adjacent to a waterway.
- Be stabilized within 14 days after establishment for stockpiles lasting more than 30 days. Stabilization shall include, but not be limited to, surface roughening, seeding, and mulching.
- Not exceed 15 feet in height.
- Utilize earth dikes on all down slope sides of the stockpile.

ADDITIONAL BMP DETAILS

The Permittee is not to affect areas beyond the Limits of Disturbance (LOD) noted on the GEC Plans without the approval of the Inspector, adjacent property owners, and the Engineer of Record. Vehicle Tracking Control (VTC) is provided at each area of construction. Construction traffic shall be limited to these access points. All construction site operators shall control waste such as discarded waste materials, hazardous chemicals (to include but not be limited to, heavy equipment maintenance fluids, motor oil, antifreeze and secondary containment of vehicle fuel), litter, and sanitary waste at the construction site that may cause adverse impacts to water quality. Chemicals, paints, solvents, fertilizers, and other toxic materials must be stored in weatherproof containers. Except during application, the contents must be kept in trucks or within storage facilities. Runoff containing such material must be collected, removed from the site, treated, and disposed at an approved solid waste or chemical disposal facility.

Throughout build-out, the developer shall be responsible for implementing and maintaining Best Management Practices (BMPs) to control erosion and sediment problems on all idle areas of the project.

All persons engaged in earth disturbances shall design, implement, and maintain acceptable soil erosion and sedimentation control measures, in conformance with the erosion and sediment control technical standards adopted by DEN and CCD. All temporary erosion and sediment control facilities, and all permanent facilities intended to control erosion of any earth disturbance operation shall be installed before any earth disturbance operations take place. Any earth disturbances shall be conducted in such a manner so as to effectively control runoff volumes, reduce accelerated soil erosion, sediment movement, and deposition off-site. All earth disturbances shall be completed in such a manner so that the total amount of soil exposed at any given time shall be minimized, and the exposed area of any disturbed land

2024 Financial Assurance Estimate Form
(with pre-plat construction)

Updated: 10/2023

PROJECT INFORMATION			
McDonald's Fontaine and Marksheffel	10/1/2024	PPR-24-27	
Project Name	Date	PCD File No.	

Description	Quantity	Units	Unit Cost		Total	(with Pre-Plat Construction)	
% CompleteRemaining							
SECTION 1 - GRADING AND EROSION CONTROL (Construction and Permanent BMPs)							
Earthwork							
less than 1,000; \$5,300 min	569.	CY	\$ 8.00	=	\$ 5,300.00		\$ 5,300.00
1,000-5,000; \$8,000 min		CY	\$ 6.00	=	\$ -		\$ -
5,001-20,000; \$30,000 min		CY	\$ 5.00	=	\$ -		\$ -
20,001-50,000; \$100,000 min		CY	\$ 3.50	=	\$ -		\$ -
50,001-200,000; \$175,000 min		CY	\$ 2.50	=	\$ -		\$ -
greater than 200,000; \$500,000 min		CY	\$ 2.00	=	\$ -		\$ -
Permanent Erosion Control Blanket		SY	\$ 9.00	=	\$ -		\$ -
Permanent Seeding (inc. noxious weed mgmnt.) & Mulching	.28	AC	\$ 2,018.00	=	\$ 573.11		\$ 573.11
Permanent Pond/BMP (provide engineer's estimate)		EA		=	\$ -		\$ -
Concrete Washout Basin	1.	EA	\$ 1,172.00	=	\$ 1,172.00		\$ 1,172.00
Inlet Protection	7.	EA	\$ 217.00	=	\$ 1,519.00		\$ 1,519.00
Rock Check Dam		EA	\$ 651.00	=	\$ -		\$ -
Safety Fence	982.34	LF	\$ 3.00	=	\$ 2,947.03		\$ 2,947.03
Sediment Basin	2.	EA	\$ 2,294.00	=	\$ 4,588.00		\$ 4,588.00
Sediment Trap		EA	\$ 538.00	=	\$ -		\$ -
Silt Fence	500.55	LF	\$ 3.00	=	\$ 1,501.65		\$ 1,501.65
Slope Drain		LF	\$ 43.00		\$ -		\$ -
Straw Bale		EA	\$ 33.00	=	\$ -		\$ -
Straw Wattle/Rock Sock		LF	\$ 8.00	=	\$ -		\$ -
Surface Roughening		AC	\$ 269.00		\$ -		\$ -
Temporary Erosion Control Blanket		SY	\$ 3.00	=	\$ -		\$ -
Temporary Seeding and Mulching		AC	\$ 1,793.00	=	\$ -		\$ -
Vehicle Tracking Control	1.	EA	\$ 3,085.00	=	\$ 3,085.00		\$ 3,085.00
				=	\$ -		\$ -
[insert items not listed but part of construction plans]				=	\$ -		\$ -
MAINTENANCE (35% of Construction BMPs)				=	\$ 4,774.24		\$ 4,774.24
Section 1 Subtotal				=	\$ 25,460.04		\$ 25,460.04

* - Subject to defect warranty financial assurance. A minimum of 20% shall be retained until final acceptance (MAXIMUM OF 80% COMPLETE ALLOWED)

* - Subject to defect warranty financial assurance. A minimum of 20% shall be retained until final acceptance (MAXIMUM OF 80% COMPLETE ALLOWED)

SECTION 2 - PUBLIC IMPROVEMENTS *							
ROADWAY IMPROVEMENTS							
Construction Traffic Control		LS		=	\$ -		\$ -
Aggregate Base Course (135 lbs/cf)		Tons	\$ 37.00	=	\$ -		\$ -
Aggregate Base Course (135 lbs/cf)		CY	\$ 66.00		\$ -		\$ -
Asphalt Pavement (3" thick)		SY	\$ 18.00		\$ -		\$ -
Asphalt Pavement (4" thick)		SY	\$ 25.00		\$ -		\$ -
Asphalt Pavement (6" thick)		SY	\$ 38.00		\$ -		\$ -
Asphalt Pavement (147 lbs/cf) _" thick		Tons	\$ 114.00	=	\$ -		\$ -
Raised Median, Paved		SF	\$ 11.00	=	\$ -		\$ -
Regulatory Sign/Advisory Sign		EA	\$ 392.00	=	\$ -		\$ -
Guide/Street Name Sign		EA		=	\$ -		\$ -
Epoxy Pavement Marking		SF	\$ 17.00	=	\$ -		\$ -
Thermoplastic Pavement Marking		SF	\$ 30.00	=	\$ -		\$ -
Barricade - Type 3		EA	\$ 259.00	=	\$ -		\$ -
Delineator - Type I		EA	\$ 31.00	=	\$ -		\$ -
Curb and Gutter, Type A (6" Vertical)		LF	\$ 38.00	=	\$ -		\$ -
Curb and Gutter, Type B (Median)		LF	\$ 38.00	=	\$ -		\$ -
Curb and Gutter, Type C (Ramp)		LF	\$ 38.00	=	\$ -		\$ -
4" Sidewalk (common areas only)		SY	\$ 62.00	=	\$ -		\$ -
5" Sidewalk		SY	\$ 77.00	=	\$ -		\$ -
6" Sidewalk		SY	\$ 94.00	=	\$ -		\$ -
8" Sidewalk		SY	\$ 125.00		\$ -		\$ -
Pedestrian Ramp		EA	\$ 1,496.00	=	\$ -		\$ -
Cross Pan, local (8" thick, 6' wide to include return)		LF	\$ 79.00	=	\$ -		\$ -
Cross Pan, collector (9" thick, 8' wide to include return)		LF	\$ 119.00		\$ -		\$ -
Curb Opening with Drainage Chase		EA	\$ 1,926.00	=	\$ -		\$ -
Guardrail Type 3 (W-Beam)		LF	\$ 65.00	=	\$ -		\$ -
Guardrail Type 7 (Concrete)		LF	\$ 94.00	=	\$ -		\$ -
Guardrail End Anchorage		EA	\$ 2,731.00	=	\$ -		\$ -
Guardrail Impact Attenuator		EA	\$ 4,902.00	=	\$ -		\$ -
Sound Barrier Fence (CMU block, 6' high)		LF	\$ 102.00		\$ -		\$ -
Sound Barrier Fence (panels, 6' high)		LF	\$ 104.00	=	\$ -		\$ -
Electrical Conduit, Size =		LF	\$ 22.00	=	\$ -		\$ -
Traffic Signal, (provide engineer's estimate)		EA		=	\$ -		\$ -

PROJECT INFORMATION				
McDonald's Fontaine and Marksheffel		10/1/2024		PPR-24-27
Project Name		Date		PCD File No.

Description	Quantity	Units	Unit Cost		Total	(with Pre-Plat Construction)	
						% Complete	Remaining
				=	\$ -		\$ -
[insert items not listed but part of construction plans]				=	\$ -		\$ -
STORM DRAIN IMPROVEMENTS							
Concrete Box Culvert (M Standard), Size (W x H)		LF		=	\$ -		\$ -
18" Reinforced Concrete Pipe		LF	\$ 82.00	=	\$ -		\$ -
24" Reinforced Concrete Pipe		LF	\$ 98.00	=	\$ -		\$ -
30" Reinforced Concrete Pipe		LF	\$ 123.00	=	\$ -		\$ -
36" Reinforced Concrete Pipe		LF	\$ 151.00	=	\$ -		\$ -
42" Reinforced Concrete Pipe		LF	\$ 201.00	=	\$ -		\$ -
48" Reinforced Concrete Pipe		LF	\$ 245.00	=	\$ -		\$ -
54" Reinforced Concrete Pipe		LF	\$ 320.00	=	\$ -		\$ -
60" Reinforced Concrete Pipe		LF	\$ 374.00	=	\$ -		\$ -
66" Reinforced Concrete Pipe		LF	\$ 433.00	=	\$ -		\$ -
72" Reinforced Concrete Pipe		LF	\$ 495.00	=	\$ -		\$ -
18" Corrugated Steel Pipe		LF	\$ 105.00	=	\$ -		\$ -
24" Corrugated Steel Pipe		LF	\$ 121.00	=	\$ -		\$ -
30" Corrugated Steel Pipe		LF	\$ 154.00	=	\$ -		\$ -
36" Corrugated Steel Pipe		LF	\$ 184.00	=	\$ -		\$ -
42" Corrugated Steel Pipe		LF	\$ 212.00	=	\$ -		\$ -
48" Corrugated Steel Pipe		LF	\$ 223.00	=	\$ -		\$ -
54" Corrugated Steel Pipe		LF	\$ 327.00	=	\$ -		\$ -
60" Corrugated Steel Pipe		LF	\$ 353.00	=	\$ -		\$ -
66" Corrugated Steel Pipe		LF	\$ 427.00	=	\$ -		\$ -
72" Corrugated Steel Pipe		LF	\$ 502.00	=	\$ -		\$ -
78" Corrugated Steel Pipe		LF	\$ 578.00	=	\$ -		\$ -
84" Corrugated Steel Pipe		LF	\$ 691.00	=	\$ -		\$ -
Flared End Section (FES) RCP Size = (unit cost = 6x pipe unit cost)		EA		=	\$ -		\$ -
Flared End Section (FES) CSP Size = (unit cost = 6x pipe unit cost)		EA		=	\$ -		\$ -
End Treatment- Headwall		EA		=	\$ -		\$ -
End Treatment- Wingwall		EA		=	\$ -		\$ -
End Treatment - Cutoff Wall		EA		=	\$ -		\$ -
Curb Inlet (Type R) L=5', Depth < 5'		EA	\$ 7,212.00	=	\$ -		\$ -
Curb Inlet (Type R) L=5', 5' ≤ Depth < 10'		EA	\$ 9,377.00	=	\$ -		\$ -
Curb Inlet (Type R) L =5', 10' ≤ Depth < 15'		EA	\$ 10,859.00	=	\$ -		\$ -
Curb Inlet (Type R) L =10', Depth < 5'		EA	\$ 9,925.00	=	\$ -		\$ -
Curb Inlet (Type R) L =10', 5' ≤ Depth < 10'		EA	\$ 10,230.00	=	\$ -		\$ -
Curb Inlet (Type R) L =10', 10' ≤ Depth < 15'		EA	\$ 12,805.00	=	\$ -		\$ -
Curb Inlet (Type R) L =15', Depth < 5'		EA	\$ 12,907.00	=	\$ -		\$ -
Curb Inlet (Type R) L =15', 5' ≤ Depth < 10'		EA	\$ 13,835.00	=	\$ -		\$ -
Curb Inlet (Type R) L =15', 10' ≤ Depth < 15'		EA	\$ 15,130.00	=	\$ -		\$ -
Curb Inlet (Type R) L =20', Depth < 5'		EA	\$ 13,755.00	=	\$ -		\$ -
Curb Inlet (Type R) L =20', 5' ≤ Depth < 10'		EA	\$ 15,181.00	=	\$ -		\$ -
Grated Inlet (Type C), Depth < 5'		EA	\$ 6,037.00	=	\$ -		\$ -
Grated Inlet (Type D), Depth < 5'		EA	\$ 7,458.00	=	\$ -		\$ -
Storm Sewer Manhole, Box Base		EA	\$ 15,130.00	=	\$ -		\$ -
Storm Sewer Manhole, Slab Base		EA	\$ 8,322.00	=	\$ -		\$ -
Geotextile (Erosion Control)		SY	\$ 9.00	=	\$ -		\$ -
Rip Rap, d50 size from 6" to 24"		Tons	\$ 104.00	=	\$ -		\$ -
Rip Rap, Grouted		Tons	\$ 124.00	=	\$ -		\$ -
Drainage Channel Construction, Size (W x H)		LF		=	\$ -		\$ -
Drainage Channel Lining, Concrete		CY	\$ 741.00	=	\$ -		\$ -
Drainage Channel Lining, Rip Rap		CY	\$ 145.00	=	\$ -		\$ -
Drainage Channel Lining, Grass		AC	\$ 1,911.00	=	\$ -		\$ -
Drainage Channel Lining, Other Stabilization				=	\$ -		\$ -
				=	\$ -		\$ -
[insert items not listed but part of construction plans]				=	\$ -		\$ -
Section 2 Subtotal				=	\$ -		\$ -

* - Subject to defect warranty financial assurance. A minimum of 20% shall be retained until final acceptance (MAXIMUM OF 80% COMPLETE ALLOWED)

PROJECT INFORMATION								
McDonald's Fontaine and Marksheffel			10/1/2024			PPR-24-27		
Project Name			Date			PCD File No.		
Description	Quantity	Units	Unit Cost		Total	(with Pre-Plat Construction)		
						% Complete	Remaining	
SECTION 3 - COMMON DEVELOPMENT IMPROVEMENTS (Private or District and NOT Maintained by EPC)**								
ROADWAY IMPROVEMENTS								
Please include any roadway items (asphalt, base, curb and gutter) that will be constructed in the shared cross access areas on the southern and western portions of the property.				=	\$ -		\$ -	
	KH Response: Shared access items have been added to this section.			=	\$ -		\$ -	
				=	\$ -		\$ -	
				=	\$ -		\$ -	
				=	\$ -		\$ -	
				=	\$ -		\$ -	
STORM DRAIN IMPROVEMENTS (Exception: Permanent Pond/BMP shall be itemized under Section 1)								
Please include 18" RCP crossing shared cross access (CD sheet C1.10)				=	\$ -		\$ -	
				=	\$ -		\$ -	
				=	\$ -		\$ -	
	KH Response: Added.			=	\$ -		\$ -	
				=	\$ -		\$ -	
				=	\$ -		\$ -	
WATER SYSTEM IMPROVEMENTS								
Water Main Pipe (PVC), Size 8"		LF	\$ 84.00	=	\$ -		\$ -	
Water Main Pipe (Ductile Iron), Size 8"		LF	\$ 98.00	=	\$ -		\$ -	
Gate Valves, 8"		EA	\$ 2,418.00	=	\$ -		\$ -	
Fire Hydrant Assembly, w/ all valves		EA	\$ 8,584.00	=	\$ -		\$ -	
Water Service Line Installation, inc. tap and valves		EA	\$ 1,723.00	=	\$ -		\$ -	
Fire Cistern Installation, complete		EA		=	\$ -		\$ -	
				=	\$ -		\$ -	
[insert items not listed but part of construction plans]				=	\$ -		\$ -	
SANITARY SEWER IMPROVEMENTS								
Sewer Main Pipe (PVC), Size 8"		LF	\$ 84.00	=	\$ -		\$ -	
Sanitary Sewer Manhole, Depth < 15 feet		EA	\$ 5,708.00	=	\$ -		\$ -	
Sanitary Service Line Installation, complete		EA	\$ 1,825.00	=	\$ -		\$ -	
Sanitary Sewer Lift Station, complete		EA		=	\$ -		\$ -	
				=	\$ -		\$ -	
[insert items not listed but part of construction plans]				=	\$ -		\$ -	
LANDSCAPING IMPROVEMENTS (For subdivision specific condition of approval, or PUD)								
		EA		=	\$ -		\$ -	
		EA		=	\$ -		\$ -	
		EA		=	\$ -		\$ -	
		EA		=	\$ -		\$ -	
		EA		=	\$ -		\$ -	
Section 3 Subtotal				=	\$ -		\$ -	
** - Section 3 is not subject to defect warranty requirements								

PROJECT INFORMATION		
McDonald's Fontaine and Marksheffel	10/1/2024	PPR-24-27
Project Name	Date	PCD File No.

Description	Quantity	Units	Unit Cost		Total	(with Pre-Plat Construction)	
						% Complete	Remaining
AS-BUILT PLANS (Public Improvements inc. Permanent WQCV BMPs)				=	\$ -		\$ -
POND/BMP CERTIFICATION (inc. elevations and volume calculations)		LS		=	\$ -		\$ -
						Total Construction Financial Assurance	
						\$ 25,460.04	
						(Sum of all section subtotals plus as-builts and pond/BMP certification)	
						Total Remaining Construction Financial Assurance (with Pre-Plat Construction)	
						\$ 25,460.04	
						(Sum of all section totals less credit for items complete plus as-builts and pond/BMP certification)	
						Total Defect Warranty Financial Assurance	
						\$ 1,174.62	
						(20% of all items identified as (*). To be collateralized at time of preliminary acceptance)	

please include cost for as-built plans

KH Response:
Comment to be ignored per correspondence with Bret on 11/12/24.

The Village at Lorson Ranch Filing No. 1 development is providing public infrastructure improvements for the development that include storm sewer, sanitary sewer, and water main extensions to service the McDonald's property and adjacent future commercial lots. McDonald's will propose private water, sanitary, and storm sewer improvements to service the McDonald's lot and will tie into the master development proposed public improvements.

ACCESS TO SITE & TRAFFIC GENERATION

The site is accessed from the master development proposed right-in access only from Fontaine Boulevard and from the future Center Village Heights private drive that connects from Marksheffel Road to Carriage Meadows Drive. The proposed McDonald's completed a traffic letter showing compliance with the master development Village at Lorson Ranch Traffic Impact Study. Please reference the Traffic Impact Study and Traffic Letter for more information on traffic generation and improvements.

Please include a section for required road impact fees.

KH Response: Section added.
Road Impact Fee is \$18,813.86.

ALTERNATIVES

There are no alternatives or deviations requested with this McDonald's application.



McDonald's Fontaine & Marksheffel
Traffic Compliance Letter

El Paso County, Colorado
El Paso County EDARP File Number: EA2467

Traffic Engineer's Statement

The attached traffic report and supporting information were prepared under my responsible charge and they comport with the standard of care. So far as is consistent with the standard of care, said report was prepared in general conformance with the criteria established by the County for traffic reports.



Jeffrey R. Planck, P.E., PE #53006

July 24, 2024
Date

Developer's Statement

I, the Developer, have read and will comply with all commitments made on my behalf within this report.

DocuSigned by:

Robert Yagusesky
ED8303E491EB4EF...

Mr. Robert Yagusesky
McDonald's USA, LLC

7/24/2024

Date



proposed McDonald's project. Trip generation calculations and applicable documents from original traffic study are attached.

Table 1 –Trip Generation Comparison

Use and Size	Daily Vehicle Trips	Weekday Vehicle Trips					
		AM Peak Hour			PM Peak Hour		
		In	Out	Total	In	Out	Total
Original Traffic Study – Village at Lorson Ranch (Same Development Area)							
Fast Food Restaurant with Drive-Through (ITE 934) 3,521 SF	1,646	80	77	157	60	56	116
Current Proposal – McDonald's Fontaine & Marksheffel							
Fast Food Restaurant with Drive-Through (ITE 934) 3,521 SF	1,646	80	77	157	60	56	116
Net Difference in Trips	0	0	0	0	0	0	0
Original Traffic Study – Village at Lorson Ranch (Total Fast-Food Restaurants with Drive-Through)							
Fast Food Restaurant with Drive-Through (ITE 934) 8,170 SF	3,820	186	179	365	140	130	270
Current Proposal – McDonald's Fontaine & Marksheffel							
Fast Food Restaurant with Drive-Through (ITE 934) 3,521 SF	1,646	80	77	157	60	56	116
Net Difference in Trips	-2,174	-106	-102	-208	-80	-74	-154

As summarized in the first section of **Table 1**, the currently proposed McDonald's project is anticipated to generate 1,646 daily weekday trips with 157 trips occurring during the morning peak hour and 116 trips occurring during the afternoon peak hour per current ITE equations and data. Therefore, the proposed McDonald's project is anticipated to generate the same amount of daily, morning peak hour, and afternoon peak hour trips as the use originally studied in the same development area. This identifies that the current proposal is in traffic compliance with the original traffic study for the same development area and land use. The second section of **Table 1** presents a summary of the total trips generated by the three fast-food restaurants with drive-throughs from the original study in comparison to the currently proposed McDonald's project. This indicates that there is reserved capacity for two more fast-food restaurants on site with approximately 208 morning peak hour trips and 154 afternoon peak hour trips still allocated for future fast-food restaurant use.

CONCLUSION Please include a section for required road impact fees.

In summary, the current proposal for the McDonald's project is expected to generate the same trips previously evaluated for the same development area in the original traffic study for the Village at Lorson Ranch. Therefore, the current proposal is expected to be in traffic compliance with the *Village at Lorson Ranch Traffic Impact Study*. As such, we believe no further traffic analysis is needed with this proposed project. If you have any questions or require anything further, please feel free to call me.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

Jeffrey R. Planck, P.E.
Project Traffic Engineer

