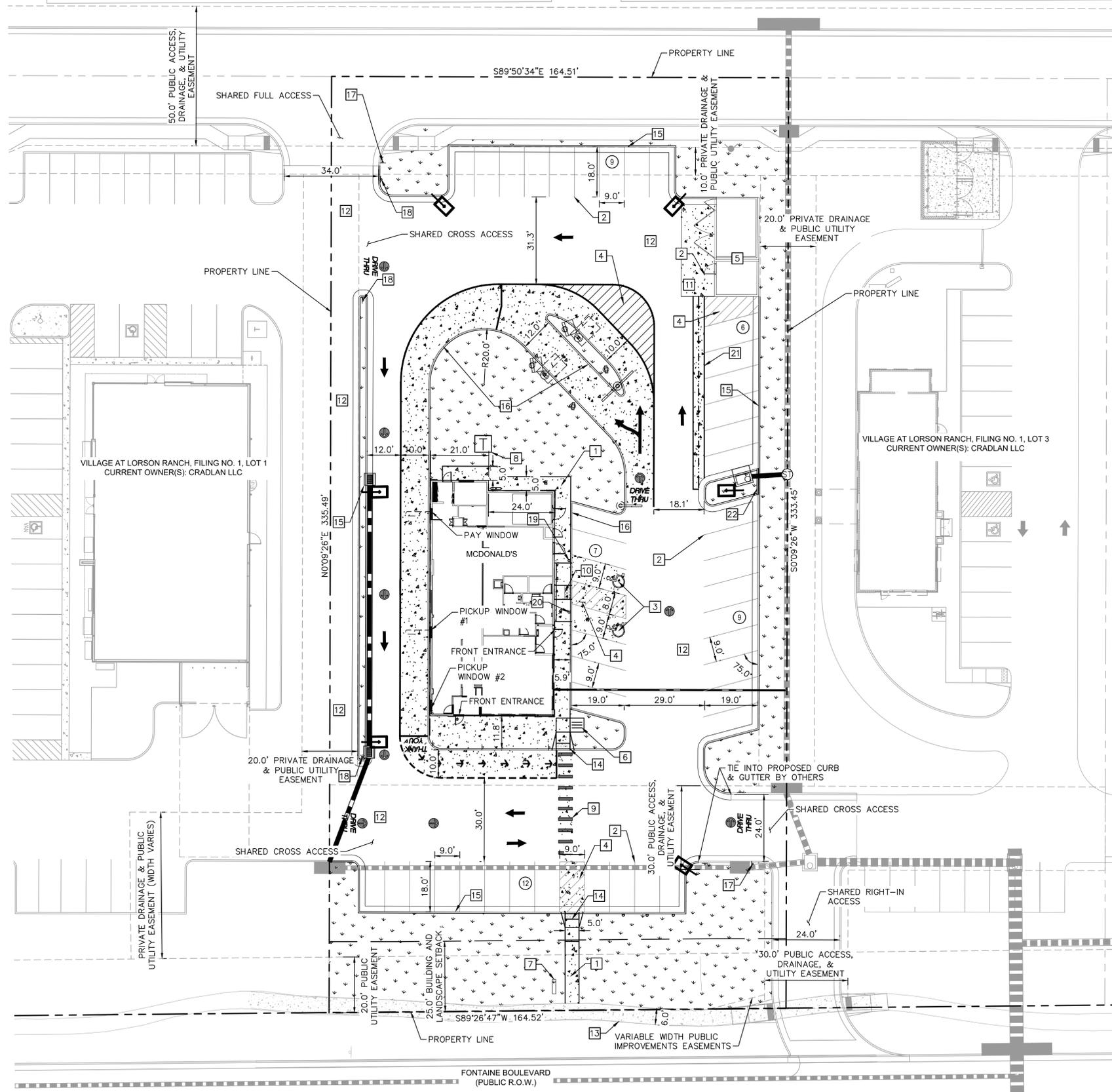






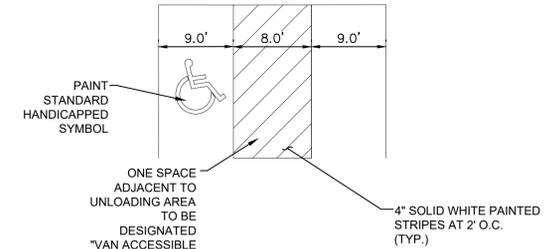
VILLAGE AT LORSON RANCH,  
FILING NO. 1, LOT 6  
CURRENT OWNER(S): CRADLAN LLC



**LEGEND**

- PROPERTY LINE
- - - SETBACK
- - - EASEMENTS
- [Pattern] PROPOSED CONCRETE
- [Pattern] PROPOSED LANDSCAPING
- [Pattern] EXISTING SIDEWALK
- ⊕ PROPOSED PARKING COUNT

ADA SIGNS TO BE IN ACCORDANCE WITH ADA STANDARDS.



PAINT STANDARD HANDICAPPED SYMBOL

ONE SPACE ADJACENT TO UNLOADING AREA TO BE DESIGNATED "VAN ACCESSIBLE SPACE" ON SIGNAGE. SEE SITE PLAN.

4" SOLID WHITE PAINTED STRIPES AT 2' O.C. (TYP.)

**NOTES:**

1. DIMENSIONS MAY VARY. REFER TO SITE PLAN (SHEET C1.2).
2. SIGNAGE AND MARKINGS TO BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.

**ACCESSIBLE PARKING DETAIL**  
NOT TO SCALE

**GENERAL NOTES**

1. ALL SIGNS ARE REVIEWED UNDER SEPARATE PERMIT

**KEY NOTES**

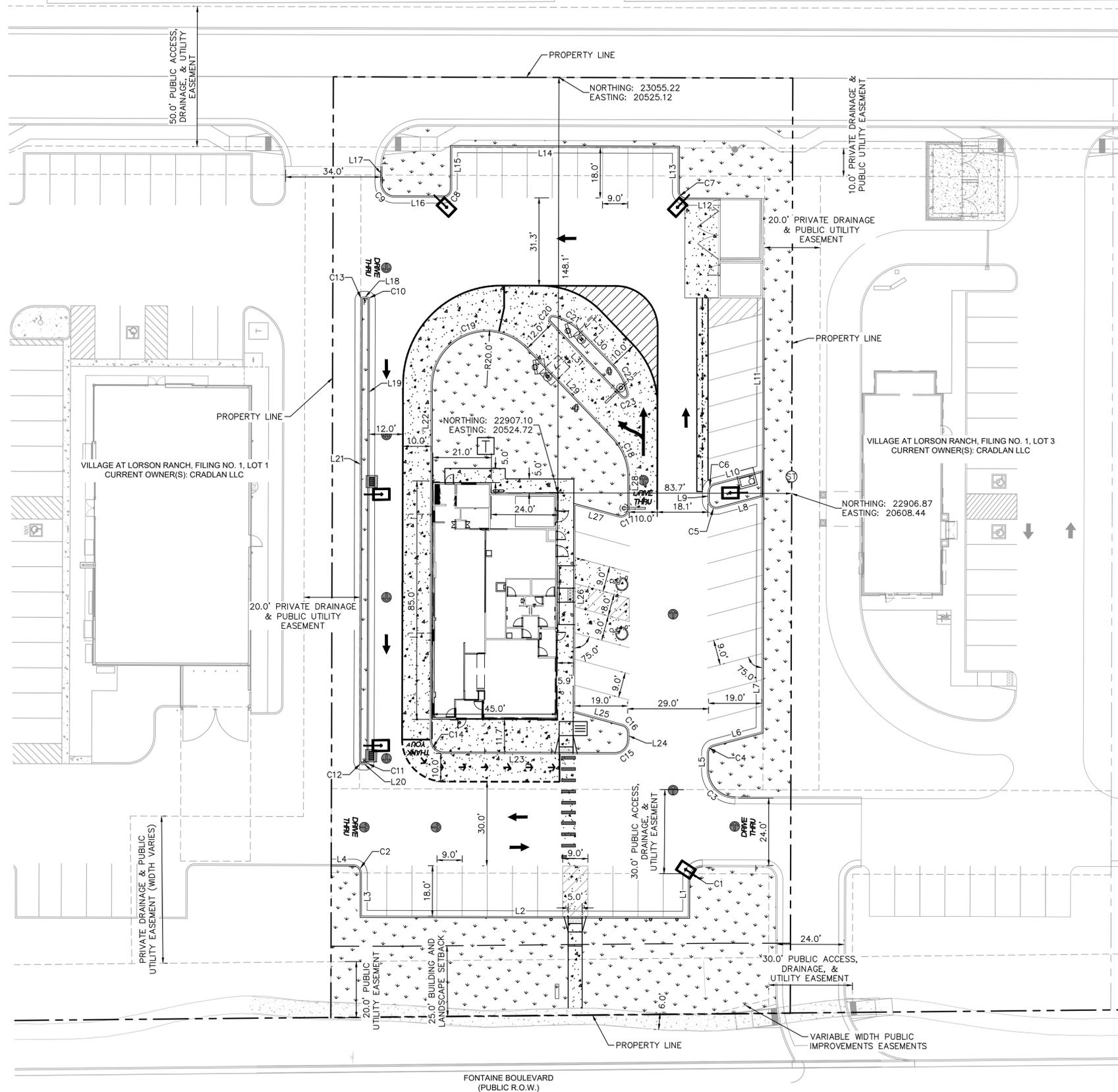
- 1 PROPOSED CONCRETE SIDEWALK PER CDOT STANDARD DRAWING M-609-1 (WIDTH PER PLAN)
- 2 PROPOSED 4" WIDE PARKING STRIPE (TYP.)
- 3 PROPOSED ADA SYMBOL (PER DETAILS THIS SHEET & SHEET C1.3)
- 4 PROPOSED 4" WIDE DIAGONAL PAVEMENT MARKINGS AT 36" ON CENTER
- 5 DUMPSTER ENCLOSURE AND SHED.
- 6 PROPOSED BIKE PARKING
- 7 PROPOSED MONUMENT SIGN, PER SEPARATE PERMIT
- 8 PROPOSED TRANSFORMER
- 9 PEDESTRIAN CROSSWALK, REF. SHEET C1.3 FOR DETAIL
- 10 PROPOSED PARALLEL CURB RAMP PER EL PASO COUNTY SD\_2\_50 W/DETECTABLE WARNING PER EL PASO COUNTY SD\_2-42
- 11 PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- 12 PROPOSED ASPHALT PAVEMENT
- 13 EXISTING CONCRETE SIDEWALK
- 14 PROPOSED PERPENDICULAR CURB RAMP PER EL PASO COUNTY SD\_2-40&41 WITH DETECTABLE WARNING PER EL PASO COUNTY STANDARD SD\_2-42
- 15 PROPOSED TYPE A CURB AND GUTTER PER EL PASO COUNTY SD\_2-20
- 16 PROPOSED 6" CURB HEAD
- 17 PROPOSED R1-1 STOP SIGN, REF. SHEET C1.3 FOR DETAIL
- 18 PROPOSED R5-1 DO NOT ENTER SIGN, REF. SHEET C1.3 FOR DETAIL
- 19 PROPOSED VAN ADA PARKING SIGN, REF. SHEET C1.3 FOR DETAIL
- 20 PROPOSED ADA PARKING SIGN, REF. SHEET C1.3 FOR DETAIL
- 21 PROPOSED 4" WIDE CDOT V-GUTTER TYPE 2 PER CDOT STD. PLAN NO. M-609-1
- 22 PROPOSED CURB CHASE PER EL PASO COUNTY SD\_3-25 AND SD\_3-25A

TITLE	CONSTRUCTION DRAWINGS	DATE	12/06/2024
DESCRIPTION	SITE PLAN	REVIEWED BY	JJM
SITE ID	51028	DATE ISSUED	12/06/2024
SITE ADDRESS		8664 FONTAINE BLVD., COLORADO SPRINGS, COLORADO	
PREPARED FOR:	McDonald's USA, LLC	PREPARED BY:	Kimley»Horn
DRAWN BY:		ALS	
STD ISSUE DATE		12/06/2024	
REVIEWED BY		JJM	
DATE ISSUED		12/06/2024	
REV	DATE	DESCRIPTION	BY



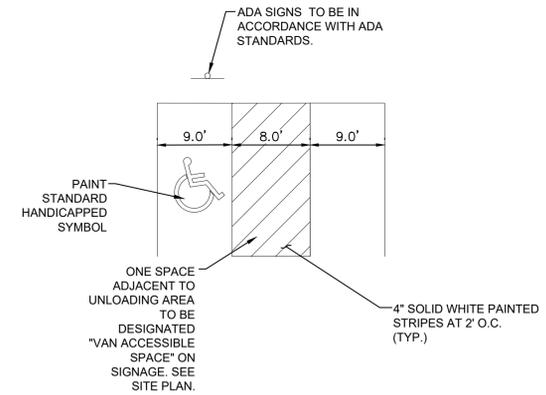


VILLAGE AT LORSON RANCH,  
 FILING NO. 1, LOT 6  
 CURRENT OWNER(S): CRADLAN LLC



**LEGEND**

- PROPERTY LINE
- - - SETBACK
- - - EASEMENTS
- [Pattern] PROPOSED CONCRETE
- [Pattern] PROPOSED LANDSCAPING
- [Pattern] EXISTING SIDEWALK
- ⊕ PROPOSED PARKING COUNT



**NOTES:**

1. DIMENSIONS MAY VARY. REFER TO SITE PLAN (SHEET C1.2).
2. SIGNAGE AND MARKINGS TO BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.

**ACCESSIBLE PARKING DETAIL**  
 NOT TO SCALE

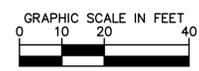
**GENERAL NOTES**

1. ALL SIGNS ARE REVIEWED UNDER SEPARATE PERMIT

VILLAGE AT LORSON RANCH, FILING NO. 1, LOT 3  
 CURRENT OWNER(S): CRADLAN LLC

NORTHING: 22906.87  
 EASTING: 20608.44

FONTAINE BOULEVARD  
 (PUBLIC R.O.W.)



TITLE	CONSTRUCTION DRAWINGS	DATE	12/06/2024
DESCRIPTION	HORIZONTAL CONTROL PLAN	REVIEWED BY	JJM
SITE ID	51028	DATE ISSUED	12/06/2024
SITE ADDRESS		8664 FONTAINE BLVD., COLORADO SPRINGS, COLORADO	
PREPARED FOR:	McDonald's USA, LLC	PROFESSIONAL ENGINEER	12/6/2024
DESIGNER	Kimley»Horn	DATE	
REV		DATE	
BY		DATE	



**C1.4**

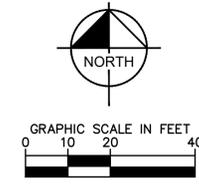
LINE TABLE		
LINE	LENGTH	BEARING
L1	13.31	S0°09'26.31"W
L2	117.00	N89°50'33.69"W
L3	15.29	N0°09'26.31"E
L4	7.90	N89°48'39.96"W
L5	6.12	S0°09'26.31"W
L6	17.89	S75°09'26.31"W
L7	83.86	S0°09'26.31"W
L8	16.28	N75°09'26.31"E
L9	3.11	S0°09'26.31"W
L10	17.89	S75°09'26.31"W
L11	61.57	S0°09'26.31"W
L12	12.18	N89°50'01.70"W
L13	15.50	N0°09'58.30"E
L14	511.53	N89°50'33.69"W
L15	14.97	S0°09'58.30"W
L16	17.50	N89°55'09.44"W
L17	5.92	N0°09'26.43"E
L18	1.21	N90°00'00.00"W
L19	164.74	N0°08'29.29"E
L20	1.25	S89°50'33.69"E
L21	164.74	S0°09'26.43"W
L22	70.19	N0°10'37.70"E
L23	61.27	N89°50'33.69"W
L24	2.63	S0°00'00.00"E
L25	17.89	S74°50'33.69"E
L26	73.50	S0°09'26.31"W
L27	16.13	N74°50'33.69"W
L28	11.21	S0°10'37.70"W
L29	44.60	S43°49'22.30"E
L30	16.48	S43°49'22.30"E
L31	36.98	N43°49'22.30"W

CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	5.00'	7.84'	S45°04'43"W	7.06'	89°50'34"	4.99'
C2	3.00'	4.71'	N44°49'37"W	4.24'	89°58'06"	3.00'
C3	10.00'	15.74'	S44°55'17"E	14.16'	90°09'26"	10.03'
C4	3.00'	3.93'	S37°39'26"W	3.65'	75°00'00"	2.30'
C5	3.00'	5.50'	S52°20'34"E	4.76'	105°00'00"	3.91'
C6	3.00'	3.93'	S37°39'26"W	3.65'	75°00'00"	2.30'
C7	3.00'	4.71'	N44°50'02"W	4.24'	90°00'00"	3.00'
C8	3.00'	4.71'	S45°09'58"W	4.24'	90°00'00"	3.00'
C9	5.00'	7.85'	N44°50'18"W	7.07'	89°59'28"	5.00'
C10	1.00'	1.57'	N44°55'45"W	1.42'	90°08'29"	1.00'
C11	1.00'	1.57'	N45°08'58"E	1.41'	90°00'57"	1.00'
C12	1.00'	1.57'	S44°50'34"E	1.41'	90°00'00"	1.00'
C13	1.00'	1.57'	S45°04'43"W	1.41'	89°50'34"	1.00'
C14	5.00'	7.85'	N44°51'02"W	7.07'	89°59'03"	5.00'
C15	5.00'	7.87'	S45°04'43"W	7.08'	90°09'26"	5.01'
C16	3.00'	3.92'	S37°25'17"E	3.65'	74°50'34"	2.30'
C17	3.00'	5.50'	S52°40'02"W	4.76'	104°58'49"	3.91'
C18	20.50'	15.74'	S21°49'22"E	15.36'	44°00'00"	8.28'
C19	20.00'	47.47'	N68°10'38"E	37.09'	136°00'00"	49.50'
C20	1.50'	3.86'	N29°51'31"E	2.88'	147°21'47"	5.12'
C21	20.50'	11.68'	S60°08'29"E	11.52'	32°38'13"	6.00'
C22	20.50'	11.68'	S27°30'16"E	11.52'	32°38'13"	6.00'
C23	1.50'	3.86'	S62°29'44"W	2.88'	147°21'47"	5.12'

Traffic Area	Asphalt (inches)	Untreated Base Course (inches)
Light traffic and parking Areas (31.75 kN Wheel Loads)	3	6
Medium traffic (40.82 kN Wheel Loads)	4	6

<b>Kimley»Horn</b>							
 PREPARED BY: [Signature] 59054 12/6/2024 PROFESSIONAL ENGINEER							
<b>McDonald's USA, LLC</b> <small>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by McDonald's USA, LLC and shall not be used for any other project. Use of these drawings for reference or example on another project requires the approval of McDonald's USA, LLC. The contract documents for reuse on another project is not authorized.</small>							
DRAWN BY: ALS STD ISSUE DATE: 12/06/2024 REVIEWED BY: JIM DATE ISSUED: 12/06/2024							
<b>CONSTRUCTION DRAWINGS</b> DESCRIPTION: <b>LINE AND CURVE TABLES AND PAVEMENT</b> SITE ID: 51028 SITE ADDRESS: 8664 FONTAINE BLVD., COLORADO SPRINGS, COLORADO							
<b>C1.5</b>							
 Know what's below. Call before you dig.							
TITLE: CONSTRUCTION DRAWINGS DESCRIPTION: LINE AND CURVE TABLES AND PAVEMENT SITE ID: 51028 SITE ADDRESS: 8664 FONTAINE BLVD., COLORADO SPRINGS, COLORADO	REV: _____ DATE: _____						BY: _____ DESCRIPTION: _____

VILLAGE AT LORSON RANCH,  
FILING NO. 1, LOT 6  
CURRENT OWNER(S): CRADLAN LLC

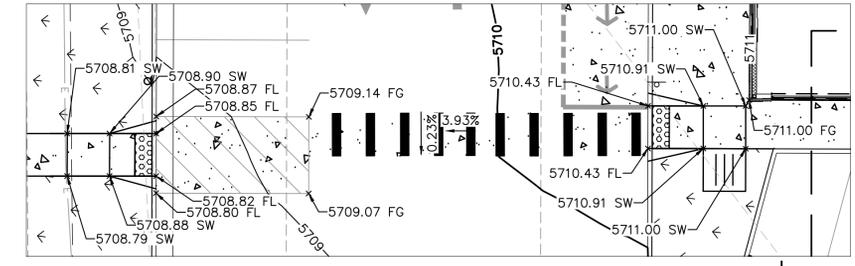
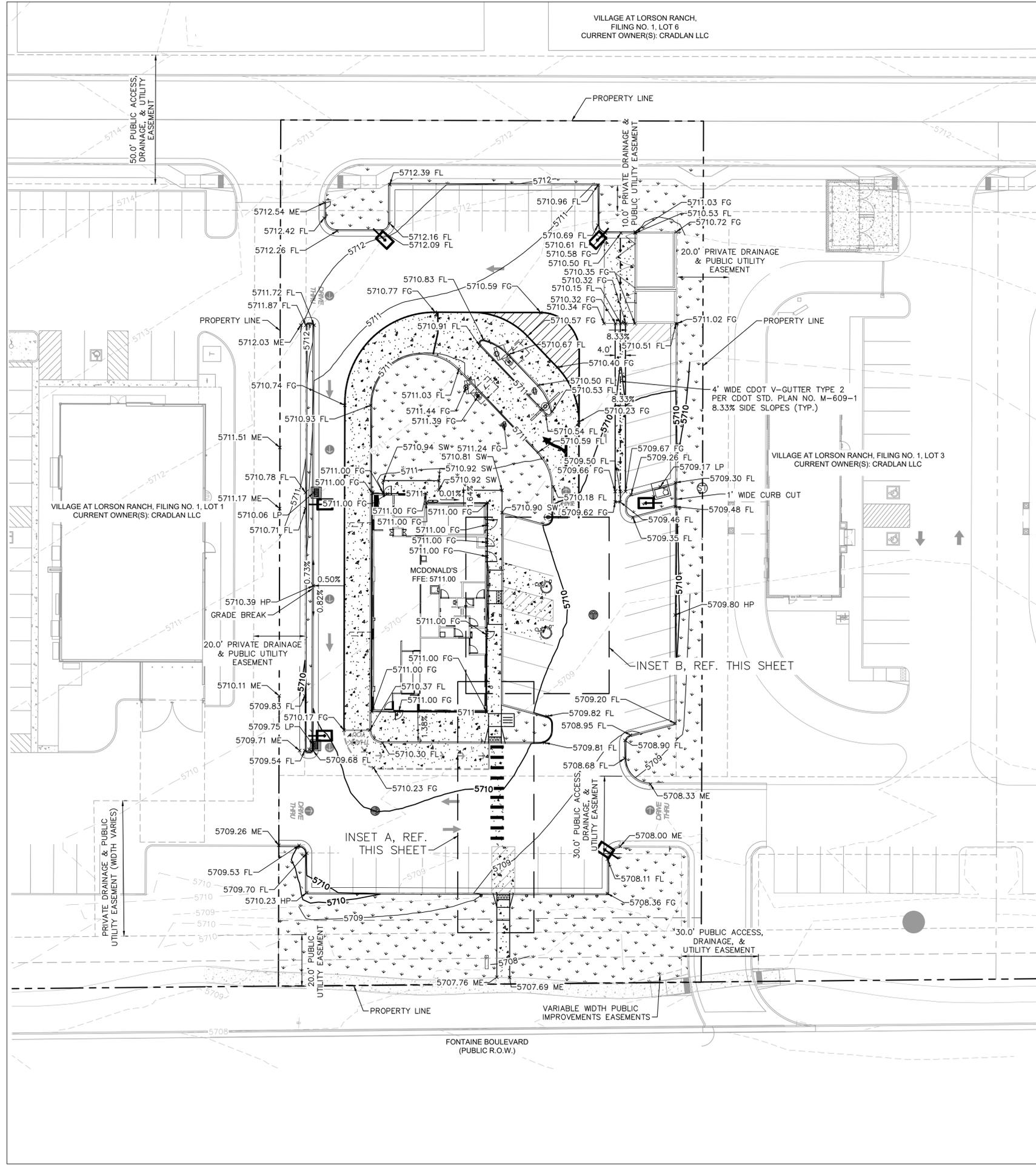


**LEGEND**

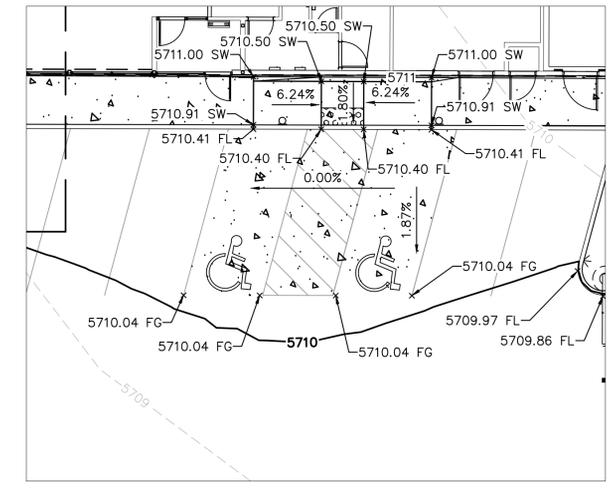
- PROPERTY LINE
- SETBACKS
- - - PROPOSED EASEMENTS
- - - EXISTING EASEMENTS
- 6000 — PROPOSED MAJOR CONTOUR
- 6001 — PROPOSED MINOR CONTOUR
- 6000 — EXISTING MAJOR CONTOUR
- 6001 — EXISTING MINOR CONTOUR
- [Pattern] PROPOSED LANDSCAPING
- [Pattern] EXISTING SIDEWALK
- FG FINISHED GRADE
- FFE FINISH FLOOR ELEVATION
- ME MATCH EXISTING
- LP LOW POINT
- FL FLOW LINE
- HP HIGH POINT
- SW SIDEWALK

**GENERAL NOTES**

1. PRIVATE CURB RAMPS ON THE SITE SHALL CONFORM TO ADA STANDARDS
2. ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, SIGNING AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION
3. ACCESSIBLE RAMP SLOPES SHALL NOT EXCEED 1 VERTICAL TO 12 HORIZONTAL
4. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0% SLOPE IN ANY DIRECTION
5. CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FROM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ADA SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER OF RECORD PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES



INSET A



INSET B

TITLE	DESCRIPTION	DATE	BY
CONSTRUCTION DRAWINGS	CONSTRUCTION DRAWINGS	12/06/2024	
DETAILED GRADING PLAN	DETAILED GRADING PLAN	12/06/2024	
SITE ID	SITE ADDRESS	DATE	DESCRIPTION
51028	8664 FONTAINE BLVD., COLORADO SPRINGS, COLORADO	12/06/2024	

PREPARED FOR:  
**McDonald's USA, LLC**

These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared in accordance with the contract documents for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the contractor to verify the accuracy of the information and the contract documents for reuse on another project is not authorized.

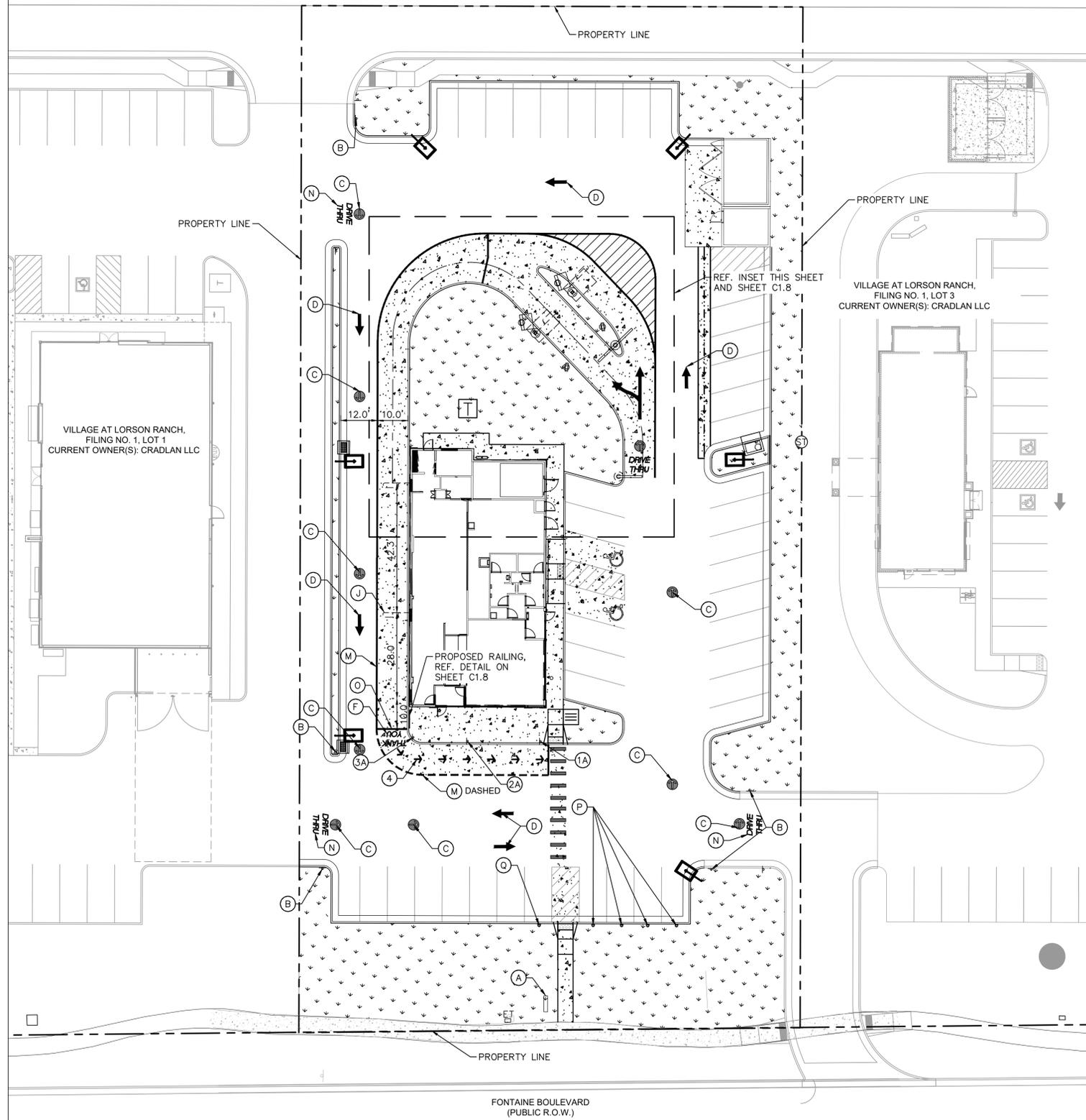


**Kimley-Horn**

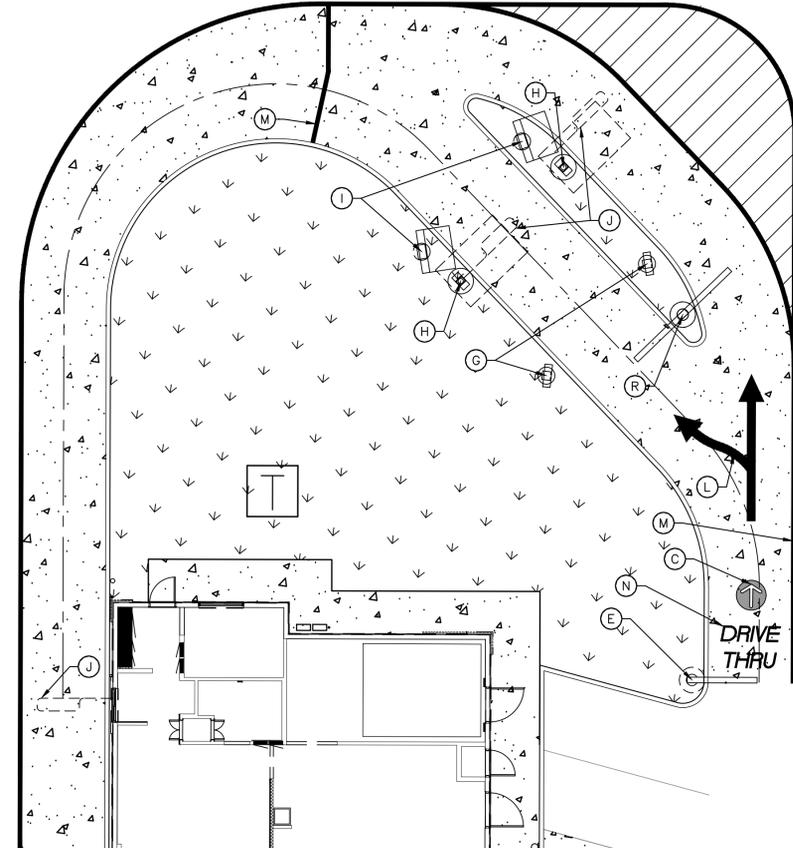


**C1.6**

VILLAGE AT LORSON RANCH,  
FILING NO. 1, LOT 6  
CURRENT OWNER(S): CRADLAN LLC



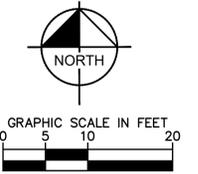
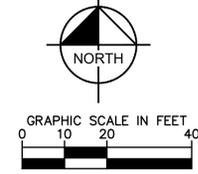
VILLAGE AT LORSON RANCH,  
FILING NO. 1, LOT 3  
CURRENT OWNER(S): CRADLAN LLC



INSET (SIGNAGE)

**SITE LEGEND**

- (A) MONUMENT SIGN (PER SEPARATE SIGN PACKAGE)
- (B) DIRECTIONAL SIGN
- (C) MCDONALD'S STANDARD TRAFFIC ARROW, REFERENCE SHEET C1.8 FOR DETAIL
- (D) DIRECTIONAL ARROW, WHITE, REFERENCE SHEET C1.8 FOR DETAIL
- (E) SINGLE GATEWAY ARM
- (F) THANK YOU TEXT STRIPING, REFERENCE SHEET C1.8 FOR DETAIL
- (G) PRE-SELL BOARD
- (H) DRIVE-THRU CANOPY WITH BUILT IN COD
- (I) DIGITAL MENU BOARD
- (J) LOOP DETECTOR
- (L) MCDONALD'S DRIVE-THRU ARROW, REFERENCE SHEET C1.8 FOR DETAIL
- (M) PMS 123 YELLOW EPOXY 6" WIDE DRIVE-THRU LANE STRIPING
- (N) DRIVE THRU TEXT STRIPING, REFERENCE SHEET C1.8 FOR DETAIL
- (O) PMS 123 YELLOW EPOXY 8" WIDE DRIVE-THRU LANE STRIPING
- (P) MOBILE ORDER PICK-UP SIGN
- (Q) MCDelivery SIGN
- (R) DOUBLE GATEWAY ARM



**ROLL FORWARD SITE LEGEND**

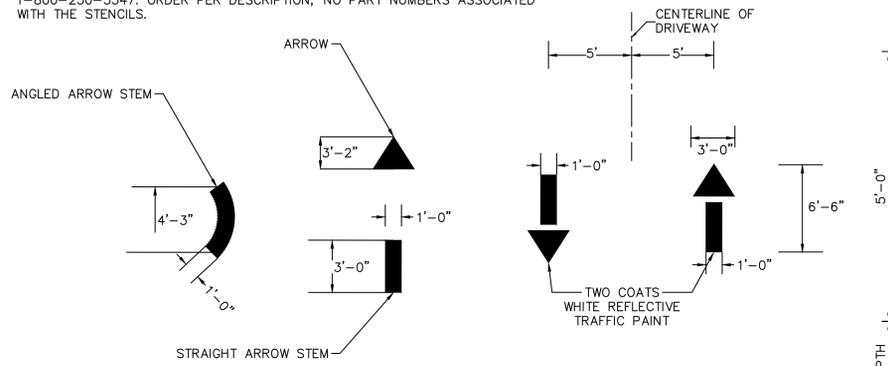
- (1A) ROLL FORWARD PICK UP SIGN
- (2A) ROLL FORWARD PULL AHEAD SIGN
- (3A) ROLL FORWARD LEFT TURN SIGN
- (4) ROLL FORWARD DIRECTIONAL ARROW PAVEMENT STRIPING, YELLOW, REFERENCE DETAIL ON SHEET C1.8

TITLE	CONSTRUCTION DRAWINGS	DATE	12/06/2024
DESCRIPTION	MCDONALD'S SIGNAGE AND DRIVE THRU PLAN	ISSUED BY	JJM
SITE ID	51028	DATE ISSUED	12/06/2024
SITE ADDRESS		8664 FONTAINE BLVD., COLORADO SPRINGS, COLORADO	
PREPARED BY	McDonald's USA, LLC	PROFESSIONAL ENGINEER	12/6/2024
REV	DATE	DESCRIPTION	BY

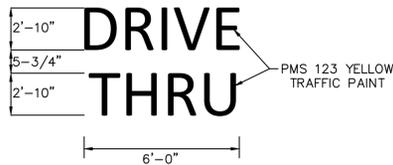


**STANDARD STENCIL AND PAINT COLOR NOTE:**

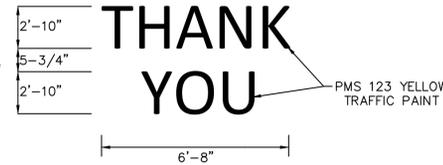
MCDONALD'S TYPICAL STENCILS ARE AVAILABLE AT THE PAVEMENT COMPANY  
1-800-250-5547. ORDER PER DESCRIPTION; NO PART NUMBERS ASSOCIATED WITH THE STENCILS.



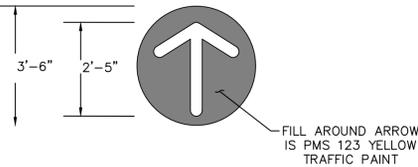
**DIRECTIONAL ARROW DETAIL**  
NOT TO SCALE



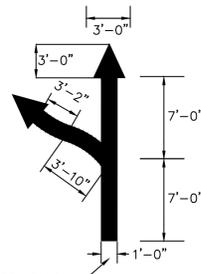
**DRIVE-THRU DETAIL**  
NOT TO SCALE



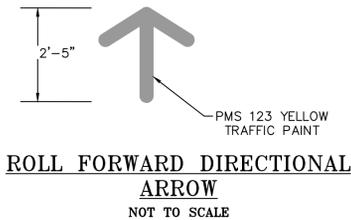
**THANK YOU DETAIL**  
NOT TO SCALE



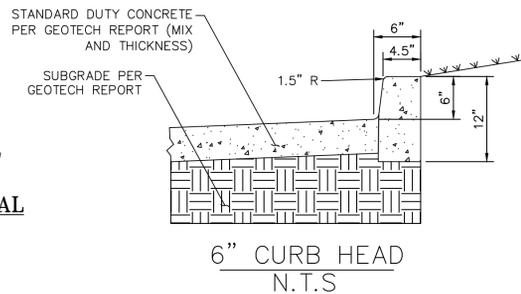
**STANDARD TRAFFIC ARROW**  
NOT TO SCALE



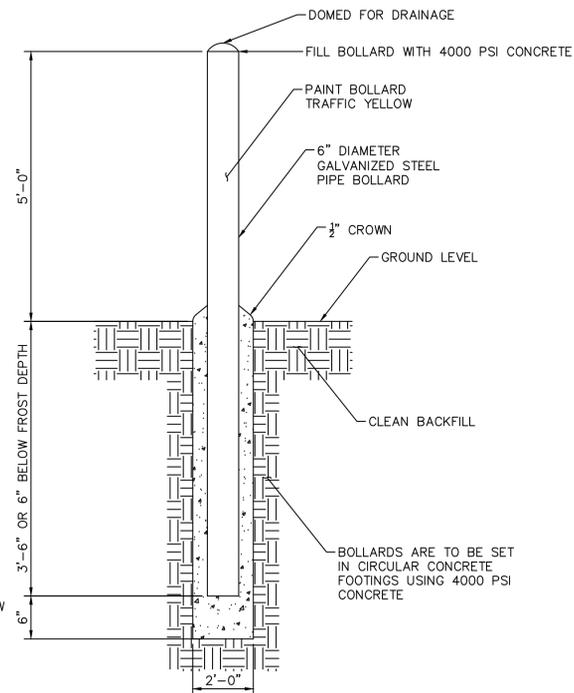
**DRIVE-THRU ARROW DETAIL**  
NOT TO SCALE



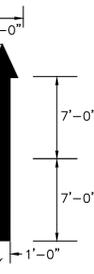
**ROLL FORWARD DIRECTIONAL ARROW**  
NOT TO SCALE



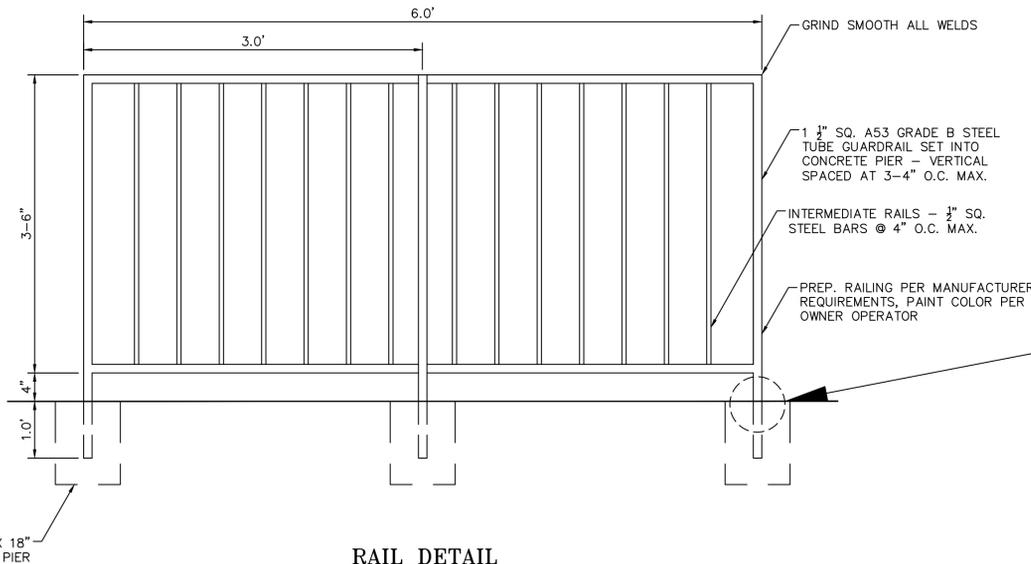
**6" CURB HEAD**  
N.T.S



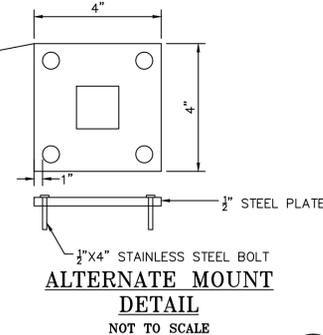
**BOLLARD DETAIL**  
NOT TO SCALE



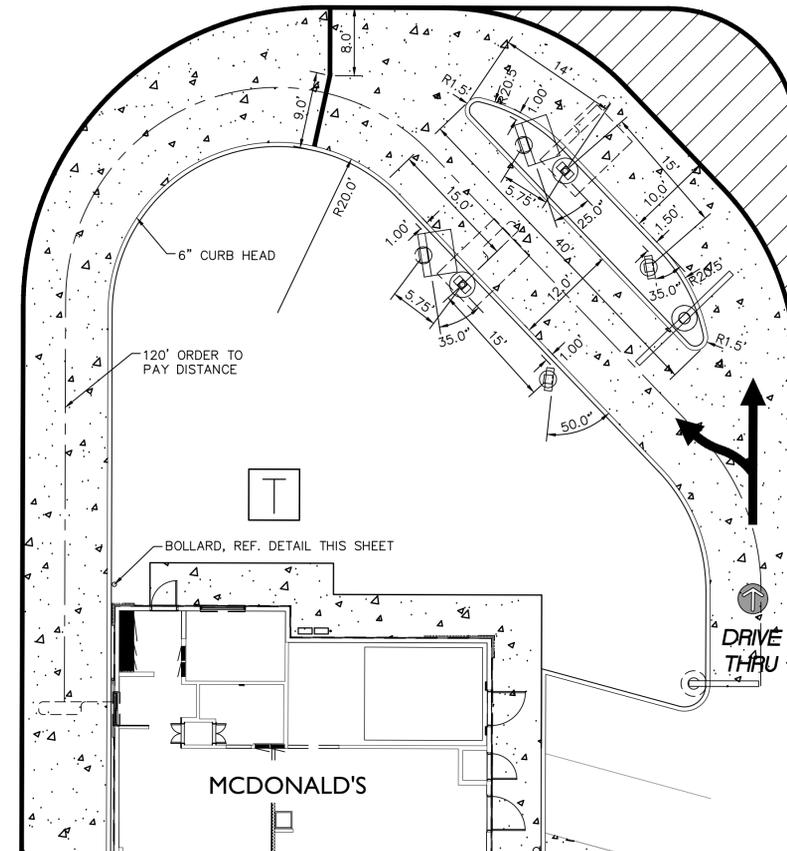
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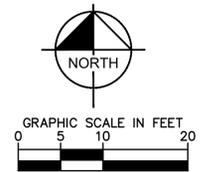
**RAIL DETAIL**  
NOT TO SCALE



**ALTERNATE MOUNT DETAIL**  
NOT TO SCALE

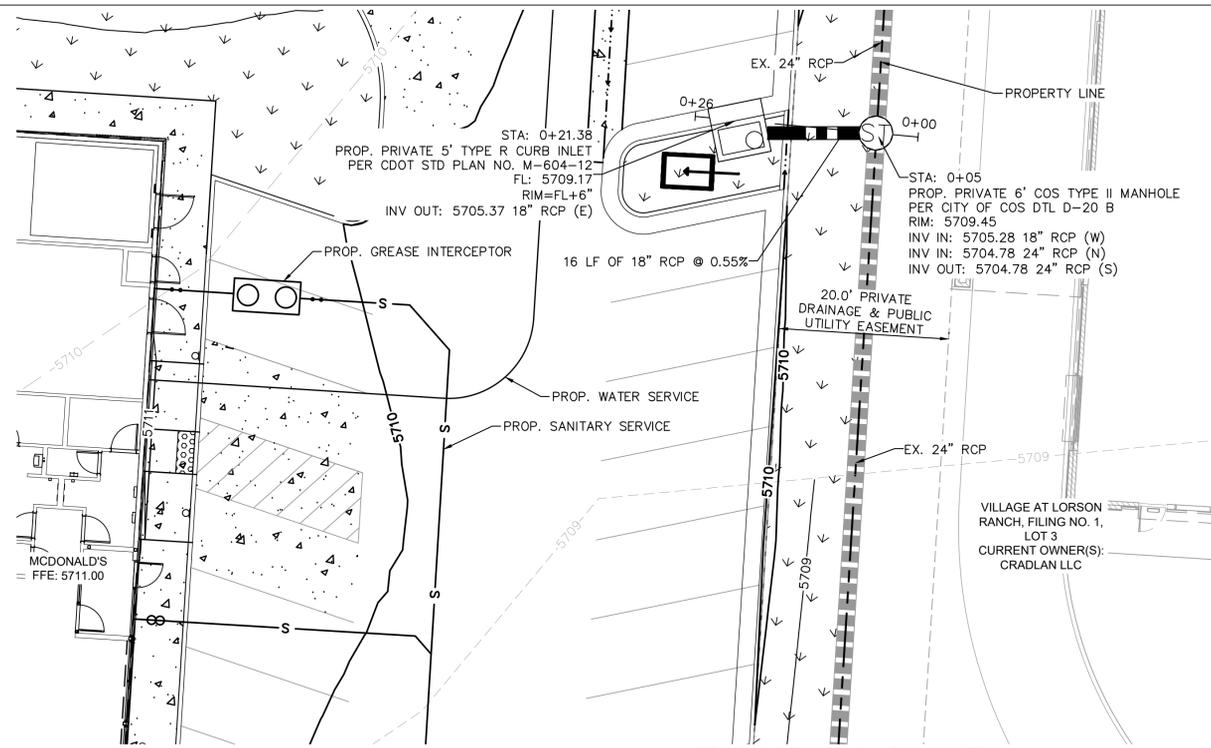


**INSET (DIMENSION)**

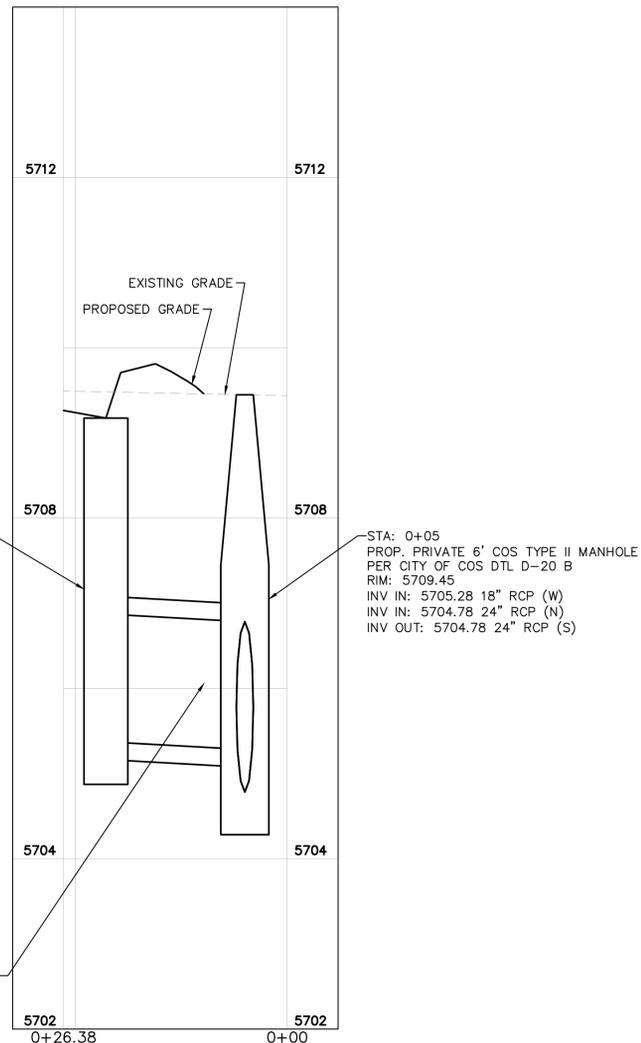
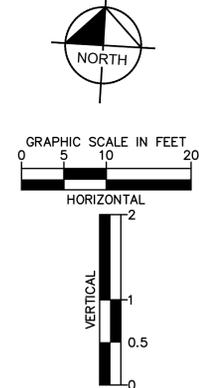


TITLE	CONSTRUCTION DRAWINGS	DATE	12/06/2024
DESCRIPTION	MCDONALD'S SIGNAGE DETAILS	ISSUED BY	JJM
SITE ID	51028	DATE ISSUED	12/06/2024
SITE ADDRESS	9664 FONTAINE BLVD., COLORADO SPRINGS, COLORADO	PREPARED BY	Kimley»Horn
PROFESSIONAL ENGINEER	12/6/2024	REV	DATE
BY	DESCRIPTION		





STORM SEWER A - PLAN VIEW



STORM SEWER A - PROFILE VIEW

**LEGEND**

	PROPERTY LINE
	SETBACKS
	PROPOSED EASEMENTS
	EXISTING EASEMENTS
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED LANDSCAPING
	PROPOSED CONCRETE
	PROPOSED CURB AND GUTTER
	EXISTING STORM SEWER
	EXISTING STORM INLET
	PROPOSED STORM SEWER
	PROPOSED STORM INLET
	PROPOSED STORM MANHOLE
	PROPOSED ELECTRIC LINE
	PROPOSED GAS LINE
	PROPOSED COMMUNICATIONS LINE
	PROPOSED SANITARY LINE
	PROPOSED WATER LINE

- NOTES**
- ALL PROPOSED STORM INFRASTRUCTURE DEPICTED ON THESE PLANS IS TO BE PRIVATELY OWNED AND MAINTAINED UNLESS OTHERWISE NOTED.
  - ADD WATER TIGHT JOINT WHEN 100-YEAR HGL SHOWS PIPE FULLY INUNDATED.
  - CONTRACTOR TO VERIFY TIE-IN ELEVATIONS TO EXISTING STORM SEWER AND INFORM ENGINEER OF RECORD OF ANY CONFLICTS.
  - CONTRACTOR TO ENSURE A MINIMUM OF 18" VERTICAL SEPARATION AT ALL UTILITY CROSSINGS.

TITLE	DATE	BY	DESCRIPTION
CONSTRUCTION DRAWINGS			
STORM SEWER A PLAN & PROFILE			
SITE ID: 51028			
SITE ADDRESS: 8664 FONTAINE BLVD., COLORADO SPRINGS, COLORADO			

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PREPARED BY: **Kimley»Horn**  
 COLORADO LICENSE NO. 59054  
 12/6/2024  
 PROFESSIONAL ENGINEER

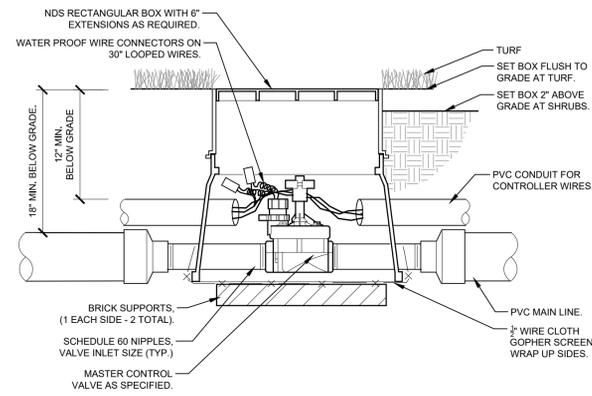




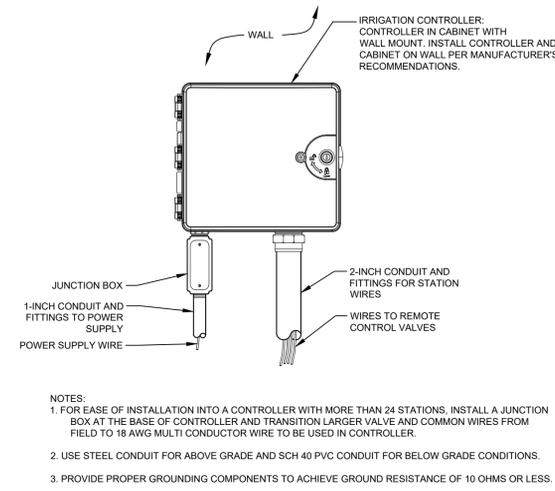




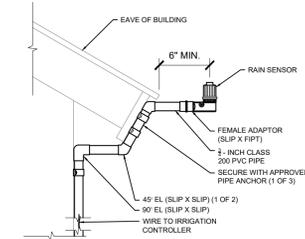




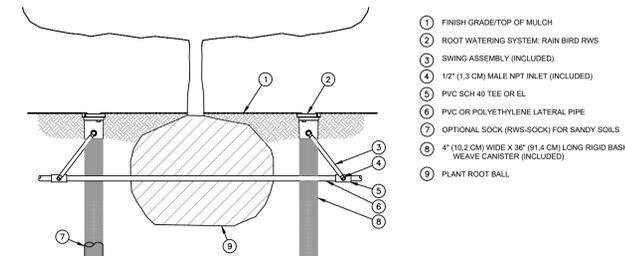
**1 MASTER CONTROL VALVE**  
IR1.2 SECTION NTS



**2 IRRIGATION CONTROLLER - WALL MOUNT**  
IR1.2 ELEVATION NTS

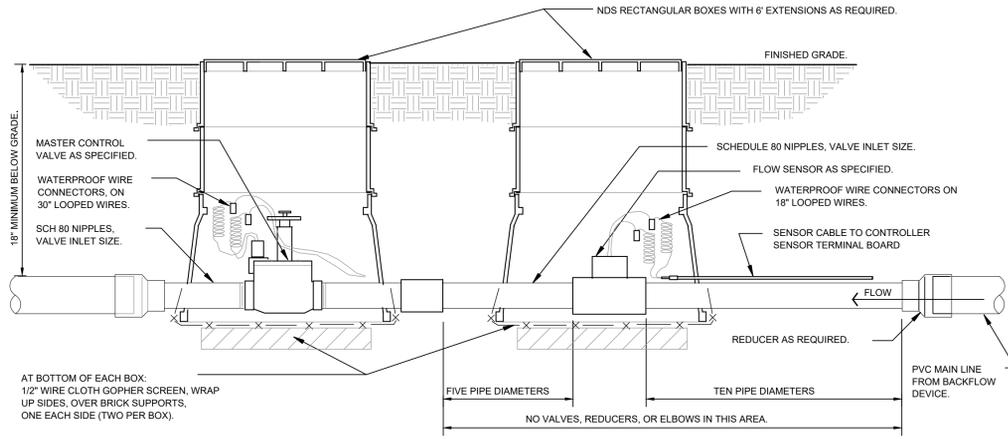


**3 RAIN SENSOR - BUILDING MOUNT**  
IR1.2 SECTION NTS



**4 ROOT WATERING SYSTEM**  
IR1.2 SECTION NTS  
096-006-032-24

- 1 FINISH GRADE/TOP OF MULCH
- 2 ROOT WATERING SYSTEM: RAIN BIRD RWS
- 3 SWING ASSEMBLY (INCLUDED)
- 4 1/2" (1.3 CM) MALE NPT INLET (INCLUDED)
- 5 PVC SCH 40 TEE OR EL
- 6 PVC OR POLYETHYLENE LATERAL PIPE
- 7 OPTIONAL SOCK (RWS-SOCK) FOR SANDY SOILS
- 8 4" (10.2 CM) WIDE X 36" (91.4 CM) LONG RIGID BASKET WEAVE CANISTER (INCLUDED)
- 9 PLANT ROOT BALL



**5 MASTER CONTROL VALVE / FLOW SENSOR ASSEMBLY**  
IR1.2 SECTION NTS

TITLE	DESCRIPTION	DATE	REV	DATE	DESCRIPTION	BY
CONSTRUCTION DRAWINGS	IRRIGATION DETAILS	12/06/2024				
51028	8664 FONTAINE BLVD., COLORADO SPRINGS, COLORADO					

PREPARED FOR:  
**McDonald's USA, LLC**

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PREPARED BY:  
**Kimley»Horn**



IR1.2