

Please add the following note to the site plan:
 - The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

RJA PROPERTIES
 1495 PAONIA ST
 PARCEL NO: 54072-06-001
 ZONE: I-2 CAD-O
 USE: WAREHOUSE/ STORAGE

ACTION HOLDINGS LLC
 1440 VALLEY ST.
 PARCEL NO: 54072-03-012
 ZONE: I-2 CAD-O
 USE: WAREHOUSE/ STORAGE

OTTER ROCK LEASING LLC
 6125 OMAHA BLVD
 PARCEL NO: 54072-02-085
 ZONE: I-2 CAD-O
 USE: WAREHOUSE/ STORAGE

BBP FAMILY PARTNERSHIP LLLP
 1435 PAONIA ST
 PARCEL NO: 54072-06-002
 ZONE: I-2 CAD-O
 USE: OFFICES

GERALD RUSSELL WELLS LIVING TRUST
 1335 PAONIA ST
 PARCEL NO: 54072-06-005
 ZONE: I-2 CAD-O
 USE: INDUSTRIAL CONDOMINIUMS

JOSEPH J. DEAK
 1350 VALLEY ST.
 PARCEL NO: 54072-03-024
 ZONE: I-2 CAD-O
 USE: WAREHOUSE/ STORAGE

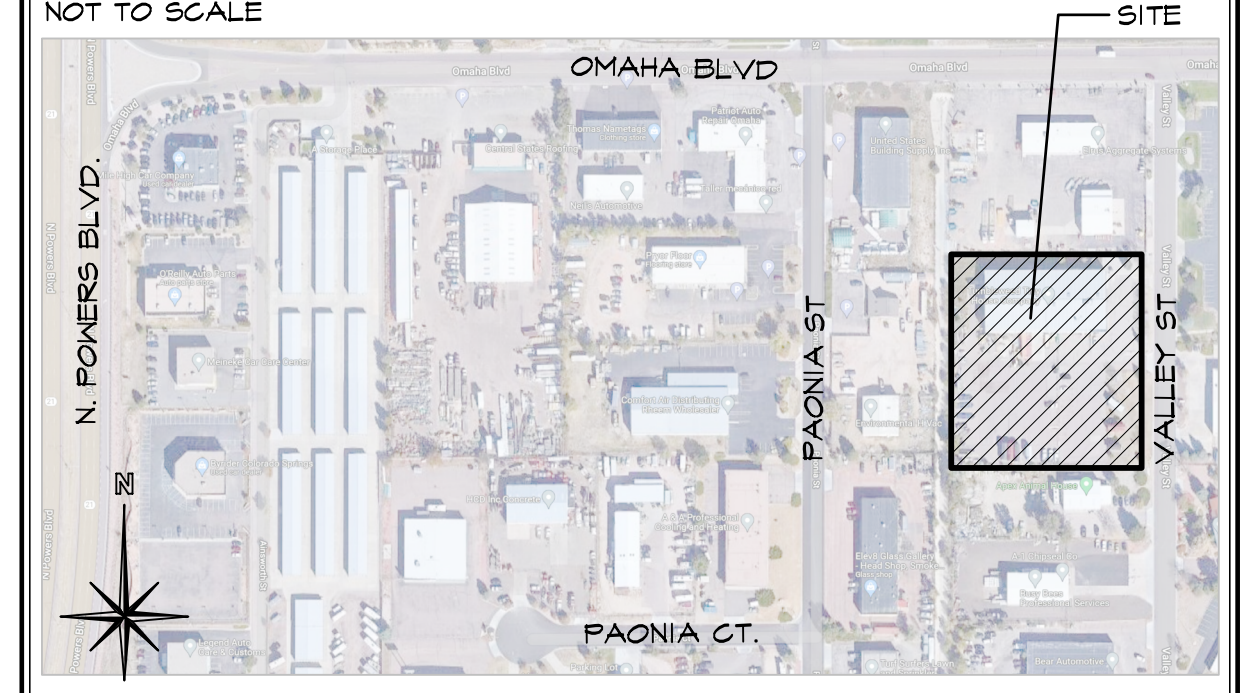
1425 VALLEY STREET LLC
 1425 VALLEY ST.
 PARCEL NO: 54072-02-024
 ZONE: I-2 CAD-O
 USE: WAREHOUSE/ STORAGE

1555 VALLEY STREET LLC
 1555 VALLEY ST.
 PARCEL NO: 54072-02-023
 ZONE: I-2 CAD-O
 USE: WAREHOUSE/ STORAGE

DRAWING INDEX

- 1 OF 10 - SITE PLAN & NOTES, PROJECT INFORMATION, DRAWING INDEX
- 2 OF 10 - SITE DETAILS
- C1.1 - 3 OF 10 - SITE GRADING AND EROSION CONTROL PLAN
- C1.2 - 4 OF 10 - CIVIL NOTES AND DETAILS
- U1 - 5 OF 10 - SITE UTILITY PLAN
- L1.1 - 6 OF 10 - LANDSCAPE PLAN
- L1.2 - 7 OF 10 - LANDSCAPE DETAILS AND NOTES
- SPO.1 - 8 OF 10 - PHOTOMETRICS SITE PLAN
- SPO.2 - 4 OF 10 - PHOTOMETRICS CUT SHEETS
- 10 OF 10 - BUILDING ELEVATIONS

VICINITY MAP



PROJECT INFORMATION

PROPERTY INFORMATION	OWNER NAME: CARSON INVESTMENT PROPERTIES LLC PO BOX 125 BEULAH, CO 81023-0125
LEGAL DESCRIPTION:	LOT 2 BLK 1 CIMARRON INDUSTRIAL NO 2 54072-03-013 I-2 CAD-O 111,024 SF. (2.55 ACRES) WAREHOUSE/ STORAGE
FLOODPLAIN STATEMENT:	ZONE X (FEMA FIRM NO. 08041C07536, DATED DECEMBER 7, 2018)
BUILDING INFORMATION	EXISTING BUILDING AREA: 20,000 SF NEW BUILDING AREA: 18,800 SF BUILDING OCCUPANCY: B/S-2 TYPE OF CONSTRUCTION: I-B FIRE SYSTEMS: NONE AREA SEPARATION WALLS: NONE
ZONING INFORMATION	PROPOSED USE: OFFICE/ WAREHOUSE STRUCT. COVERAGE OF LOT: 34% (35% MAX) PAVEMENT COVERAGE: 45% LANDSCAPE COVERAGE: 21% BUILDING STRUCTURAL HEIGHT: 20'-10 1/2" (45'-0" MAX) FRONT YARD SETBACK: 50'-0" SIDE YARD SETBACK: 30'-0" REAR YARD SETBACK: 50'-0"
REQUIRED PARKING SPACES	OFFICE - (1 SPACE/200 S.F.) (8,900 S.F. / 200 S.F.): 45 WAREHOUSE - (1 SPACE/1,000 S.F.) (8,900 / 1,000 S.F.): 9 H.C. - (1 SPACE/25 REQ'D): 3 TOTAL PARKING SPACES REQUIRED: 57 TOTAL PARKING PROVIDED: 55 STANDARD SPACES PROVIDED: 52 H.C. SPACES PROVIDED: 3 (SEE DETAIL 1/2 FOR DIMENSIONS) LOADING SPACE PROVIDED: 14x18' AREA PROVIDED
DEVELOPMENT SCHEDULE	CONSTRUCTION: SPRING 2023 LANDSCAPING: SUMMER 2023
DEVELOPMENT APPLICANT	COMPANY: HAMMERS CONSTRUCTION, INC. 1411 KOOLSEY HEIGHTS COLO. SP65, CO 80415 (714)-570-1544 FAX NUMBER: (714)-570-1008 AFFILIANT NAME: LISA PETERSON AFFILIANT E-MAIL: lpeterson@hammersconstruction.com

SITE LEGEND

---	PROPERTY LINE	○	EXISTING FIRE HYDRANT
- - -	RIGHT OF WAY	○	PROPOSED FIRE HYDRANT
---	BUILDING SETBACK	○	MANHOLE
- - -	LANDSCAPE SETBACK	□	ELECTRICAL TRANSFORMER
---	UTILITY/DRAINAGE EASEMENT	○	WALK DOOR OR OVERHEAD DOOR LOCATIONS
- - -	UTILITY EASEMENT	○	
---	ACCESS EASEMENT	○	
---	CHAINLINK OPAQUE FENCE	○	
---	6' HIGH WROUGHT IRON FENCE	○	
---	RETAINING WALL	○	
---	NEW SIDEWALK LOCATIONS	○	
---	W CONTROL JOINTS @ 5'-0" O.C.	○	

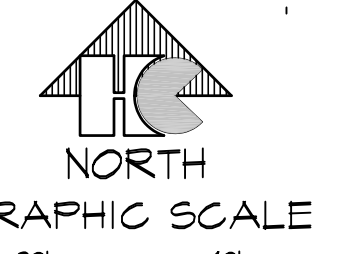
HAMMERS CONSTRUCTION INC.
 COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD
 PRESIDENT: STEVE R. HAMMERS
 VICE PRES: DAVID J. HAMMERS
 1411 KOOLSEY HEIGHTS
 COLORADO SPRINGS, CO 80915
 (719) 570-1599 FAX (719) 570-7008
 www.hammersconstruction.com

THIS DRAWING CONTAINS MATERIAL & INFORMATION WHICH MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT OF HAMMERS CONSTRUCTION INC. THESE DRAWINGS ARE INTENDED TO BE USED ONLY BY HAMMERS CONSTRUCTION & ITS REPRESENTATIVES. THESE DRAWINGS HAVE NOT BEEN PREPARED FOR ANY OTHER PURPOSE THAN TO INDICATE THE GENERAL FEATURES AND PLACEMENT OF THE PROPOSED PROJECT. COPYRIGHT © 2022 HAMMERS CONSTRUCTION

VALLEY STREET
 NEW BUILDING
 1450 VALLEY STREET
 COLORADO SPRINGS, CO 80934
 EL PASO COUNTY, COLORADO

DATE: NOV. 7, 2022
 DRAWN BY: W. VENEROS
 PROJ. MGR: P. HOLLI-ARCUS
 SCALE: SEE PLAN
 APPROVED BY:
 JOB NO: 1304

RESUBMITTALS:
 ▲
 ▲
 ▲
 ▲
 ▲
 ▲



SITE PLAN

SCALE: 1"=20'-0"

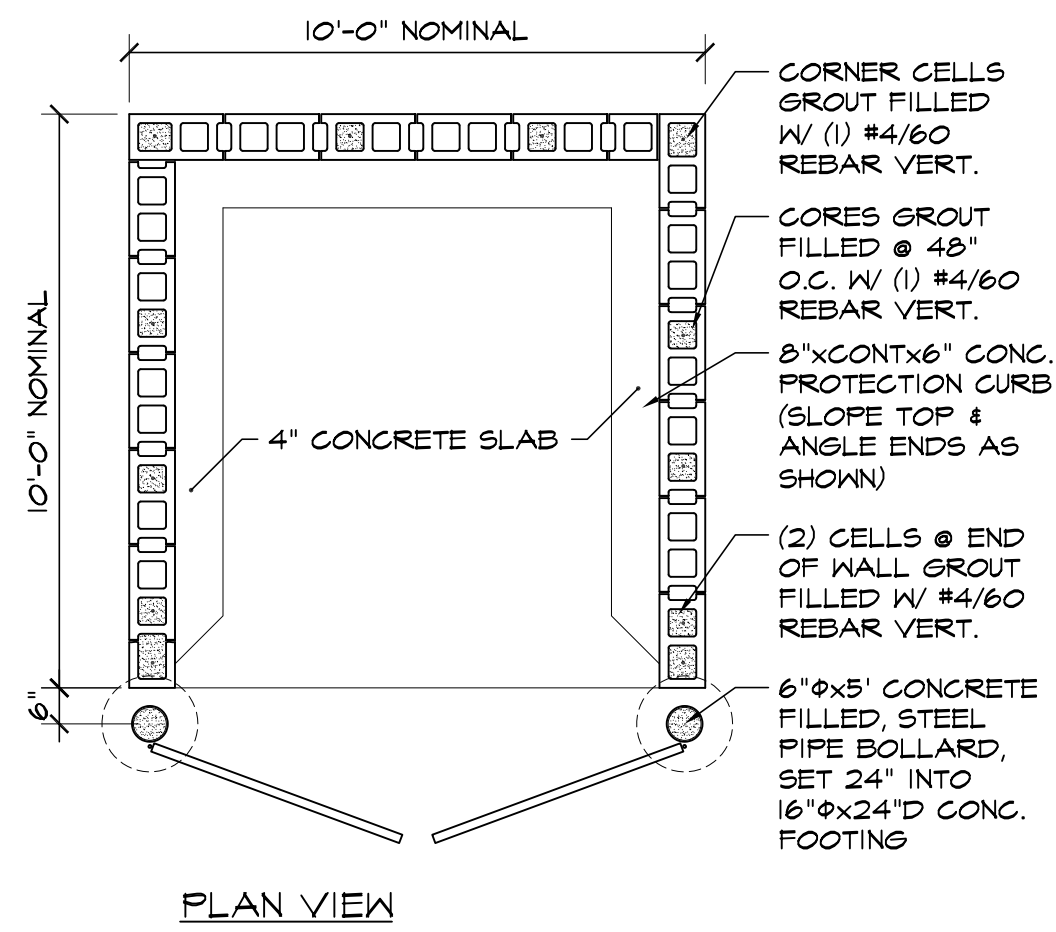
Please include:
 -well and septic sites, if none please specify
 -location of no build areas, if none please specify
 -location of off street parking, if applicable

There is no approved driveway access permit on file for the two existing driveways. Applicant will have to apply for driveway access permits prior to building permit approval. Additionally, the maximum number of driveways allowed for the parcel is two (2). Applicant will have to close one of the existing driveways prior to construction of the proposed driveway.

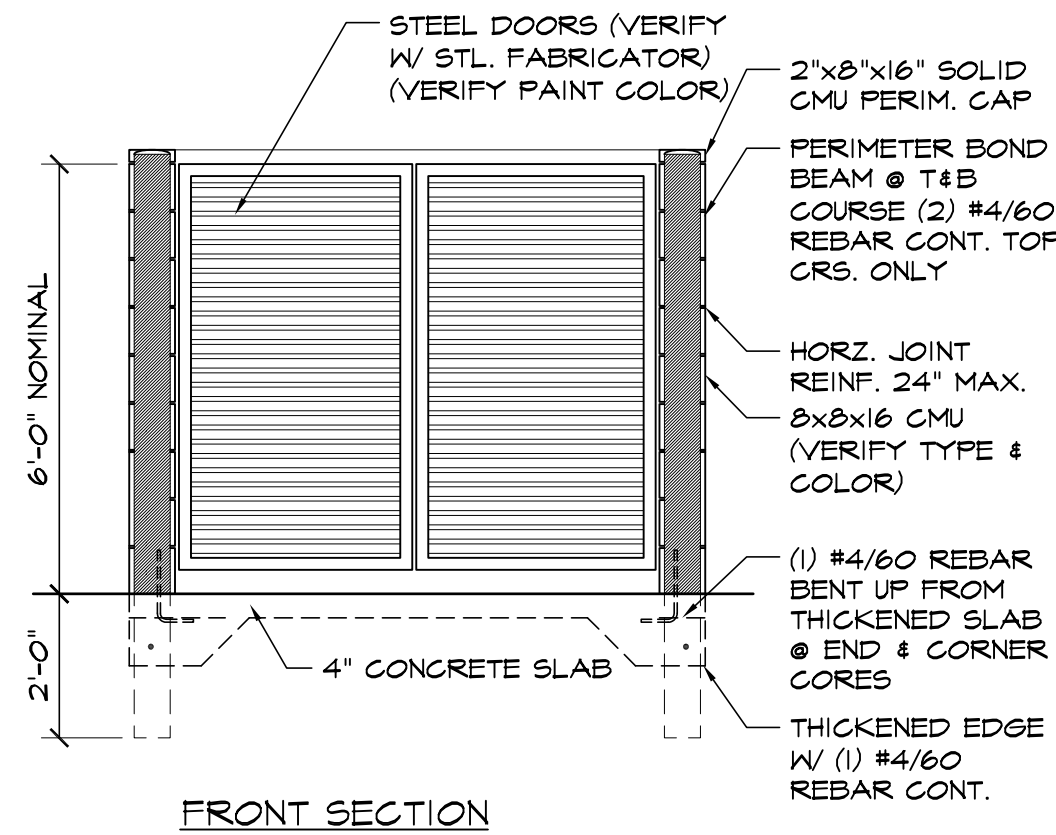
Please refer to ECM 2.4.1. B and ECM table 2-35 for required distance between the proposed driveways

Please be sure to identify which driveways are new and which are existing. Also specify the appropriate EPC standard driveway detail

CD DIRECTOR APPROVAL

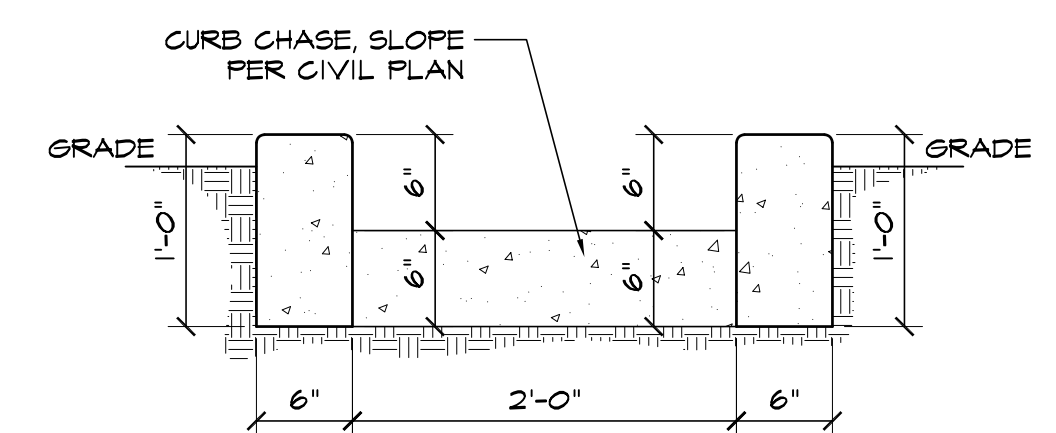


PLAN VIEW

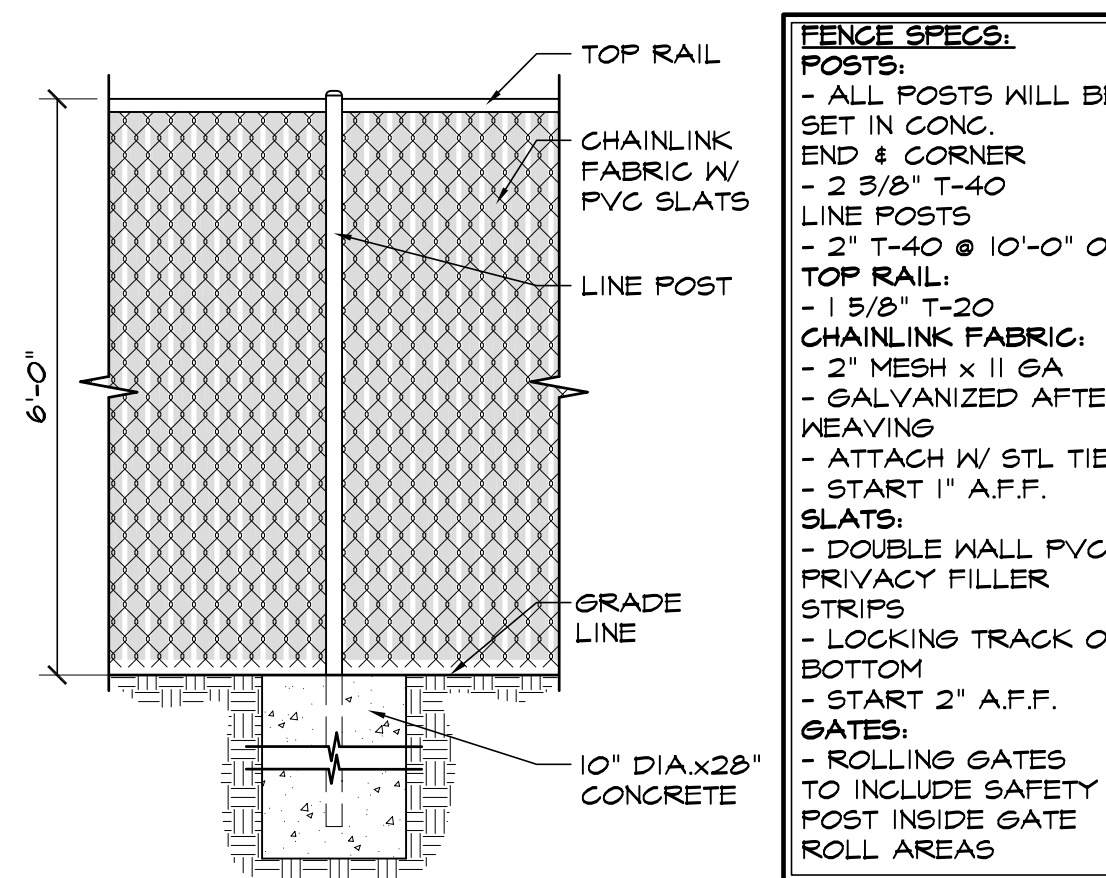


FRONT SECTION

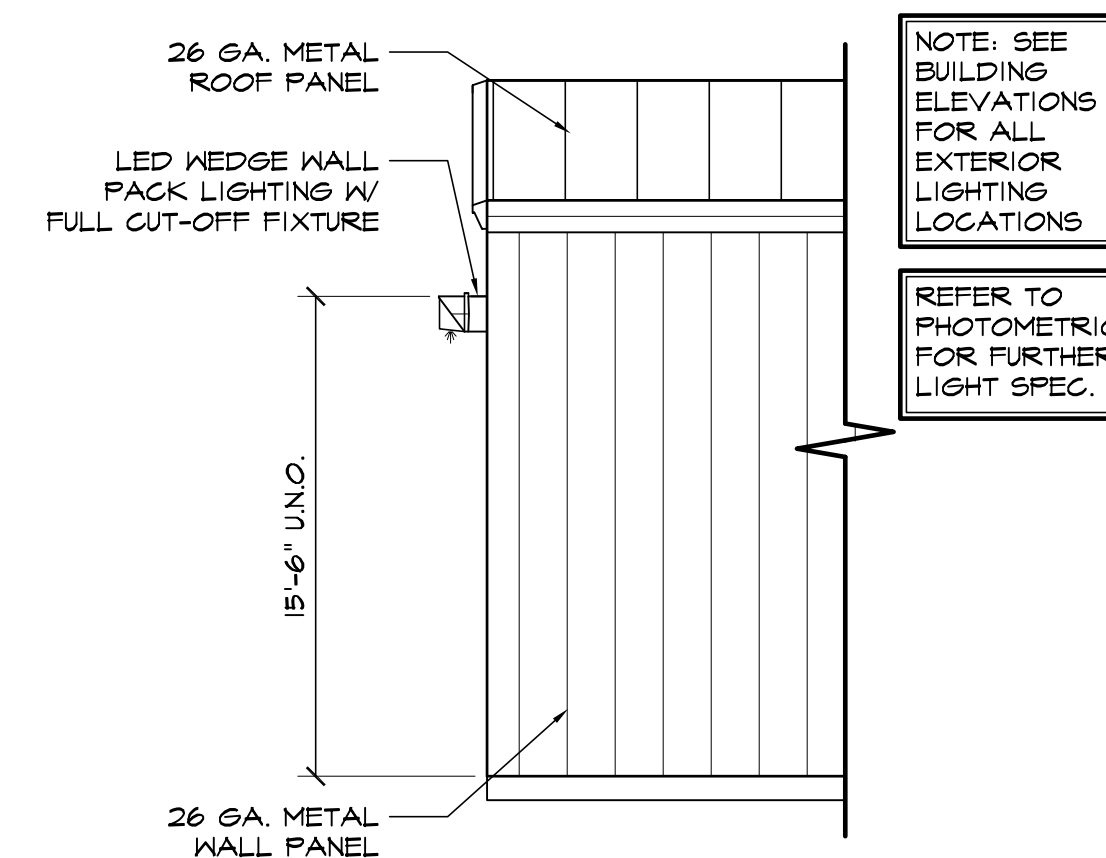
9 CMU TRASH ENCLOSURE DTL
SCALE: 3/8"=1'-0"



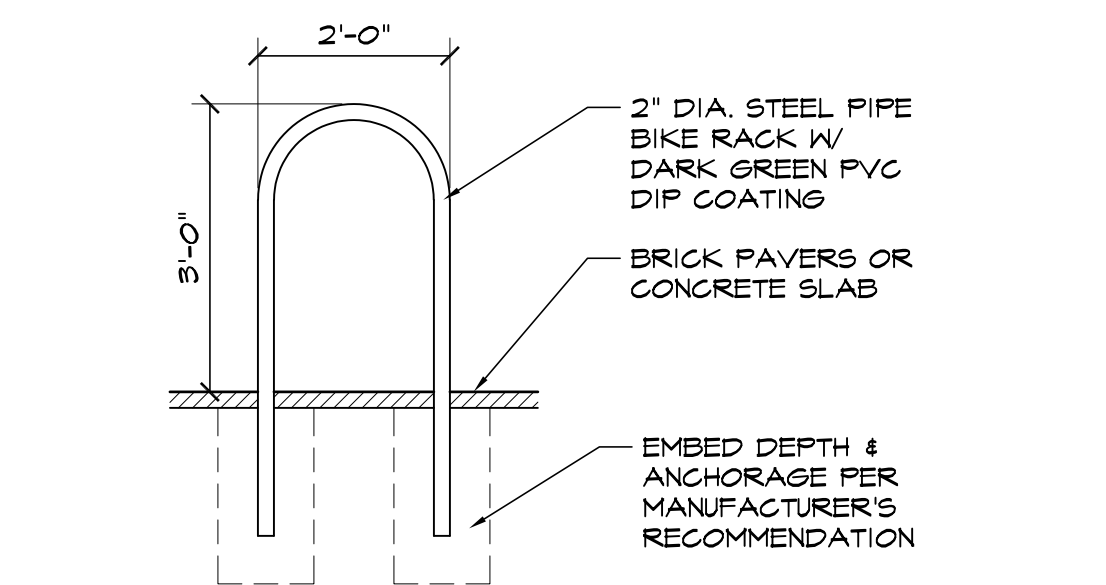
10 CURB CHASE DETAIL
SCALE: 1"=1'-0"



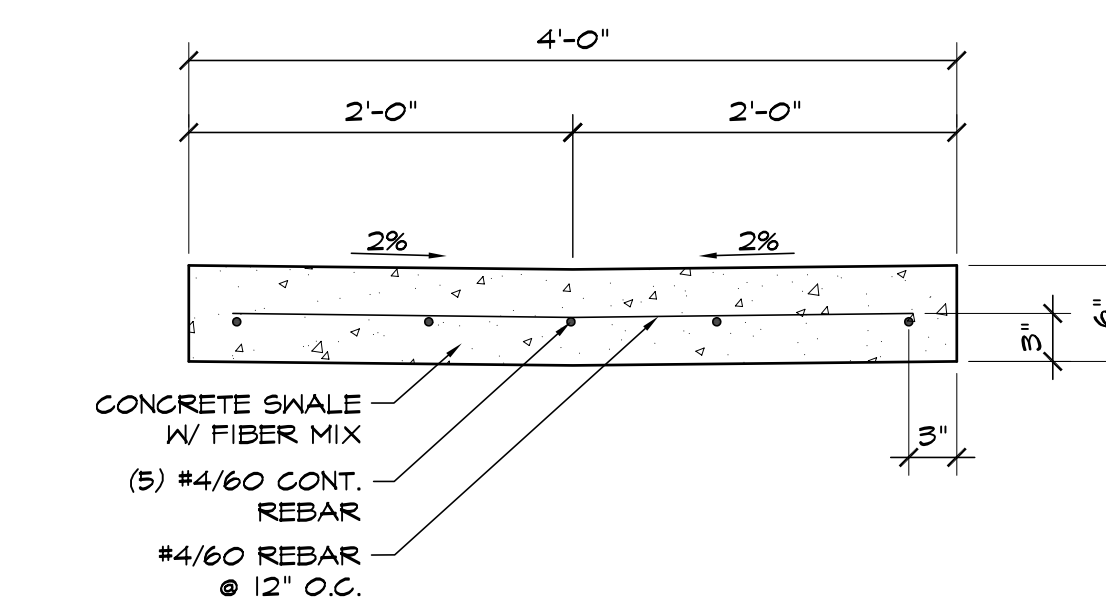
5 CHAINLINK FENCE DETAIL
SCALE: 1/2"=1'-0"



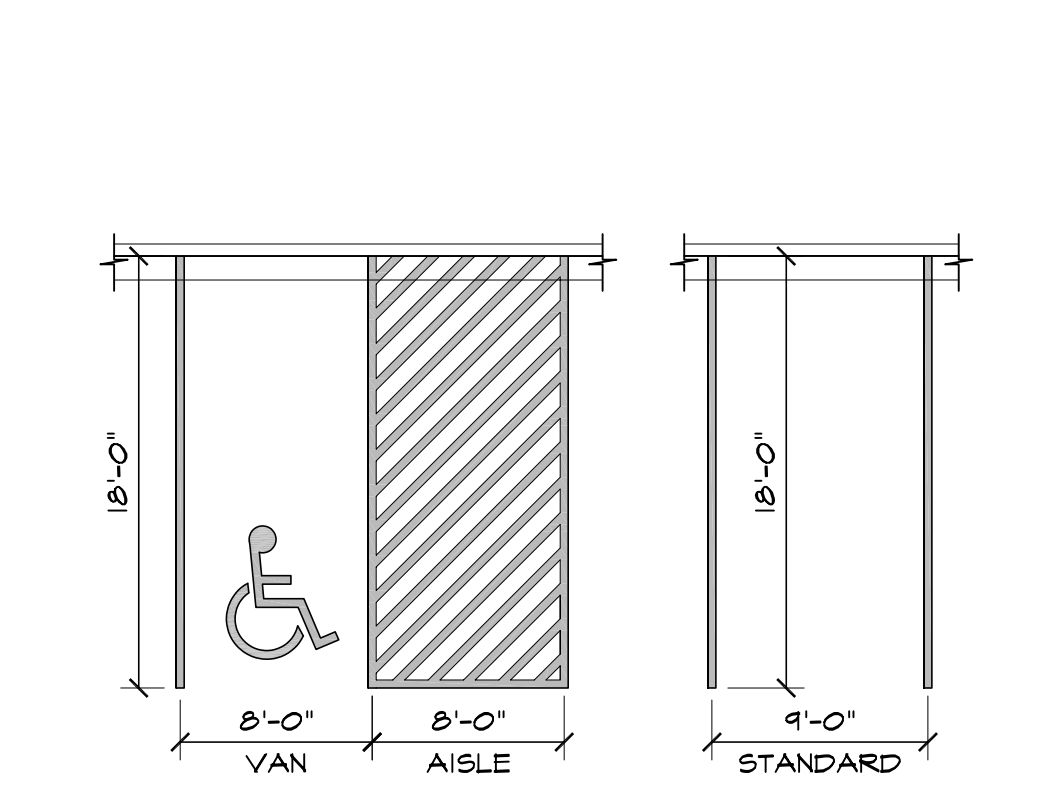
6 WALL PACK LIGHT DETAIL
SCALE: 1/4"=1'-0"



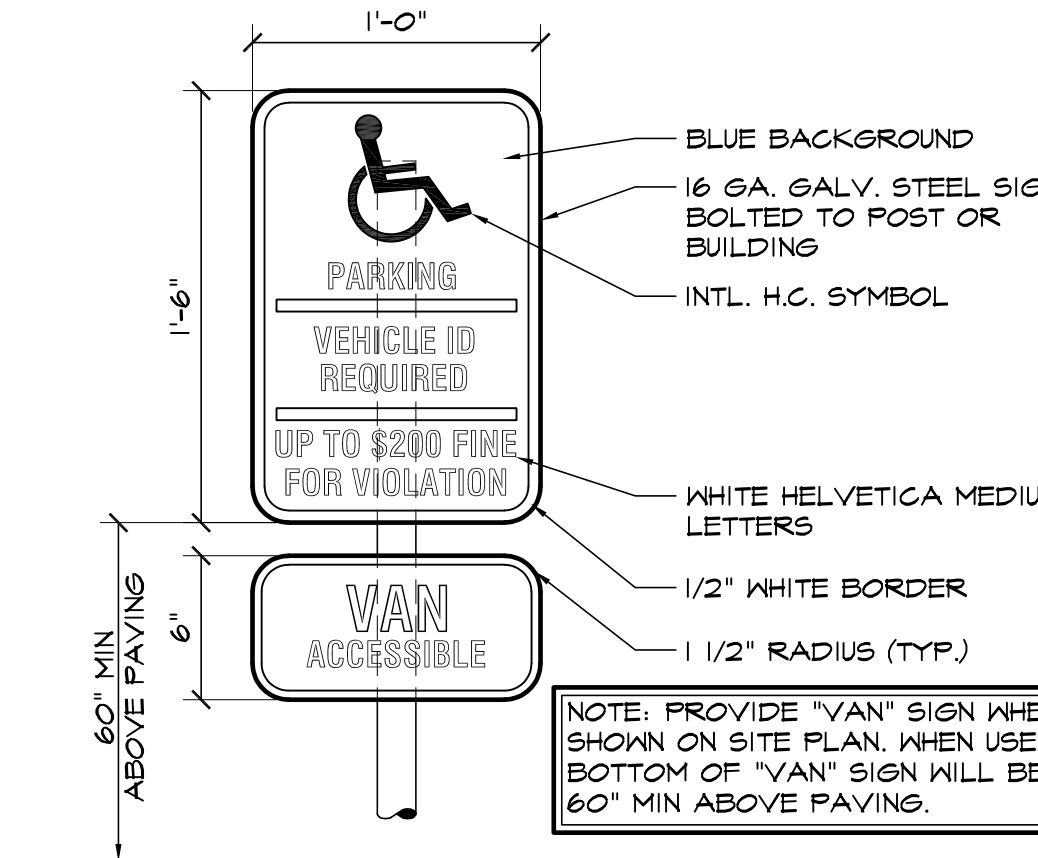
7 BIKE RACK DETAIL
SCALE: 1/2"=1'-0"



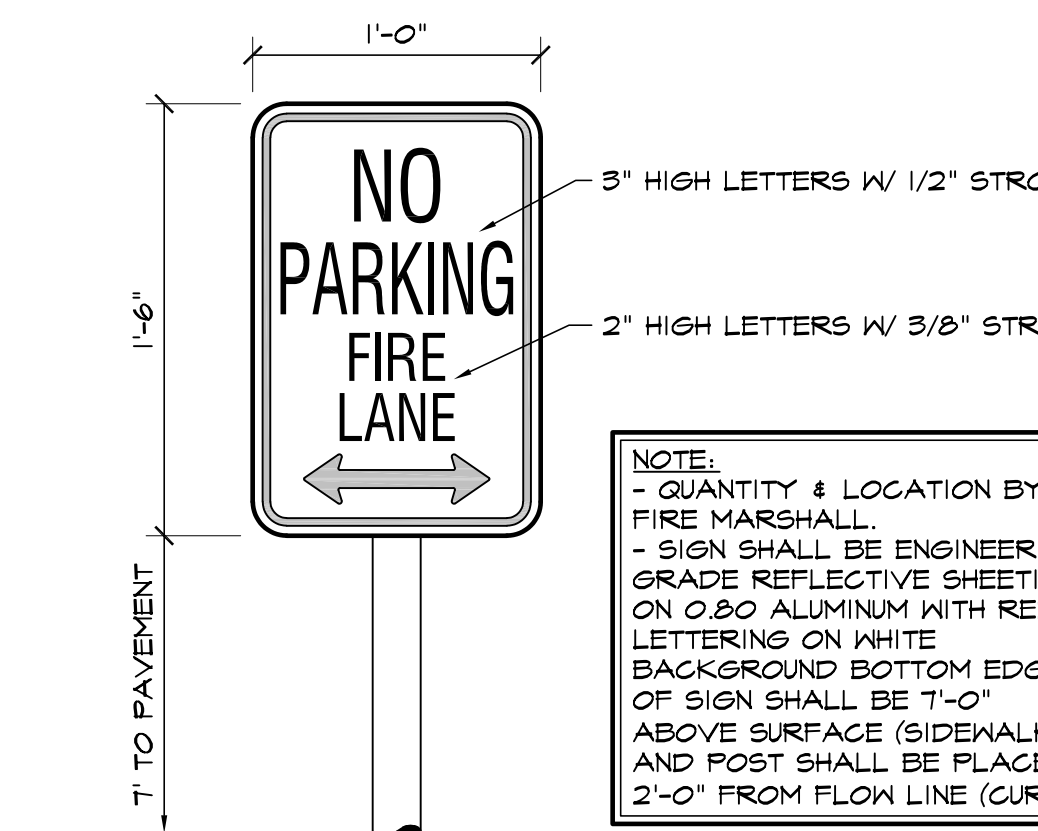
8 4'-0" CROSSSPAN DETAIL
SCALE: 1"=1'-0"



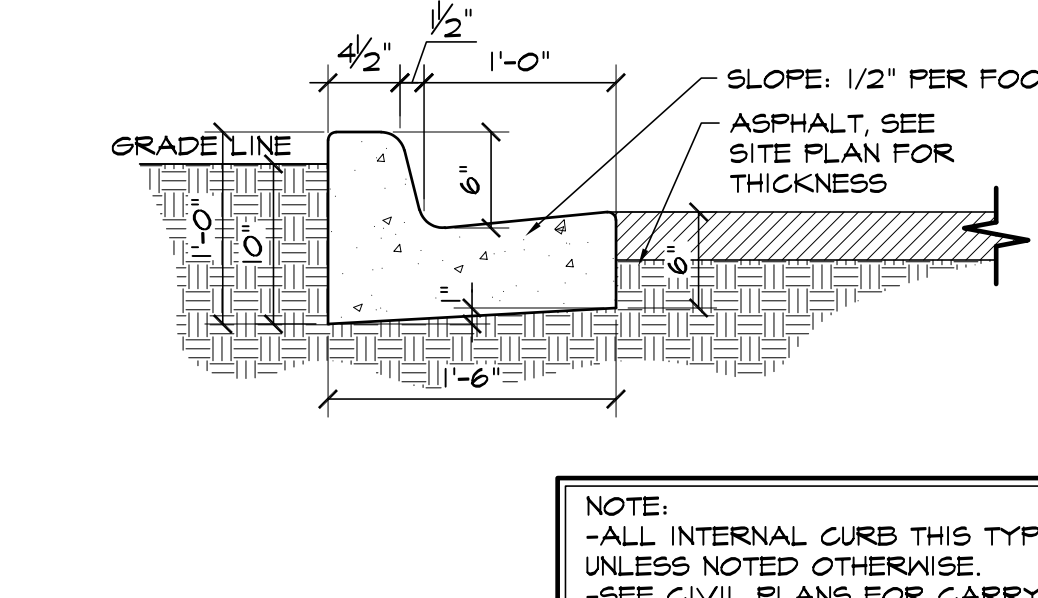
1 ADA / STANDARD PARKING
SCALE: 1/8"=1'-0"



2 HANDICAPPED PARKING SIGN
SCALE: 1 1/2"=1'-0"



3 FIRE LANE SIGN
SCALE: 1 1/2"=1'-0"



4 EPC TYPE B CURB
SCALE: 1"=1'-0"

HAMMERS CONSTRUCTION INC.
COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD
PRESIDENT: STEVE R. HAMMERS
VICE PRES: DAVID J. HAMMERS
1411 WOOLSEY HEIGHTS
COLORADO SPRINGS, CO 80915
(719) 570-1599 FAX (719) 570-7008
www.hammersconstruction.com

THIS DRAWING CONTAINS MATERIAL & INFORMATION WHICH MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT OF HAMMERS CONSTRUCTION INC. THESE DRAWINGS ARE INTENDED TO BE USED ONLY BY HAMMERS CONSTRUCTION & ITS REPRESENTATIVES. THESE DRAWINGS HAVE NOT BEEN PREPARED FOR ANY OTHER PURPOSE THAN TO INDICATE THE GENERAL FEATURES AND PLACEMENT OF THE PROPOSED PROJECT. COPYRIGHT © 2022 HAMMERS CONSTRUCTION

VALLEY STREET
NEW BUILDING
1450 VALLEY STREET
COLORADO SPRINGS, CO 80939
EL PASO COUNTY, COLORADO

DATE: NOV. 7, 2022
DRAWN BY: W. VENEROS
PROJ. MGR: P. HOLLI-ARCUS
SCALE: SEE PLAN
APPROVED BY:
JOB NO: 1304

RESUBMITTALS:

▲

▲

▲

▲

▲

DATE: NOV. 7, 2022
DRAWN BY: W. VENEROS
PROJ. MGR: P. HOLLI-ARCUS
SCALE: SEE PLAN
APPROVED BY:
JOB NO: 1304

RESUBMITTALS:

▲

▲

▲

▲

▲