

MCDONALD’S AT FONTAINE AND MARKSHEFFEL
CONSTRUCTION DOCUMENTS
VILLAGE AT LORSON RANCH FILING NO.1 LOT 2

S $\frac{1}{2}$ OF SE $\frac{1}{4}$ OF SECTION 15, TOWNSHIP 15S, RANGE 65 WEST OF THE
6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



VICINITY MAP
NOT TO SCALE

GRADING AND EROSION CONTROL PLAN	
SHEET NUMBER	SHEET TITLE
C1.0	COVER
C1.1	GENERAL NOTES
C1.2	SITE PLAN
C1.3	SITE PLAN – DETAILS
C1.4	HORIZONTAL CONTROL PLAN
C1.5	LINE AND CURVE TABLES AND PAVEMENT
C1.6	DETAILED GRADING PLAN
C1.7	MCDONALD’S SIGNAGE AND DRIVE THRU PLAN
C1.8	MCDONALD’S SIGNAGE DETAILS
C1.9	STORM SEWER A PLAN & PROFILE
C1.10	STORM SEWER B PLAN & PROFILE
C1.11	STORM SEWER DETAILS
IR1.0	IRRIGATION PLAN
IR1.1	IRRIGATION NOTES
IR1.2	IRRIGATION DETAILS

CONTACTS:

DEVELOPER:
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COLORADO SPRINGS, CO 80903
TEL: (719)–635–3200
CONTACT: JEFF MARK
EMAIL: JMARK@LANDHUISCO.COM

LAND AREA:

55,024 SQ. FT. OR 1.263 ACRES MORE OR LESS

BASIS OF BEARING:

BEARINGS ARE BASED ON THE NORTH LINE OF TRACT D, CARRIAGE MEADOWS NORTH FILING NO. 1, BEARING N89°48’24” E, A DISTANCE OF 699.24 FEET, AS MONUMENTED AT BOTH ENDS BY A FOUND YELLOW PLASTIC CAP STAMPED “FWS PLS 38226”.

BENCHMARK:

ELEVATIONS ARE BASED UPON A FOUND 2” ALUMINUM CAP STAMPED “FARNSWORTH GROUP INC. PLS 38053” ON THE WEST LINE OF TRACT B AS SHOWN AS HEREON (ELEVATION = 5724.52)

LEGAL DESCRIPTION

VILLAGE AT LORSON RANCH FILING NO.1, LOT 2

GENERAL NOTES:

- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE.

FEMA CLASSIFICATION

THE FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 08041C0957G EFFECTIVE DATE DECEMBER 7, 2018, HAS BEEN EXAMINED AS IT RELATES TO THE PROPERTY BEING PLATTED. THE PROPERTY LIES WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD.

NOTICE AND WARNING:

COMPLIANCE WITH THE AMERICANS FOR DISABILITIES ACT (“ADA”) AND OTHER FEDERAL AND STATE ACCESSIBILITY LAWS IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THEREFORE, COMPLIANCE WITH CITY CODES DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. EL PASO COUNTY IS NOT RESPONSIBLE FOR ENFORCEMENT OF THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS.

DESIGN ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

Jessica McCallum
JESSICA MCCALLUM, P.E.# : 59054
12/6/2024
DATE:

OWNER'S/DEVELOPER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

Robert Yaguesky
ROBERT YAGUESKY
MCDONALD'S USA, LLC
11/21/2024
DATE

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JOSHUA PALMER, P.E.
COUNTY ENGINEER / ECM ADMINISTRATOR

DATE

TITLE										PREPARED FOR:										PREPARED BY:										REV										DATE										DESCRIPTION										BY																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
CONSTRUCTION DRAWINGS										DRAWN BY: ALS										STD ISSUE DATE 12/06/2024										REVIEWED BY: JMM										DATE ISSUED 12/06/2024										SITE ADDRESS 9664 FONTAINE BLVD., COLORADO SPRINGS, COLORADO										SITE ID 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DESCRIPTION										MCDONALD'S USA, LLC										These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by the engineer and are for the use of the engineer only. Use of these drawings for reference or example on another project requires the approval of the engineer. Use of the contract documents for reuse on another project is not authorized.										JESSICA JO MCCALLUM, P.E. 59054 12/6/2024										COLORADO LICENSED PROFESSIONAL ENGINEER										Kimley»Horn																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											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ENGINEERING CONSTRUCTION NOTES

1. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. THE LOCATIONS SHOWN ARE FOR BIDDING PURPOSES ONLY. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTORS RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME, IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY. THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
2. CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING: SAFETY OF ALL PERSONS AND PROPERTY, AND THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
4. CONTRACTOR SHALL CONTACT UTILITY NOTIFICATION CENTER FOR THE LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION (1-800-922-1987).
5. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL REQUIRED CONSTRUCTION PERMITS AND BONDS PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
8. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN THE PUBLIC RIGHT-OF-WAY OR EASEMENT SHALL CONFORM TO THE CITY OF COLORADO SPRINGS'S SPECIFICATIONS AND STANDARDS. (LATEST EDITION)
9. CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGGERS, AND ALL OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY IN ACCORDANCE WITH MUTCD CONSTRUCTION AREA TRAFFIC CONTROL.

ENGINEERING DEMOLITION NOTES

1. ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER AND IN STRICT ACCORDANCE WITH OSHA REGULATIONS.
2. ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THIS PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE OWNER AND THE ENGINEER PRIOR TO MAKING ANY CHANGES.
3. THE CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION.
4. WHEN UTILITIES ARE REMOVED, CAP AND SEAL A MINIMUM OF 8" BELOW FINISH GRADE.

ENGINEERING SITE NOTES

1. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
2. CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING GRADE AT ALL TIE IN LOCATIONS.
3. CONTRACTOR SHALL REMOVE PAVEMENT AND CONCRETE IN ACCORDANCE WITH SPECIFICATIONS OF EL PASO COUNTY AND/OR THE COLORADO STATE DEPARTMENT OF TRANSPORTATION.
4. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS AND ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
5. CONTRACTOR SHALL REFER TO BUILDING PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES, TO INCLUDE, SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS, COORDINATE WITH ANY UTILITY COMPANIES FOR APPROVED LOCATIONS AND SCHEDULING OF TIE-INS/CONNECTIONS TO THEIR FACILITIES.
6. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
7. CONTRACTOR TO REMOVE OR RELOCATE, WHEN APPLICABLE, ALL EXISTING BUILDINGS, FOUNDATIONS, BASEMENTS, CONNECTING IMPROVEMENTS, DRAIN PIPES, SANITARY SEWER PIPES, POWER POLES, AND GUY WIRES, WATER METERS AND WATER LINES, WELLS, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, SEPTIC TANKS, AND ASPHALT, SHOWN AND NOT SHOWN, WITHIN CONSTRUCTION LIMITS AND WHERE NEEDED, TO ALLOW FOR NEW CONSTRUCTION AS SHOWN.

ENGINEERING PAVING NOTES

1. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
2. ALL CONCRETE SIDEWALKS SHALL HAVE CONTROL JOINTS CUT ON 5' CENTERS AND EXPANSION JOINTS PLACED ON 20' CENTERS. CONCRETE PAVEMENT JOINTS SHALL BE SPACED AT 12' CENTERS MAXIMUM.
3. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS.
4. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.

ENGINEERING GRADING NOTES

1. CONTOURS ON SIDEWALKS AND PRIVATE/PUBLIC ROADWAYS ARE TO FINISH GRADE.
2. FOR GROUND TREATMENT OF ALL DISTURBED AREAS WITHIN THE PROJECT SITE, REFER TO LANDSCAPE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL RE-GRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND OR OTHER FINAL LANDSCAPE PLANTING IS WELL ESTABLISHED.

ENGINEERING DRAINAGE AND STORM WATER NOTES

1. ON-SITE STORM SEWER SYSTEM HAS BEEN PROVIDED TO MAINTAIN THE EXISTING DRAINAGE PATTERNS.
2. ALL ON-SITE STORM SEWER IS PRIVATE, UNLESS OTHERWISE NOTED.
3. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
4. THE CONTRACTOR SHALL DE-SILT ALL DRAINAGE STRUCTURES AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
5. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER PRIOR TO EXCAVATION.

ENGINEERING GENERAL NOTES FOR CONTRACTOR

THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTIONS TO THE CONTRACTOR BY THE ENGINEER OF THE PLANS.

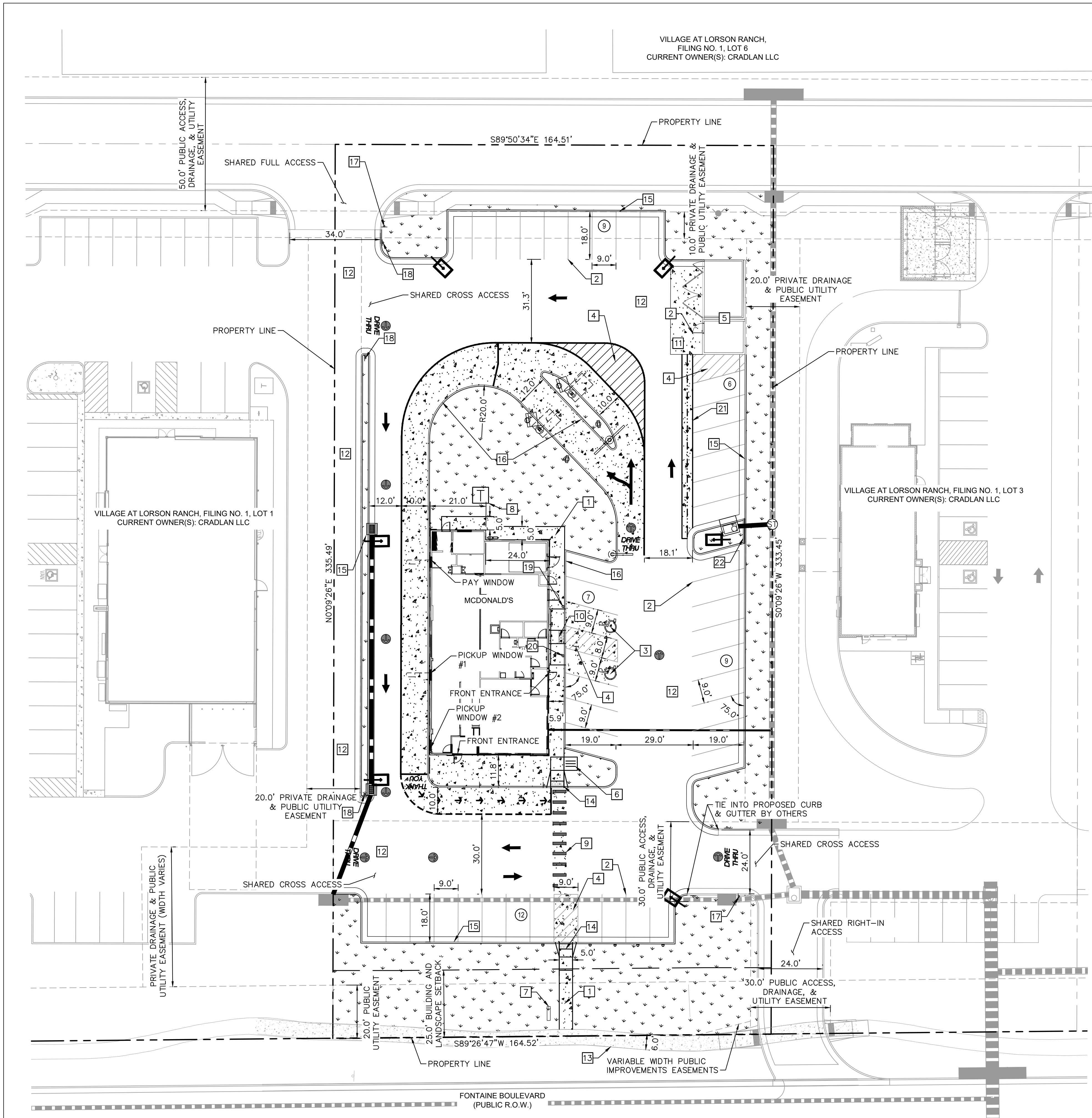
1. THE CITY OR COUNTY ENGINEER'S SIGNATURE ON THESE PLANS DOES NOT CONSTITUTE APPROVAL OF ANY OF THESE NOTES AND THE CITY WILL NOT BE HELD RESPONSIBLE FOR THEIR ENFORCEMENT.
2. APPROVAL OF THESE PLANS BY THE CITY/COUNTY DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
3. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY EL PASO COUNTY DOES NOT AUTHORIZE THE SUBDIVIDER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
4. NEITHER THE OWNER, NOR THE ENGINEER OF WORK WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
5. CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING: SAFETY OF ALL PERSONS AND PROPERTY, AND THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT ALL SLOPES, STREETS, UTILITIES, AND STORM SEWERS ARE BUILT IN ACCORDANCE WITH THESE PLANS. IF THERE IS ANY QUESTION REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING THE ENGINEER OF WORK AT 719-453-0180. THE CONTRACTOR SHALL ALSO TAKE THE NECESSARY STEPS TO PROTECT THE PROJECT AND ADJACENT PROPERTY FROM ANY EROSION AND SILTATION THAT RESULT FROM HIS OPERATIONS BY APPROPRIATE MEANS (SAND BAGS, TEMPORARY DESILTING BASINS, DIKES, SHORING, ETC.) UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND ACCEPTED FOR MAINTENANCE BY WHATEVER OWNER, AGENCY, OR ASSOCIATION IS TO BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE.
7. EXCEPT AS NOTED HEREON ALL UTILITY SERVICES WITHIN THIS DEVELOPMENT ARE UNDERGROUND INSTALLATIONS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO STARTING WORK NEAR THEIR FACILITIES, AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES. FOR UTILITY MARK-OUT SERVICE, CALL 811.
8. THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO OTHER EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS. ALL DAMAGES THERE TO CAUSED BY THE CONTRACTOR SHALL BE REPAIRED TO THE APPROPRIATE SPECIFICATIONS AND STANDARDS AT THE EXPENSE OF THE CONTRACTOR.
9. LOCATION AND ELEVATION OF EXISTING IMPROVEMENTS SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK.
10. CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
11. FOR ALL UTILITY TRENCHES, SOILS REPORTS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY A QUALIFIED SOILS ENGINEER WHICH CERTIFY THAT TRENCH BACKFILL WAS COMPACTED AS DIRECTED BY THE SOILS ENGINEER IN ACCORDANCE WITH THE ON-SITE EARTHWORK SPECIFICATIONS.
12. ANY WORK DONE WITHOUT INSPECTION OR MATERIALS TESTING IS SUBJECT TO REMOVAL OR CORRECTION.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY DAMAGE TO THE EXISTING IMPROVEMENTS AND REPLACEMENT TO THE SATISFACTION OF THE FIELD ENGINEER.
14. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL JOIN CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES, INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.

15. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE PLANS, THE SOILS AND/OR GEOLOGY REPORTS, AND THE SITE CONDITIONS PRIOR TO COMMENCING WORK.
16. SHOULD CONFLICTING INFORMATION BE FOUND ON THE PLANS OR IN THE FIELD, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AT KIMLEY-HORN BEFORE PROCEEDING WITH THE WORK IN QUESTION.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE EL PASO COUNTY FIELD SURVEY SECTION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
18. DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS THE COUNTY ENGINEER APPROVES A CONSTRUCTION CHANGE OR THE COUNTY/AGENCY INSPECTOR REQUIRES THE CHANGE.
19. AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO ACCEPTANCE OF THIS PROJECT.
20. THE AREA WHICH IS DEFINED AS A NON-GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY/COUNTY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT OR COLORADO DIVISION OF WILDLIFE. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
21. NOTES AND DETAILS DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
22. IF AT ANY TIME DURING THE GRADING OPERATION, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED GRADING IN THAT AREA SHALL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
23. STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS. THE CONTRACTOR SHALL TAKE ADDITIONAL CARE TO ENSURE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE WHILE MEETING MINIMUM AND MAXIMUM PAVEMENT SLOPES AS DEFINED IN THE CRITERIA.
24. ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
25. DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
26. CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN IN THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR.
27. ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
28. SPOT GRADES ARE TO FLOWLINE OR FINISH PAVEMENT GRADE UNLESS OTHERWISE NOTED.
29. CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
30. WATER SHALL BE PROVIDED ONSITE AND USED TO CONTROL DUST DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
31. STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE DURING INTERIM CONDITIONS OF CONSTRUCTION.
32. RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.

SIGNING AND STRIPING NOTES

1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON STANDARDIZED TRAFFIC CONTROL DEVICES (MUTCD).
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
7. ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 35 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 12" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS". SIGNAL POLE MOUNTED AND OVERHEAD STREET NAME SIGNS SHALL BE PER MUTCD SIZE STANDARDS.
8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 24" WIDE AND A MINIMUM OF 9' LONG.
12. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE.
13. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15 MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
14. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
15. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

[illegible]



LEGEND

- PROPERTY LINE
- SETBACK
- EASEMENTS
- PROPOSED CONCRETE
- PROPOSED LANDSCAPING
- EXISTING SIDEWALK
- PROPOSED PARKING COUNT

ADA SIGNS TO BE IN ACCORDANCE WITH ADA STANDARDS.

PAINT STANDARD HANDICAPPED SYMBOL

ONE SPACE ADJACENT TO UNLOADING AREA TO BE DESIGNATED "VAN ACCESSIBLE SPACE" ON SIGNAGE. SEE SITE PLAN.

4" SOLID WHITE PAINTED STRIPES AT 2' O.C. (TYP.)

- NOTES:
- DIMENSIONS MAY VARY. REFER TO SITE PLAN (SHEET C1.2).
 - SIGNAGE AND MARKINGS TO BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.

ACCESSIBLE PARKING DETAIL
NOT TO SCALE

GENERAL NOTES

- ALL SIGNS ARE REVIEWED UNDER SEPARATE PERMIT

KEY NOTES

- PROPOSED CONCRETE SIDEWALK PER CDOT STANDARD DRAWING M-609-1 (WIDTH PER PLAN)
- PROPOSED 4" WIDE PARKING STRIPE (TYP.)
- PROPOSED ADA SYMBOL (PER DETAILS THIS SHEET & SHEET C1.3)
- PROPOSED 4" WIDE DIAGONAL PAVEMENT MARKINGS AT 36" ON CENTER
- DUMPSTER ENCLOSURE AND SHED.
- PROPOSED BIKE PARKING
- PROPOSED MONUMENT SIGN, PER SEPARATE PERMIT
- PROPOSED TRANSFORMER
- PEDESTRIAN CROSSWALK, REF. SHEET C1.3 FOR DETAIL
- PROPOSED PARALLEL CURB RAMP PER EL PASO COUNTY SD_2-50 W/DETECTABLE WARNING PER EL PASO COUNTY SD_2-42
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- EXISTING CONCRETE SIDEWALK
- PROPOSED PERPENDICULAR CURB RAMP PER EL PASO COUNTY SD_2-40&41 WITH DETECTABLE WARNING PER EL PASO COUNTY STANDARD SD_2-42
- PROPOSED TYPE A CURB AND GUTTER PER EL PASO COUNTY SD_2-20
- PROPOSED 6" CURB HEAD
- PROPOSED R1-1 STOP SIGN, REF. SHEET C1.3 FOR DETAIL
- PROPOSED R5-1 DO NOT ENTER SIGN, REF. SHEET C1.3 FOR DETAIL
- PROPOSED VAN ADA PARKING SIGN, REF. SHEET C1.3 FOR DETAIL
- PROPOSED ADA PARKING SIGN, REF. SHEET C1.3 FOR DETAIL
- PROPOSED 4' WIDE CDOT V-GUTTER TYPE 2 PER CDOT STD. PLAN NO. M-609-1
- PROPOSED CURB CHASE PER EL PASO COUNTY SD_3-25 AND SD_3-25A

TITLE	CONSTRUCTION DRAWINGS	DRAWN BY	ALS	STD ISSUE DATE	12/06/2024	REVIEWED BY	JJM	DATE ISSUED	12/06/2024	SITE ADDRESS	8664 FONTAINE BLVD., COLORADO SPRINGS, COLORADO	51028	DESCRIPTION	SITE PLAN	REV	DATE	BY
													C1.2				

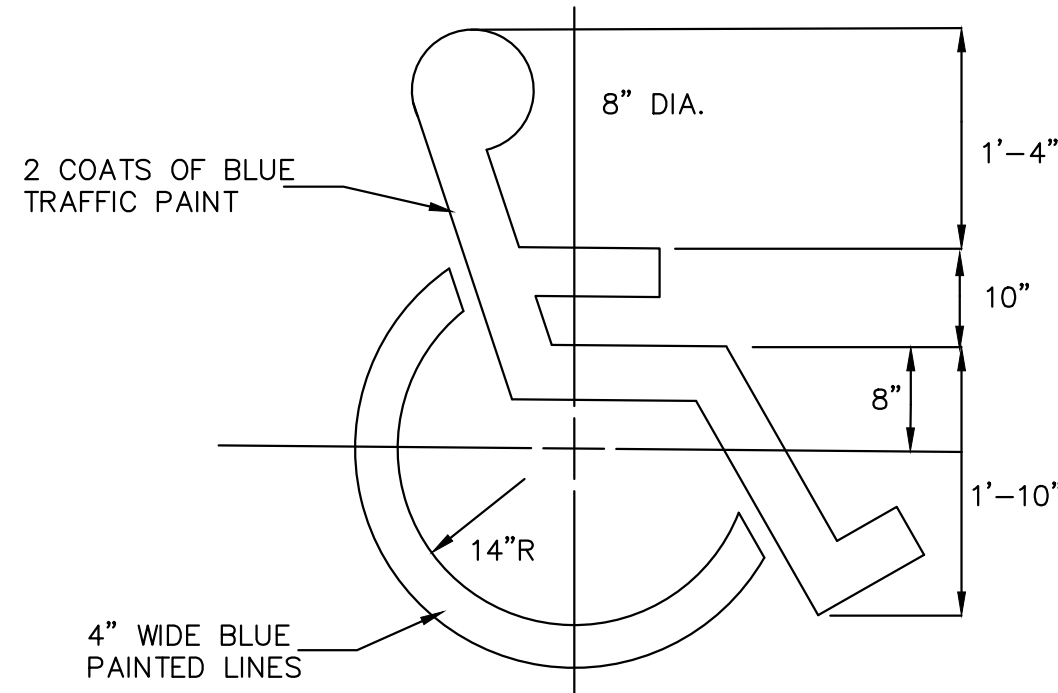
McDonald's USA, LLC

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Kimley»Horn

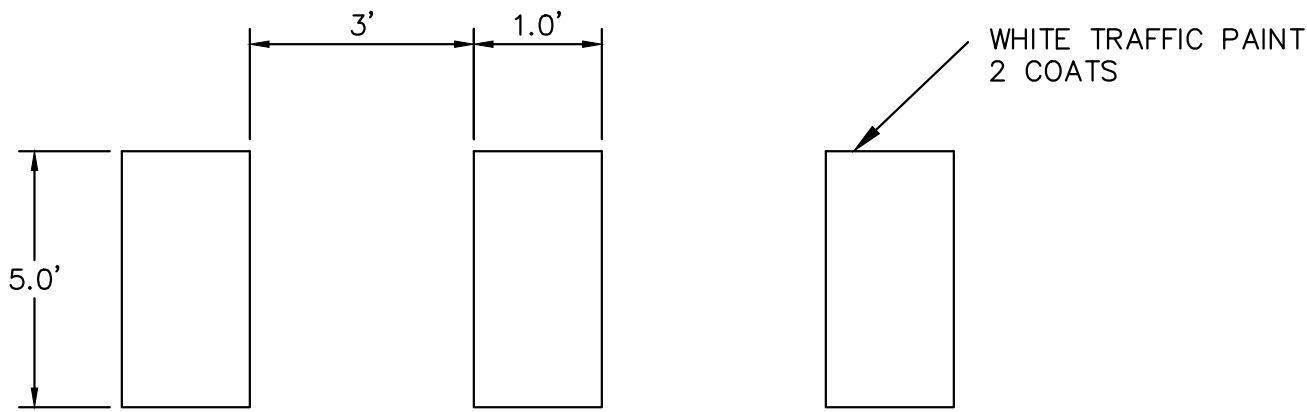
PROFESSIONAL ENGINEER

12/6/2024



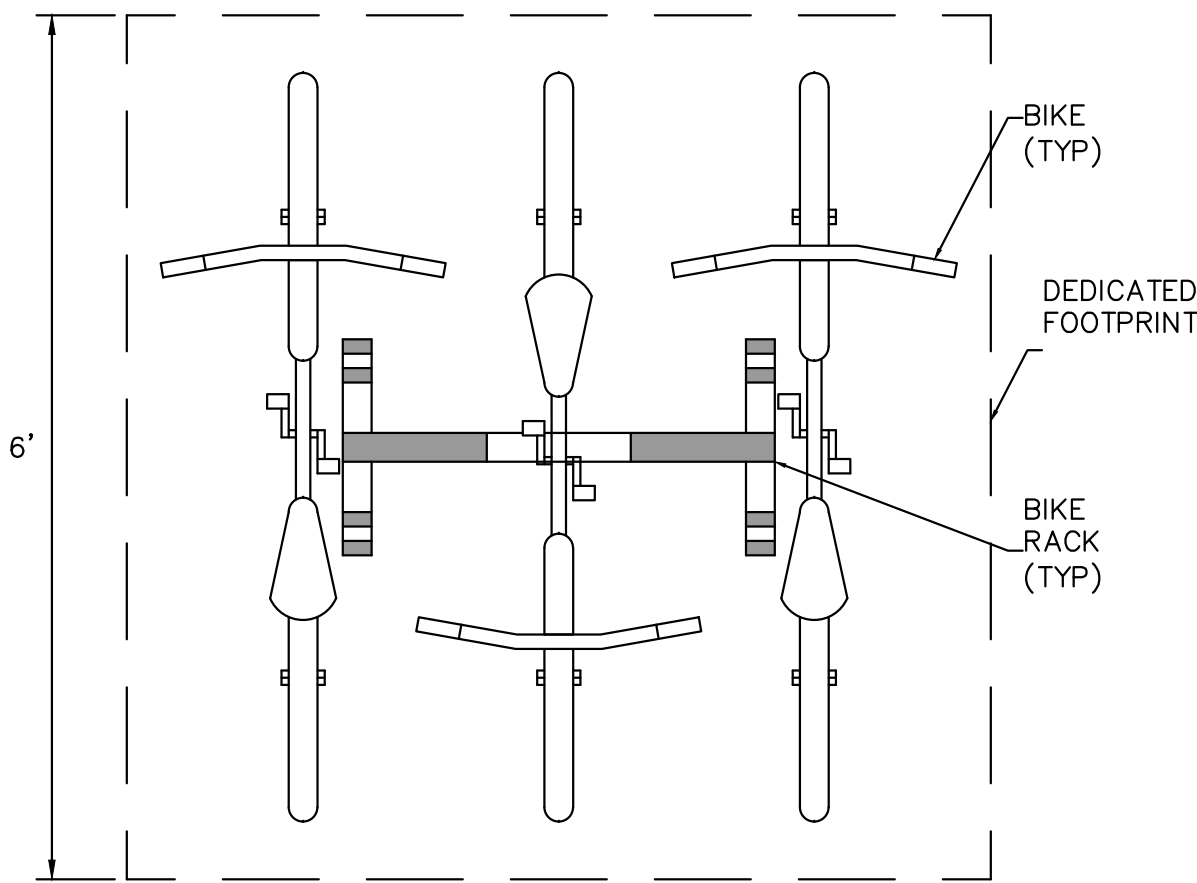
HANDICAP SYMBOL

NOT TO SCALE



PRIVATE SITE CROSSWALK DETAIL

NOT TO SCALE



PLAN VIEW:

DEDICATED FOOTPRINT FOR 3 BIKE RACK

NOT TO SCALE



STANDARD RED AND WHITE SIGN
R5-1 30"x30"

MUTCD R5-1 DO NOT ENTER SIGN DETAIL

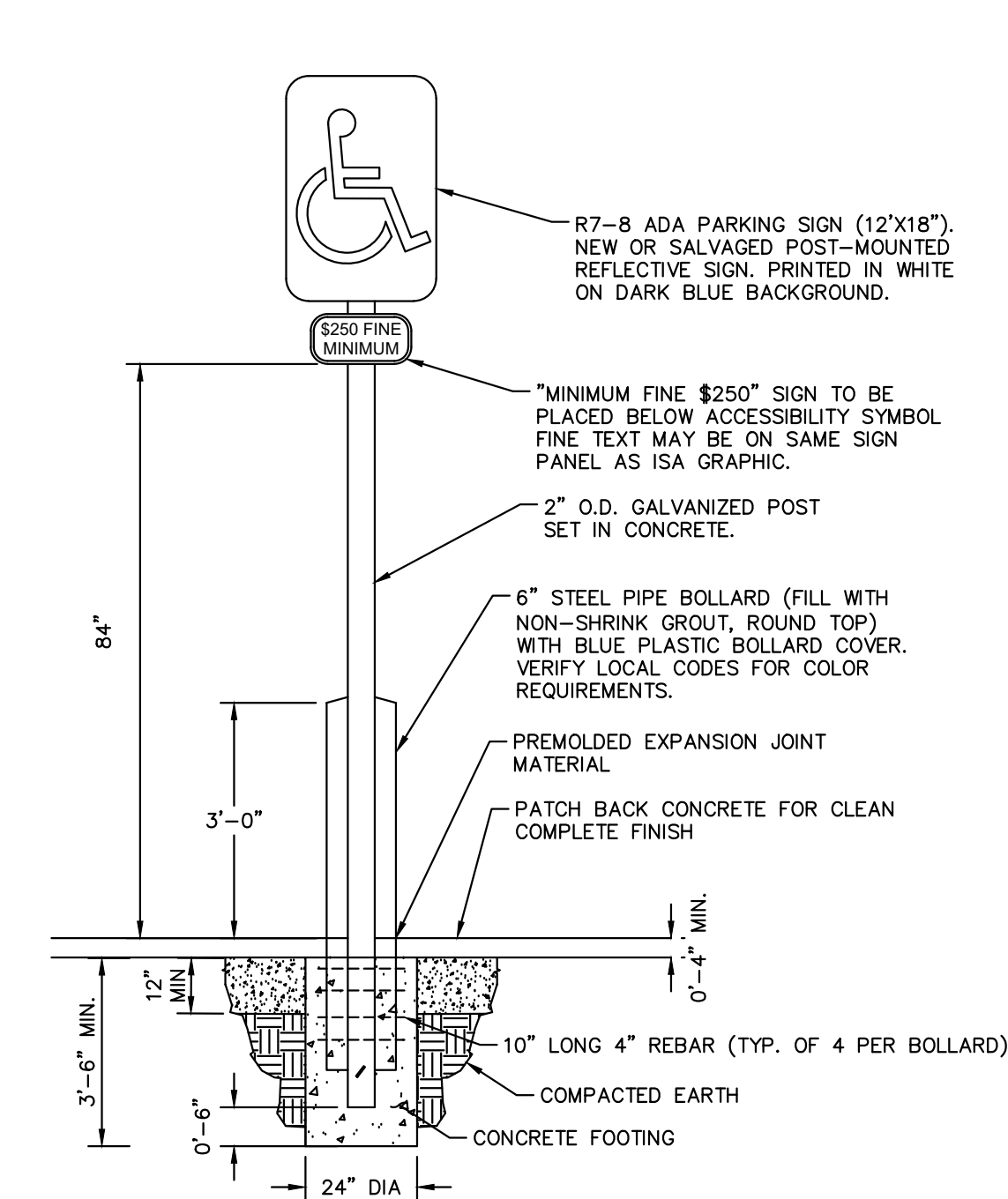
NOT TO SCALE



30"x30"
MINIMUM SIZE
BACKGROUND
4090 (3M-WHITE DIAMOND GRADE) OR EQUIVALENT
FOREGROUND
1172 C (3M-RED EC FILM) OR EQUIVALENT

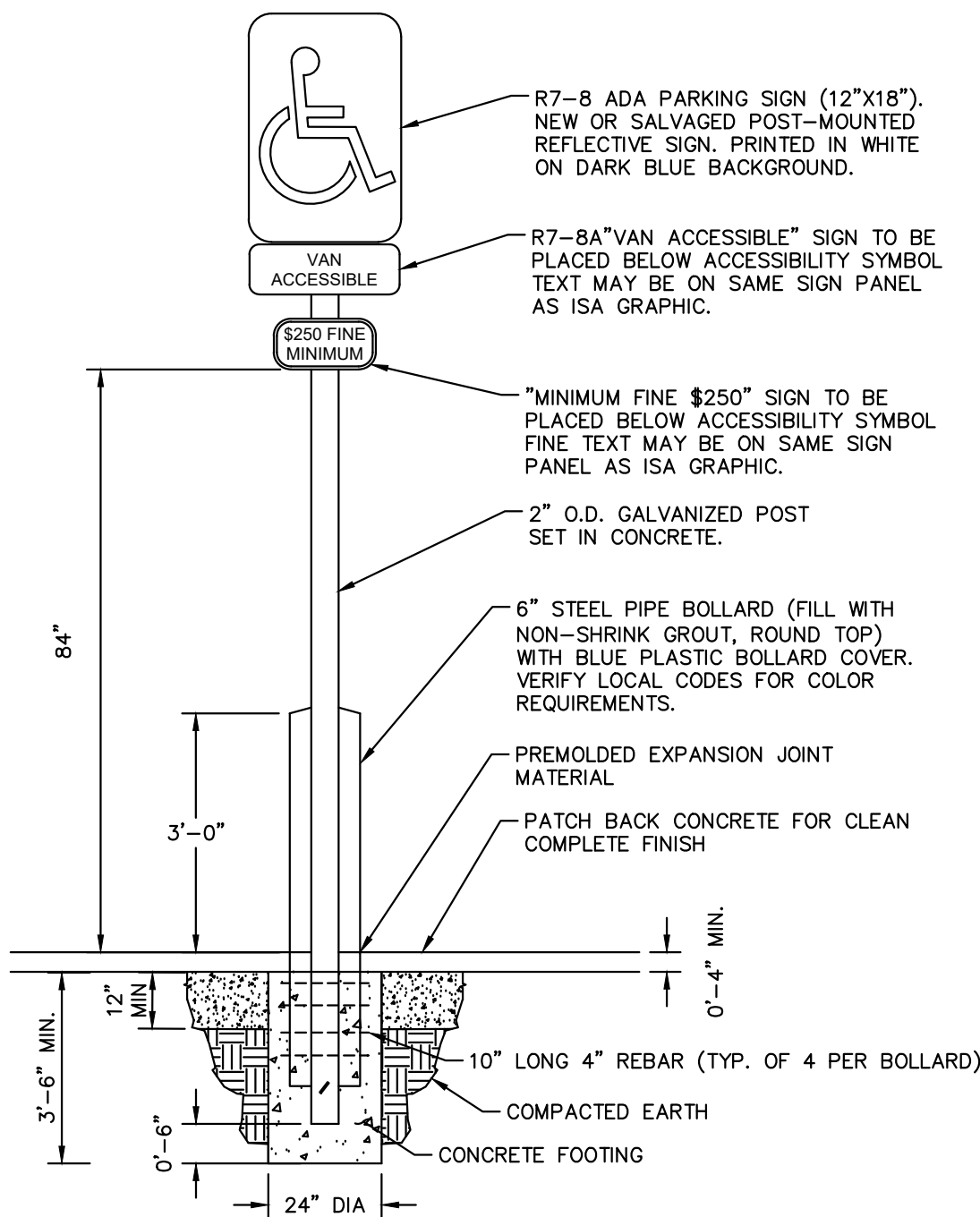
MUTCD R1-1 STOP SIGN DETAIL

NOT TO SCALE



ADA PARKING AND BOLLARD SIGN DETAIL

NOT TO SCALE



ADA VAN ACCESSIBLE PARKING AND BOLLARD SIGN DETAIL

NOT TO SCALE

C1.3													
TITLE		DRAWN BY ALS		PREPARED BY: JESSICA JO MCCONNELL 159054 12/6/2024 PROFESSIONAL ENGINEER		Kimley»Horn		REV		DATE		DESCRIPTION	
CONSTRUCTION DRAWINGS		STD ISSUE DATE 12/06/2024											
DESCRIPTION		REVIEWED BY JMM											
SITE PLAN - DETAILS		DATE ISSUED 12/06/2024											
SITE ID 51028		SITE ADDRESS 9664 FONTAINE BLVD, COLORADO SPRINGS, COLORADO											
McDonald's USA, LLC				These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by McDonald's USA, LLC and shall not be used for any other project. Use of these drawings for reference or example on another project requires the approval of McDonald's USA, LLC. The contract documents for the project are the contract documents for reuse on another project is not authorized.									



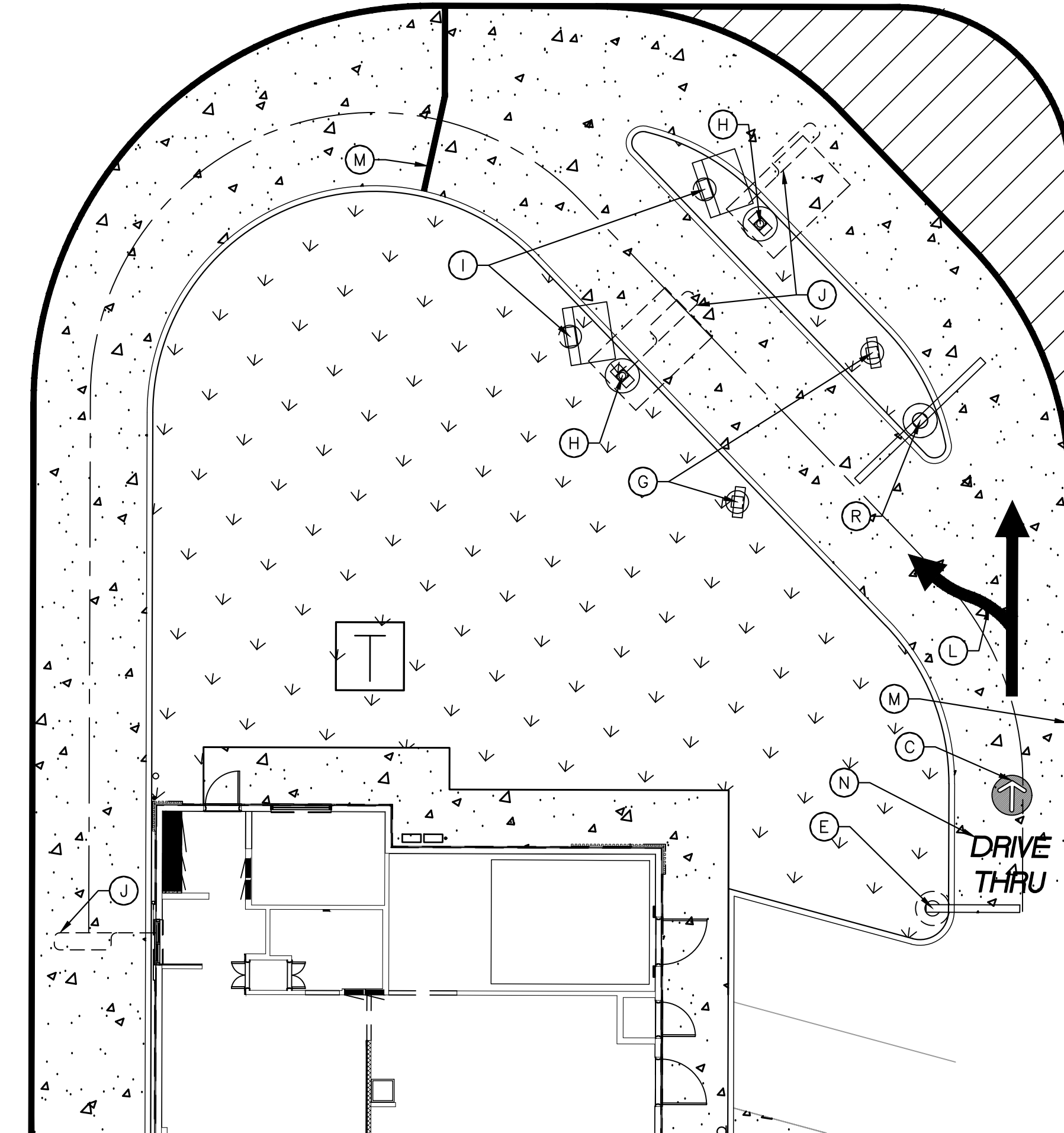
C1.5

LINE TABLE		
LINE	LENGTH	BEARING
L1	13.31	S0°09'26.31"W
L2	117.00	N89°50'33.69"W
L3	15.29	N0°09'26.31"E
L4	7.90	N89°48'39.96"W
L5	6.12	S0°09'26.31"W
L6	17.89	S75°09'26.31"W
L7	83.86	S0°09'26.31"W
L8	16.28	N75°09'26.31"E
L9	3.11	S0°09'26.31"W
L10	17.89	S75°09'26.31"W
L11	61.57	S0°09'26.31"W
L12	12.18	N89°50'01.70"W
L13	15.50	N0°09'58.30"E
L14	511.53	N89°50'33.69"W
L15	14.97	S0°09'58.30"W
L16	17.50	N89°55'09.44"W
L17	5.92	N0°00'26.03"E
L18	1.21	N90°00'00.00"W
L19	164.74	N0°08'29.29"E
L20	1.25	S89°50'33.69"E
L21	164.74	S0°09'26.43"W
L22	70.19	N0°10'37.70"E
L23	61.27	N89°50'33.69"W
L24	2.63	S0°00'00.00"E
L25	17.89	S74°50'33.69"E
L26	73.50	S0°09'26.31"W
L27	16.13	N74°50'33.69"W
L28	11.21	S0°10'37.70"W
L29	44.60	S43°49'22.30"E
L30	16.48	S43°49'22.30"E
L31	36.98	N43°49'22.30"W

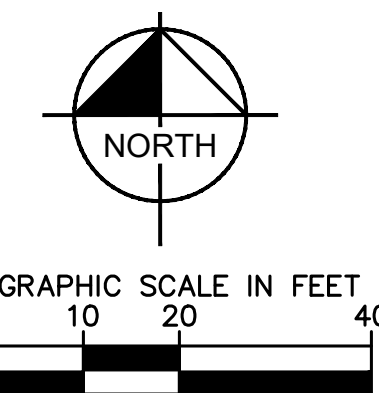
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	5.00'	7.84'	S45°04'43"W	7.06'	89°50'34"	4.99'
C2	3.00'	4.71'	N44°49'37"W	4.24'	89°58'06"	3.00'
C3	10.00'	15.74'	S44°55'17"E	14.16'	90°09'26"	10.03'
C4	3.00'	3.93'	S37°39'26"W	3.65'	75°00'00"	2.30'
C5	3.00'	5.50'	S52°20'34"E	4.76'	105°00'00"	3.91'
C6	3.00'	3.93'	S37°39'26"W	3.65'	75°00'00"	2.30'
C7	3.00'	4.71'	N44°50'02"W	4.24'	90°00'00"	3.00'
C8	3.00'	4.71'	S45°09'58"W	4.24'	90°00'00"	3.00'
C9	5.00'	7.85'	N44°50'18"W	7.07'	89°59'28"	5.00'
C10	1.00'	1.57'	N44°55'45"W	1.42'	90°08'29"	1.00'
C11	1.00'	1.57'	N45°08'58"E	1.41'	90°00'57"	1.00'
C12	1.00'	1.57'	S44°50'34"E	1.41'	90°00'00"	1.00'
C13	1.00'	1.57'	S45°04'43"W	1.41'	89°50'34"	1.00'
C14	5.00'	7.85'	N44°51'02"W	7.07'	89°59'03"	5.00'
C15	5.00'	7.87'	S45°04'43"W	7.08'	90°09'26"	5.01'
C16	3.00'	3.92'	S37°25'17"E	3.65'	74°50'34"	2.30'
C17	3.00'	5.50'	S52°40'02"W	4.76'	104°58'49"	3.91'
C18	20.50'	15.74'	S21°49'22"E	15.36'	44°00'00"	8.28'
C19	20.00'	47.47'	N68°10'38"E	37.09'	136°00'00"	49.50'
C20	1.50'	3.86'	N29°51'31"E	2.88'	147°21'47"	5.12'
C21	20.50'	11.68'	S60°08'29"E	11.52'	32°38'13"	6.00'
C22	20.50'	11.68'	S27°30'16"E	11.52'	32°38'13"	6.00'
C23	1.50'	3.86'	S62°29'44"W	2.88'	147°21'47"	5.12'

Traffic Area	Asphalt (inches)	Untreated Base Course (inches)
Light traffic and parking Areas (31.75 kN Wheel Loads)	3	6
Medium traffic (40.82 kN Wheel Loads)	4	6

[illegible]



- (A) MONUMENT SIGN (PER SEPARATE SIGN PACKAGE)
- (B) DIRECTIONAL SIGN
- (C) MCDONALD'S STANDARD TRAFFIC ARROW, REFERENCE SHEET C1.8 FOR DETAIL
- (D) DIRECTIONAL ARROW, WHITE, REFERENCE SHEET C1.8 FOR DETAIL
- (E) SINGLE GATEWAY ARM
- (F) THANK YOU TEXT STRIPING, REFERENCE SHEET C1.8 FOR DETAIL
- (G) PRE-SELL BOARD
- (H) DRIVE-THRU CANOPY WITH BUILT IN COD
- (I) DIGITAL MENU BOARD
- (J) LOOP DETECTOR
- (L) MCDONALD'S DRIVE-THRU ARROW, REFERENCE SHEET C1.8 FOR DETAIL
- (M) PMS 123 YELLOW EPOXY 6" WIDE DRIVE-THRU LANE STRIPING
- (N) DRIVE THRU TEXT STRIPING, REFERENCE SHEET C1.8 FOR DETAIL
- (O) PMS 123 YELLOW EPOXY 8" WIDE DRIVE-THRU LANE STRIPING
- (P) MOBILE ORDER PICK-UP SIGN
- (Q) MCDelivery SIGN
- (R) DOUBLE GATEWAY ARM

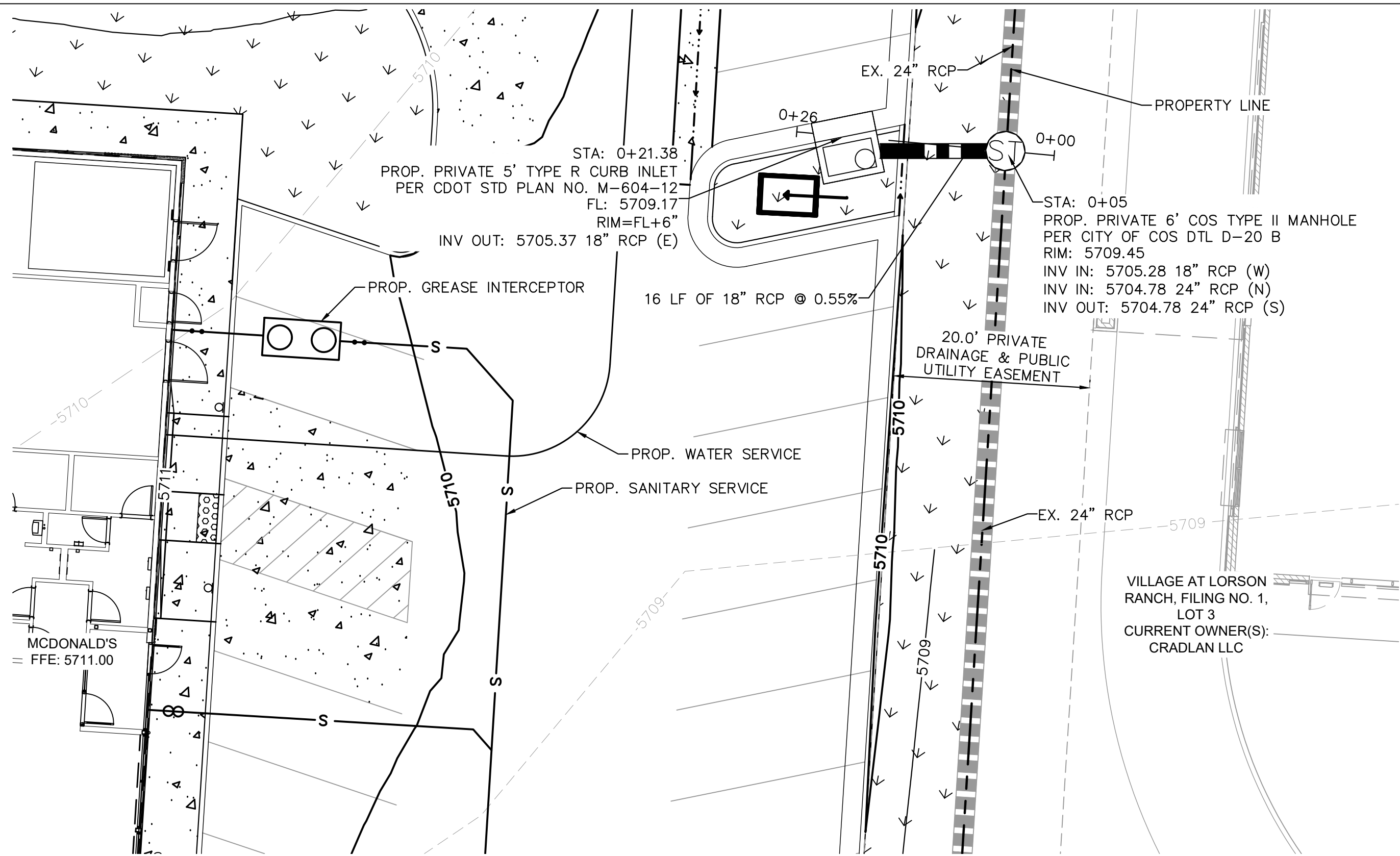


- ①A ROLL FORWARD PICK UP SIGN
- ②A ROLL FORWARD PULL AHEAD SIGN
- ③A ROLL FORWARD LEFT TURN SIGN
- ④ ROLL FORWARD DIRECTIONAL ARROW PAVEMENT STRIPING, YELLOW,
REFERENCE DETAIL ON SHEET C1.8

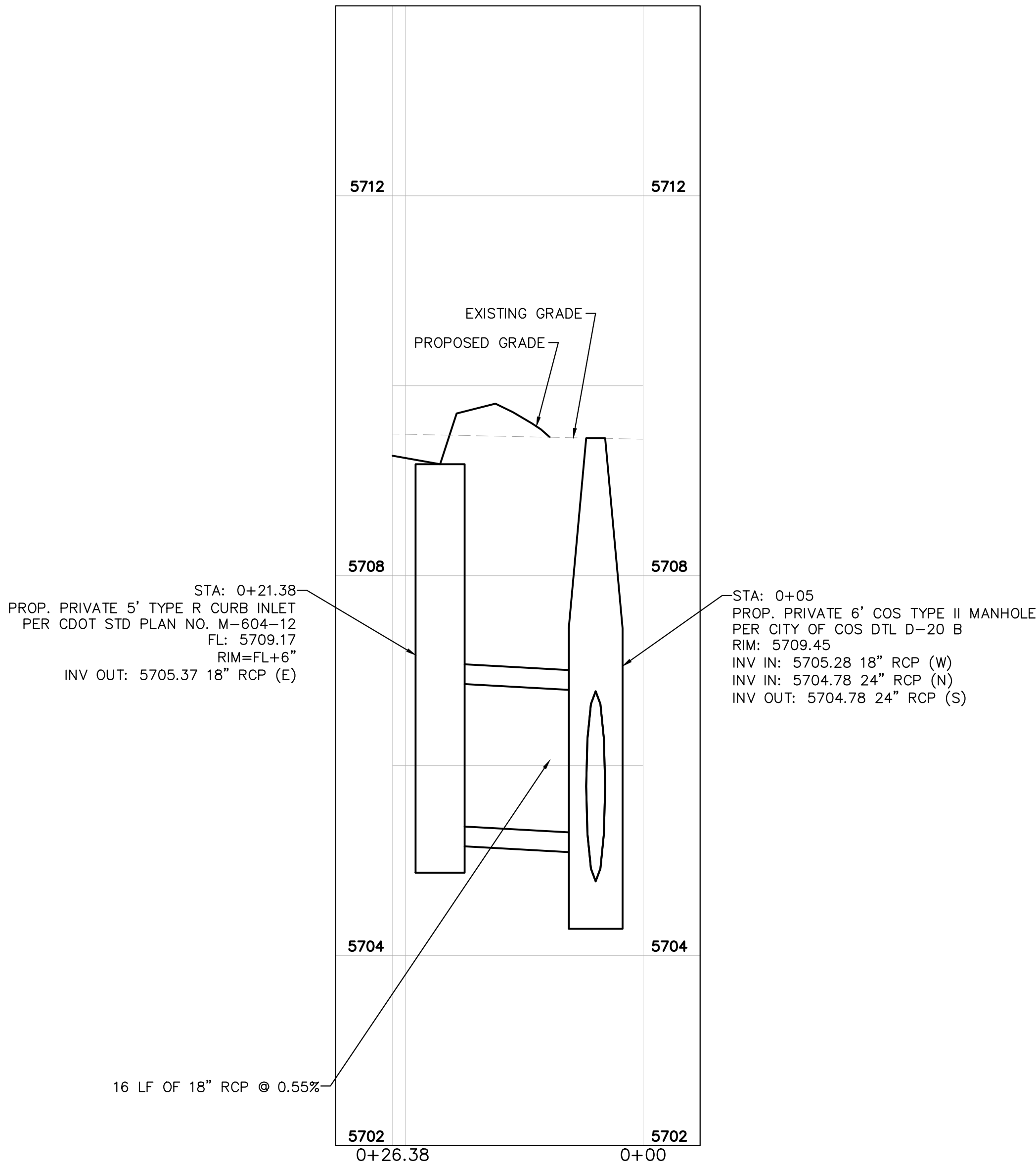
TITLE	DRAWN BY ALS	PREPARED FOR: McDonald's USA, LLC	PROFESSOR OF ENGINEERING	Kimley»Horn	REV	DATE	DESCRIPTION	BY
CONSTRUCTION DRAWINGS	STD ISSUE DATE 12/06/2024	REVIEWED BY JMM	DATE ISSUED 12/06/2024					
DESCRIPTION	MCDONALD'S SIGNAGE AND DRIVE THRU PLAN							
SITE ID	SITE ADDRESS 9864 FONTAINE BLVD., COLORADO SPRINGS, COLORADO 51028							



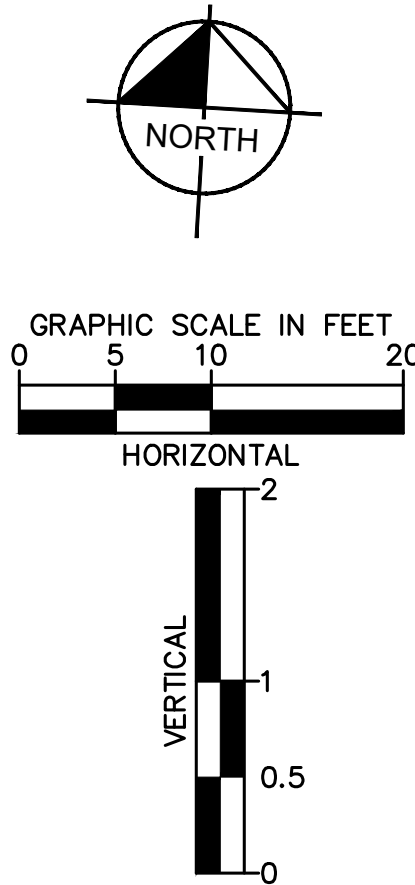
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STORM SEWER A - PLAN VIEW



STORM SEWER A - PROFILE VIEW



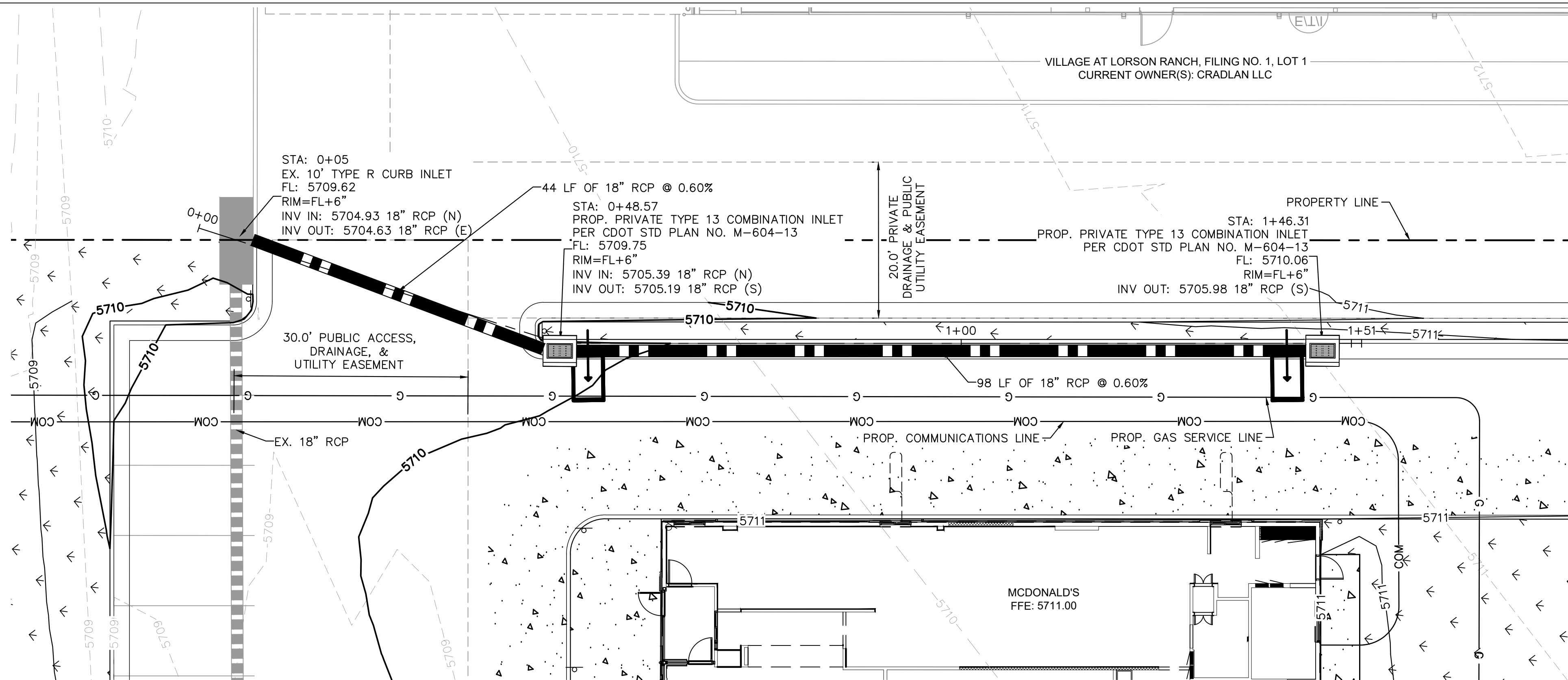
LEGEND

- PROPERTY LINE
- SETBACKS
- PROPOSED EASEMENTS
- EXISTING EASEMENTS
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED LANDSCAPING
- PROPOSED CONCRETE
- PROPOSED CURB AND GUTTER
- EXISTING STORM SEWER
- EXISTING STORM INLET
- PROPOSED STORM SEWER
- PROPOSED STORM INLET
- PROPOSED STORM MANHOLE
- PROPOSED ELECTRIC LINE
- PROPOSED GAS LINE
- PROPOSED COMMUNICATIONS LINE
- PROPOSED SANITARY LINE
- PROPOSED WATER LINE

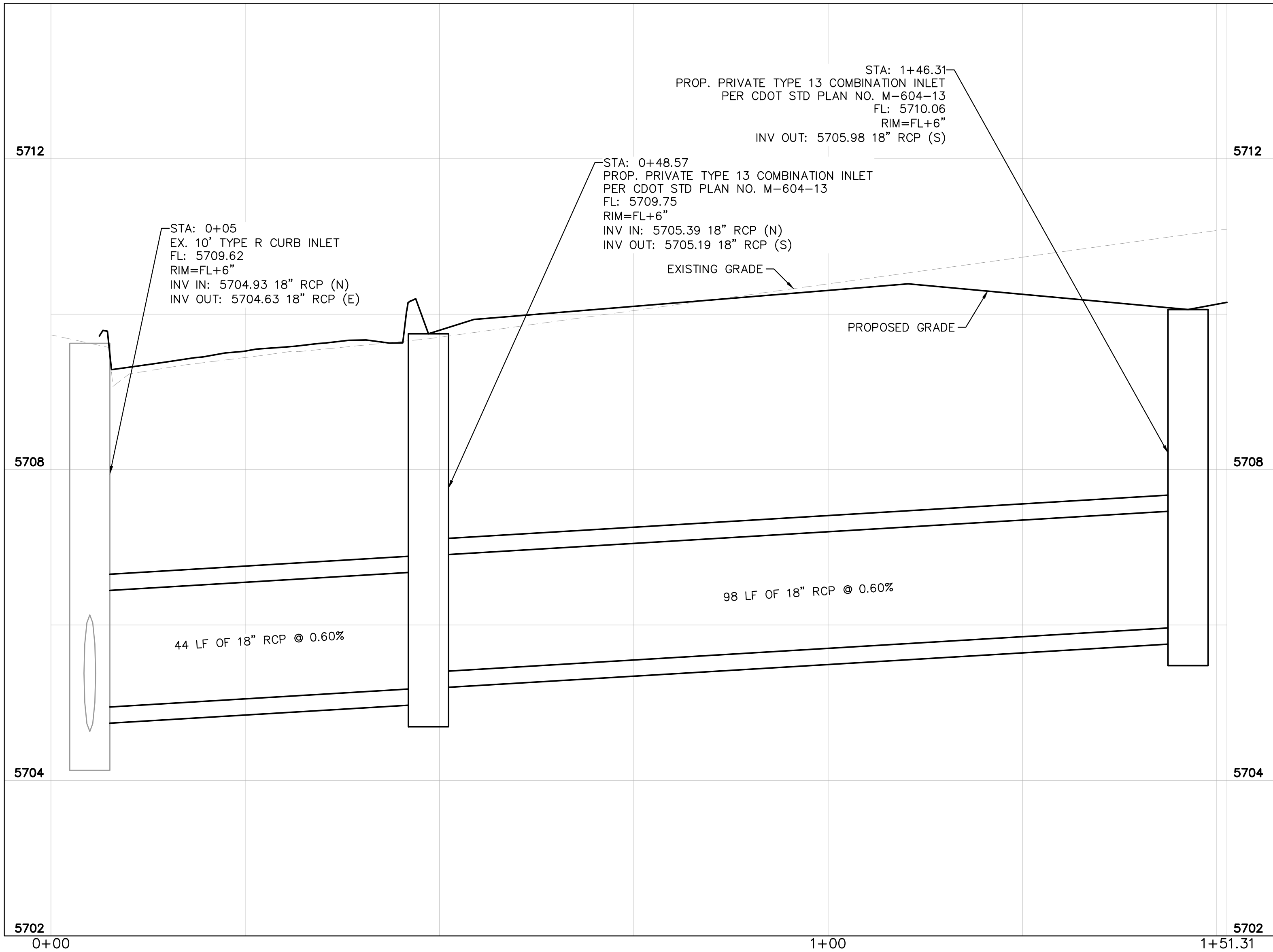
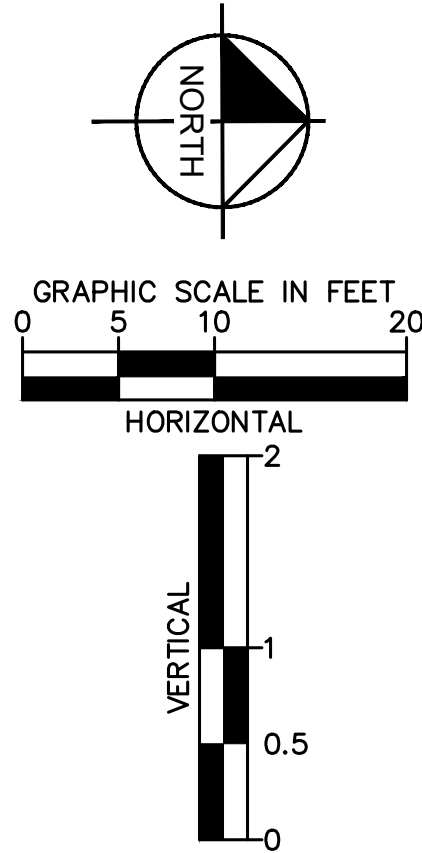
NOTES

- ALL PROPOSED STORM INFRASTRUCTURE DEPICTED ON THESE PLANS IS TO BE PRIVATELY OWNED AND MAINTAINED UNLESS OTHERWISE NOTED.
- ADD WATER TIGHT JOINT WHEN 100-YEAR HGL SHOWS PIPE FULLY INUNDATED.
- CONTRACTOR TO VERIFY TIE-IN ELEVATIONS TO EXISTING STORM SEWER AND INFORM ENGINEER OF RECORD OF ANY CONFLICTS.
- CONTRACTOR TO ENSURE A MINIMUM OF 18" VERTICAL SEPARATION AT ALL UTILITY CROSSINGS.

C1.9		TITLE		DRAWN BY ALS		PREPARED FOR:		PREPARED BY:													
CONSTRUCTION DRAWINGS		DESCRIPTION		STD ISSUE DATE 12/06/2024		McDonald's USA, LLC		JESSICA JO MCCONNELL 59054 12/6/2024		Kimley»Horn											
STORM SEWER A PLAN & PROFILE		DATE ISSUED 12/06/2024		REVIEWED BY JMM		These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for the use of the project and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the approval of the engineer of record. The contract documents for reuse on another project is not authorized.		PROFESSIONAL ENGINEER													
SITE ID		SITE ADDRESS																REV		DATE	
51028		9664 FONTAINE BLVD, COLORADO SPRINGS, COLORADO																			
																		DESCRIPTION		BY	



STORM SEWER B - PLAN VIEW




STORM SEWER B - PROFILE VIEW

LEGEND

- | | |
|--|------------------------------|
| | PROPERTY LINE |
| | SETBACKS |
| | PROPOSED EASEMENTS |
| | EXISTING EASEMENTS |
| | PROPOSED MAJOR CONTOUR |
| | PROPOSED MINOR CONTOUR |
| | EXISTING MAJOR CONTOUR |
| | EXISTING MINOR CONTOUR |
| | PROPOSED LANDSCAPING |
| | PROPOSED CONCRETE |
| | PROPOSED CURB AND GUTTER |
| | EXISTING STORM SEWER |
| | EXISTING STORM INLET |
| | PROPOSED STORM SEWER |
| | PROPOSED STORM INLET |
| | PROPOSED STORM MANHOLE |
| | PROPOSED ELECTRIC LINE |
| | PROPOSED GAS LINE |
| | PROPOSED COMMUNICATIONS LINE |
| | PROPOSED SANITARY LINE |
| | PROPOSED WATER LINE |

NOTES

- ALL PROPOSED STORM INFRASTRUCTURE DEPICTED ON THESE PLANS IS TO BE PRIVATELY OWNED AND MAINTAINED UNLESS OTHERWISE NOTED.
- ADD WATER TIGHT JOINT WHEN 100-YEAR HGL SHOWS PIPE FULLY INUNDATED.
- CONTRACTOR TO VERIFY TIE-IN ELEVATIONS TO EXISTING STORM SEWER AND INFORM ENGINEER OF RECORD OF ANY CONFLICTS.
- CONTRACTOR TO ENSURE A MINIMUM OF 18" VERTICAL SEPARATION AT ALL UTILITY CROSSINGS.

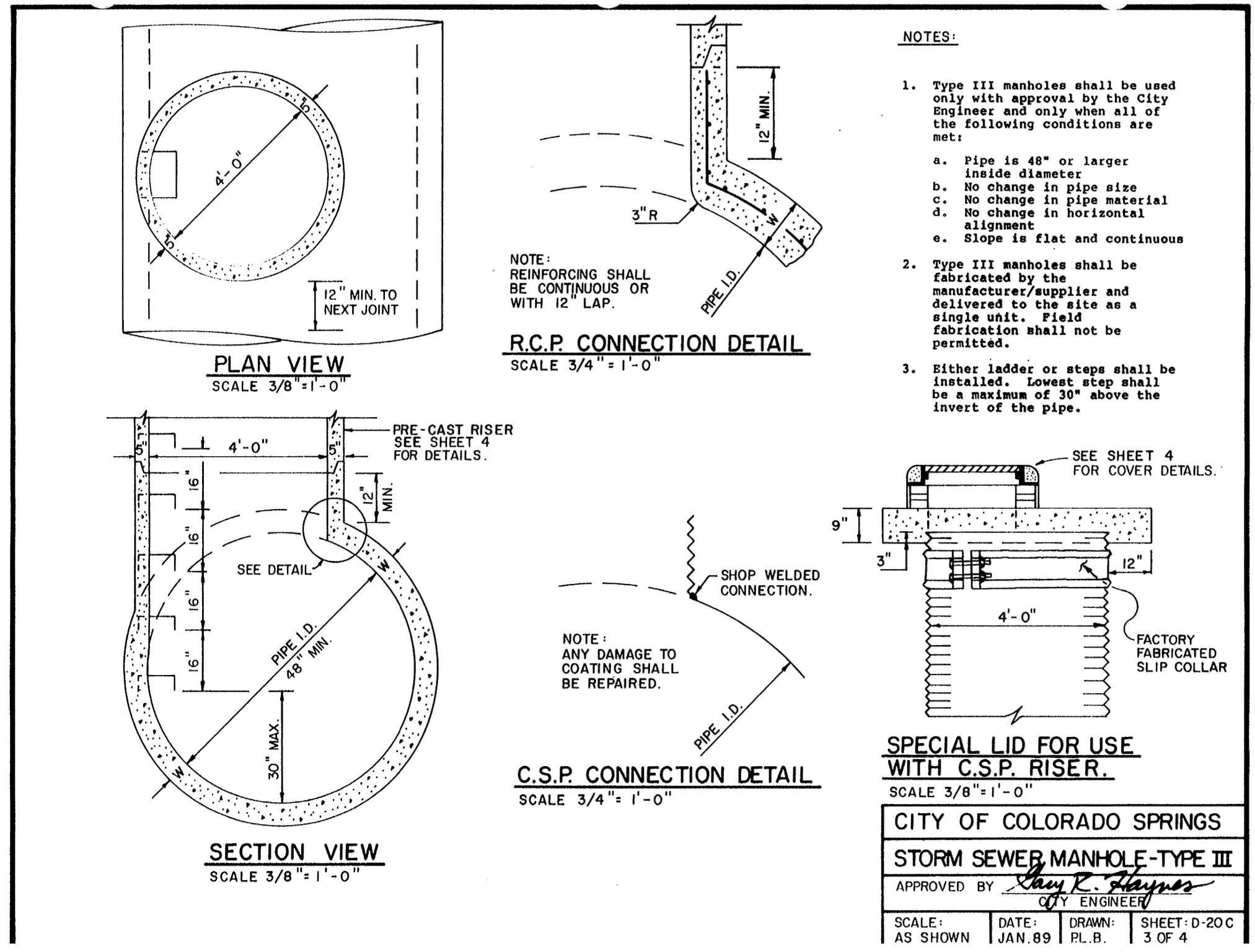
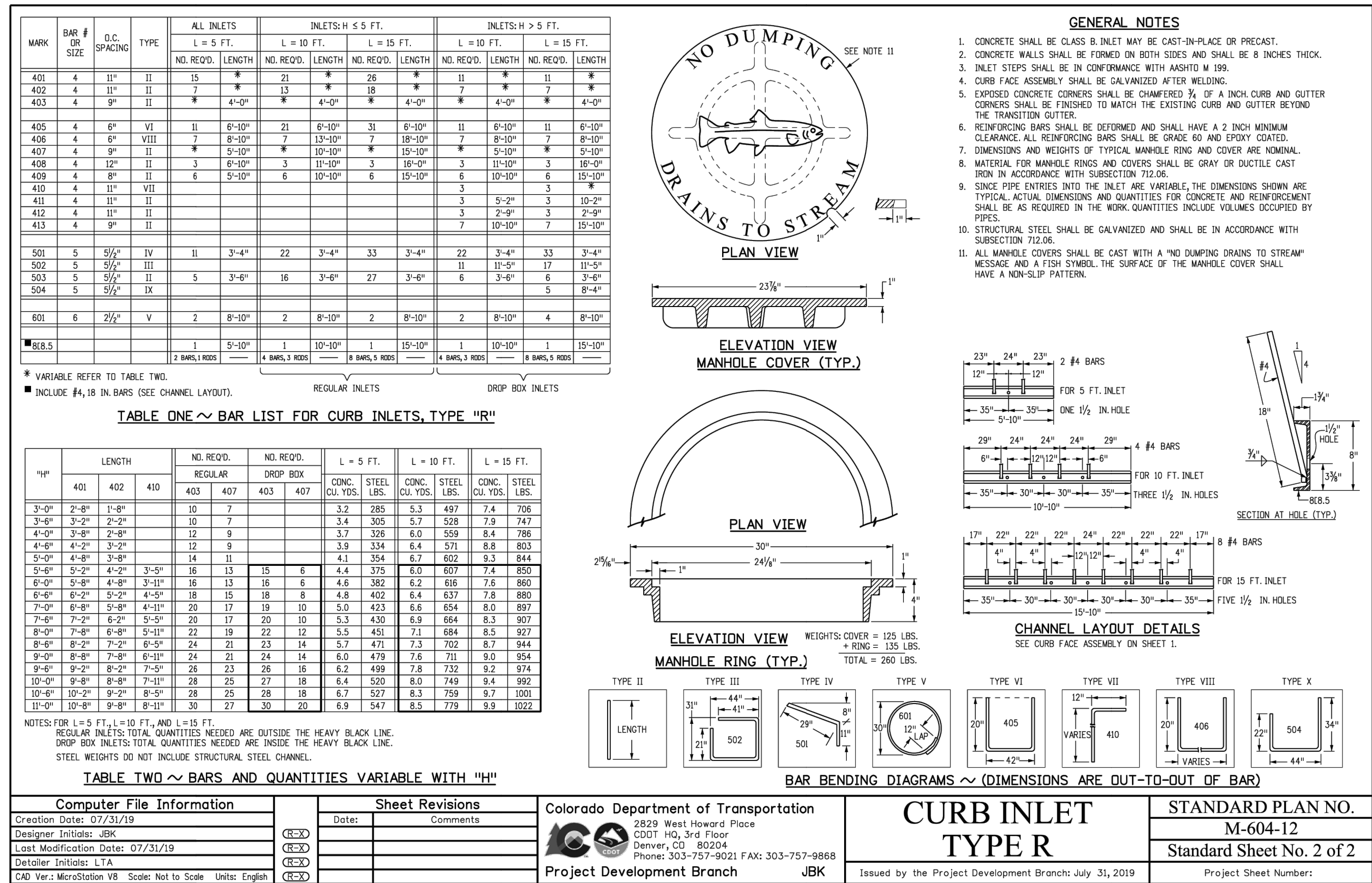
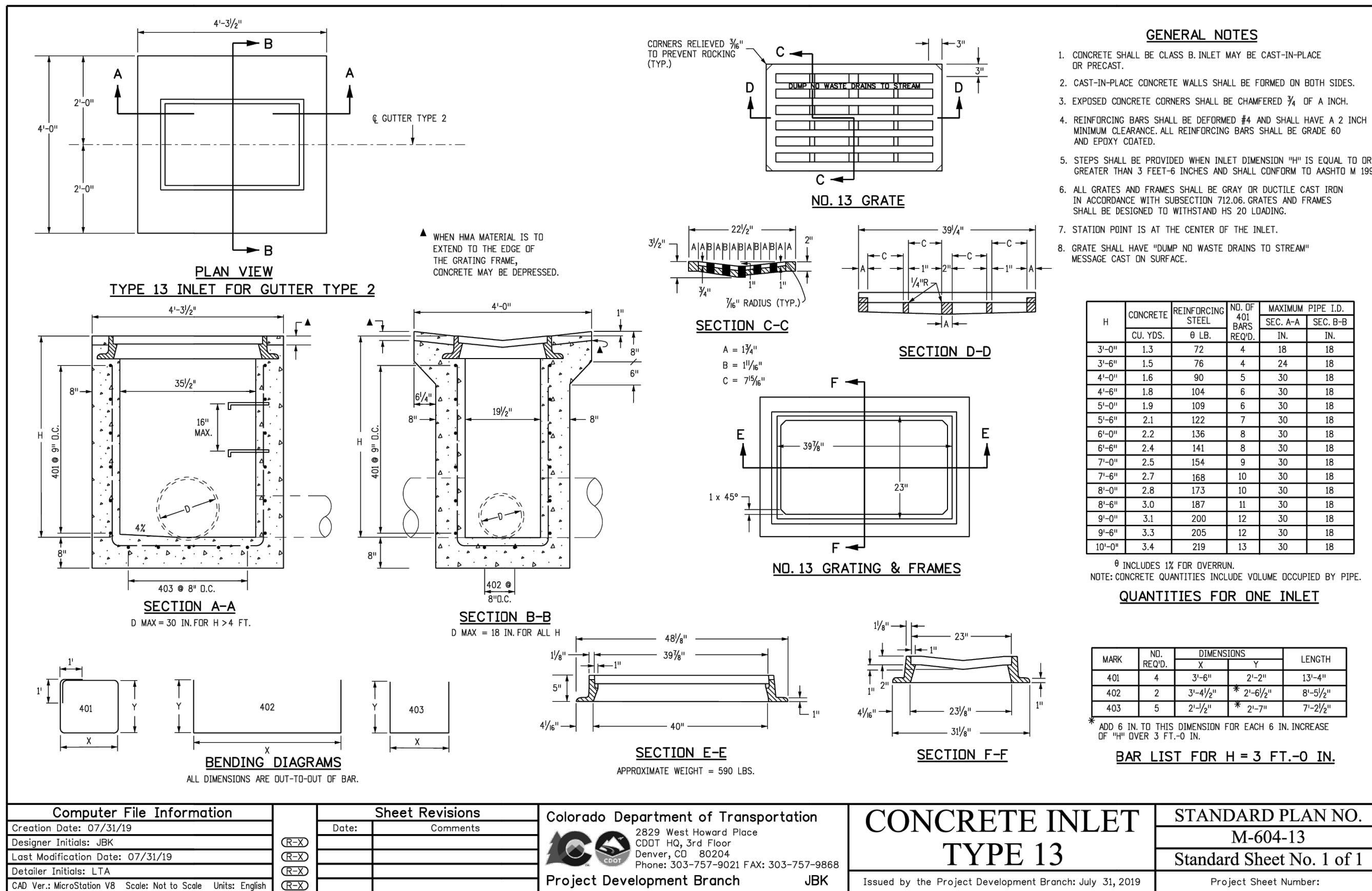
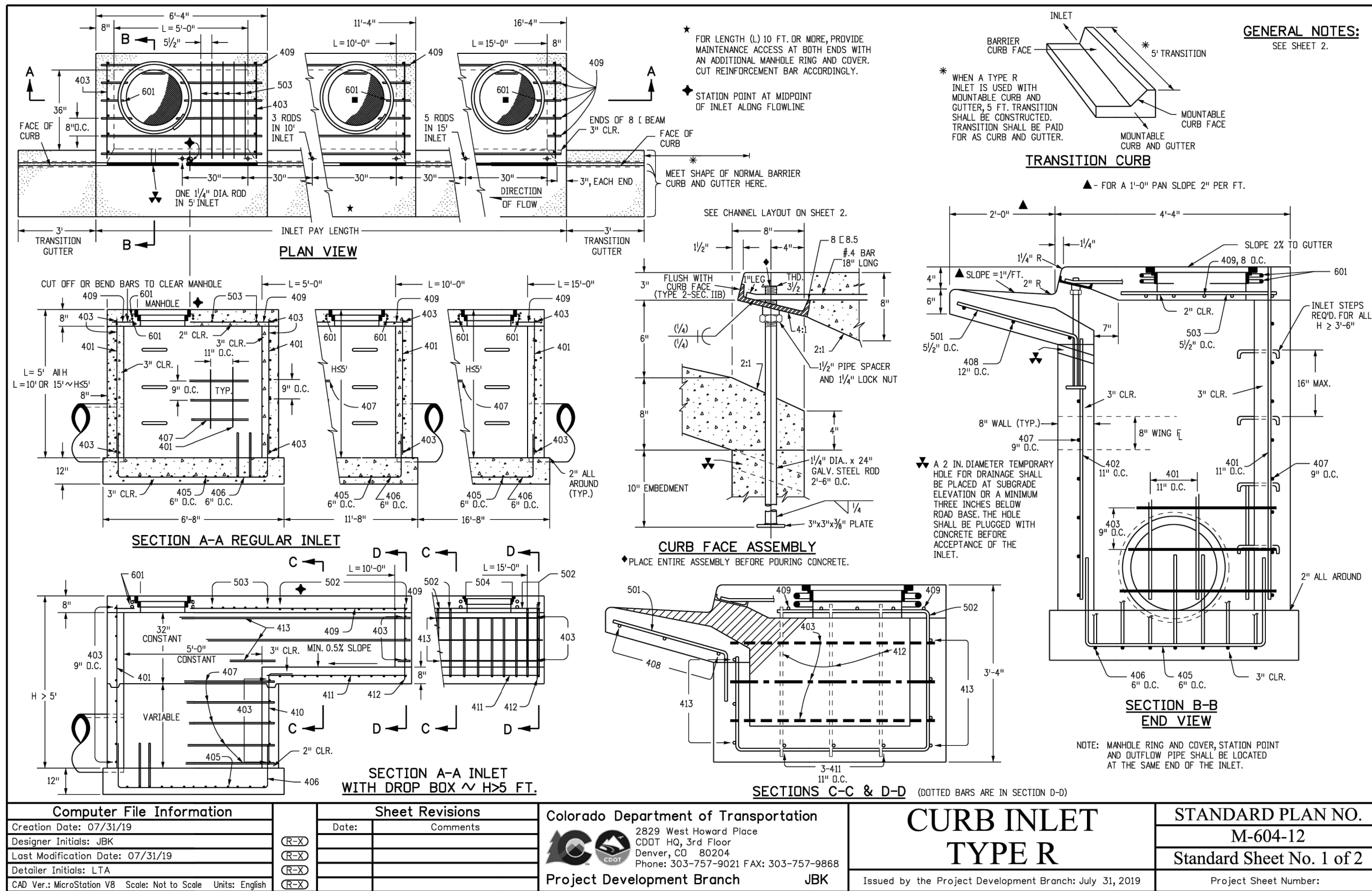
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CONSTRUCTION DRAWINGS		STD ISSUE DATE 12/06/2024		McDonald's USA, LLC		These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contractor shall prepare all drawings not suitable for use on a different site or at a later time. Use of these drawings on any other project without the prior written consent of the service of properly licensed architects and engineers is prohibited. Reproduction of the contract documents for reuse on another project is not authorized.									
DESCRIPTION		REVIEWED BY JMM													
STORM SEWER B PLAN & PROFILE		DATE ISSUED 12/06/2024													
SITE ID		SITE ADDRESS													
51028		9664 FONTAINE BLVD, COLORADO SPRINGS, COLORADO										REV		DATE	
														DESCRIPTION	
														BY	

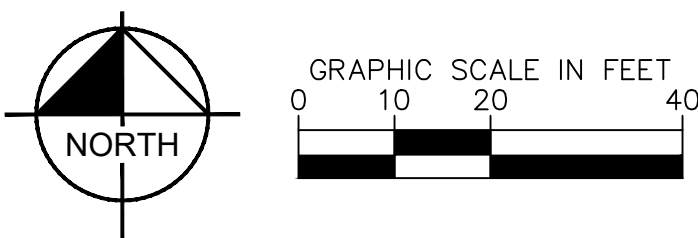
Kimley»Horn



PREPARED FOR: McDonald's USA, LLC
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1. THE SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE. ANY CHANGES MADE IN THE LAYOUT DUE TO FIELD CONDITIONS SHALL BE IN ACCORDANCE WITH THESE STANDARDS. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK. THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
2. THE CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
3. ALL CONSTRUCTION SHALL CONFORM TO TOWN, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS ALL APPLICABLE REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
4. VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. ALL UTILITIES AND STRUCTURES MAY NOT BE SHOWN ON THESE PLANS-CONTRACTOR SHALL FIELD VERIFY.
5. CONTRACTOR TO VERIFY ACTUAL AVAILABLE WATER PRESSURE BEFORE BEGINNING INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AVAILABLE WATER PRESSURE EXCEEDS 5 PSI HIGHER OR LOWER THAN AVAILABLE WATER PRESSURE. REFER TO CRITICAL ANALYSIS FOR ASSUMED STATIC PRESSURE.
6. CONTRACTOR TO FIELD VERIFY ALL POINT OF CONNECTION SOURCE INFORMATION INCLUDING PSI AND GPM PRIOR TO CONSTRUCTION.
7. IRRIGATION DESIGN IS SCHEMATIC ONLY. FULL AND COMPLETE SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW BY THE OWNER'S REPRESENTATIVE.
8. CONTRACTOR SHALL COORDINATE WITH THE PLANTING PLAN FOR PLANTER BED AND TREE LOCATIONS TO ENSURE ALL PLANT MATERIAL IS COVERED BY 100% HEAD-TO-HEAD IRRIGATION.
9. CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE FINAL INSTALLATION TO OWNER AT SUBSTANTIAL COMPLETION BEFORE RECEIVING FINAL PAYMENT.
10. IRRIGATION CONTRACTOR TO COORDINATE POWER SUPPLY TO ELECTRIC CONTROLLERS WITH ELECTRICAL CONTRACTOR.
11. IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF HIS OPERATIONS ON-SITE. COPIES OF THE PERMITS SHALL BE SENT TO THE OWNER/GENERAL CONTRACTOR. WORK IN THE R.O.W. SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LOCAL AND/OR STATE JURISDICTION.
12. IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN. ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
13. LOCATE ALL IRRIGATION LINES WITHIN LANDSCAPED AREAS WHENEVER POSSIBLE. ALL LINES UNDER PAVEMENT MUST BE SLEEVED. ALL VALVES SHALL BE LOCATED WITHIN LANDSCAPED AREAS, AS SPECIFIED.
14. IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
15. SUPPLY LINE AND METER TO BE PROVIDED BY GENERAL CONTRACTOR. BACKFLOW PREVENTER TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN AFTER THE IRRIGATION WATER METER.
16. INSTALL ALL BACKFLOW PREVENTER DEVICES AND ALL PIPING BETWEEN THE POINT OF CONNECTION AND THE BACKFLOW PREVENTER AS PER LOCAL CODES. FINAL LOCATION SHALL BE DETERMINED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
17. CONTRACTOR TO COORDINATE LOCATION OF ALL METERS AND BACKFLOW ASSEMBLIES WITH PROJECT OWNER.
18. THE IRRIGATION CONTRACTOR SHALL BE DIRECTLY RESPONSIBLE FOR SLEEVEING AND DIRECTIONAL BORES.
19. EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DO NOT TRENCH OR EXCAVATE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
20. ALL SLEEVES UTILIZED BY THE IRRIGATION CONTRACTOR WHETHER INSTALLED BY HIM OR NOT, SHALL BE LOCATED ON THE "AS-BUILT" DRAWINGS. THE DEPTH BELOW FINISH GRADE, TO THE NEAREST FOOT OF EACH END OF THE SLEEVE SHALL BE NOTED AT EACH SLEEVE LOCATION ON THE "AS-BUILT" DRAWINGS. ALL SLEEVES ON PLAN FOR WALL PENETRATIONS AND UNDER SIDEWALKS SHALL BE SIZED TWO PIPE SIZES GREATER THAN THE PIPE IT CARRIES. ALL IRRIGATION SLEEVING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVING DETAIL.
21. ALL PRESSURIZED MAINLINES AND LATERALS UNDER PAVEMENT SHALL BE WITHIN SLEEVES AS NOTED. WHERE ELECTRIC OR HYDRAULIC VALVE CONTROL LINES PASS THROUGH A SLEEVE WITH OTHER MAIN OR LATERAL LINES THEY SHALL BE CONTAINED WITHIN A SEPARATE, SMALLER CONDUIT.
22. SLEEVES UNDER EXISTING PAVEMENT MUST BE DIRECTIONAL BORE. OPEN CUT IS NOT AN OPTION.
23. NUMBER THE TOP OF ALL VALVE BOX LIDS WITH MINIMUM 1" HEIGHT BLACK LETTERS TO CORRESPOND TO AUTOMATIC AND GATE VALVE DESIGNATIONS. ALL HOSE BIBB VALVE BOXES SHALL BE LABELED IN A SIMILAR MANNER WITH THE DESIGNATION "HB". LETTER OUTSIDE OF TIME CLOCK CABINETS TO CORRESPOND WITH IRRIGATION CLOCK PROGRAM DESIGNATION.
24. THE IRRIGATION CONTRACTOR SHALL INSTALL A COLOR CODED METAL DETECTABLE MARKING TAPE WHICH CLEARLY NOTES: "COLOR CODED IRRIGATION LINE BURIED BELOW". THE TAPE SHALL BE INSTALLED THE FULL LENGTH OF THE IRRIGATION MAINLINE.
25. ALL VALVES, SPLICES WITHIN CONTROL LINES, AND QUICK COUPLERS SHALL BE LOCATED WITHIN VALVE BOXES.
26. ALL UNSIZED PIPE SHALL BE 3/4" UNLESS OTHERWISE NOTED ON PLAN. SEE LATERAL PIPE SIZING REQUIREMENTS.
27. LOCATE ALL VALVES IN PLANTING BEDS WITH A MINIMUM OF 3'-0" FROM BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. PIPE SIZES ON EITHER SIDE OF SECTION VALVES CONNECTING MAINLINE TO SECTION LATERAL SHALL BE ONE (1) PIPE SIZE LARGER THAN VALVE SIZE. WHERE MAINLINES RUN PARALLEL TO PAVEMENT OR CURBING, THE MAINLINE SHALL BE OFFSET 2'-0" FROM THE EDGE OF PAVEMENT OR CURB.
28. DIFFERENT ZONES SHALL BE SEPARATED FOR HIGH AND LOW WATER USE REQUIREMENTS AND OPERATED ON DIFFERENT WATERING CYCLES. BUBBLERS, DRIPLINE, AND SPRAY HEADS SHALL BE SEPARATED ON DIFFERENT VALVES. AT NO TIME SHALL MULTIPLE IRRIGATION HEAD TYPES BE LOCATED ON THE SAME VALVE.
29. ALL DRIP ZONES SHALL BE INSTALLED WITH A FLUSH VALVE AND DRIP INDICATOR.
30. IRRIGATION CONTRACTOR TO COORDINATE WITH OWNER FOR FINAL CONTROLLER AND RAIN SENSOR LOCATIONS. THE CONTROLLER SHALL BE PLACED IN A LOCKING CABINET APPROPRIATE FOR ITS LOCATION. (INDOOR VS. OUTDOOR USE)
31. IRRIGATION CONTRACTOR SHALL REVIEW WINTERIZATION PROCEDURES FOR IRRIGATION SYSTEM WITH OWNERS REPRESENTATIVE.
32. LOCATE THE AUTOMATIC RAIN / FREEZE SENSOR SHUTOFF DEVICE IN AN AREA THAT IS UNOBTSTRUCTED BY TREES, ROOF OVERHANGS, OR ANY OTHER OVERHEAD OBJECT. THE SENSOR SHALL NOT BE PLACED WITHIN THE SPRAY ZONE OF ANY SPRINKLER HEAD, INCLUDING OFF-SITE IRRIGATION. CONTRACTOR SHALL MAKE ANY NECESSARY CORRECTIONS AND RETEST THE SYSTEM UNTIL THE OWNER'S REPRESENTATIVE IS SATISFIED THAT THE SYSTEM IS REASONABLY SOUND.
33. CONTRACTOR SHALL PERFORM HYDRO-TESTING OF MAIN LINES.
34. HYDRO-TESTING TO BE PERFORMED AS LISTED:
35. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FORTY-EIGHT (48) HOURS IN ADVANCE OF TESTING. PRIOR TO BACKFILLING, CONTRACTOR SHALL FILL PIPING WITH WATER. IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE, TAKING CARE TO PURGE THE AIR FROM IT. A SMALL, HIGH PRESSURE PUMP OR OTHER MEANS OF MAINTAINING A CONTINUOUS WATER SUPPLY SHALL BE CONNECTED TO THE PIPING AND SET SO AS TO MAINTAIN 125 PSI FOR TWO (2) HOURS WITHOUT INTERRUPTION. CONTRACTOR SHALL MAKE ANY NECESSARY CORRECTIONS AND RETEST THE SYSTEM UNTIL THE OWNER'S REPRESENTATIVE IS SATISFIED THAT THE SYSTEM IS REASONABLY SOUND.
36. ALL WIRING FOR CONNECTION OF THE VALVES TO THE CONTROLLER SHALL FOLLOW MANUFACTURERS SPECIFICATIONS.
37. ALL CONTROL WIRE SHALL BE INSTALLED IN A 1 1/2" ELECTRICAL CONDUIT.
38. CONTRACTOR TO MINIMIZE IRRIGATION OVERTHROW TO IMPERVIOUS AND NATURAL AREAS THROUGH FIELD ADJUSTMENTS TO INDIVIDUAL HEADS.
39. ALL UNIMPROVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE CONTRACTOR.
40. ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.

NUMBER	MODEL	TYPE	PRECIP	SUN	MON	TUE	WED	THU	FRI	SAT	IN/WEEK	MIN/WEEK	GAL/WEEK	GAL/DAY
1	RAIN BIRD XCZ-100-PRB-COM	AREA FOR DRIP EMITTERS	0.33 in/h								0.67	122	381	
2	RAIN BIRD XCZ-100-PRB-COM	BUBBLER	0.98 in/h								0.67	42	504	
3	RAIN BIRD PEB-IVM	TURF ROTARY	0.51 in/h		39 min		39 min		39 min	1	117	1,882	627	
		TOTALS:		39		39		39			281	2,786	627.2	

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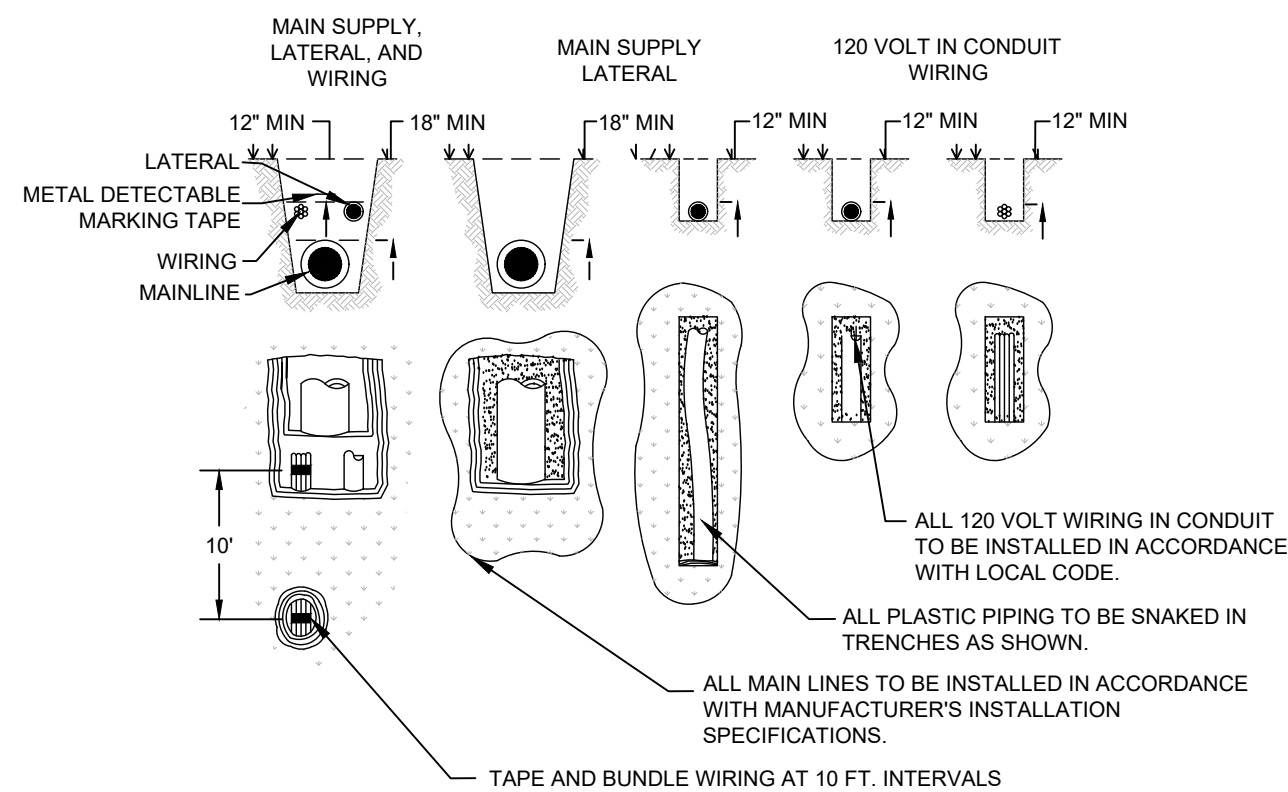
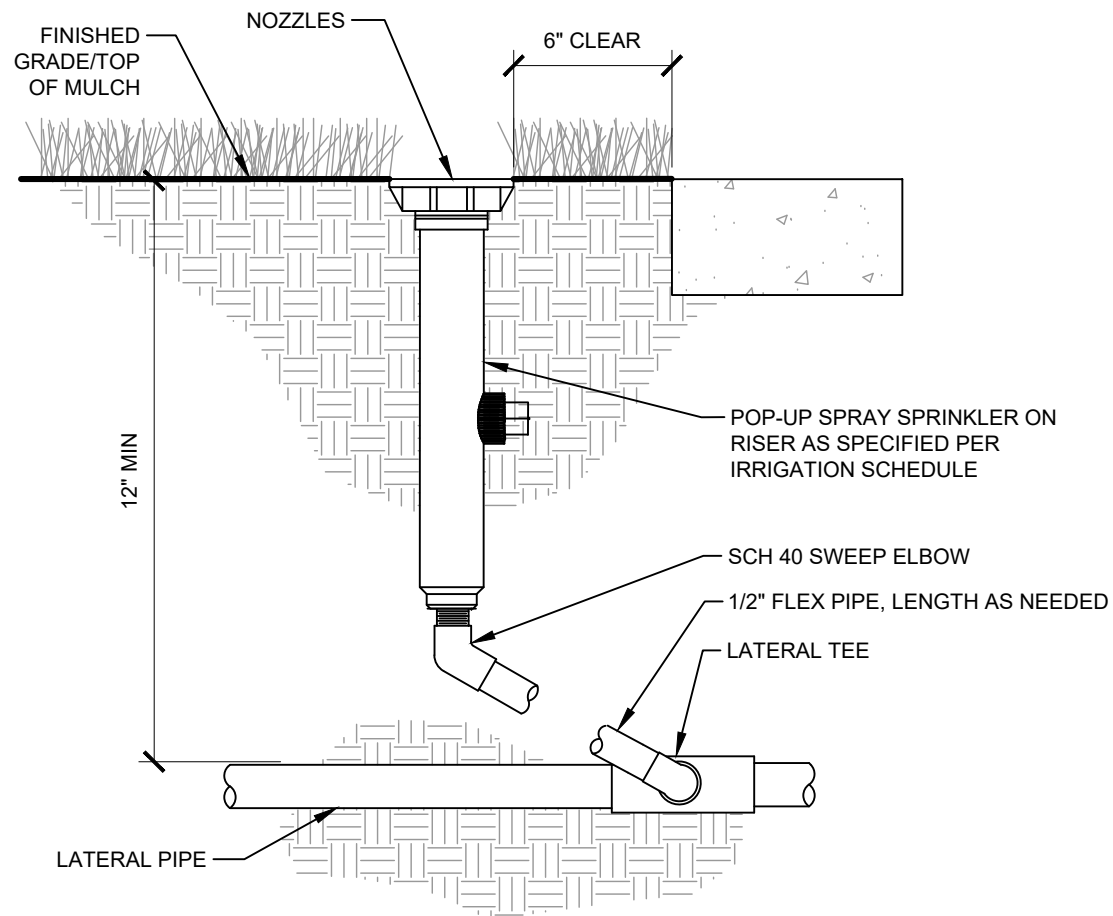
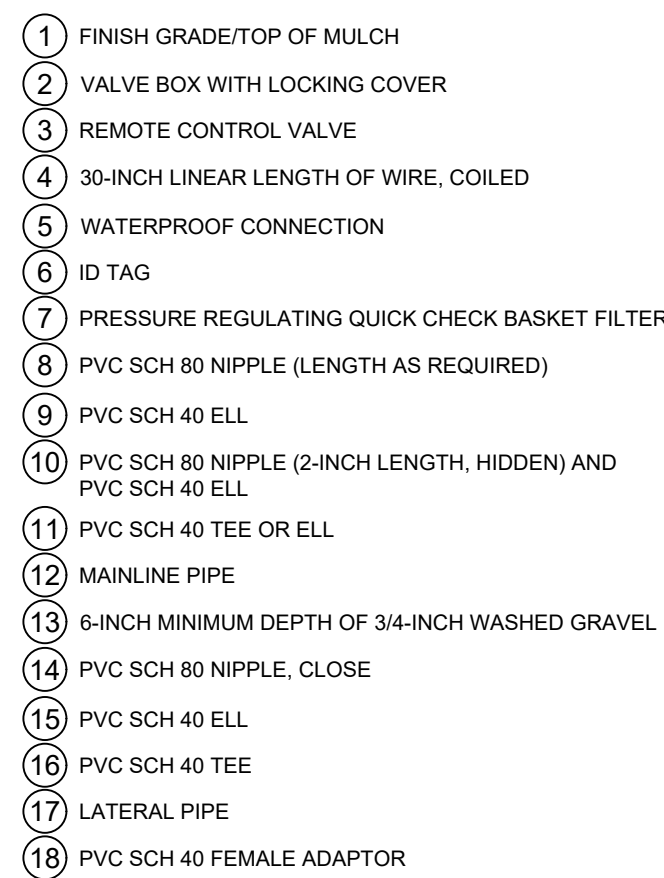
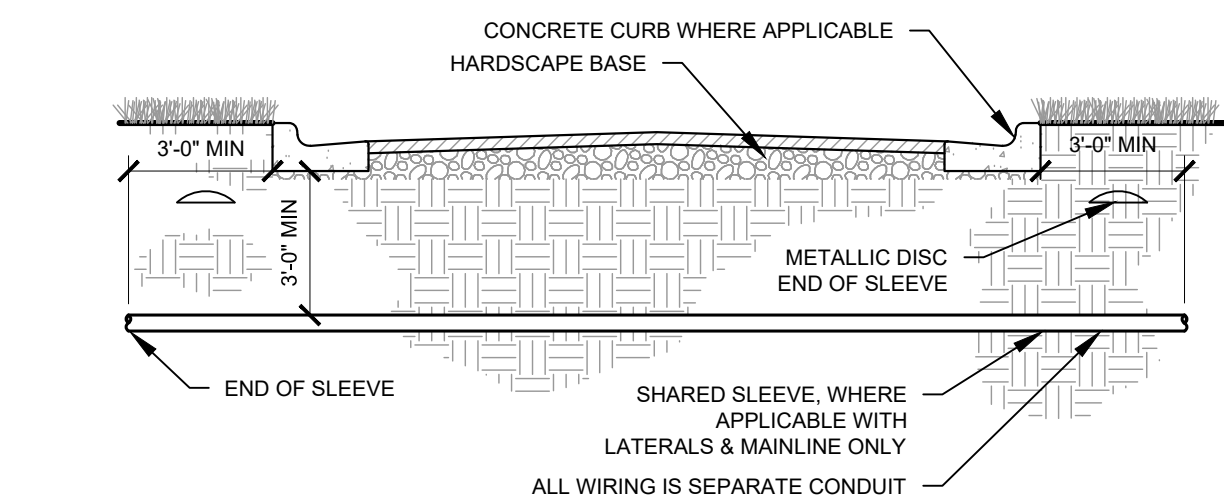
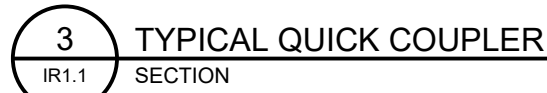
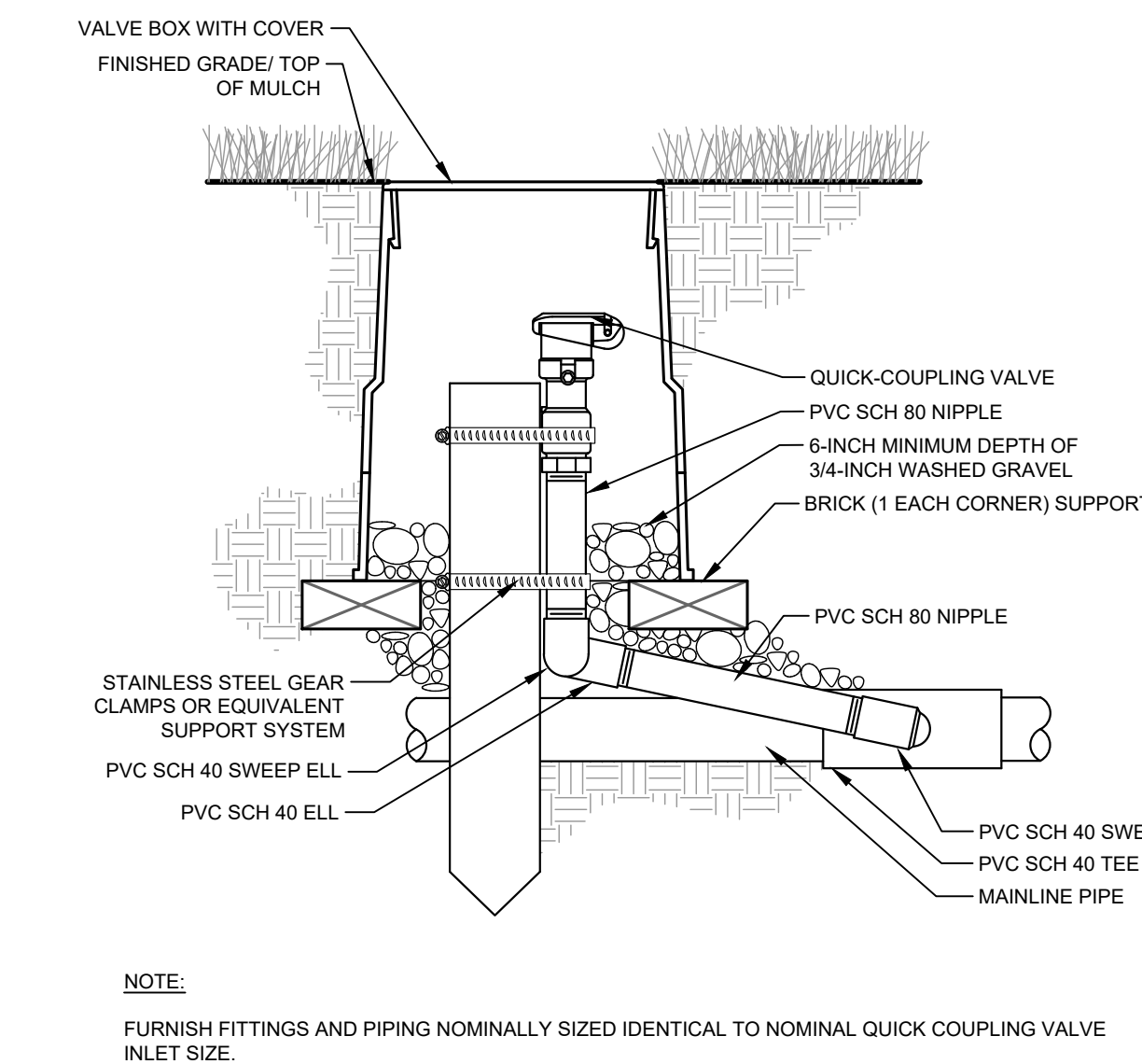
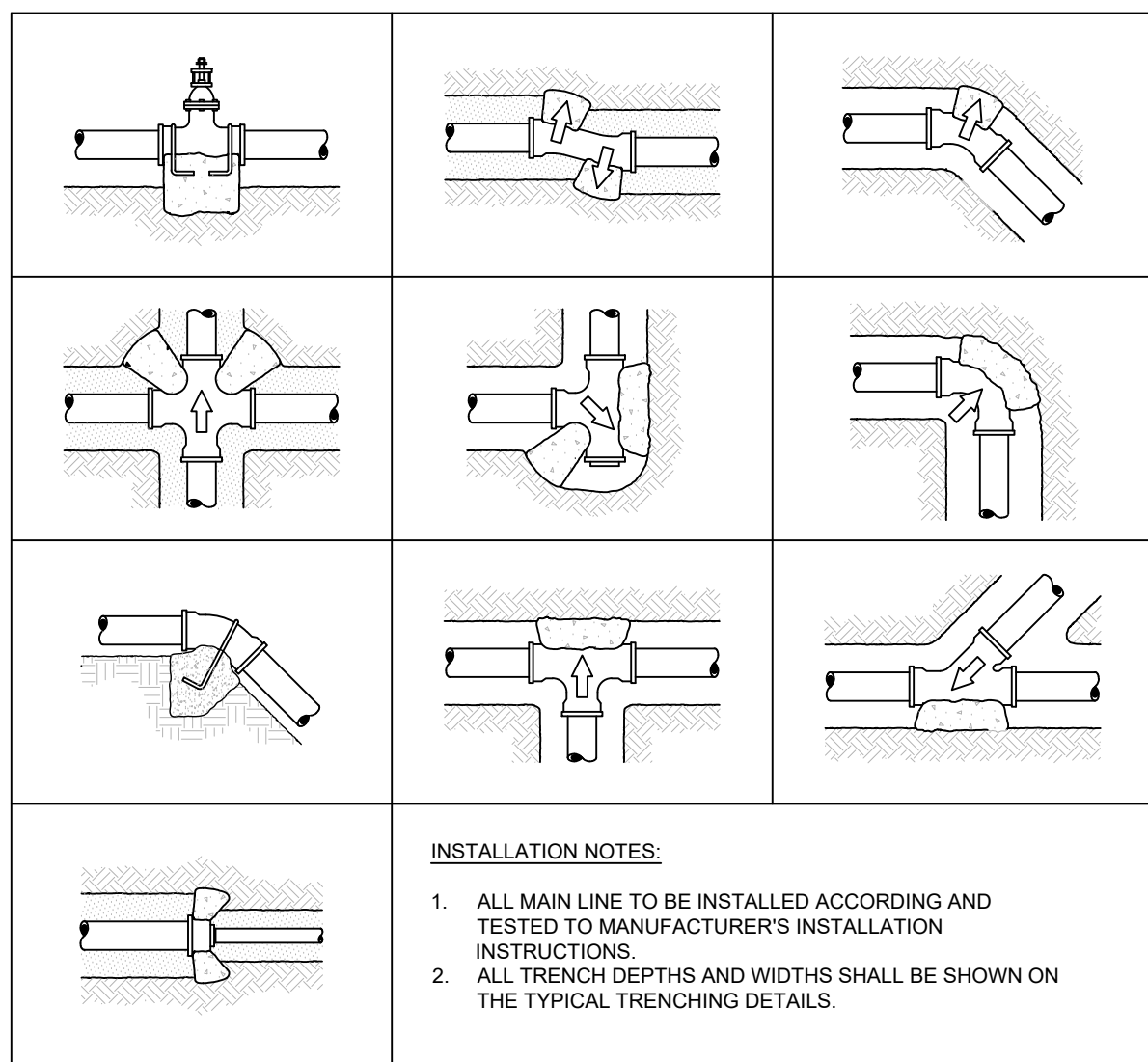
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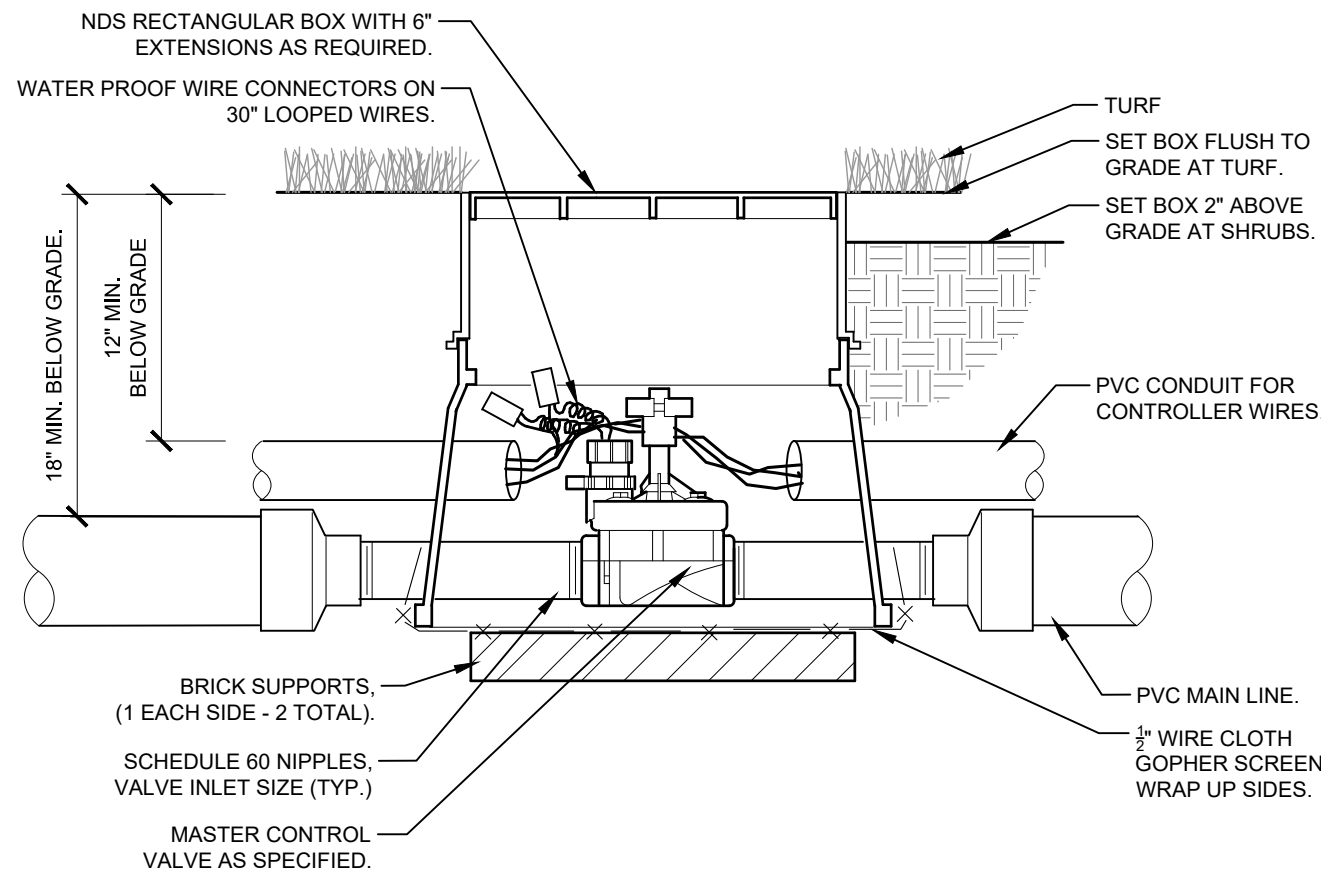
Point of Connection Size: 1"
Flow Available: 18.2 GPM

PRESSURE AVAILABLE	
Static Pressure at POC:	80 PSI
Pressure Available:	80 PSI

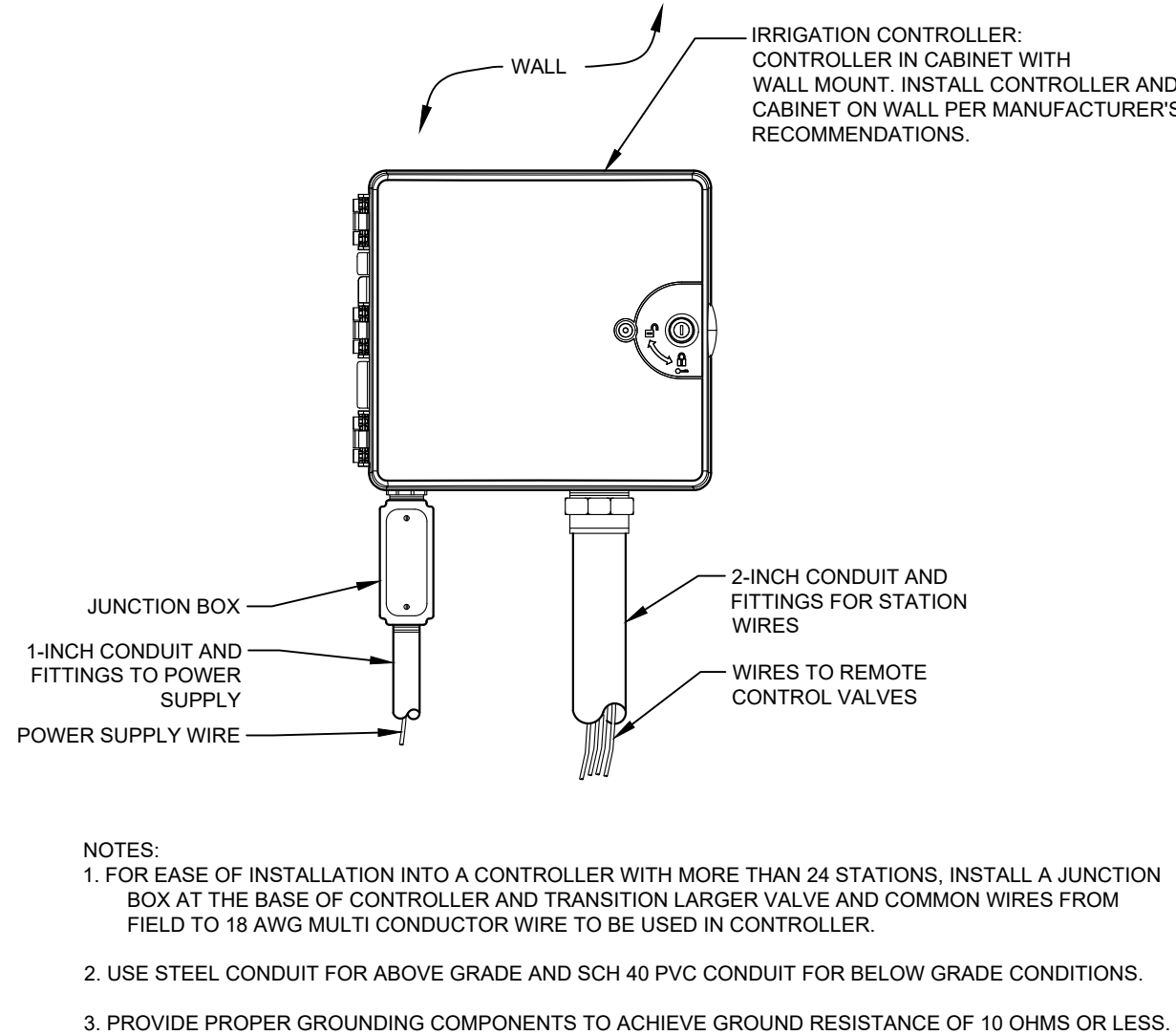
DESIGN ANALYSIS	
Maximum Station Flow:	16.08 GPM
Flow Available at POC:	18.2 GPM
Residual Flow Available:	2.12 GPM

Design Pressure:	45 PSI
Friction Loss:	0.66 PSI
Fittings Loss:	0.07 PSI
Elevation Loss:	0 PSI
Loss through Valve:	2.47 PSI
Pressure Req. at Critical Station:	48.2 PSI
Loss for Fittings:	0.24 PSI
Loss for Main Line:	2.35 PSI
Loss for POC to Valve Elevation:	0 PSI
Loss for Backflow:	14.4 PSI
Loss for Master Valve:	2.47 PSI
Critical Station Pressure at POC:	67.6 PSI
Pressure Available:	80 PSI
Residual Pressure Available:	12.4 PSI

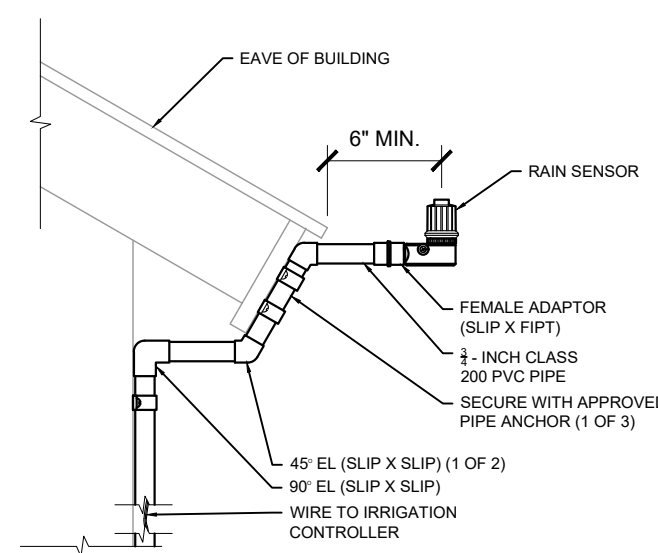




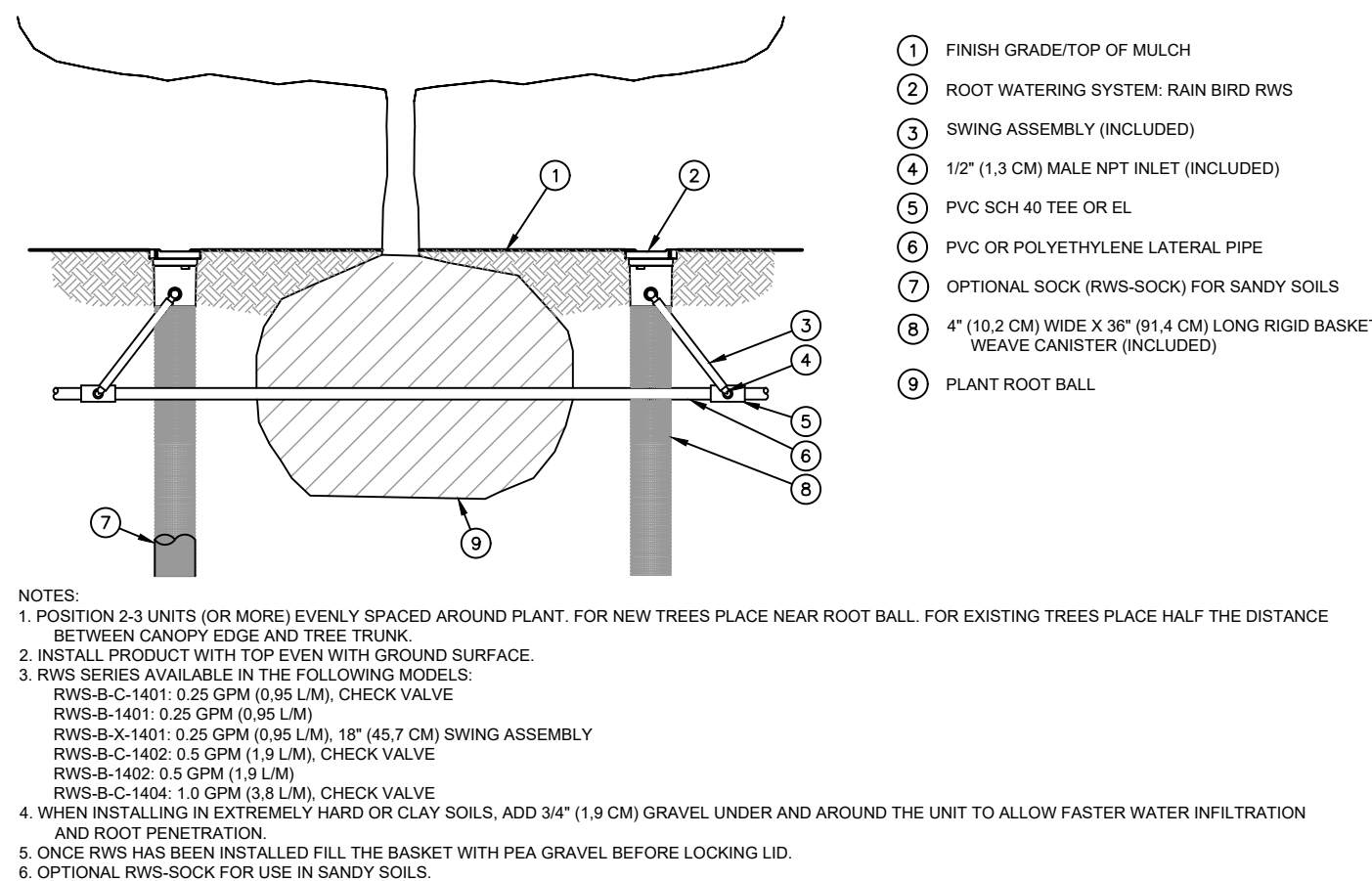
1 MASTER CONTROL VALVE
IR1.2 SECTION NTS



2 IRRIGATION CONTROLLER - WALL MOUNT
IR1.2 ELEVATION NTS

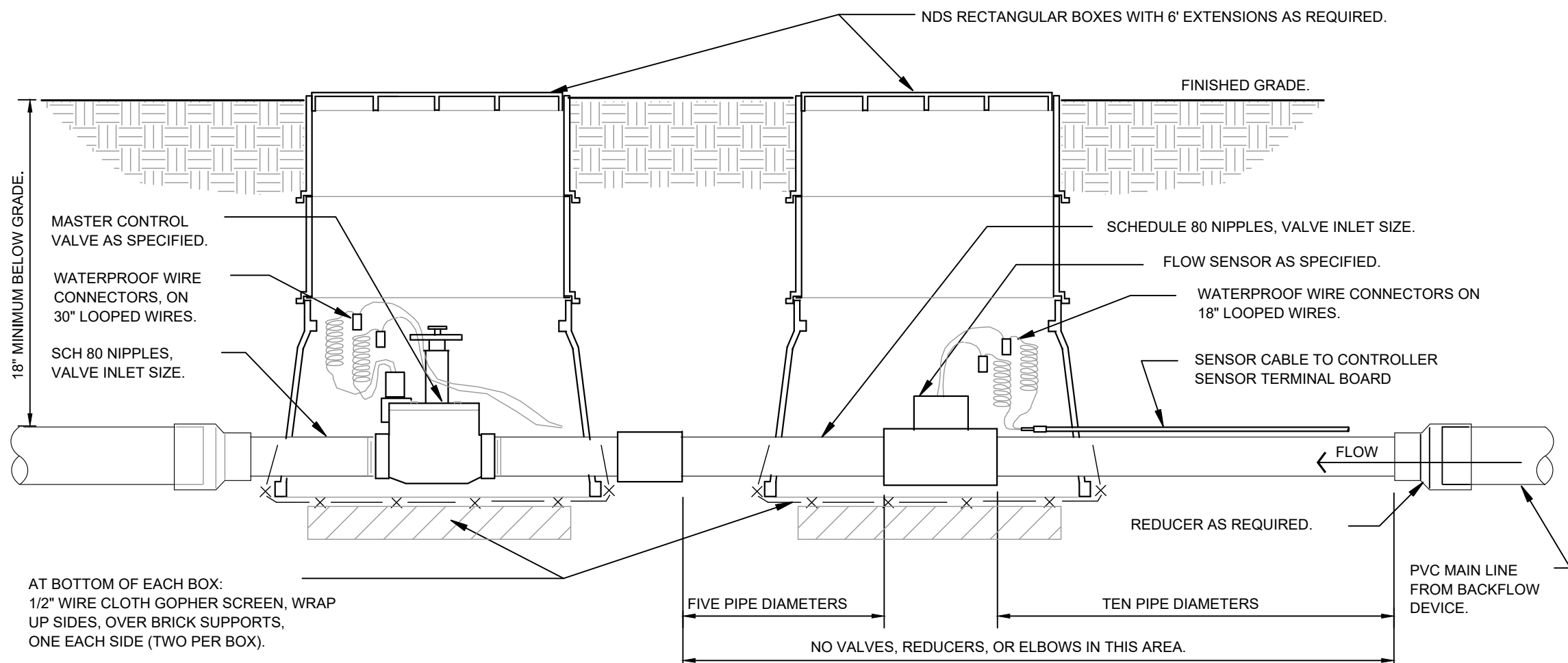


3 RAIN SENSOR - BUILDING MOUNT
IR1.2 SECTION NTS



NOTES:
1. POSITION 2-3 UNITS (OR MORE) EVENLY SPACED AROUND PLANT. FOR NEW TREES PLACE NEAR ROOT BALL. FOR EXISTING TREES PLACE HALF THE DISTANCE BETWEEN CANOPY EDGE AND TREE TRUNK.
2. INSTALL PRODUCT WITH TOP EVEN WITH GROUND SURFACE.
3. RWS SERIES AVAILABLE IN THE FOLLOWING MODELS:
RWS-B-C-1401: 0.25 GPM (0.95 L/M), CHECK VALVE
RWS-B-1401: 0.25 GPM (0.95 L/M)
RWS-B-K-1401: 0.25 GPM (0.95 L/M), 18\"/>

4 ROOT WATERING SYSTEM
IR1.2 NTS
096-006 -032-24



5 MASTER CONTROL VALVE / FLOW SENSOR ASSEMBLY
IR1.2 SECTION NTS

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