

MCDONALD'S AT FONTAINE AND MARKSHEFFEL CONSTRUCTION DOCUMENTS VILLAGE AT LORSON RANCH FILING NO.1 LOT 2

S $\frac{1}{2}$ OF SE $\frac{1}{4}$ OF SECTION 15, TOWNSHIP 15S, RANGE 65 WEST OF THE
6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



VICINITY MAP
NOT TO SCALE

CONTACTS:

DEVELOPER:
MCDONALD'S USA, LLC
110 N. CARPENTER STREET
CHICAGO, IL 60607
TEL: (206)-348-4374
CONTACT: ROBERT YAGUSESKY
EMAIL: ROBERT.YAGUSESKY@US.MCD.COM

ARCHITECT:
CORE STATES GROUP
135 WATER STREET, SUITE 201
NAPERVILLE, IL 60540
TEL: (224) 585-4591
CONTACT: JOY VROCHOTA
EMAIL: JYROCHOTA@CORE-STATES.COM

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NORTH NEVADA AVE., SUITE 900
COLORADO SPRINGS, CO 80903
TEL: (719) 284-7275
CONTACT: JESSICA MCCALLUM, P.E.
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SURVEYOR:
KIMLEY-HORN AND ASSOCIATES, INC.
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GREENWOOD VILLAGE, CO 80111
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LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NEVADA NORTH AVE., SUITE 300
COLORADO SPRINGS, CO 80903
TEL: (719) 453-0180
CONTACT: JEREMY POWELL, P.L.A.
EMAIL: JEREMY.POWELL@KIMLEY-HORN.COM

OWNER:
CRADLAN COMMERCIAL, LLLP
212 N. WAHSATCH AVE, SUITE 301
COLORADO SPRINGS, CO 80903
TEL: (719)-635-3200
CONTACT: JEFF MARK
EMAIL: JMARK@LANDHUISCO.COM

LAND AREA:

55,024 SQ. FT. OR 1.265 ACRES MORE OR LESS

BASIS OF BEARING:

BEARINGS ARE BASED ON THE NORTH LINE OF TRACT D, CARRIAGE MEADOWS NORTH FILING NO. 1, BEARING N89°48'24" E, A DISTANCE OF 699.24 FEET, AS MONUMENTED AT BOTH ENDS BY A FOUND YELLOW PLASTIC CAP STAMPED "FWS PLS 38226".

BENCHMARK:

ELEVATIONS ARE BASED UPON A FOUND 2" ALUMINUM CAP STAMPED "FARNSWORTH GROUP INC. PLS 38053" ON THE WEST LINE OF TRACT B AS SHOWN AS HEREON (ELEVATION = 5724.52)

LEGAL DESCRIPTION

VILLAGE AT LORSON RANCH FILING NO.1, LOT 2

GENERAL NOTES:

1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE.

FEMA CLASSIFICATION

THE FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 08041C0957G EFFECTIVE DATE DECEMBER 7, 2018, HAS BEEN EXAMINED AS IT RELATES TO THE PROPERTY BEING PLATTED. THE PROPERTY LIES WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD.

NOTICE AND WARNING:

COMPLIANCE WITH THE AMERICANS FOR DISABILITIES ACT ("ADA") AND OTHER FEDERAL AND STATE ACCESSIBILITY LAWS IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THEREFORE, COMPLIANCE WITH CITY CODES DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. EL PASO COUNTY IS NOT RESPONSIBLE FOR ENFORCEMENT OF THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS.

DESIGN ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

JESSICA MCCALLUM, P.E.# : 59054

DATE:

OWNER'S/DEVELOPER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

(NAME)

MCDONALD'S USA, LLC

DATE

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JOSHUA PALMER, P.E.
COUNTY ENGINEER / ECM ADMINISTRATOR

DATE

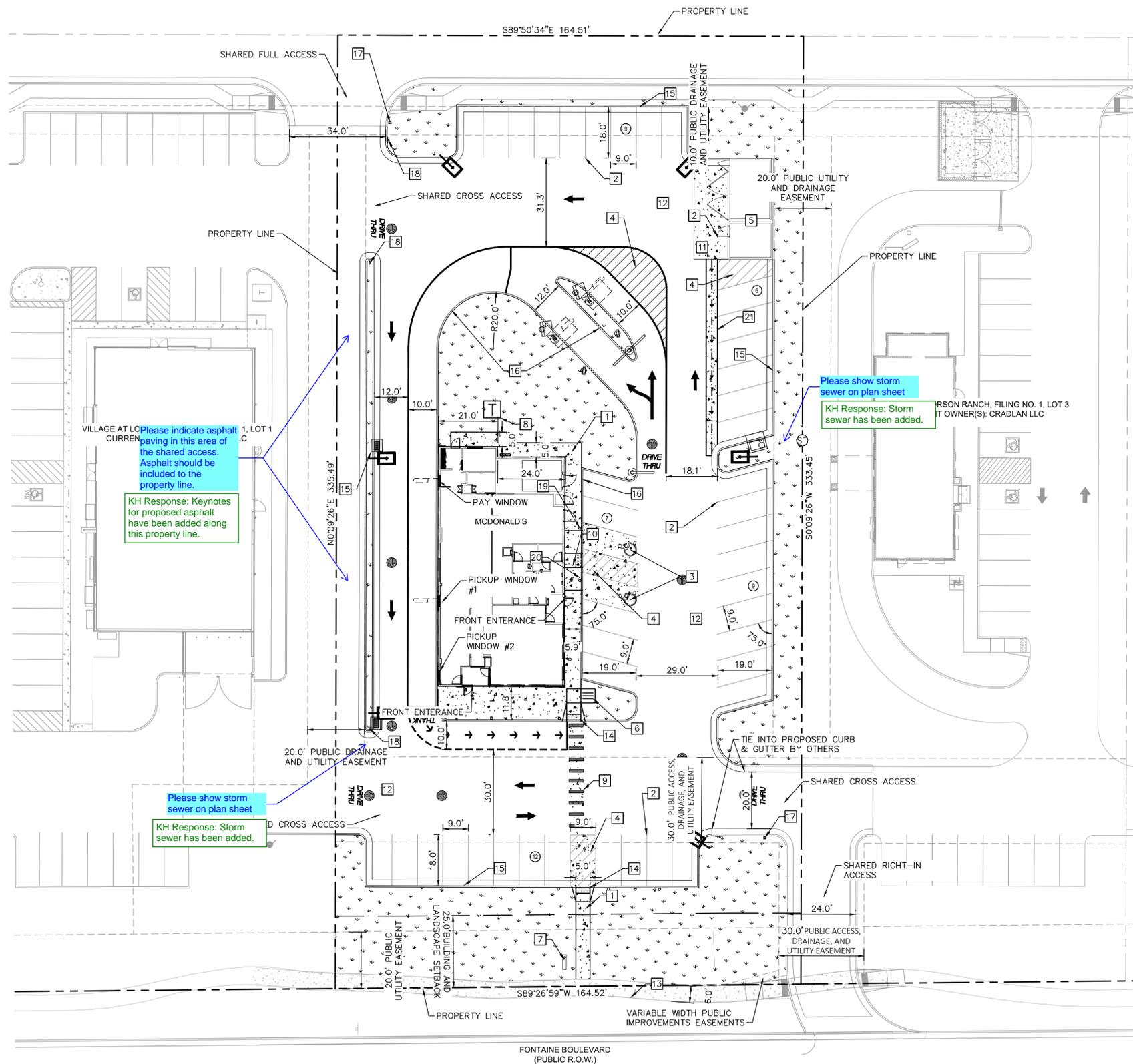
GRADING AND EROSION CONTROL PLAN	
SHEET NUMBER	SHEET TITLE
C1.0	COVER
C1.1	GENERAL NOTES
C1.2	SITE PLAN
C1.3	SITE PLAN - DETAILS
C1.4	HORIZONTAL CONTROL PLAN
C1.5	LINE AND CURVE TABLES AND PAVEMENT
C1.6	DETAILED GRADING PLAN
C1.7	MCDONALD'S SIGNAGE AND DRIVE THRU PLAN
C1.8	MCDONALD'S SIGNAGE DETAILS
C1.9	STORM SEWER A PLAN & PROFILE
C1.10	STORM SEWER B PLAN & PROFILE
C1.11	STORM SEWER DETAILS
IR1.0	IRRIGATION PLAN
IR1.1	IRRIGATION NOTES
IR1.2	IRRIGATION DETAILS

DRAWN BY: ALS	STD ISSUE DATE 7/30/2024	REVIEWED BY: JIM	DATE ISSUED 7/30/2024	TITLE CONSTRUCTION DRAWINGS	DESCRIPTION COVER	SITE ADDRESS 9664 FONTAINE BLVD., COLORADO SPRINGS, COLORADO	SITE ID 51028	REV.	DATE	BY



C1.0

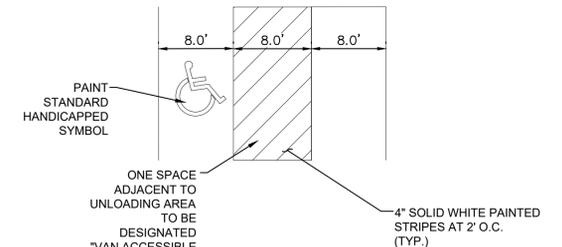
VILLAGE AT LORSON RANCH,
FILING NO. 1, LOT 6
CURRENT OWNER(S): CRADLAN LLC



LEGEND

- PROPERTY LINE
- - - SETBACK
- - - EASEMENTS
- [Pattern] PROPOSED CONCRETE
- [Pattern] PROPOSED LANDSCAPING
- [Pattern] EXISTING SIDEWALK
- ⊕ PROPOSED PARKING COUNT

ADA SIGNS TO BE IN ACCORDANCE WITH ADA STANDARDS.



- NOTES:
- DIMENSIONS MAY VARY REFER TO SITE PLAN (SHEETS 3 AND 4).
 - SIGNAGE AND MARKINGS TO BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.

ACCESSIBLE PARKING DETAIL
NOT TO SCALE

GENERAL NOTES

- ALL SIGNS ARE REVIEWED UNDER SEPARATE PERMIT

KEY NOTES

- PROPOSED CONCRETE SIDEWALK PER CDOT STANDARD DRAWING M-609-1 (WIDTH PER PLAN)
- PROPOSED 4" WIDE PARKING STRIPE (TYP.)
- PROPOSED ADA SYMBOL (PER DETAIL THIS SHEET)
- PROPOSED 4" WIDE DIAGONAL PAVEMENT MARKINGS AT 36" ON CENTER
- DUMPSTER ENCLOSURE AND SHED.
- PROPOSED BIKE PARKING
- PROPOSED MONUMENT SIGN, PER SEPARATE PERMIT
- PROPOSED TRANSFORMER
- PEDESTRIAN CROSSWALK, REF. SHEET 4 FOR DETAIL
- PROPOSED PARALLEL CURB RAMP PER EL PASO COUNTY SD-2_50 W/DETECTABLE WARNING PER EL PASO COUNTY SD-2-42
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- EXISTING CONCRETE SIDEWALK
- PROPOSED PERPENDICULAR CURB RAMP PER EL PASO COUNTY SD-2-40&41 WITH DETECTABLE WARNING PER EL PASO COUNTY STANDARD SD-2-42
- PROPOSED TYPE A CURB AND GUTTER PER EL PASO COUNTY SD-2-20
- PROPOSED 6" CURB HEAD
- PROPOSED R1-1 STOP SIGN, REF. SHEET 4 FOR DETAIL
- PROPOSED R5-1 DO NOT ENTER SIGN, REF. SHEET 4 FOR DETAIL
- PROPOSED VAN ADA PARKING SIGN, REF. SHEET 4 FOR DETAIL
- PROPOSED ADA PARKING SIGN, REF. SHEET 4 FOR DETAIL
- PROPOSED 4' WIDE CDOT V-GUTTER TYPE 2 PER CDOT STD. PLAN NO. M-609-1

Please indicate asphalt paving in this area of the shared access. Asphalt should be included to the property line.
KH Response: Keynotes for proposed asphalt have been added along this property line.

Please show storm sewer on plan sheet
KH Response: Storm sewer has been added.

Please show storm sewer on plan sheet
KH Response: Storm sewer has been added.

TITLE	DESCRIPTION	DATE	REV	DATE	DESCRIPTION	BY
CONSTRUCTION DRAWINGS		7/30/2024				
SITE PLAN		7/30/2024				
PREPARED FOR: McDonald's USA, LLC These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the contractor to obtain separate permission from McDonald's USA, LLC. The contract documents for reuse on another project is not authorized.						
DRAWN BY: ALS STD ISSUE DATE: 7/30/2024 REVIEWED BY: JJM DATE ISSUED: 7/30/2024						
TITLE: CONSTRUCTION DRAWINGS DESCRIPTION: SITE PLAN SITE ID: 51028 SITE ADDRESS: 8664 FONTAINE BLVD., COLORADO SPRINGS, COLORADO						



C1.2



FINAL DRAINAGE REPORT for

**McDonald's at Fontaine and
Marksheffel
Village at Lorson Ranch
Filing No. 1, Lot 2
El Paso County, CO**

PCD File No. PPR2427

KH Response:
Added.

Prepared for:

**McDonald's USA, LLC.
110 North Carpenter Street
Chicago, IL 60607-2101
(206) 348-4374
Contact: Robert Yagusesky**

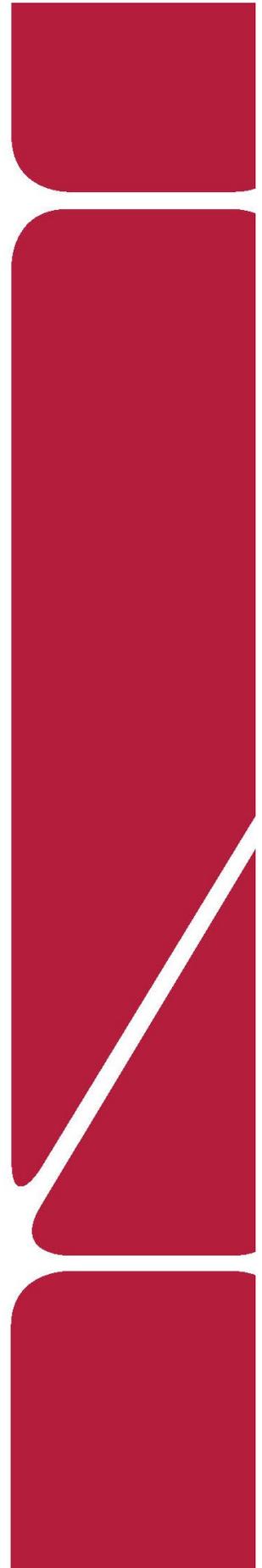
Prepared by:

**Kimley-Horn and Associates, Inc.
2 North Nevada Avenue, Suite 900
Colorado Springs, Colorado 80903
(719) 284-7275
Contact: Jessica McCallum, P.E.**

Project #: 096806032

Prepared: July 30, 2024
Resubmitted: 10/17/2024

Kimley»Horn



CERTIFICATION

ENGINEERS STATEMENT

The attached drainage plan and report were prepared under my direction and supervision and are correct to the best of my knowledge and belief. Said drainage report has been prepared according to the criteria established by the County for drainage reports and said report is in conformity with the master plan of the drainage basin. I accept responsibility for any liability caused by any negligent acts, errors or omissions on my part in preparing this report.

SIGNATURE (Affix Seal): _____ 10/15/2024
Colorado P.E. No. 59054 Date

DEVELOPER'S STATEMENT

I, McDonald's USA, LLC, the developer has read and will comply with all of the requirements specified in this drainage report and plan.

Business Name

Authorized Signature Date

Printed Name

Title

Address:

KH Response:
Updated.

El Paso County:

Filed in accordance with the requirements of the Drainage Criteria Manual, Volumes 1 and 2, El Paso County Engineering Criteria Manual and Land Development Code as amended.

Joshua Palmer, P.E. Date
County Engineer / ECM Administrator

Conditions:

Post Construction Stormwater Management Applicability Evaluation Form

This form is to be used by the Engineer of Record to evaluate applicable construction activities to determine if the activities are eligible for an exclusion to permanent stormwater quality management requirements. Additionally Part III of the form is used to identify and document which allowable control measure design standard is used for the structure.

Part I. Project Information	
1. Project Name: McDonalds - Village at Lorson Ranch Filing No. 1, Lot 2	
2. El Paso County Project #: PPR2427	3. ESQCP #: KH Response: Updated.
4. Project Location: NEC Marksheffel Rd/Fontaine	Project Location in MS4 Permit Area (Y or N): N
5. Project Description: Prop. commercial fast food restaurant development on a 1.263 ac site within a master development. 1.1 ac disturbance. Private WQ & detention provided downstream by Master Dev.	
If project is located within the El Paso County MS4 Permit Area, please provide copy of this completed form to the Stormwater Quality Coordinator for reporting purposes; and save completed form with project file.	

Part II. Exclusion Evaluation: Determine if Post-Construction Stormwater Management exclusion criteria are met. Note: Questions A thru K directly correlate to the MS4 permit Part I.E.4.a.i (A) thru (K). If Yes, to any of the following questions, then mark Not Applicable in Part III, Question 2.				
Questions	Yes	No	Not Applicable	Notes:
A. Is this project a "Pavement Management Site" as defined in Permit Part I E.4.a.i. (A)?		x		This exclusion applies to "roadways" only. Areas used primarily for parking or access to parking are not included.
B. Is the project "Excluded Roadway Development"?		x		
• Does the site add less than 1 acre of paved area per mile?			x	
• Does the site add 8.25 feet or less of paved width at any location to the existing roadway?			x	
C. Does the project increase the width of the existing roadway by less than 2 times the existing width?		x		For redevelopment of existing roadways, only the area of the existing roadway is excluded from post-construction requirements when the site does not increase the width by two times or more. <i>This exclusion only excludes the original roadway area it does NOT apply to entire project.</i>
D. Is the project considered an aboveground and Underground Utilities activity?		x		Activity can NOT permanently alter the terrain, ground cover or drainage patterns from those present prior to the activity
E. Is the project considered a "Large Lot Single-Family Site"?		x		Must be a single-residential lot or agricultural zoned land, ≥ 2.5 acres per dwelling and total lot impervious area < 10 percent.

Questions (cont'd)	Yes	No	Not Applicable	Notes
F. Do Non-Residential or Non-Commercial Infiltration Conditions exist? Post-development surface conditions do not result in concentrated stormwater flow or surface water discharge during an 80 th percentile stormwater runoff event.		X		Exclusion does not apply to residential or commercial sites for buildings. A site specific study is required and must show: rainfall and soil conditions; allowable slopes; surface conditions; and ratios of imperviousness area to pervious area.
G. Is the project land disturbance to Undeveloped Land where undeveloped land remains undeveloped following the activity?		X		Project must be on land with no human made structures such as buildings or pavement.
H. Is the project a Stream Stabilization Site?		X		Standalone stream stabilization projects are excluded.
I. Is the project a bike or pedestrian trail?		X		Bike lanes for roadways are not included in this exclusion, but may qualify if part of larger roadway activity is excluded in A, B or C above.
J. Is the project Oil and Gas Exploration?		X		Activities and facilities associated with oil and gas exploration are excluded.
K. Is the project in a County Growth Area?		X		Note, El Paso County does not apply this exclusion. All Applicable Construction Activity in El Paso County must comply the Post-Construction Stormwater Management criteria.

Part III. Post Construction (Permanent) Stormwater Control Determination		
Questions	Yes	No
1. Is project an Applicable Construction Activity?	X	
2. Do any of the Exclusions (A-K in Part II) apply?		X
<p>If the project is an Applicable Construction Activity and no Exclusions apply then Post-Construction (Permanent) Stormwater Management is required. Complete the applicable sections of Part IV below and then coordinate signatures for form and place in project file.</p> <p>If the project is not an Applicable Construction Activity, or Exclusion(s) apply then Post-Construction (Permanent) Stormwater Management is NOT required. Coordinate signatures for form and place in project file.</p>		

A Regional WQCV Control Measure means there is no conveyance from the project site to the regional control measure via Waters of the State. A Regional WQCV Facility is a facility where there is conveyance from the project site to the control measure occurs but the 8 conditions in the MS4 permit must be met. Based on the site plan I believe the project should have D Checked and not E but this needs verification from the design engineer.

KH Response: The site does not drain to the regional control measure via Waters of the State, so 'Applicable Development Site Draining to a Regional WQCV Control Measure' has been checked instead.

Conditions	Yes	No
Does align with Control		
A. water Quality Capture volume (WQCV) Standard		
B. Pollutant Removal/80% Total Suspended Solids Removal (TSS)		
C. Runoff Reduction Standard		
D. Applicable Development Site Draining to a Regional WQCV Control Measure		
E. Applicable Development Site Draining to a Regional WQCV Facility	X	
F. Constrained Redevelopment Sites Standard		
G. Previous Permit Term Standard		
2. Will any of the project permanent stormwater control measure(s) be maintained by another MS4? If Yes, you must obtain a structure specific maintenance agreement with the other MS4 prior to advertisement.		X
3. Will any of the project permanent stormwater control measures be maintained by a private entity or quasi-governmental agency (e.g. HOA or Special District, respectively)? If Yes, a Private Detention Basin/Stormwater Quality Best Management Practice Maintenance Agreement and Easement must be recorded with the El Paso County Clerk and Recorder.		X

Part V Notes (attach an additional sheet if you need more space)

The Project is not providing an Control Measures. These measures will be in place and are apart of the Master Development's construction permit.

Note that water quality will be provided by existing Detention Pond G1/G2

**KH Response:
Added.**

Project design is complete to include the project design, construction plans, drainage report, specifications, and maintenance and access agreements as required. The engineering, drainage considerations and information used to complete these documents is complete, true, and accurate to the best of my belief and knowledge.

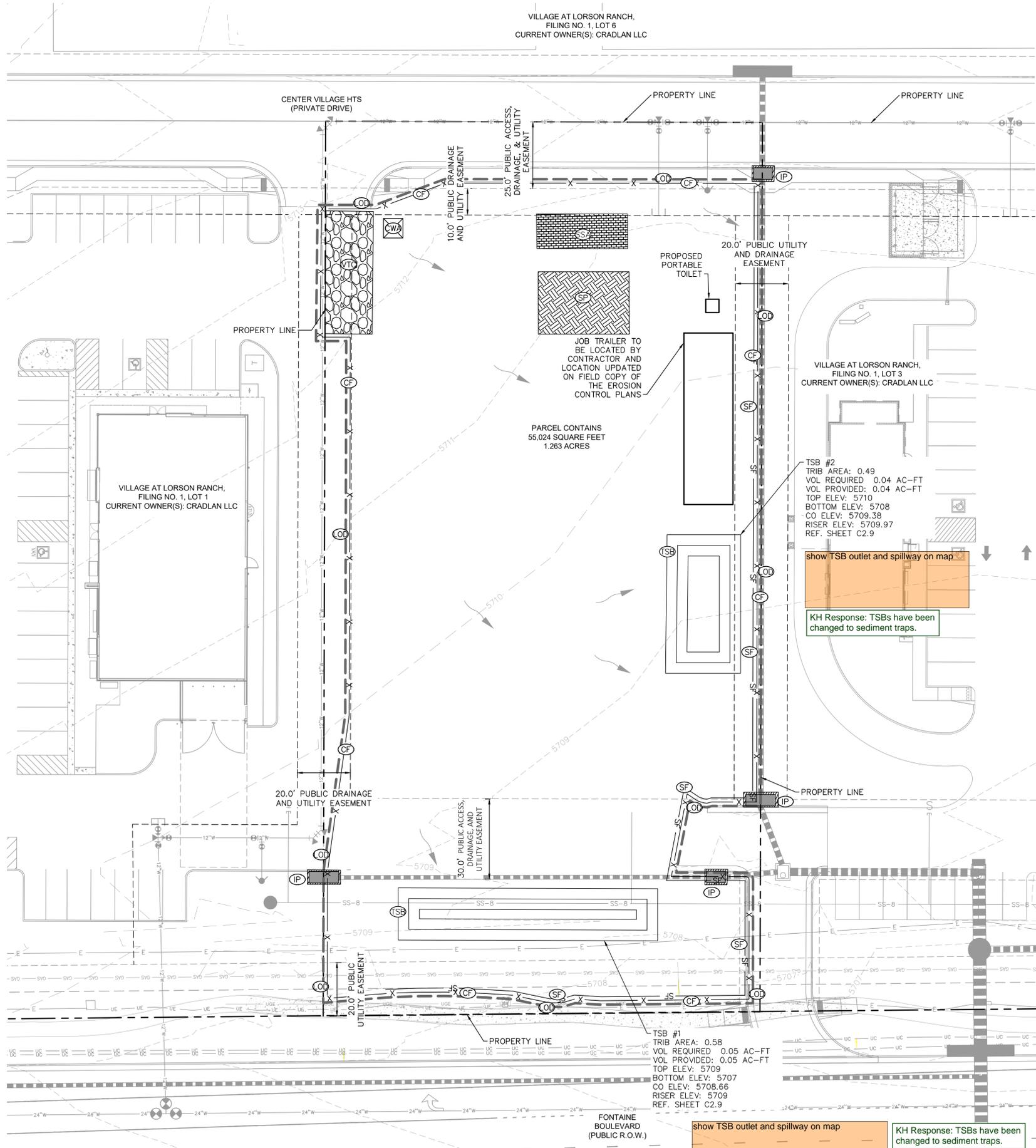
Signature and Stamp of Engineer of Record

Date

Post-Construction Stormwater Management Applicability Form has been reviewed and the project design, construction plans, drainage report, specifications, and maintenance and access agreements as required, have been reviewed for compliance with the Post Construction Stormwater Management process and MS4 Permit requirements.

Signature of El Paso County Project Engineer

Date



LEGEND

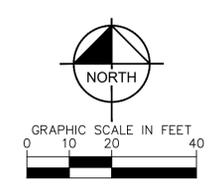
---	PROPERTY LINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	LIMITS OF CONSTRUCTION/DISTURBANCE
X X	CONSTRUCTION FENCE
SF	SILT FENCE
---	PROPOSED EASEMENTS
---	EXISTING EASEMENTS
---	PROPOSED SETBACKS
SS-B	EXISTING SANITARY SEWER
---	EXISTING WATER LINE
---	EXISTING STORM SEWER PIPE
SS	STABILIZED STAGING AREA
CWA	CONCRETE WASHOUT VEHICLE TRACKING CONTROL
VT	VEHICLE TRACKING CONTROL
SP	SOIL STOCKPILE
IP	INLET PROTECTION
TSB	TEMPORARY SEDIMENT BASIN
E	EXISTING ELECTRIC LINE
UC	EXISTING UNDERGROUND COMMUNICATION LINE

Label TCMs as Initial, Interim, or Initial/Interim. All Initial TCMs will need to be installed prior to the initial inspection and notice to proceed.

KH Response: Initial, interim, and initial/interim TCMs have been labeled in legend. Initial TCMs will be installed prior to initial inspection.

- NOTES**
- THE INTENT OF THIS PLAN IS TO IDENTIFY THE EROSION CONTROL PRACTICES RECOMMENDED. THE CONTRACTOR SHALL REFERENCE ADDITIONAL CONSTRUCTION PLANS FOR DEMOLITION OF EXISTING AND CONSTRUCTION OF PROPOSED IMPROVEMENTS.
 - ADJACENT STREETS AND SIDEWALK SHALL BE KEPT CLEAN AND FREE OF SEDIMENT AND/OR DEBRIS AT ALL TIMES. CONTRACTOR SHALL PERFORM STREET SWEEPING AT ALL TIMES DURING ACTIVE TRACKING AND AT A MINIMUM ON A DAILY BASIS AT THE END OF EACH CONSTRUCTION DAY.
 - TEMPORARY STABILIZATION (TS) SHALL BE IMPLEMENTED WITHIN THE DISTURBED PORTIONS OF THE PROJECT SITE NO LATER THAN 14 DAYS FOLLOWING THE CEASE OF CONSTRUCTION ACTIVITIES WITHIN THE DISTURBED AREAS.
 - PERMANENT STABILIZATION (PS) MAY BE USED WITHIN AREAS OF TEMPORARY STABILIZATION (TS) AT THE CONTRACTOR'S DISCRETION. STABILIZATION SHALL BE APPLIED IN ACCORDANCE WITH APPLICABLE TEMPORARY STABILIZATION SEQUENCING REQUIREMENTS.
 - CONTRACTOR SHALL UTILIZE ROLLED EROSION CONTROL PRODUCTS ON ALL SLOPES 3H:1V OR GREATER TO ACHIEVE REQUIRED STABILIZATION.
 - CONTRACTOR SHALL MAINTAIN ACCEPTABLE EROSION CONTROL PRACTICES WITHIN THE ANTICIPATED LIMITS OF CONSTRUCTION IDENTIFIED HEREIN. BEST MANAGEMENT PRACTICES AND STABILIZATION SHALL BE COMPLETED AS IDENTIFIED HEREIN IN ACCORDANCE WITH OWNER REQUIREMENTS.
 - ALL WORK IN THE FONTAINE BOULEVARD ROW REQUIRES A ROW PERMIT FROM COLORADO SPRINGS. CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL NECESSARY ROW PERMITS.
 - CONTRACTOR SHALL REFER TO THE APPROVED GEOTECHNICAL REPORT FOR OVEREXCAVATION REQUIREMENTS AND ADDITIONAL INFORMATION.
 - SILT FENCE TO BE INSTALLED PRIOR TO COMMENCEMENT OF ONSITE GRADING AND CONSTRUCTION ACTIVITIES.
 - DEMOLITION, REMOVAL AND SOIL TREATMENT SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER RECOMMENDATIONS AS NOTED IN THE APPROVED PROJECT GEOTECHNICAL REPORT.
 - CONTRACTOR TO NOTE PROXIMITY OF EXISTING IMPROVEMENTS ADJACENT TO THE SITE AND PROVIDE NECESSARY MEASURES TO PROTECT ALL FACILITIES AND STRUCTURES IN PLACE.
 - CONTRACTOR SHALL MAINTAIN STABILIZED STAGING AREA (SSA), VEHICLE TRACKING CONTROL (VTC), AND CONCRETE WASHOUT AREA (CWA) AT THE CONSTRUCTION ENTRANCE AT ALL TIMES. CONTRACTOR SHALL UPDATE THE EROSION CONTROL PLAN IN THE FIELD TO INDICATE THE LOCATION OF THE SSA, VTC, AND CWA BMPs AS EXCAVATION SEQUENCING DICTATES.
 - CONTRACTOR MAY SUBSTITUTE SEDIMENT CONTROL LOGS (SCL) FOR SILT FENCE (SF) AS PERIMETER CONTROL, DEPENDING UPON SITE CONDITIONS. SCL, AND SF MAY BE INTERCHANGED DEPENDING ON SITE CONDITIONS.
 - CONTRACTOR SHALL OBTAIN R.O.W. PERMITS FOR ANY R.O.W. CLOSURES.
 - THE EXISTING VEGETATION CONSISTS OF NATIVE GRASSES. SEE FINAL LANDSCAPING PLAN IN THE SITE DEVELOPMENT PLAN FOR FINAL STABILIZATION MEASURES.

all initial BMPs
KH Response: Note updated.



Initial/Interim
KH Response: Sheet title updated.

TSB #1
 TRIB AREA: 0.58
 VOL REQUIRED: 0.05 AC-FT
 VOL PROVIDED: 0.05 AC-FT
 TOP ELEV: 5709
 BOTTOM ELEV: 5707
 CO ELEV: 5708.66
 RISER ELEV: 5709
 REF. SHEET C2.9

TSB #2
 TRIB AREA: 0.49
 VOL REQUIRED: 0.04 AC-FT
 VOL PROVIDED: 0.04 AC-FT
 TOP ELEV: 5710
 BOTTOM ELEV: 5708
 CO ELEV: 5709.38
 RISER ELEV: 5709.97
 REF. SHEET C2.9

PARCEL CONTAINS
 55,024 SQUARE FEET
 1.283 ACRES

VILLAGE AT LORSON RANCH,
 FILING NO. 1, LOT 1
 CURRENT OWNER(S): CRADLAN LLC

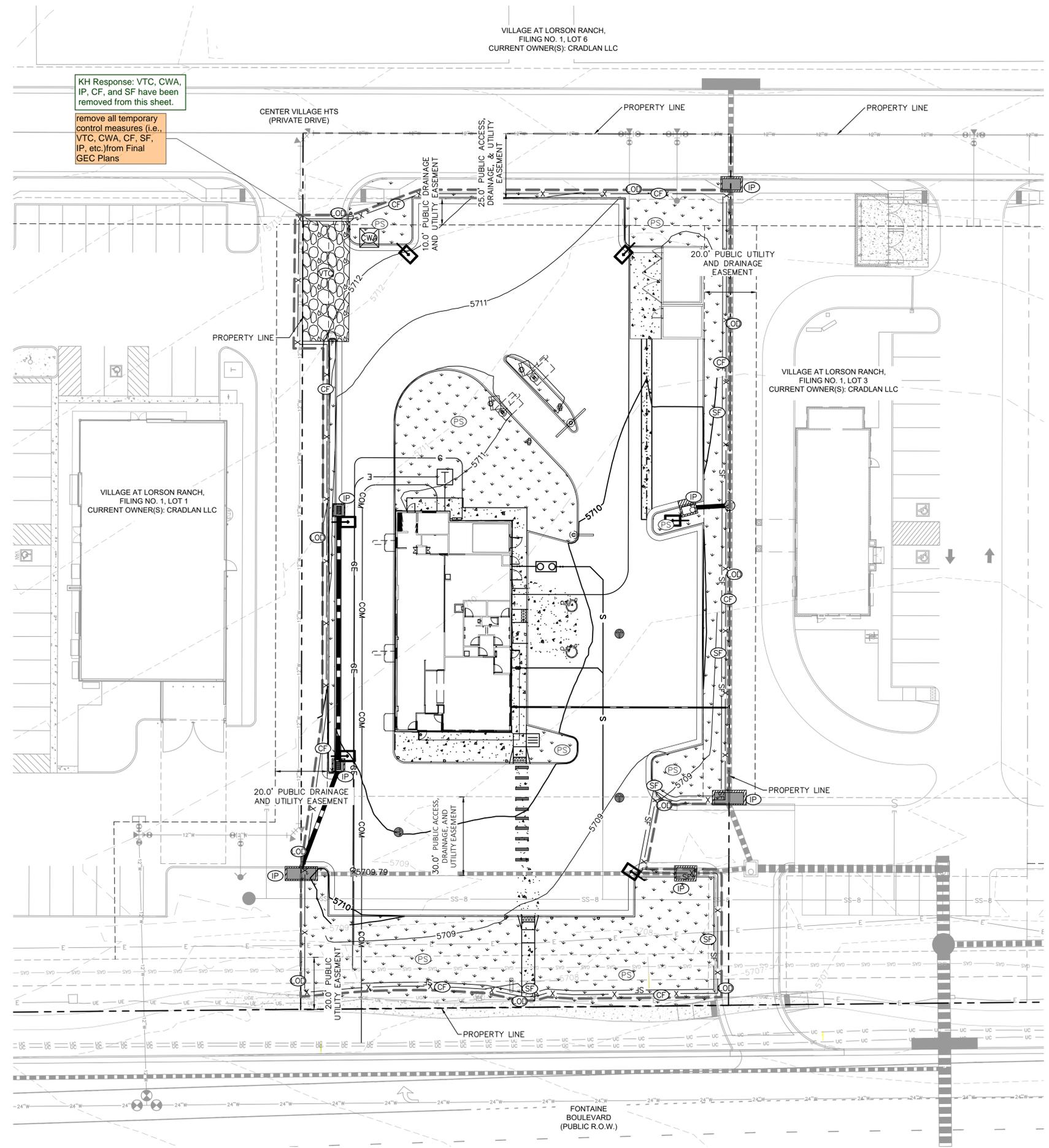
VILLAGE AT LORSON RANCH,
 FILING NO. 1, LOT 6
 CURRENT OWNER(S): CRADLAN LLC

VILLAGE AT LORSON RANCH,
 FILING NO. 1, LOT 3
 CURRENT OWNER(S): CRADLAN LLC

FONTAINE BOULEVARD
 (PUBLIC R.O.W.)

TITLE	CONSTRUCTION DRAWINGS	PREPARED BY:	McDonald's USA, LLC
DESCRIPTION	INITIAL EC	DRAWN BY:	ALS
SITE ID	51028	STD ISSUE DATE	7/30/2024
		REVIEWED BY:	JJM
		DATE ISSUED	7/30/2024
		SITE ADDRESS	9664 FONTAINE BLVD., COLORADO SPRINGS, COLORADO
		REV	DATE
		DESCRIPTION	BY

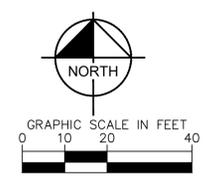




KH Response: VTC, CWA, IP, CF, and SF have been removed from this sheet.
 remove all temporary control measures (i.e., VTC, CWA, CF, SF, IP, etc.) from Final GEC Plans

LEGEND	
---	PROPERTY LINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	LIMITS OF CONSTRUCTION/DISTURBANCE
X X	CONSTRUCTION FENCE
SF	SILT FENCE
---	EASEMENT
---	EXISTING SANITARY SEWER
---	EXISTING WATER LINE
---	EXISTING STORM SEWER PIPE
---	PROPOSED GAS LINE
SSA	STABILIZED STAGING AREA
CWA	CONCRETE WASHOUT
VTC	VEHICLE TRACKING CONTROL
SP	SOIL STOCKPILE
IP	INLET PROTECTION
PS	PERMANENT STABILIZATION. (REFERENCE FINAL LANDSCAPING PLANS)

- NOTES**
1. THE INTENT OF THIS PLAN IS TO IDENTIFY THE EROSION CONTROL PRACTICES RECOMMENDED. THE CONTRACTOR SHALL REFERENCE ADDITIONAL CONSTRUCTION PLANS FOR DEMOLITION OF EXISTING AND CONSTRUCTION OF PROPOSED IMPROVEMENTS.
 2. ADJACENT STREETS AND SIDEWALK SHALL BE KEPT CLEAN AND FREE OF SEDIMENT AND/OR DEBRIS AT ALL TIMES. CONTRACTOR SHALL PERFORM STREET SWEEPING AT ALL TIMES DURING ACTIVE TRACKING AND AT A MINIMUM ON A DAILY BASIS AT THE END OF EACH CONSTRUCTION DAY.
 3. TEMPORARY STABILIZATION (TS) SHALL BE IMPLEMENTED WITHIN THE DISTURBED PORTIONS OF THE PROJECT SITE NO LATER THAN 14 DAYS FOLLOWING THE CEASE OF CONSTRUCTION ACTIVITIES WITHIN THE DISTURBED AREAS.
 4. PERMANENT STABILIZATION (PS) MAY BE USED WITHIN AREAS OF TEMPORARY STABILIZATION (TS) AT THE CONTRACTOR'S DISCRETION. STABILIZATION SHALL BE APPLIED IN ACCORDANCE WITH APPLICABLE TEMPORARY STABILIZATION SEQUENCING REQUIREMENTS.
 5. CONTRACTOR SHALL UTILIZE ROLLED EROSION CONTROL PRODUCTS ON ALL SLOPES 3H:1V OR GREATER TO ACHIEVE REQUIRED STABILIZATION.
 6. CONTRACTOR SHALL MAINTAIN ACCEPTABLE EROSION CONTROL PRACTICES WITHIN THE ANTICIPATED LIMITS OF CONSTRUCTION IDENTIFIED HEREIN. BEST MANAGEMENT PRACTICES AND STABILIZATION SHALL BE COMPLETED AS IDENTIFIED HEREIN IN ACCORDANCE WITH OWNER REQUIREMENTS.
 7. ALL WORK IN THE FONTAINE BOULEVARD ROW REQUIRES A ROW PERMIT FROM COLORADO SPRINGS. CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL NECESSARY ROW PERMITS.
 8. CONTRACTOR SHALL REFER TO THE APPROVED GEOTECHNICAL REPORT FOR OVEREXCAVATION REQUIREMENTS AND ADDITIONAL INFORMATION.
 9. SILT FENCE TO BE INSTALLED PRIOR TO COMMENCEMENT OF ONSITE GRADING AND CONSTRUCTION ACTIVITIES.
 10. DEMOLITION, REMOVAL AND SOIL TREATMENT SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER RECOMMENDATIONS AS NOTED IN THE APPROVED PROJECT GEOTECHNICAL REPORT.
 11. CONTRACTOR TO NOTE PROXIMITY OF EXISTING IMPROVEMENTS ADJACENT TO THE SITE AND PROVIDE NECESSARY MEASURES TO PROTECT ALL FACILITIES AND STRUCTURES IN PLACE.
 12. CONTRACTOR SHALL MAINTAIN STABILIZED STAGING AREA (SSA), VEHICLE TRACKING CONTROL (VTC), AND CONCRETE WASHOUT AREA (CWA) AT THE CONSTRUCTION ENTRANCE AT ALL TIMES. CONTRACTOR SHALL UPDATE THE EROSION CONTROL PLAN IN THE FIELD TO INDICATE THE LOCATION OF THE SSA, VTC, AND CWA BMPS AS EXCAVATION SEQUENCING DICTATES.
 13. CONTRACTOR MAY SUBSTITUTE SEDIMENT CONTROL LOGS (SCL) FOR SILT FENCE (SF) AS PERIMETER CONTROL, DEPENDING UPON SITE CONDITIONS. SCL, AND SF MAY BE INTERCHANGED DEPENDING ON SITE CONDITIONS.
 14. CONTRACTOR SHALL OBTAIN R.O.W. PERMITS FOR ANY R.O.W. CLOSURES.
 15. SEE FINAL LANDSCAPING PLAN IN THE SITE DEVELOPMENT PLAN FOR FINAL STABILIZATION MEASURES.



TITLE	CONSTRUCTION DRAWINGS	DATE	7/30/2024
DESCRIPTION	FINAL EC	DATE ISSUED	7/30/2024
SITE ID	51028	SITE ADDRESS	8664 FONTAINE BLVD., COLORADO SPRINGS, COLORADO
PREPARED BY:	McDonald's USA, LLC	DATE	
REVIEWED BY:	JJM	DATE	
DESIGNED BY:		DATE	
CHECKED BY:		DATE	
APPROVED BY:		DATE	
BY:		DATE	



McDonald's at Fontaine and Marksheffel

STORMWATER MANAGEMENT PLAN (SWMP)
EDARP FILE NO.: EA2467
EPC FILE NO: PPR2427

OCTOBER 2024

Prepared By:

Kimley»»Horn

Preparing Engineer:

Kimley-Horn and Associates, Inc.
2 N Nevada Ave, Suite 900
Colorado Springs, CO 80903
Jessica McCallum, P.E.
719.453.0180

Permittee:

McDonald's USA, LLC
110 N. Carpenter Street
Chicago, IL 60607
Robert Yagusesky
206.348.4374

Stormwater Manager:

(SSA). All earth dikes shall be installed to prevent ponding and riprap shall be grouted. Embankments should be compacted to ninety (90) percent of maximum density.

Terracing (T) is the grading of steep slopes into a series of flat or nearly flat sections to shorten uninterrupted flow lengths on steep slopes to control erosion. Terraces should be graded back to slope at a minimum three (3) percent grade and should be compacted to ninety (90) percent of maximum density.

Rock Socks (RS) are placed upstream of inlets to prevent transport of sediment. Rock socks should be installed in the locations indicated on the GEC Plans. They should be installed at angles along the curb line, typically near inlet protection or access driveways.

Sediment Basins (SB) or Sediment Traps (ST) are ponds designed to capture sediment from eroded or disturbed soil. Due to the disturbed greater than 1-acre, one SB or two ST are required. Two sediment traps are provided – sized/located to capture the entire disturbed area.

2 Sediment Basins are shown on the plans. Revise accordingly

Stockpile Management (SP) is intended to minimize erosion and sediment. All stockpiles shall be protected from stormwater with the use of appropriate BMPs to inhibit soil transport as well as at material storage areas. All stockpiles shall:

KH Response: Temporary sediment traps will be used. GEC plans have been updated.

- Not be located adjacent to a waterway.
- Be stabilized within 14 days after establishment for stockpiles lasting more than 30 days. Stabilization shall include, but not be limited to, surface roughening, seeding, and mulching.
- Not exceed 15 feet in height.
- Utilize earth dikes on all down slope sides of the stockpile.

ADDITIONAL BMP DETAILS

The Permittee is not to affect areas beyond the Limits of Disturbance (LOD) noted on the GEC Plans without the approval of the Inspector, adjacent property owners, and the Engineer of Record. Vehicle Tracking Control (VTC) is provided at each area of construction. Construction traffic shall be limited to these access points. All construction site operators shall control waste such as discarded waste materials, hazardous chemicals (to include but not be limited to, heavy equipment maintenance fluids, motor oil, antifreeze and secondary containment of vehicle fuel), litter, and sanitary waste at the construction site that may cause adverse impacts to water quality. Chemicals, paints, solvents, fertilizers, and other toxic materials must be stored in weatherproof containers. Except during application, the contents must be kept in trucks or within storage facilities. Runoff containing such material must be collected, removed from the site, treated, and disposed at an approved solid waste or chemical disposal facility.

Throughout build-out, the developer shall be responsible for implementing and maintaining Best Management Practices (BMPs) to control erosion and sediment problems on all idle areas of the project.

All persons engaged in earth disturbances shall design, implement, and maintain acceptable soil erosion and sedimentation control measures, in conformance with the erosion and sediment control technical standards adopted by DEN and CCD. All temporary erosion and sediment control facilities, and all permanent facilities intended to control erosion of any earth disturbance operation shall be installed before any earth disturbance operations take place. Any earth disturbances shall be conducted in such a manner so as to effectively control runoff volumes, reduce accelerated soil erosion, sediment movement, and deposition off-site. All earth disturbances shall be completed in such a manner so that the total amount of soil exposed at any given time shall be minimized, and the exposed area of any disturbed land

2024 Financial Assurance Estimate Form (with pre-plat construction)

Updated: 10/2023

PROJECT INFORMATION		
McDonald's Fontaine and Marksheffel	10/1/2024	PPR-24-27
Project Name	Date	PCD File No.

Description	Quantity	Units	Unit Cost		Total	(with Pre-Plat Construction)		
						% Complete	Remaining	
SECTION 1 - GRADING AND EROSION CONTROL (Construction and Permanent BMPs)								
Earthwork								
less than 1,000; \$5,300 min	569.	CY	\$ 8.00	=	\$ 5,300.00		\$ 5,300.00	
1,000-5,000; \$8,000 min		CY	\$ 6.00	=	\$ -		\$ -	
5,001-20,000; \$30,000 min		CY	\$ 5.00	=	\$ -		\$ -	
20,001-50,000; \$100,000 min		CY	\$ 3.50	=	\$ -		\$ -	
50,001-200,000; \$175,000 min		CY	\$ 2.50	=	\$ -		\$ -	
greater than 200,000; \$500,000 min		CY	\$ 2.00	=	\$ -		\$ -	
Permanent Erosion Control Blanket		SY	\$ 9.00	=	\$ -		\$ -	
Permanent Seeding (inc. noxious weed mgmnt.) & Mulching	.28	AC	\$ 2,018.00	=	\$ 573.11		\$ 573.11	
Permanent Pond/BMP (provide engineer's estimate)		EA		=	\$ -		\$ -	
Concrete Washout Basin	1.	EA	\$ 1,172.00	=	\$ 1,172.00		\$ 1,172.00	
Inlet Protection	7.	EA	\$ 217.00	=	\$ 1,519.00		\$ 1,519.00	
Rock Check Dam		EA	\$ 651.00	=	\$ -		\$ -	
Safety Fence	982.34	LF	\$ 3.00	=	\$ 2,947.03		\$ 2,947.03	
Sediment Basin	2.	EA	\$ 2,294.00	=	\$ 4,588.00		\$ 4,588.00	
Sediment Trap		EA	\$ 538.00	=	\$ -		\$ -	
Silt Fence	500.55	LF	\$ 3.00	=	\$ 1,501.65		\$ 1,501.65	
Slope Drain		LF	\$ 43.00	=	\$ -		\$ -	
Straw Bale		EA	\$ 33.00	=	\$ -		\$ -	
Straw Wattle/Rock Sock		LF	\$ 8.00	=	\$ -		\$ -	
Surface Roughening		AC	\$ 269.00	=	\$ -		\$ -	
Temporary Erosion Control Blanket		SY	\$ 3.00	=	\$ -		\$ -	
Temporary Seeding and Mulching		AC	\$ 1,793.00	=	\$ -		\$ -	
Vehicle Tracking Control	1.	EA	\$ 3,085.00	=	\$ 3,085.00		\$ 3,085.00	
[insert items not listed but part of construction plans]				=	\$ -		\$ -	
MAINTENANCE (35% of Construction BMPs)					=	\$ 4,774.24		\$ 4,774.24
Section 1 Subtotal					=	\$ 25,460.04		\$ 25,460.04

* - Subject to defect warranty financial assurance. A minimum of 20% shall be retained until final acceptance (MAXIMUM OF 80% COMPLETE ALLOWED)

SECTION 2 - PUBLIC IMPROVEMENTS *							
ROADWAY IMPROVEMENTS							
Construction Traffic Control		LS		=	\$ -		\$ -
Aggregate Base Course (135 lbs/cf)		Tons	\$ 37.00	=	\$ -		\$ -
Aggregate Base Course (135 lbs/cf)		CY	\$ 66.00	=	\$ -		\$ -
Asphalt Pavement (3" thick)		SY	\$ 18.00	=	\$ -		\$ -
Asphalt Pavement (4" thick)		SY	\$ 25.00	=	\$ -		\$ -
Asphalt Pavement (6" thick)		SY	\$ 38.00	=	\$ -		\$ -
Asphalt Pavement (147 lbs/cf) ___" thick		Tons	\$ 114.00	=	\$ -		\$ -
Raised Median, Paved		SF	\$ 11.00	=	\$ -		\$ -
Regulatory Sign/Advisory Sign		EA	\$ 392.00	=	\$ -		\$ -
Guide/Street Name Sign		EA		=	\$ -		\$ -
Epoxy Pavement Marking		SF	\$ 17.00	=	\$ -		\$ -
Thermoplastic Pavement Marking		SF	\$ 30.00	=	\$ -		\$ -
Barricade - Type 3		EA	\$ 259.00	=	\$ -		\$ -
Delineator - Type I		EA	\$ 31.00	=	\$ -		\$ -
Curb and Gutter, Type A (6" Vertical)		LF	\$ 38.00	=	\$ -		\$ -
Curb and Gutter, Type B (Median)		LF	\$ 38.00	=	\$ -		\$ -
Curb and Gutter, Type C (Ramp)		LF	\$ 38.00	=	\$ -		\$ -
4" Sidewalk (common areas only)		SY	\$ 62.00	=	\$ -		\$ -
5" Sidewalk		SY	\$ 77.00	=	\$ -		\$ -
6" Sidewalk		SY	\$ 94.00	=	\$ -		\$ -
8" Sidewalk		SY	\$ 125.00	=	\$ -		\$ -
Pedestrian Ramp		EA	\$ 1,496.00	=	\$ -		\$ -
Cross Pan, local (8" thick, 6' wide to include return)		LF	\$ 79.00	=	\$ -		\$ -
Cross Pan, collector (9" thick, 8' wide to include return)		LF	\$ 119.00	=	\$ -		\$ -
Curb Opening with Drainage Chase		EA	\$ 1,926.00	=	\$ -		\$ -
Guardrail Type 3 (W-Beam)		LF	\$ 65.00	=	\$ -		\$ -
Guardrail Type 7 (Concrete)		LF	\$ 94.00	=	\$ -		\$ -
Guardrail End Anchorage		EA	\$ 2,731.00	=	\$ -		\$ -
Guardrail Impact Attenuator		EA	\$ 4,902.00	=	\$ -		\$ -
Sound Barrier Fence (CMU block, 6' high)		LF	\$ 102.00	=	\$ -		\$ -
Sound Barrier Fence (panels, 6' high)		LF	\$ 104.00	=	\$ -		\$ -
Electrical Conduit, Size =		LF	\$ 22.00	=	\$ -		\$ -
Traffic Signal, (provide engineer's estimate)		EA		=	\$ -		\$ -

PROJECT INFORMATION

McDonald's Fontaine and Marksheffel

10/1/2024

PPR-24-27

Project Name

Date

PCD File No.

Description	Quantity	Units	Unit Cost	Total	(with Pre-Plat Construction)		
					% Complete	Remaining	
[insert items not listed but part of construction plans]				= \$ -		\$ -	
[insert items not listed but part of construction plans]				= \$ -		\$ -	
STORM DRAIN IMPROVEMENTS							
Concrete Box Culvert (M Standard), Size (W x H)		LF		= \$ -		\$ -	
18" Reinforced Concrete Pipe		LF	\$ 82.00	= \$ -		\$ -	
24" Reinforced Concrete Pipe		LF	\$ 98.00	= \$ -		\$ -	
30" Reinforced Concrete Pipe		LF	\$ 123.00	= \$ -		\$ -	
36" Reinforced Concrete Pipe		LF	\$ 151.00	= \$ -		\$ -	
42" Reinforced Concrete Pipe		LF	\$ 201.00	= \$ -		\$ -	
48" Reinforced Concrete Pipe		LF	\$ 245.00	= \$ -		\$ -	
54" Reinforced Concrete Pipe		LF	\$ 320.00	= \$ -		\$ -	
60" Reinforced Concrete Pipe		LF	\$ 374.00	= \$ -		\$ -	
66" Reinforced Concrete Pipe		LF	\$ 433.00	= \$ -		\$ -	
72" Reinforced Concrete Pipe		LF	\$ 495.00	= \$ -		\$ -	
18" Corrugated Steel Pipe		LF	\$ 105.00	= \$ -		\$ -	
24" Corrugated Steel Pipe		LF	\$ 121.00	= \$ -		\$ -	
30" Corrugated Steel Pipe		LF	\$ 154.00	= \$ -		\$ -	
36" Corrugated Steel Pipe		LF	\$ 184.00	= \$ -		\$ -	
42" Corrugated Steel Pipe		LF	\$ 212.00	= \$ -		\$ -	
48" Corrugated Steel Pipe		LF	\$ 223.00	= \$ -		\$ -	
54" Corrugated Steel Pipe		LF	\$ 327.00	= \$ -		\$ -	
60" Corrugated Steel Pipe		LF	\$ 353.00	= \$ -		\$ -	
66" Corrugated Steel Pipe		LF	\$ 427.00	= \$ -		\$ -	
72" Corrugated Steel Pipe		LF	\$ 502.00	= \$ -		\$ -	
78" Corrugated Steel Pipe		LF	\$ 578.00	= \$ -		\$ -	
84" Corrugated Steel Pipe		LF	\$ 691.00	= \$ -		\$ -	
Flared End Section (FES) RCP Size = (unit cost = 6x pipe unit cost)		EA		= \$ -		\$ -	
Flared End Section (FES) CSP Size = (unit cost = 6x pipe unit cost)		EA		= \$ -		\$ -	
End Treatment- Headwall		EA		= \$ -		\$ -	
End Treatment- Wingwall		EA		= \$ -		\$ -	
End Treatment - Cutoff Wall		EA		= \$ -		\$ -	
Curb Inlet (Type R) L=5', Depth < 5'		EA	\$ 7,212.00	= \$ -		\$ -	
Curb Inlet (Type R) L=5', 5' ≤ Depth < 10'		EA	\$ 9,377.00	= \$ -		\$ -	
Curb Inlet (Type R) L=5', 10' ≤ Depth < 15'		EA	\$ 10,859.00	= \$ -		\$ -	
Curb Inlet (Type R) L=10', Depth < 5'		EA	\$ 9,925.00	= \$ -		\$ -	
Curb Inlet (Type R) L=10', 5' ≤ Depth < 10'		EA	\$ 10,230.00	= \$ -		\$ -	
Curb Inlet (Type R) L=10', 10' ≤ Depth < 15'		EA	\$ 12,805.00	= \$ -		\$ -	
Curb Inlet (Type R) L=15', Depth < 5'		EA	\$ 12,907.00	= \$ -		\$ -	
Curb Inlet (Type R) L=15', 5' ≤ Depth < 10'		EA	\$ 13,835.00	= \$ -		\$ -	
Curb Inlet (Type R) L=15', 10' ≤ Depth < 15'		EA	\$ 15,130.00	= \$ -		\$ -	
Curb Inlet (Type R) L=20', Depth < 5'		EA	\$ 13,755.00	= \$ -		\$ -	
Curb Inlet (Type R) L=20', 5' ≤ Depth < 10'		EA	\$ 15,181.00	= \$ -		\$ -	
Grated Inlet (Type C), Depth < 5'		EA	\$ 6,037.00	= \$ -		\$ -	
Grated Inlet (Type D), Depth < 5'		EA	\$ 7,458.00	= \$ -		\$ -	
Storm Sewer Manhole, Box Base		EA	\$ 15,130.00	= \$ -		\$ -	
Storm Sewer Manhole, Slab Base		EA	\$ 8,322.00	= \$ -		\$ -	
Geotextile (Erosion Control)		SY	\$ 9.00	= \$ -		\$ -	
Rip Rap, d50 size from 6" to 24"		Tons	\$ 104.00	= \$ -		\$ -	
Rip Rap, Grouted		Tons	\$ 124.00	= \$ -		\$ -	
Drainage Channel Construction, Size (W x H)		LF		= \$ -		\$ -	
Drainage Channel Lining, Concrete		CY	\$ 741.00	= \$ -		\$ -	
Drainage Channel Lining, Rip Rap		CY	\$ 145.00	= \$ -		\$ -	
Drainage Channel Lining, Grass		AC	\$ 1,911.00	= \$ -		\$ -	
Drainage Channel Lining, Other Stabilization				= \$ -		\$ -	
[insert items not listed but part of construction plans]				= \$ -		\$ -	
[insert items not listed but part of construction plans]				= \$ -		\$ -	
Section 2 Subtotal				= \$ -		\$ -	

* - Subject to defect warranty financial assurance. A minimum of 20% shall be retained until final acceptance (MAXIMUM OF 80% COMPLETE ALLOWED)

PROJECT INFORMATION

McDonald's Fontaine and Marksheffel	10/1/2024	PPR-24-27
Project Name	Date	PCD File No.

Description	Quantity	Units	Unit Cost	Total	(with Pre-Plat Construction)	
					% Complete	Remaining
SECTION 3 - COMMON DEVELOPMENT IMPROVEMENTS (Private or District and NOT Maintained by EPC)**						
ROADWAY IMPROVEMENTS						
Please include any roadway items (asphalt, base, curb and gutter) that will be constructed in the shared cross access areas on the southern and western portions of the property.				=	\$	-
				=	\$	-
				=	\$	-
				=	\$	-
				=	\$	-
				=	\$	-
STORM DRAIN IMPROVEMENTS (Exception: Permanent Pond/BMP shall be itemized under Section 1)						
Please include 18" RCP crossing shared cross access (CD sheet C1.10)				=	\$	-
				=	\$	-
				=	\$	-
				=	\$	-
				=	\$	-
				=	\$	-
WATER SYSTEM IMPROVEMENTS						
Water Main Pipe (PVC), Size 8"		LF	\$ 84.00	=	\$	-
Water Main Pipe (Ductile Iron), Size 8"		LF	\$ 98.00	=	\$	-
Gate Valves, 8"		EA	\$ 2,418.00	=	\$	-
Fire Hydrant Assembly, w/ all valves		EA	\$ 8,584.00	=	\$	-
Water Service Line Installation, inc. tap and valves		EA	\$ 1,723.00	=	\$	-
Fire Cistern Installation, complete		EA		=	\$	-
				=	\$	-
<i>[insert items not listed but part of construction plans]</i>				=	\$	-
SANITARY SEWER IMPROVEMENTS						
Sewer Main Pipe (PVC), Size 8"		LF	\$ 84.00	=	\$	-
Sanitary Sewer Manhole, Depth < 15 feet		EA	\$ 5,708.00	=	\$	-
Sanitary Service Line Installation, complete		EA	\$ 1,825.00	=	\$	-
Sanitary Sewer Lift Station, complete		EA		=	\$	-
				=	\$	-
<i>[insert items not listed but part of construction plans]</i>				=	\$	-
LANDSCAPING IMPROVEMENTS (For subdivision specific condition of approval, or PUD)						
		EA		=	\$	-
		EA		=	\$	-
		EA		=	\$	-
		EA		=	\$	-
		EA		=	\$	-
		EA		=	\$	-
Section 3 Subtotal				=	\$	-

** - Section 3 is not subject to defect warranty requirements

PROJECT INFORMATION

McDonald's Fontaine and Marksheffel	10/1/2024	PPR-24-27
Project Name	Date	PCD File No.

Description	Quantity	Units	Unit Cost	Total	(with Pre-Plat Construction)	
					% Complete	Remaining
AS-BUILT PLANS (Public Improvements inc. Permanent WQCV BMPs)				= \$ -		\$ -
POND/BMP CERTIFICATION (inc. elevations and volume calculations)		LS		= \$ -		\$ -
Total Construction Financial Assurance					\$	25,460.04
(Sum of all section subtotals plus as-builts and pond/BMP certification)						
Total Remaining Construction Financial Assurance (with Pre-Plat Construction)					\$	25,460.04
(Sum of all section totals less credit for items complete plus as-builts and pond/BMP certification)						
Total Defect Warranty Financial Assurance					\$	1,174.62
(20% of all items identified as (*). To be collateralized at time of preliminary acceptance)						

please include cost for as-built plans

KH Response: Comment to be ignored per correspondence with Bret on 11/12/24.

The Village at Lorson Ranch Filing No. 1 development is providing public infrastructure improvements for the development that include storm sewer, sanitary sewer, and water main extensions to service the McDonald's property and adjacent future commercial lots. McDonald's will propose private water, sanitary, and storm sewer improvements to service the McDonald's lot and will tie into the master development proposed public improvements.

ACCESS TO SITE & TRAFFIC GENERATION

The site is accessed from the master development proposed right-in access only from Fontaine Boulevard and from the future Center Village Heights private drive that connects from Marksheffel Road to Carriage Meadows Drive. The proposed McDonald's completed a traffic letter showing compliance with the master development Village at Lorson Ranch Traffic Impact Study. Please reference the Traffic Impact Study and Traffic Letter for more information on traffic generation and improvements.

Please include a section for required road impact fees.

KH Response: Section added. Road Impact Fee is \$18,813.86.

ALTERNATIVES

There are no alternatives or deviations requested with this McDonald's application.



**McDonald's Fontaine & Marksheffel
Traffic Compliance Letter**

El Paso County, Colorado
El Paso County EDARP File Number: EA2467

Traffic Engineer's Statement

The attached traffic report and supporting information were prepared under my responsible charge and they comport with the standard of care. So far as is consistent with the standard of care, said report was prepared in general conformance with the criteria established by the County for traffic reports.



Jeffrey R. Planck, P.E., PE #53006

July 24, 2024
Date

Developer's Statement

I, the Developer, have read and will comply with all commitments made on my behalf within this report.

DocuSigned by:

ED8303E491EB4EF...

Mr. Robert Yagusesky
McDonald's USA, LLC

7/24/2024
Date



proposed McDonald's project. Trip generation calculations and applicable documents from original traffic study are attached.

Table 1 – Trip Generation Comparison

Use and Size	Daily Vehicle Trips	Weekday Vehicle Trips					
		AM Peak Hour			PM Peak Hour		
		In	Out	Total	In	Out	Total
Original Traffic Study – Village at Lorson Ranch (Same Development Area)							
Fast Food Restaurant with Drive-Through (ITE 934) 3,521 SF	1,646	80	77	157	60	56	116
Current Proposal – McDonald's Fontaine & Marksheffel							
Fast Food Restaurant with Drive-Through (ITE 934) 3,521 SF	1,646	80	77	157	60	56	116
Net Difference in Trips	0	0	0	0	0	0	0
Original Traffic Study – Village at Lorson Ranch (Total Fast-Food Restaurants with Drive-Through)							
Fast Food Restaurant with Drive-Through (ITE 934) 8,170 SF	3,820	186	179	365	140	130	270
Current Proposal – McDonald's Fontaine & Marksheffel							
Fast Food Restaurant with Drive-Through (ITE 934) 3,521 SF	1,646	80	77	157	60	56	116
Net Difference in Trips	-2,174	-106	-102	-208	-80	-74	-154

As summarized in the first section of **Table 1**, the currently proposed McDonald's project is anticipated to generate 1,646 daily weekday trips with 157 trips occurring during the morning peak hour and 116 trips occurring during the afternoon peak hour per current ITE equations and data. Therefore, the proposed McDonald's project is anticipated to generate the same amount of daily, morning peak hour, and afternoon peak hour trips as the use originally studied in the same development area. This identifies that the current proposal is in traffic compliance with the original traffic study for the same development area and land use. The second section of **Table 1** presents a summary of the total trips generated by the three fast-food restaurants with drive-throughs from the original study in comparison to the currently proposed McDonald's project. This indicates that there is reserved capacity for two more fast-food restaurants on site with approximately 208 morning peak hour trips and 154 afternoon peak hour trips still allocated for future fast-food restaurant use.

Please include a section for required road impact fees.

CONCLUSION

In summary, the current proposal for the McDonald's project is expected to generate the same trips previously evaluated for the same area in the original traffic study for the Village at Lorson Ranch. Therefore, the current proposal is in traffic compliance with the *Village at Lorson Ranch Traffic Impact Study*. As such, we believe no further traffic analysis is needed with this proposed project. If you have any questions or require anything further, please feel free to call me.

Road impact fees were provided in the updated traffic compliance letter.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

Jeffrey R. Planck, P.E.
 Project Traffic Engineer

