

7-ELEVEN AT REAGAN RANCH

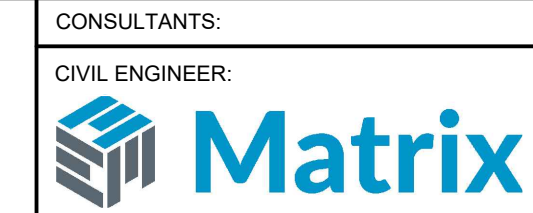
COLORADO SPRINGS, COLORADO

DEVELOPMENT PLAN

A REPLAT OF TRACT A AND LOT 2, REAGAN RANCH INDUSTRIAL FILING NO. 1 SITUATED IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., COLORADO SPRINGS, EL PASO COUNTY, COLORADO



Know what's below.
Call before you dig.

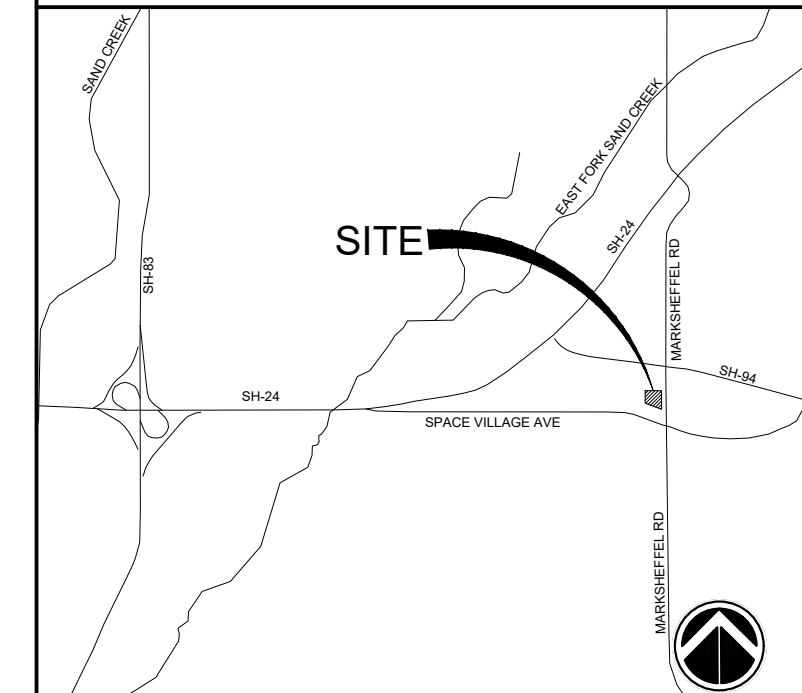


2435 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208

OWNER/DEVELOPER:
LASCO DEVELOPMENT CORPORATION
1207 ANTOINE DRIVE
HOUSTON, TX 77055
832-647-9871

APPROVAL:

VICINITY MAP:



PROJECT:

7-ELEVEN AT REAGAN RANCH DEVELOPMENT PLAN

COLORADO SPRINGS, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	07-07-2026	INITIAL SUBMITTAL	LCB

DRAWING INFORMATION:

PROJECT NO: 26.002970.00

DRAWN BY: WAN

CHECKED BY: CAP

APPROVED BY: LCB

SHEET TITLE:

COVER SHEET

CS01

SHEET 1 OF 14

CITY FILE NO.: DEPN-26-XXXX

GENERAL NOTES

- PER CITY CODE SECTION 7.4.102.D, ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
- SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982 TO BEGIN A SIGN PERMIT APPLICATION.
- ALL EXISTING CURB, GUTTER, PEDESTRIAN RAMPS AND CROSSPANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATING OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG PUBLIC STREETS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY. AN ON SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.
- ACCESS ROADS SHALL BE KEPT CLEAR OF ALL OBSTRUCTION SUCH AS, BUT NOT LIMITED TO, LOW HANGING WIRES, CONSTRUCTION MATERIALS, CONSTRUCTION EQUIPMENT, CONTRACTOR TRAILS AND CONTRACTOR VEHICLES AND IN ALL TYPES OF WEATHER.
- THE PARCELS WITHIN THIS DEVELOPMENT ARE SUBJECT TO THE COVENANTS, CONDITIONS, AND RESTRICTIONS OF THE REAGAN RANCH METROPOLITAN DISTRICT NO. 3.
- THE PARCELS WITHIN THIS DEVELOPMENT ARE SUBJECT TO THE POWERS AND AUTHORITIES OF THE REAGAN RANCH METROPOLITAN DISTRICT NO. 3, WHICH IS CREATED BY ORDINANCE NO. 70-20 AND RECORDED IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER'S OFFICE UNDER RECEPTION NO. 221097517 DATED MAY 17, 2021.
- SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, SLOPED PAVING, BUILDING UTILITY ENTRANCE LOCATIONS, AND PRECISE BUILDING DIMENSIONS.

FEMA NOTES

- THIS PROPERTY IS LOCATED WITHIN ZONE X (AREA WITH 0.2% ANNUAL CHANCE OF FLOOD) AS DETERMINED BY THE FEMA FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER 08041C0758G, EFFECTIVE DATE 'DECEMBER 7, 2018'.

ADA NOTES

- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINE AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
- ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND SIGNAGE SHALL MEET ALL APPLICABLE CODE REQUIREMENTS.

FIRE NOTES

- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. ALL DRIVES WILL BE BUILT TO MEET A MINIMUM OF 27,000 LBS SINGLE AXLE WEIGHT AND 75,000 LB TOTAL APPARATUS WEIGHT.
- PRIOR TO CERTIFICATE OF OCCUPANCY, A FIRE INSPECTION IS REQUIRED TO VERIFY ALL FIRE LANE MARKINGS AND SIGNAGE HAVE BEEN INSTALLED. A FIRE INSPECTION MAYBE REQUESTED BY CALLING 719-385-5978.
- A 3' DIAMETER CLEAR SPACE SPACE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS.
- ALL FIRE DEPARTMENT CONNECTIONS (FDC) SHALL NOT BE VISUALLY OR PHYSICALLY OBSTRUCTED BY LANDSCAPE.

LANDSCAPE NOTES

- LANDSCAPE AND BUILDING SETBACKS ARE SHOWN ON THE SITE PLAN.
- ALL LANDSCAPE PLANTING AND IMPROVEMENTS WITH THIS DEVELOPMENT AREA SHALL BE MAINTAINED BY THE PROPERTY OWNER, OR THEIR ASSIGNED.
- ALL STREET TREES AND LANDSCAPE IMPROVEMENTS LOCATED WITHIN THE R.O.W. WILL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER, OR THEIR ASSIGNED.

AIRPORT NOTES

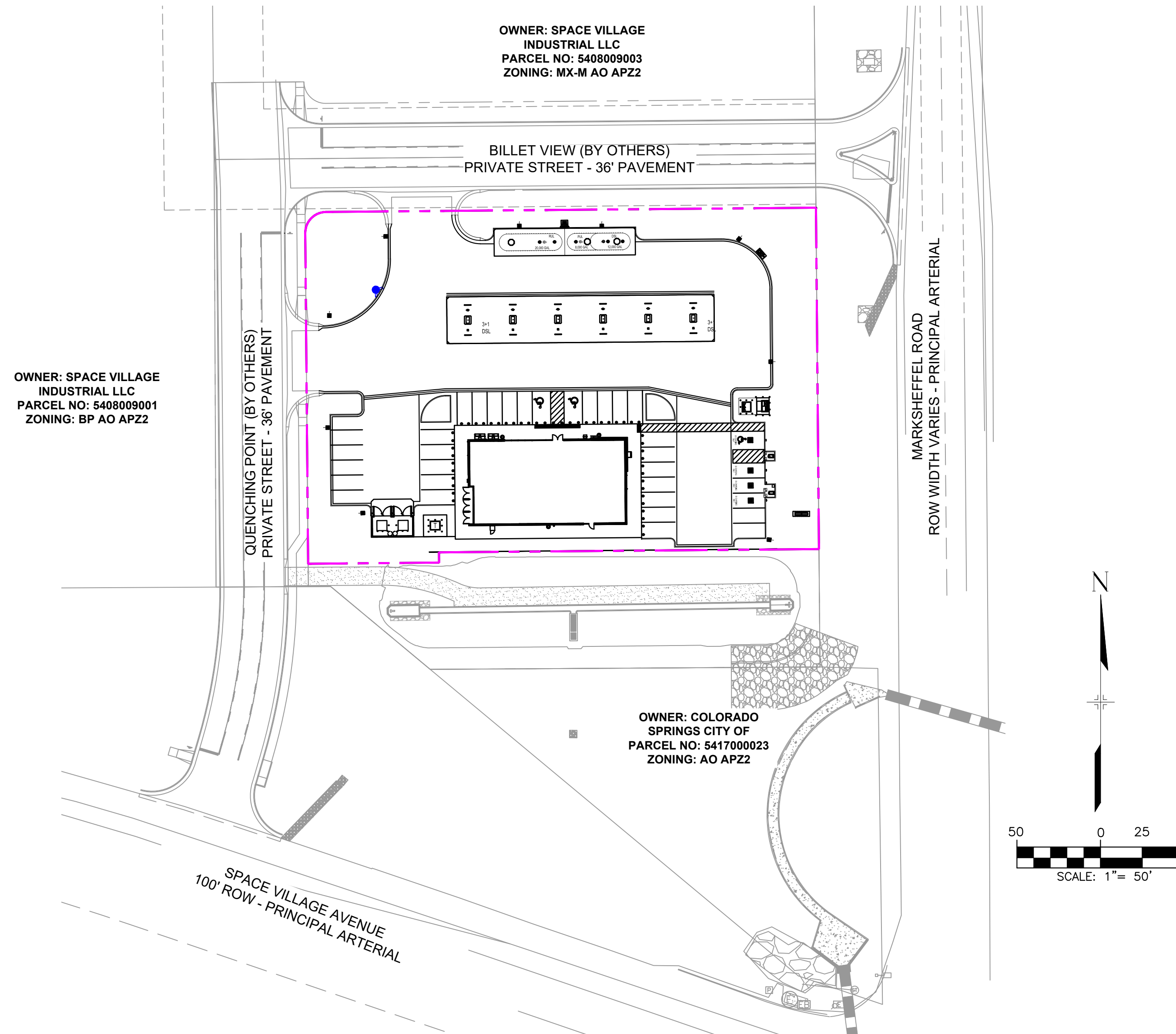
- AN AVIGATION EASEMENT EFFECTING THE SUBJECT PROPERTY AND DEVELOPMENT IS THEREIN ESTABLISHED BY THE "REAGAN RANCH INDUSTRIAL FILING NO. 1" SUBDIVISION PLAT. THIS EASEMENT IS SUBJECT TO THE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT RECORDED UNDER RECEPTION NO. 217069667 OF THE RECORDS OF EL PASO COUNTY, COLORADO
- THE DEVELOPMENT AND ITS OCCUPANTS MAY BE IMPACTED BY AIR ILLUMINATION OR APPROACH LIGHTING SYSTEMS THAT FLASH FREQUENTLY AND USE MEDIUM AND HIGH-INTENSITY LIGHTS TO GUIDE AIRCRAFT TO THE RUNWAY CENTERLINE USED FOR NAVIGATION OR FLIGHT IN AIR.

STORMWATER NOTES

- THIS PROPERTY IS SUBJECT TO ALL STORMWATER CRITERIA INCLUDING BUT NOT LIMITED TO GRADING AND EROSION CONTROL, WATER QUALITY, AND CHANNEL STABILIZATION REQUIREMENTS.
- THE FINAL DRAINAGE LETTER ASSOCIATED WITH THIS DEVELOPMENT PLAN CAN BE LOCATED UNDER STM-REV26-0804 PREPARED BY MATRIX DESIGN GROUP, APPROVED _____.
- FULL SPECTRUM DETENTION FACILITIES UNDER A SEPARATE DOCUMENT WILL BE OWNED AND MAINTAINED BY REAGAN RANCH METROPOLITAN DISTRICT NO. 3.
- THE PROPOSED REAGAN RANCH INDUSTRIAL PRIVATE DETENTION FACILITY (POND A2) IS LOCATED SOUTH OF THE SITE. CALCULATIONS FOR THE FACILITY CAN BE LOCATED IN THE "REAGAN RANCH INDUSTRIAL FILING NO. 1 REPLAT FINAL DRAINAGE REPORT" (STM-REV26-0481) PREPARED BY MATRIX DESIGN GROUP, APPROVED _____.
- THE SITE IS IN THE PETERSON FIELD DRAINAGE FEE BASIN. A BASIN CLOSURE HAS BEEN APPROVED FOR THE AREA ENCOMPASSING THE DEVELOPMENT. ACCORDING TO SPRINGSVIEW, THE SITE IS LOCATED WITHIN THE JIMMY CAMP CREEK DRAINAGE BASIN. THE SPRINGS VIEW BASIN BOUNDARY DOES NOT MATCH THE TOPOGRAPHY. NOR THE BASIN BOUNDARIES OUTLINED IN THE PETERSON FIELD DBPS. FOR PLATTING PURPOSES THIS SITE WILL BE CONSIDERED TO BE WITHIN THE JIMMY CAMP CREEK DRAINAGE FEE BASIN. NO DRAINAGE OR BRIDGE FEES ARE DUE WITH THE PLAT FOR THIS DEVELOPMENT.

GEOHAZARD NOTES

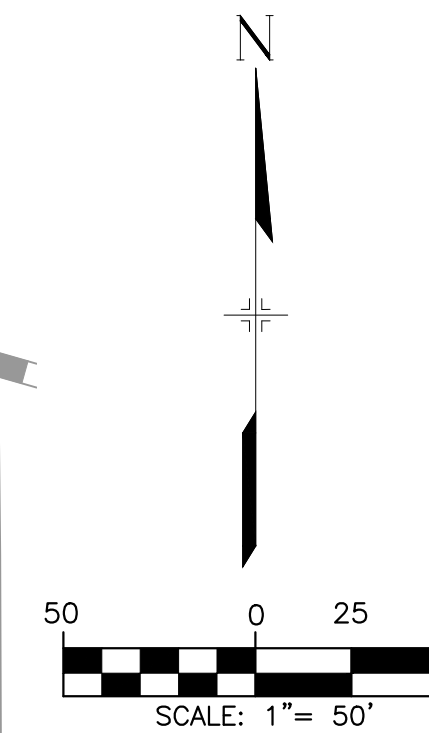
- A GEOLOGIC HAZARD STUDY IS NOT REQUIRED FOR THIS DEVELOPMENT PLAN. THE SITE MEETS THE CITY OF COLORADO SPRINGS UDC PART 7.4.5 GEOLOGIC HAZARD NOT APPLICABLE CRITERIA: THE DEVELOPMENT IS NOT WITHIN THE HS-O DISTRICT, SS-O DISTRICT, 100-YEAR FLOODPLAIN, POTENTIAL LANDSLIDE SUSCEPTIBILITY AREA, OR MINE SUBSIDENCE AREA, AND DOES NOT EXHIBIT GEOLOGIC HAZARD CONDITIONS REQUIRING A GEOLOGIC HAZARD STUDY. AN APPLICATION FOR GEOLOGIC HAZARD NOT APPLICABLE HAS BEEN SUBMITTED UNDER STM-REV26-0797.



OWNER: SPACE VILLAGE INDUSTRIAL LLC
PARCEL NO: 5408009003
ZONING: MX-M AO AP22

OWNER: SPACE VILLAGE INDUSTRIAL LLC
PARCEL NO: 5408009001
ZONING: BP AO AP22

OWNER: COLORADO SPRINGS CITY OF
PARCEL NO: 5417000023
ZONING: AO AP22



LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PORTION OF THAT TRACT OF LAND, DESIGNATED PARCEL 1, DESCRIBED AT RECEPTION NO. 221125290 AND ALL OF THAT TRACT OF LAND, DESIGNATED PARCEL 2, DESCRIBED AT RECEPTION NO. 221125289, SITUATED IN THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., IN THE CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO, WITH BEARINGS REFERENCED TO A PORTION OF THE SOUTHERLY LINE OF THAT TRACT OF LAND, DESIGNATED PARCEL 5, DESCRIBED IN BOOK 6620 AT PAGE 203

PROJECT TEAM

OWNER
SPACE VILLAGE INDUSTRIAL LLC
90 S CASCADE AVE #1500
COLORADO SPRINGS, CO 80903
PHONE: (719) 475-7621

LANDSCAPE ARCHITECT
N.E.S INC.
619 CASCADE AVE STE 200
COLORADO SPRINGS, CO 80903
PHONE: (719) 471-0073

DEVELOPER
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1207 ANTOINE DR
HOUSTON, TX 77055
PHONE: (832) 647-9871

CIVIL ENGINEER
MATRIX DESIGN GROUP
2435 RESEARCH PKWY STE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100

APPLICANT
MATRIX DESIGN GROUP
2435 RESEARCH PKWY STE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100

ARCHITECT
THE DIMENSION GROUP
5600 S QUEBEC ST STE 205B
GREENWOOD VILLAGE, CO 80111
PHONE: (720) 536-3180

SUMMARY DATA

PROPERTY SIZE	2.425 ACRES
TAX SCHEDULE NO.	5408009002
PROJECT ADDRESS	520 MARKSHEFFEL RD
DEVELOPMENT SCHEDULE	SPRING 2027
MASTER PLAN	BANNING LEWIS RANCH (MAPN-22-0010)
CONCEPT PLAN	REAGAN RANCH (PUDC-22-0006)
ZONING	MX-M AO AP22
DRAINAGE BASIN	JIMMY CAMP CREEK
APPROVED MASTER PLAN USE	COM (OFFICE / INDUSTRIAL)
EXISTING LAND USE	VACANT
PROPOSED LAND USE	FUEL DISPENSING STATION
BUILDING SETBACKS	FRONT: 20' SIDE: 20' REAR: 15'
PARKING SETBACK	FRONT: 20'
LANDSCAPE SETBACKS	MARKSHEFFEL: 25'
MAX. BUILDING HEIGHT	50' MAX HEIGHT
PROPOSED BUILDING HEIGHT	24'-8"
MAX. LOT COVERAGE	NA
PROPOSED BLDG. LOT COVERAGE	4,746 SF (4.5%)
PROPOSED IMPERVIOUS COVERAGE	46,868 SF (44%)

PARKING SUMMARY

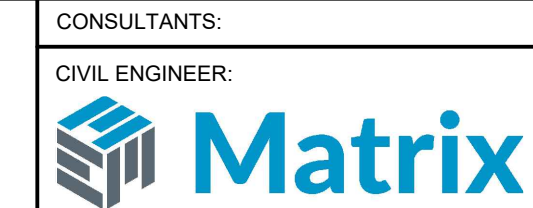
TOTAL REQUIRED	1 SPACE PER 300 SF OF GFA 4,746 SF / 300 = 16 SPACES
TOTAL PROVIDED	35 SPACES
ADA REQUIRED	1 SPACE (1 VAN)
ADA PROVIDED	2 SPACES (1 VAN)
BICYCLE REQUIRED (5 SPACES PER 1,000 GFA)	3 SPACES
BICYCLE PROVIDED	4 SPACES

SHEET INDEX

DESCRIPTION	NUMBER	TITLE
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DETAIL SHEET	2	DT01
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PRELIMINARY GRADING PLAN	4	GR01
PRELIM UTILITIES & PUBLIC FACILITIES PLAN	5	UT01
LANDSCAPE NOTES	6	LP1.00
LANDSCAPE PLAN	7	LP2.00
LANDSCAPE PLAN	8	LP3.00
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IRRIGATION PLAN	10	L12.00
IRRIGATION DETAILS	11	L13.00
EXTERIOR ELEVATIONS	12	AE01
PHOTOMETRIC PLAN	13	PH01
LIGHTING FIXTURES	14	PH02



Know what's below.
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CONSULTANTS:
CIVIL ENGINEER:
2435 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208

OWNER/DEVELOPER:
LASCO DEVELOPMENT CORPORATION
1207 ANTOINE DRIVE
HOUSTON, TX 77055
832-647-9871



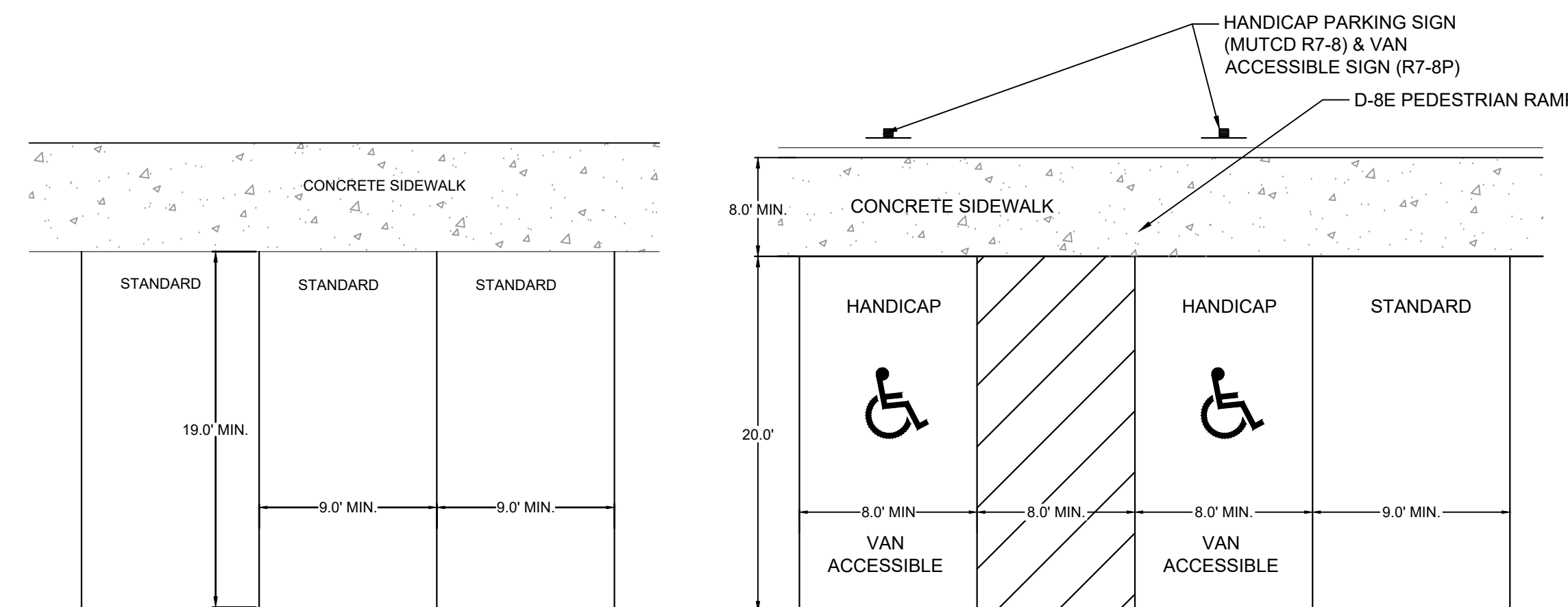
R7-8



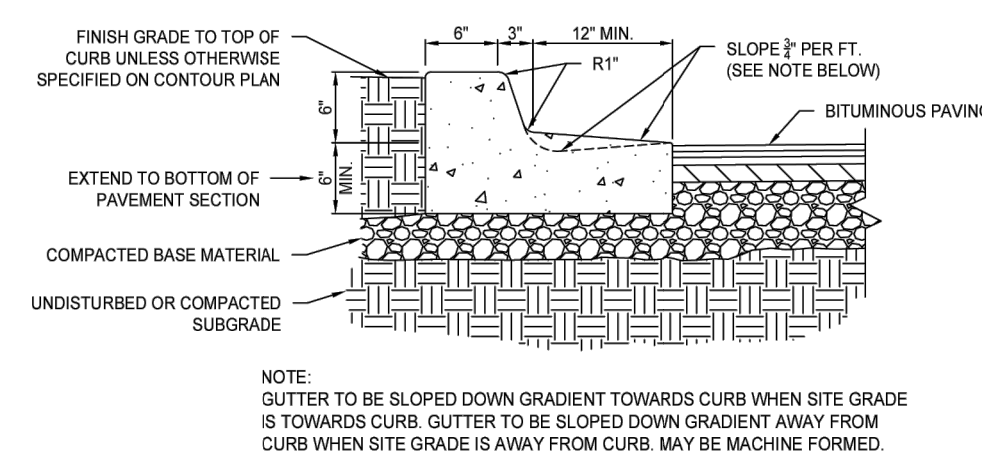
R7-8P

- NOTES:
1. EACH ACCESSIBLE PARKING SPACE SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
 2. VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN CONTAINING THE DESIGNATION, "VAN ACCESSIBLE", MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY.
 3. EACH ACCESSIBLE PARKING SPACE SIGN SHALL BE NO SMALLER THAN EIGHTEEN INCHES (18") TALL BY TWELVE INCHES (12") WIDE.
 4. EACH VAN ACCESSIBLE SIGN SHALL BE NO SMALLER THAN SIX INCHES (6") TALL BY TWELVE INCHES (12") WIDE.
 5. SIGNS SHALL BE LOCATED AT THE HEAD OF THE SPACE WITH THE BOTTOM OF THE SIGN(S) BETWEEN FIVE FEET (5') AND SEVEN FEET (7') ABOVE THE FINISH FLOOR OR GROUND SURFACE.
 6. ACCESS AISLES SHOULD POST "WHEELCHAIR ACCESS AISLE ABSOLUTELY NO PARKING" SIGNS WHICH BLOCK NEITHER THE ACCESS AISLE NOR ANY RELATED ACCESSIBLE ROUTE.
 7. THE SIGNS MAY EITHER BE WALL MOUNTED OR FREESTANDING.

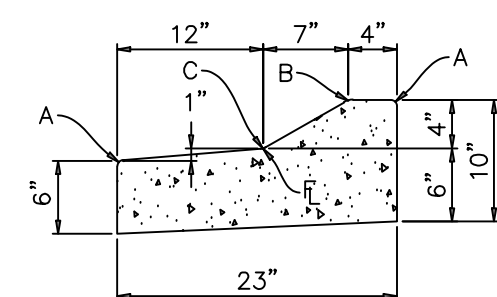
1 MUTCD SIGN R7-8 (12"x18")



2 PARKING STALL DETAIL



VERTICAL CURB & GUTTER



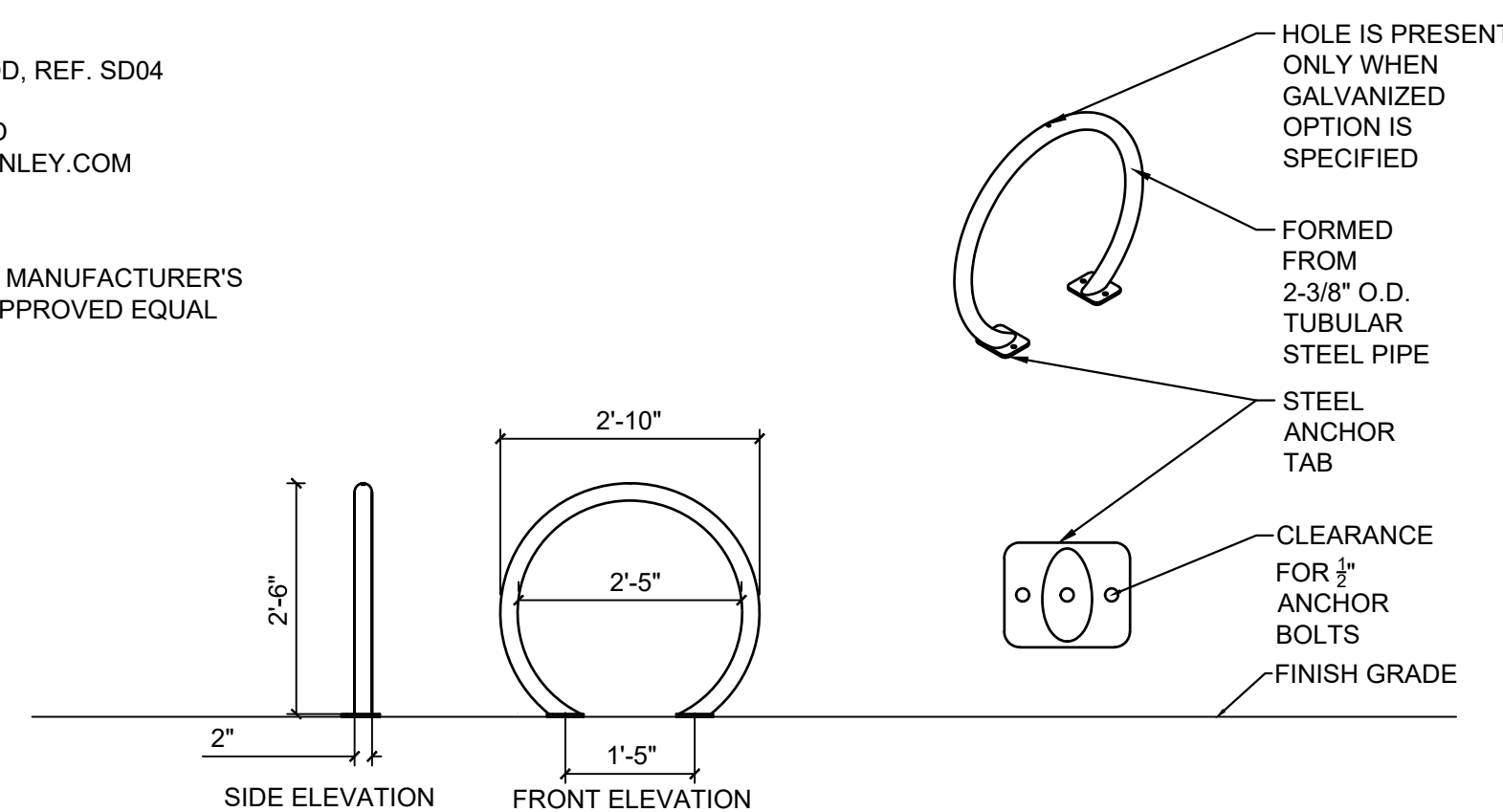
TYPE 4 MOUNTABLE

RADI LEGEND	
A	1/4" - 1/2"
B	1 1/2"
C	1 1/2" - 2"

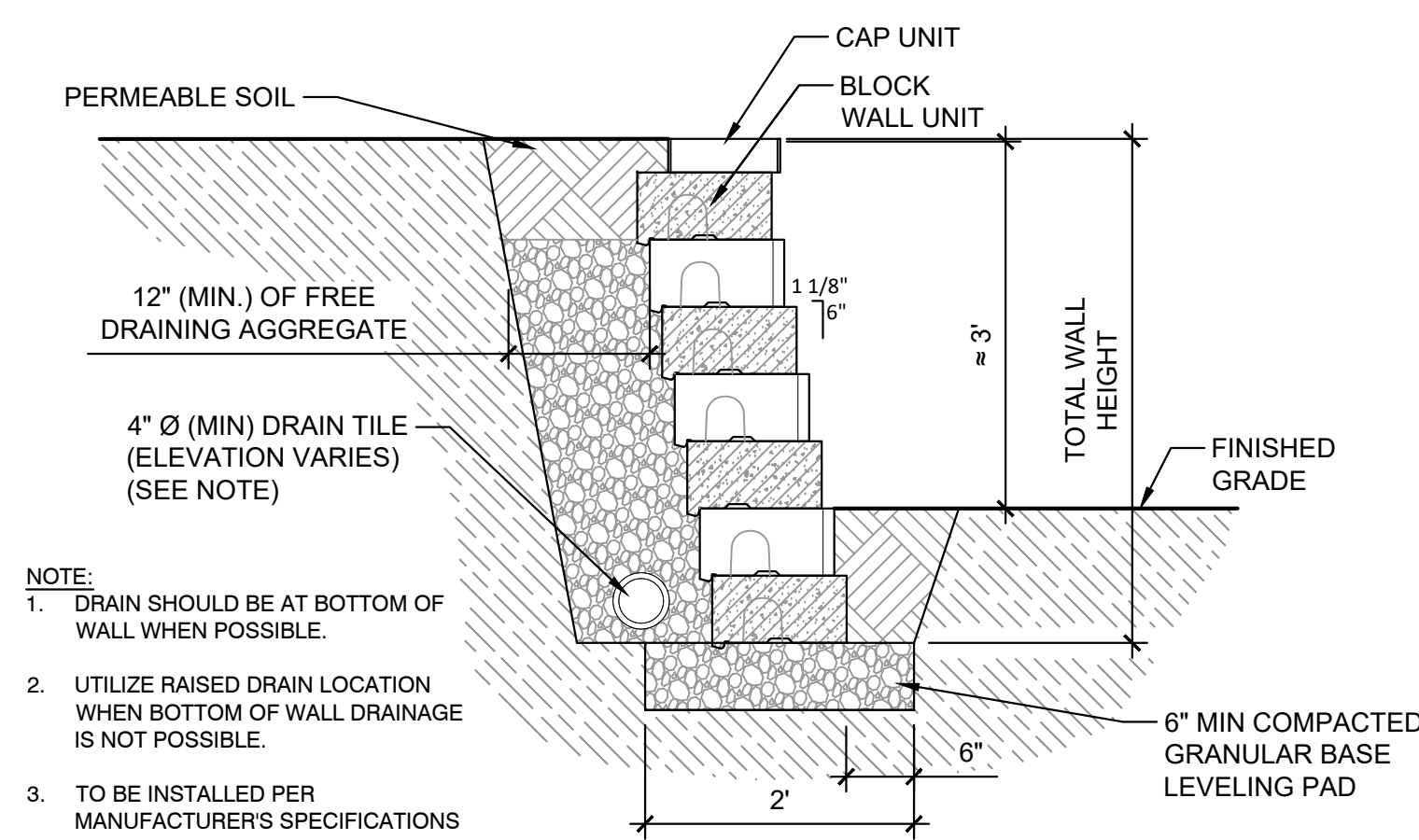
3 CURB & GUTTER DETAILS

MANUFACTURE: VICTOR STANLEY
TYPE: CYCLE SENTRY
MODEL NO: BRHS-101
COLOR: PER NEIGHBORHOOD, REF. SD04
MATERIAL SCHEDULE
MOUNT: SURFACE MOUNTED
WEBSITE: WWW.VICTORSTANLEY.COM
PHONE: 1-800-368-2573

- NOTES:
1. TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS OR APPROVED EQUAL



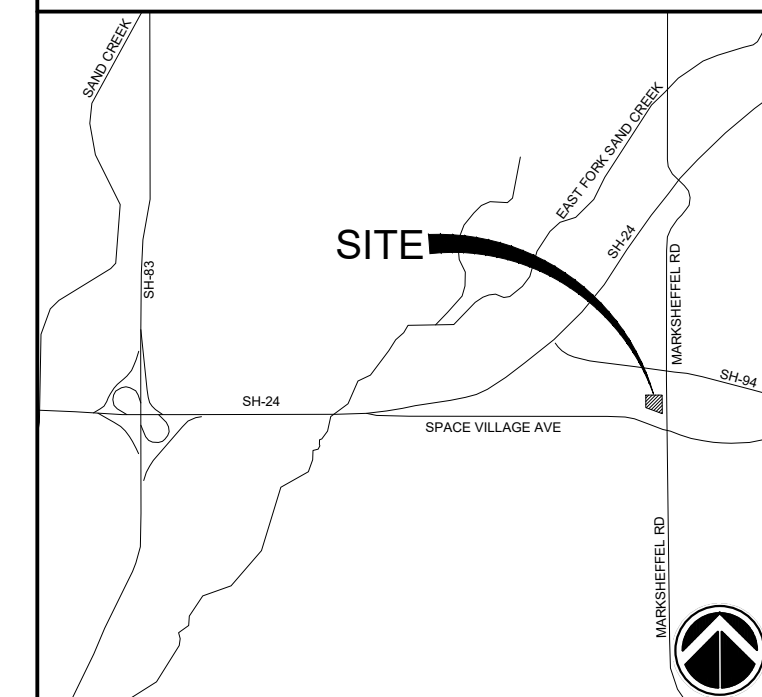
4 BIKE RACK - SURFACE MOUNT



5 BLOCK WALL

APPROVAL:

VICINITY MAP:



PROJECT:

7-ELEVEN AT REAGAN RANCH DEVELOPMENT PLAN

COLORADO SPRINGS, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	07-07-2026	INITIAL SUBMITTAL	LCB

DRAWING INFORMATION:

PROJECT NO: 26.002970.00

DRAWN BY: WAN

CHECKED BY: CAP

APPROVED BY: LCB

SHEET TITLE:

DETAIL SHEET

DT01

SHEET 2 OF 14

CITY FILE NO: DEPN-26-XXXX



Know what's below.
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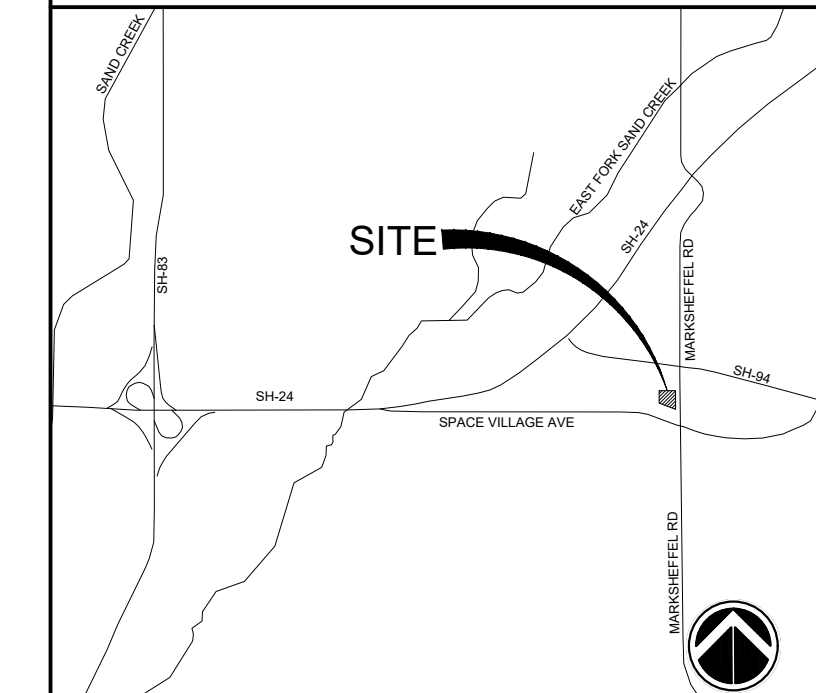


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SHEET TITLE:

SITE PLAN

SP01

SHEET 3 OF 14

CITY FILE NO: DEPN-26-XXXX

SITE LEGEND

- PROPERTY BOUNDARY LINE
- SETBACK LINE
- PROPOSED EASEMENT
- EXISTING EASEMENT
- CONCRETE CURB & GUTTER
- ADA ROUTE
- PROPOSED PARKING SPACES
- 115' LINE OF SIGHT

OWNER: SPACE VILLAGE INDUSTRIAL LLC
PARCEL NO: 5408009003
ZONING: MX-M AO AP22
USE: VACANT

BILLET VIEW (BY OTHERS)
PRIVATE STREET - 36' PAVEMENT

OWNER: SPACE VILLAGE INDUSTRIAL LLC
PARCEL NO: 5408009001
ZONING: BP AO AP22
USE: VACANT

QUENCHING POINT (BY OTHERS)
PRIVATE STREET - 36' PAVEMENT

MARKSHEFFEL ROAD
ROW WIDTH VARIES - PRINCIPAL ARTERIAL

EX. PROPERTY LINE

PR. TRACT LINE / PROPERTY LINE
N 00°29'55" W
198.00'

PR. TRACT LINE / PROPERTY LINE
N 89°30'05" E
293.32'

PR. TRACT LINE / PROPERTY LINE
S 00°29'55" E
204.38'

PR. TRACT LINE / PROPERTY LINE
S 89°30'05" W
227.44'

$\Delta=90^{\circ}00'00"$
 $R=12.50'$
 $L=19.83'$
 $ChB=N44^{\circ}30'05"E$
 $ChL=17.68'$
SIDEWALK (BY OTHERS)

PR. FIRE HYDRANT

PR. 30' UTILITY EASEMENT

30' SIDE BUILDING SETBACK

40' FL-FL

PR. 2' VALLEY PAN

PR. TRASH ENCLOSURE

PR. BUILDING TRANSFORMER (800A)

PR. 4' RETAINING WALL

PR. TRASH ENCLOSURE

PR. TRASH ENCLOSURE

PR. TRASH ENCLOSURE

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PR. 30' UTILITY EASEMENT

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CONSULTANTS:
 CIVIL ENGINEER:
Matrix
 2435 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80920
 PHONE: (719) 575-0100
 FAX: (719) 575-0208

OWNER/DEVELOPER:
LASCO DEVELOPMENT CORPORATION
 1207 ANTOINE DRIVE
 HOUSTON, TX 77055
 832-647-9871

APPROVAL:

VICINITY MAP:

PROJECT:
7-ELEVEN AT REAGAN RANCH DEVELOPMENT PLAN
 COLORADO SPRINGS, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
0	07-07-2026	INITIAL SUBMITTAL	LCB

DRAWING INFORMATION:
 PROJECT NO: 26.002970.00
 DRAWN BY: WAN
 CHECKED BY: CAP
 APPROVED BY: LCB

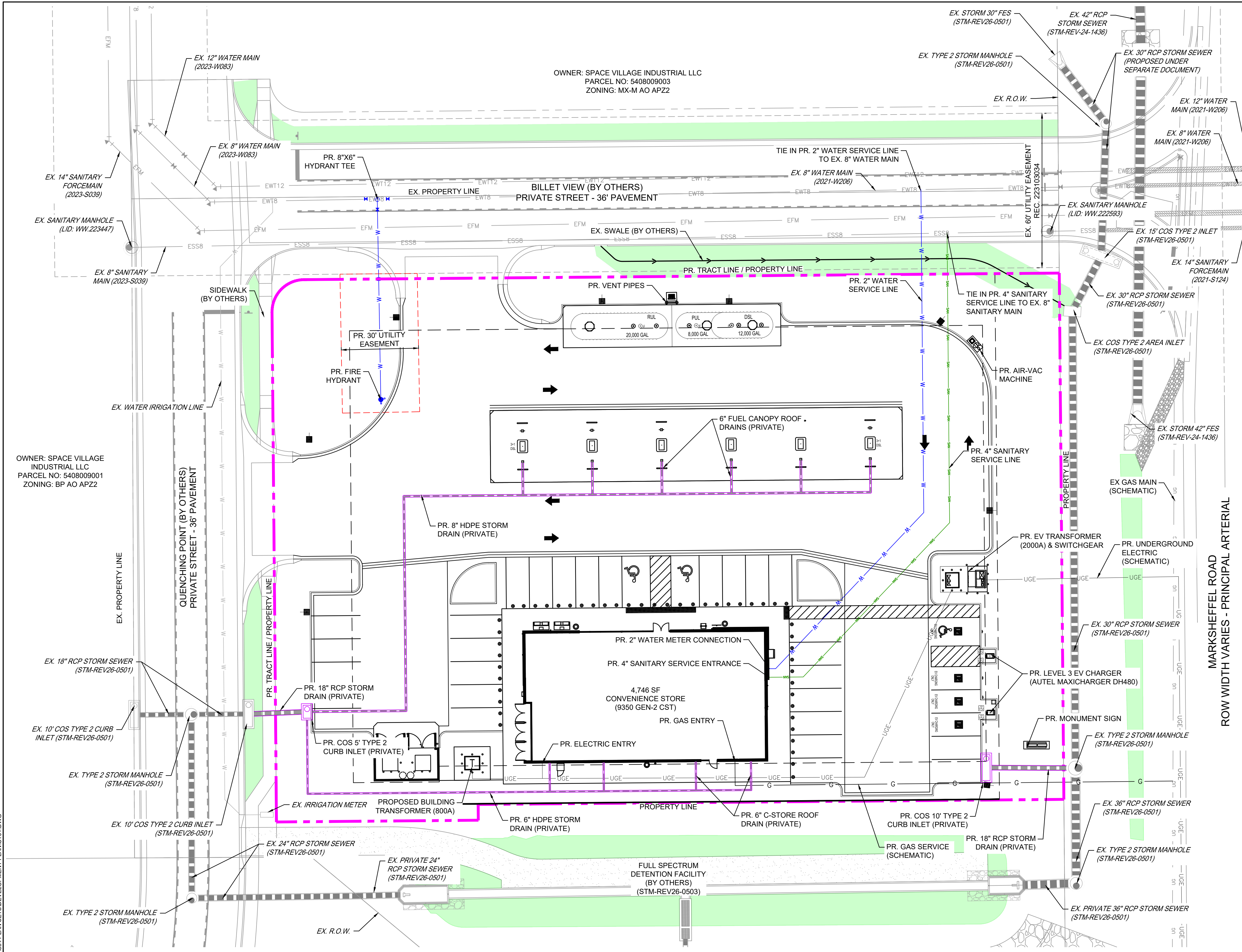
SHEET TITLE:
PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN

UT01

SHEET 5 OF 14
 CITY FILE NO.: DEPN-26-XXXX

LEGEND

	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	EXISTING WATER
	PROPOSED WATER
	PROPOSED UG. ELECTRIC (SCHEMATIC)
	PROPOSED GAS SERVICE (SCHEMATIC)
	ROW/PROPERTY LINE
	EXISTING GAS MAIN
	EXISTING COMMUNICATIONS
	EXISTING SAN. SEWER
	EXISTING SAN. FORCE MAIN
	PROPOSED SAN. SEWER
	SETBACK LINE
	EXISTING EASEMENT
	PR. STORM FLARED END SECTION
	PR. STORM INLET
	PR. COS TYPE 2 STORM MANHOLE
	PR. SANITARY SEWER MANHOLE
	PR. FIRE HYDRANT
	PR. WATER VALVE
	EX. WATER VALVE
	EX. COS TYPE 2 STORM MANHOLE
	EX. SANITARY SEWER MANHOLE
	PLANNED INFILTRATION AREA (UNDER SEPARATE COVER STM-REV26-0481)



GENERAL NOTES FOR PRELIMINARY UTILITY PLANS:
 PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:
 1. COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
 2. PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
 3. OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
 4. SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
 5. THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
 6. OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
 7. THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).

GENERAL NOTES:

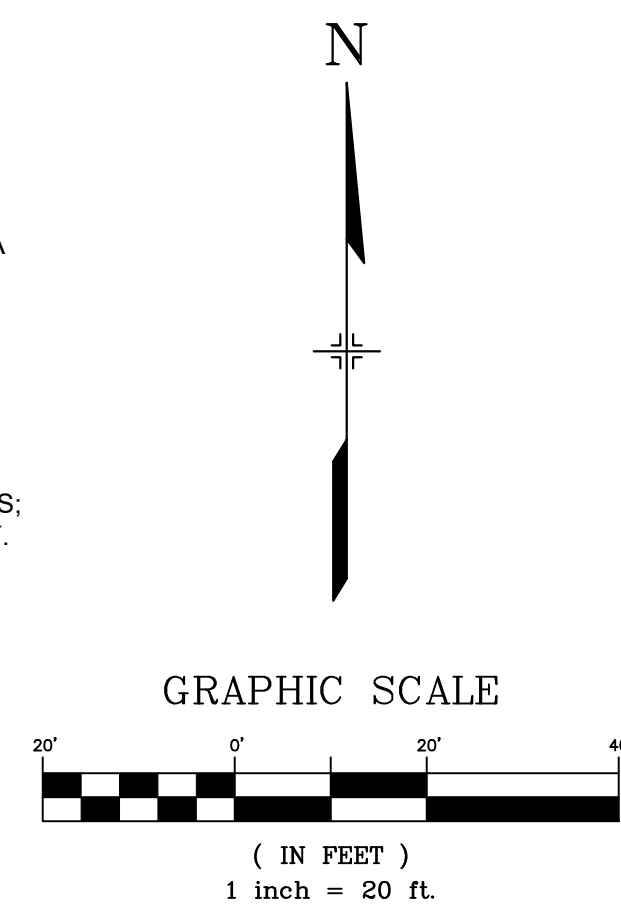
- ALL EXISTING WATER AND SANITARY MAINS TO BE PVC UNLESS OTHERWISE NOTED.
- ALL STORM TO BE PRIVATELY OWNED AND MAINTAINED UNLESS OTHERWISE NOTED.
- ALL EXISTING STORM OUTSIDE OF PROPERTY BOUNDARY SHALL BE PUBLIC AND IS PROPOSED UNDER SEPARATE DOCUMENT.
- ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY AN ENGINEERING DEVELOPMENT REVIEW INSPECTOR.
- GAS AND ELECTRIC METER LOCATIONS TO FOLLOW THE NATURAL GAS LINE EXTENSION AND SERVICE STANDARDS AND ELECTRIC LINE EXTENSION AND SERVICE STANDARDS, RESPECTIVELY.

8. OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.

9. OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).

10. IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.

11. SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.



FILE LOCATION: S:\26\002970\007-ELEVEN AT REAGAN RANCH\000 CAD\004\04 PLAN SET\7-ELEVEN AT REAGAN RANCH DEVELOPMENT PLAN\UT01.DWG

SOILS NOTES

- SOIL AMENDMENT - INCORPORATE 3 CUBIC YARDS/1000 SF AREA OF "PREMIUM 3 ORGANIC COMPOST", OR APPROVED EQUAL, ON SOD AREAS. INCORPORATE 2 CUBIC YARDS/1000 SF AREA OF ORGANIC COMPOST (DECOMPOSED MANURE) TO ALL NATIVE SEED AREAS. TILL INTO TOP 8" OF SOIL.
- RECOMMENDED SOIL AMENDMENT FOR PLANTING PITS: TRI-MIX III AS SUPPLIED BY C&C SAND, TO BE APPLIED PER DETAILS
- FERTILIZER REQUIREMENTS BELOW ARE BASED ON SOIL ANALYSIS.

	SOD	SEED	SHRUB-BROADLEAF
NITROGEN	95 LBS/1000SF	15 LBS/1000SF	35 LBS/1000SF
PHOSPHORUS (P205)	55 LBS/1000SF	20 LBS/1000SF	70 LBS/1000SF
POTASSIUM (K2O)	75 LBS/1000SF	26 LBS/1000SF	40 LBS/1000SF
SULFUR (SO4-S)	15 LBS/1000SF	0 LBS/1000SF	8 LBS/1000SF
ZINC	8 LBS/1000SF	0 LBS/1000SF	6 LBS/1000SF
MANGANESE	10 LBS/1000SF	7 LBS/1000SF	10 LBS/1000SF
COPPER	2.2 LBS/1000SF	2.2 LBS/1000SF	2.2 LBS/1000SF

*NATIVE SEED FERTILIZER NOTE - APPLY NITROGEN AND OTHER FERTILIZER JUST PRIOR TO THE BEGINNING OF SPRING GROWTH, AFTER GRASS HAS ESTABLISHED. APPLYING NITROGEN TOO EARLY CAN STIMULATE COOL SEASON GRASSES AND WEEDS, THUS LIMITING SEED YIELDS.
- A SIGNED AFFIDAVIT ATTESTING TO THE SOIL AMENDMENTS INCORPORATED TO CORRECT DEFICIENCIES SHALL BE INCLUDED WITH THE SOIL ANALYSIS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAIL. TILL INTO TOP 8" OF SOIL.
- OR- TOPSOIL TO BE IMPORTED.
- CONTRACTOR TO TEST AMENDED SOIL. FOR EACH STREET, TAKE 1 TEST IN FESCUE SOD/ALTERNATIVE TURF AREA, 1 TEST IN PLANTING BED AREA, AND 1 TEST IN SEEDED AREA, AND SUBMIT SOIL ANALYSIS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLING LANDSCAPE.
- SUBMIT FERTILIZER PRODUCT SHEET TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EXAMPLES FOR SUBMITTALS ARE: FESCUE SOD FERTILIZER, LOW ALTERNATE TURF FERTILIZER, TALL NATIVE SEED MIX FERTILIZER, ETC. IF SOIL IN
- THE PARKING LOT HAS BEEN COMPACTED BY GRADING OPERATIONS, THE SOIL WITHIN THE PLANTER SHALL BE TILLED, OR REMOVED TO A DEPTH OF THIRTY (30) INCHES AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES BEING INSTALLED.
- TILLING OF THE EXISTING SOIL TO INCORPORATE AMENDMENTS AND COUNTER ANY COMPACTION OR SOIL CONSOLIDATION SHALL BE REQUIRED FOR ALL LANDSCAPE PLANTING AREAS.

SEED NOTES

- NATIVE SEED AREAS TO USE SEED MIX SPECIFIED. ALL SEED AREAS SHALL BE IRRIGATED UNTIL ESTABLISHMENT. SUBMIT SEED MIX PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- EROSION CONTROL BLANKET TO BE APPLIED ON ALL SEED AREAS WITH GREATER THAN 3:1 SLOPES.
- EROSION CONTROL BLANKET TO BE: S150BN WITH 6" STEEL STAKES AVAILABLE FROM NORTH AMERICAN GREEN DISTRIBUTOR, NILEXENVIRONMENTAL INC. (303)766-2000, OR APPROVED EQUAL. SUBMIT SAMPLE AND PRODUCT INFO TO LANDSCAPE ARCHITECT (L.A.) FOR APPROVAL PRIOR TO INSTALLATION. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

PLANTING NOTES

- ALL TREES TO RECEIVE 3 INCH DEPTH WOOD MULCH RING UNLESS OTHERWISE SPECIFIED. MULCH RINGS TO BE SIZED PER PLANTING DETAILS.
- WOOD MULCH: GORILLA HAIR CEDAR WOOD MULCH SHALL BE USED UNLESS OTHERWISE SPECIFIED ON PLAN.
- ALL TREES TO BE STAKED WITH WOOD STAKES. FOR 3" CAL. DECIDUOUS TREES AND EVERGREEN TREES OVER 8' USE 3 WOOD STAKES (STAKE TO GROUND LEVEL). SUBMIT STAKING MATERIALS PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- ALL TREES TO BE STAKED FOR A MINIMUM OF 18 MONTHS. REMOVE STAKING MATERIALS ONCE TREE IS ESTABLISHED, WHICH MAY DEPEND ON TREE SPECIES, MATURITY AND SITE CONDITIONS.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL SHOWN ON THIS PLAN. IF ANY DISCREPANCIES ARE FOUND BETWEEN THE LANDSCAPE PLAN AND THE PLANT SCHEDULE, THE QUANTITIES SHOWN ON THE LANDSCAPE PLAN SUPERSEDE THOSE SHOWN ON THE PLANT SCHEDULE.
- PLANTS SHALL BE WARRANTED FOR THE DURATION OF ONE FULL YEAR AFTER THE INSTALLATION (WARRANTY SHALL COVER 100% OF THE REPLACEMENT COST).
- TREES SHALL MAINTAIN A 15-FOOT MINIMUM SEPARATION FROM WATER AND WASTEWATER MAINS AND A 6-FOOT MINIMUM SEPARATION FROM ELECTRIC AND GAS DISTRIBUTION LINES.
- A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS. ALL FIRE HYDRANTS WILL NOT BE OBSTRUCTED VISUALLY OR PHYSICALLY DUE TO VEGETATION.
- ALL FIRE DEPARTMENT CONNECTIONS (FDC) SHALL NOT BE VISUALLY OR PHYSICALLY OBSTRUCTED BY LANDSCAPING.

EDGING NOTES

- ALL ROCK OR WOOD MULCH ADJACENT TO NATIVE SEED TO BE SEPARATED BY EDGING.
- SEPARATION BETWEEN ROCK TYPES, EDGING TO BE PER PLAN.
- USE SOLID STEEL EDGING EXCEPT WHERE NOTED ON THE PLANS.
- SOLID STEEL EDGING TO BE: "DURAEDGE" (1/8" THICK x 4" WIDE) STEEL LANDSCAPE EDGING, DARK GREEN COLOR, WITH ROLLED EDGE AND STEEL STAKES.
- PERFORATED STEEL EDGING TO BE: ACME (14 GA. x 4" WIDE) GALVANIZED STEEL EDGING, WITH ROLLED EDGE AND GALVANIZED STEEL STAKES. COLOR TO BE DARK GREEN. SEE PLAN FOR TRAIL LOCATIONS.

STANDARD CITY OF COLORADO SPRINGS LANDSCAPE NOTES

- THE OWNER OR DEVELOPER IS REQUIRED TO PROVIDE INSPECTION AFFIDAVITS EXECUTED BY THE COLORADO LICENSED LANDSCAPE ARCHITECT OR CERTIFIED IRRIGATION DESIGNER OF RECORD FOR THE PROJECT, WHICH CERTIFIES THAT THE PROJECT WAS INSTALLED AND IN COMPLIANCE WITH THE APPROVED FINAL LANDSCAPE AND IRRIGATION PLAN ON FILE IN CITY PLANNING. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS TO ACCURATELY COMPLETE THE AFFIDAVITS. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-385-5905) AND AS NECESSARY OUR DRE OFFICE (719-385-5982).
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER AND/OR THEIR ASSIGNED.
- ALL STREET TREES AND STREETScape IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE OWNER AND/OR THEIR ASSIGNED.
- COPIES OF RECEIPTS/DELIVERY TICKETS FOR SOIL AMENDMENTS INSTALLED ON THE PROJECT ARE REQUIRED TO BE PROVIDED WITH THE INSPECTION AFFIDAVITS.
- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR CITY APPROVAL OF AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THESE PLANS ARE FOR CITY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.

LANDSCAPE SITE REQUIREMENTS

PLAN	STREET NAME/ ZONE BOUNDARY	CLASSIFICATION	SETBACK DEPTH REQ.	LINEAR FOOTAGE	TREE/FEET REQUIRED
MK	MARKSHEFFEL ROAD	PRINCIPAL ARTERIAL	25'	305.4'	1 / 20

PLAN	NO. OF TREES		SHRUB SUBSTITUTES		ORN GRASSES SUBS.		% LIVE GROUND PLANE	
	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.
MK	16	9	70	75			75%	

PLAN	NET SITE AREA	INTERNAL AREA %	INTERNAL AREA REQ.	INTERNAL AREA PROV.	NON-ACTIVE GREEN SPACE REQ.	NON-ACTIVE GREEN SPACE PROV.
IN	105,631 SF	5%	5281.6 SF	-- SF	-- SF	-- SF

PLAN	NO. OF TREES (1/500)		SHRUB SUBSTITUTES		ORN GRASSES SUBS.		% LIVE GROUND PLANE	
	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.
	11	14	0				75%	

PLAN	NO. OF VEHICLE SPACES PROVIDED	SHADE TREES REQ. (1/15)	% LIVE GROUND PLANE PROV.	% LIVE GROUND PLANE REQ.
MV	35	3	3	75%

TREES	SELECTED PLANTS		SPECIES DIVERSITY		SPECIES HEIGHT	
	REQ. /PROV.	MAX. /PROV.	REQ. /PROV.	REQ. /PROV.	REQ. /PROV.	REQ. /PROV.
SHRUBS	107 / 107		N/A		N/A	
TOTAL						

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	CONDITION	CITY REQ.
DECIDUOUS TREES								
	SM	6	ACER SACCHARUM 'ARROWHEAD' / ARROWHEAD SUGAR MAPLE	50'	35'	1.5" CAL.	B&B	PARK/ROW
	OB	4	AESCULUS GLABRA / OHIO BUCKEYE	40'	15'	1.5" CAL.	B&B	ROW
	CS	1	CATALPA SPECIOSA / WESTERN CATALPA	40'	25'	1.5" CAL.	B&B	MEDIAN/ROW/STREAM
	TC	4	TILIA CORDATA / LITTLELEAF LINDEN	40'	30'	1.5" CAL.	B&B	ROW
EVERGREEN TREES								
	JW	6	JUNIPERUS SCOPULORUM 'WICHITA BLUE' / WICHITA BLUE JUNIPER	15'	6'	6' HT.	B&B	SCREEN/TRASH/WALL
ORNAMENTAL TREES								
	TM	5	ACER TATARICUM 'GARANN' / HOT WINGS® TATARIAN MAPLE	25'	20'	1" CAL.	B&B	MEDIAN/ROW
DECIDUOUS SHRUBS								
	BEK	13	BERBERIS KOREANA / KOREAN BARBERRY	5'	5'	#5 CONT	CONT	
	CCB	42	CARYOPTERIS X CLANDONENSIS 'BLUE MIST' / BLUE MIST BLUEBEARD	3'	2'	#5 CONT	CONT	SELECTED
	RFC	15	RHAMNUS FRANGULA 'COLUMNARIS' / UPRIGHT ALDER BUCKTHORN	8'	4'	#5 CONT	CONT	SCREEN/TRASH/WALL
	SBP	18	SYRINGA X 'PENDA' / BLOOMERANG® PURPLE LILAC	6'	5'	#5 CONT	CONT	SCREEN/WALL
EVERGREEN SHRUBS								
	JCA	35	JUNIPERUS CHINENSIS 'ARMSTRONGII' / ARMSTRONG JUNIPER	3'	3'	#5 CONT	CONT	SCREEN/WALL
	JST	10	JUNIPERUS SABINA 'TAMARISCIFOLIA' / TAMMY/TAMARIX JUNIPER	4'	6'	#5 CONT	CONT	SCREEN

GROUND COVER LEGEND

- NATIVE SEED: LOW GROW MIX NAME: LOW GROW UPLAND SEED MIX (OR APPROVED EQUAL) 14,756 SF
- ROCK COBBLE 1 1/2" ARKANSAS TAN 3,497 SF
- ROCK MULCH 3/4" DESERT SAND RIVER 8,185 SF

LOW GROW UPLAND SEED MIX						
SCIENTIFIC NAME	VARIETY	COMMON NAME	PLS LBS/AC	% BY WEIGHT	% of PLS/SQFT PLS/SQFT	
GRAMINOIDS						
BOUTELOUA DACTYLOIDES	NUTT.	BUFFALOGRASS	3	24	23	19
BOUTELOUA GRACILIS	CO NATIVE	BLUE GRAMA	1	8	18	15
FESTUCA ARIZONICA	VNS.	ARIZONA FESCUE	1.5	12	17	14
KOELERIA MACRANTHA	VNS.	PRAIRIE JUNEGRASS	0.3	2	16	13
PLEURAPHIS JAMESII	VNS.	JAMES' GALLETA	5	41	17	14
POA SECUNDA	VNS.	SANDBERG BLUEGRASS	1.5	12	31	25
DRILL SEED TOTAL			12.3	100	122	100
BROADCAST TOTAL			24.6			

*VNS. = VARIETY NOT SPECIFIED



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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

REAGAN RANCH 7-11

DEVELOPMENT PLAN

520 MARKSHEFFEL ROAD

PROJECT INFO

DATE: 7/7/26
PROJECT MGR: AP / JA
PREPARED BY: AR

STAMP

ENTITLEMENTS

ISSUE INFO

DATE: BY: DESCRIPTION:

ISSUE / REVISION

SHEET DESCRIPTION

LANDSCAPE NOTES

SHEET NUMBER/TITLE

LP1.00

6 OF 14

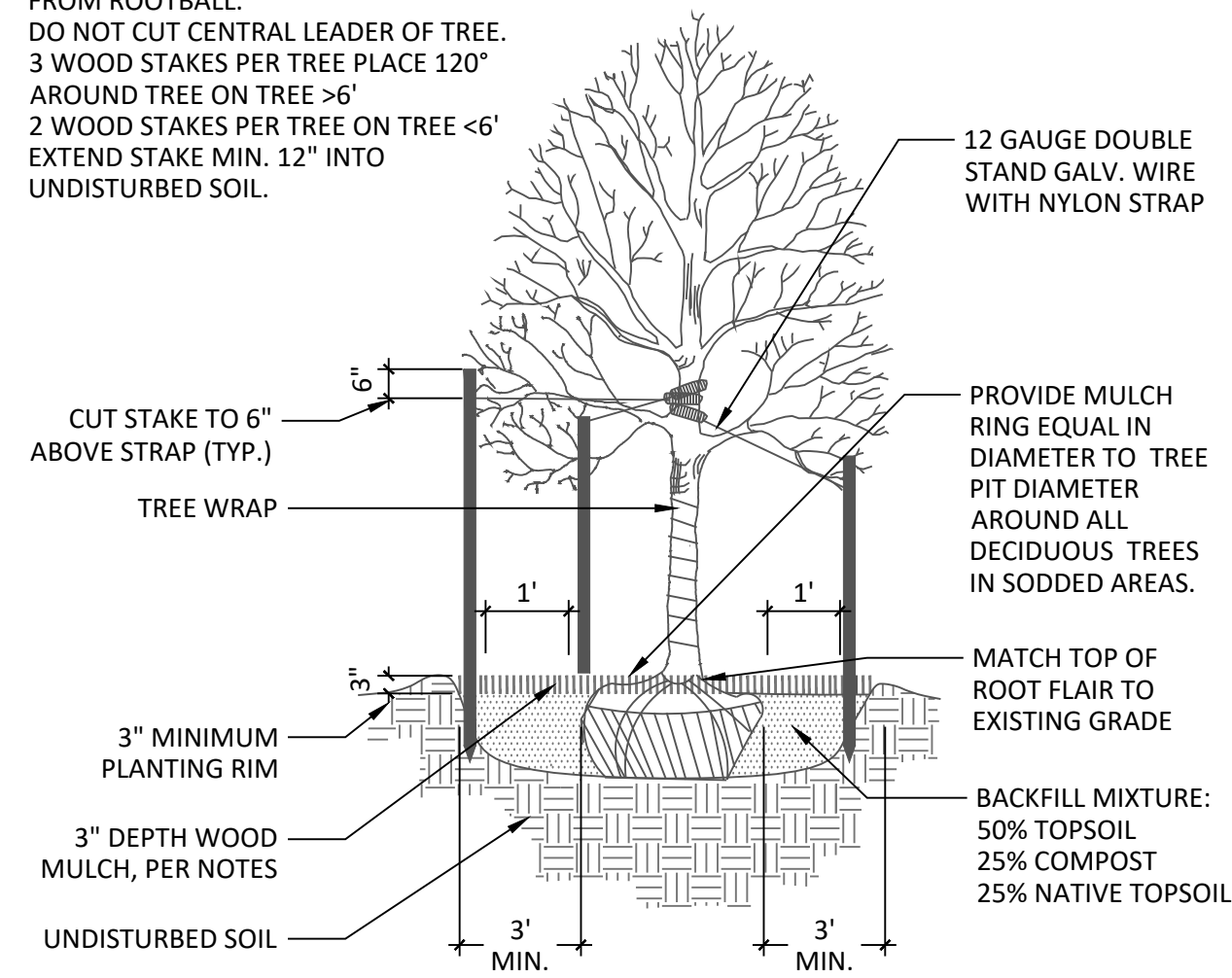
PLAN FILE #

CPC #

NOTES:

1. PRUNE DAMAGED OR DEAD BRANCHES IMMEDIATELY PRIOR TO PLANTING. REMOVE ANY DOUBLE LEADERS.
2. CUT AND REMOVE BURLAP AND WIRE FROM ROOTBALL.
3. DO NOT CUT CENTRAL LEADER OF TREE.
- 3 WOOD STAKES PER TREE PLACE 120" AROUND TREE ON TREE >6'
5. 2 WOOD STAKES PER TREE ON TREE <6'
6. EXTEND STAKE MIN. 12" INTO UNDISTURBED SOIL.

7. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
8. DEEP WATER ALL PLANTS AT TIME OF PLANTING.

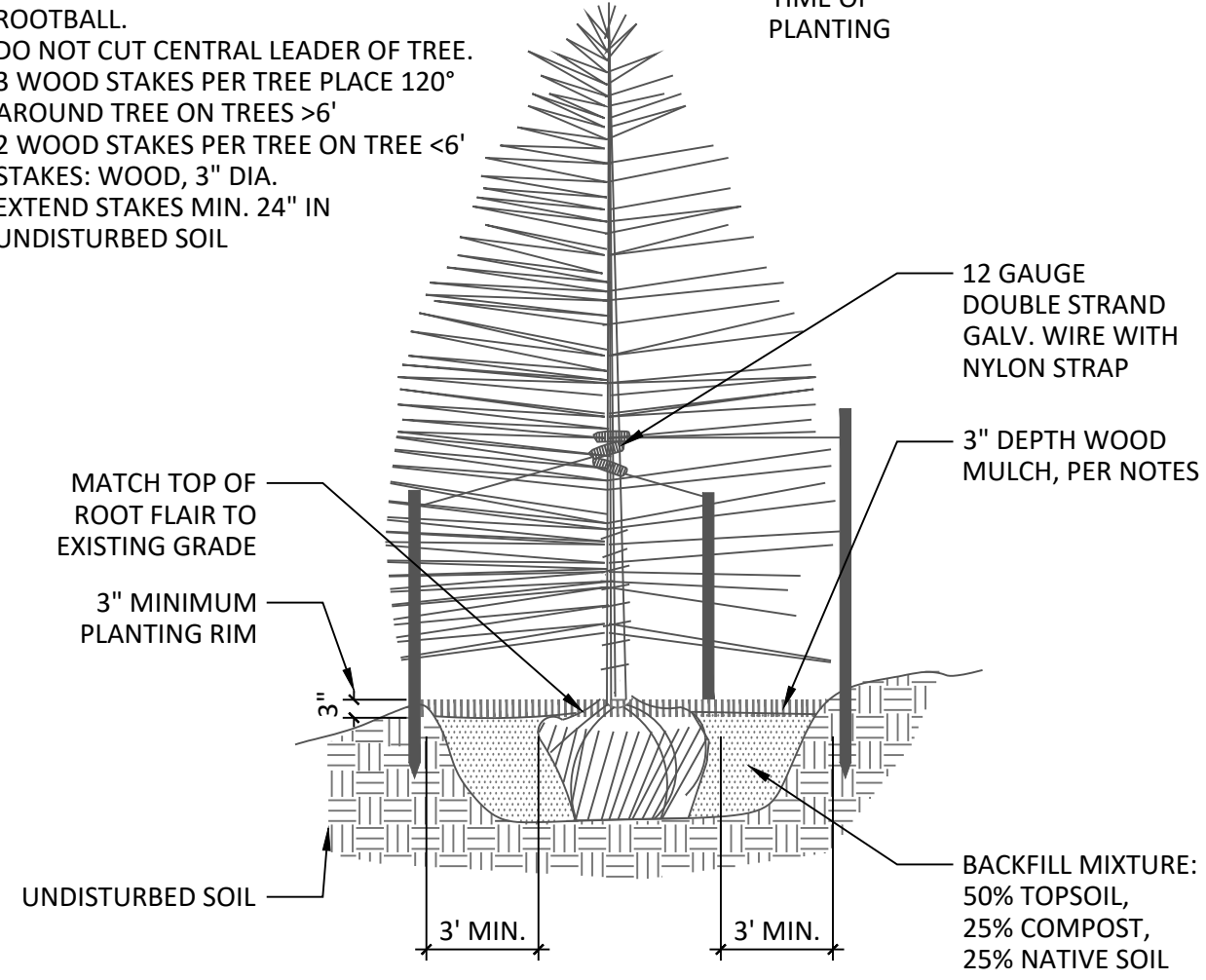


1 DECIDUOUS TREE PLANTING DETAIL
NTS N-PL-01

NOTES:

1. PRUNE DAMAGED OR DEAD BRANCHES IMMEDIATELY PRIOR TO PLANTING. REMOVE ANY DOUBLE LEADERS.
2. CUT AND REMOVE BURLAP AND WIRE FROM ROOTBALL.
3. DO NOT CUT CENTRAL LEADER OF TREE.
- 3 WOOD STAKES PER TREE PLACE 120" AROUND TREE ON TREES >6'
5. 2 WOOD STAKES PER TREE ON TREE <6'
6. STAKES; WOOD, 3" DIA.
7. EXTEND STAKES MIN. 24" IN UNDISTURBED SOIL

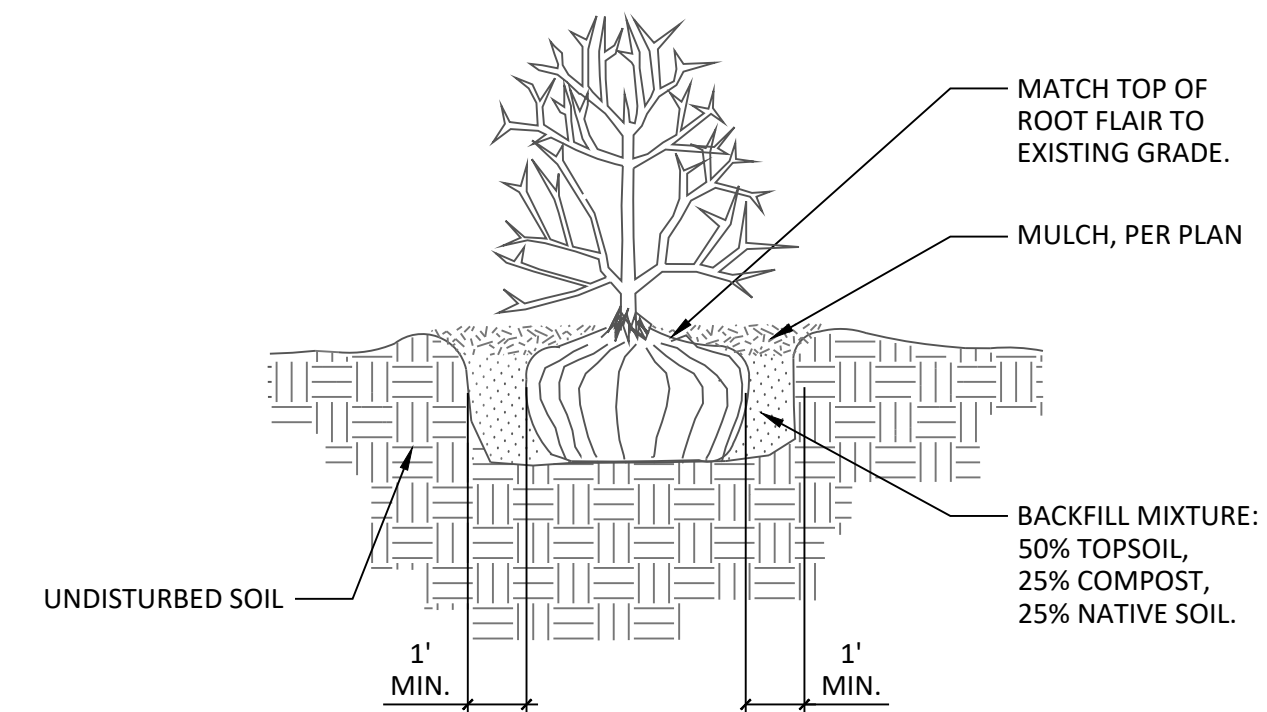
8. KEEP PLANTS MOIST AND SHADED AT ALL TIME OF PLANTING
9. DEEP WATER ALL PLANTS AT TIME OF PLANTING



2 CONIFEROUS TREE PLANTING DETAIL
NTS N-PL-04

NOTES:

1. PRUNE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR NARROW CROTCHES.
2. FOR BALLED AND BURLAPPED SHRUBS: CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL.
3. REMOVE ALL WIRE.



3 SHRUB PLANTING DETAIL
NTS N-PL-05



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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

REAGAN RANCH 7-11

DEVELOPMENT PLAN

520 MARKSHEFFEL ROAD

DATE: 7/7/26
PROJECT MGR: AP / JA
PREPARED BY: AR

STAMP

ENTITLEMENTS

DATE:	BY:	DESCRIPTION:

LANDSCAPE PLAN

LP3.00
8 OF 14

PLAN FILE # CPC #

IRRIGATION NOTES

- CONTRACTOR TO CONNECT MAINLINE PIPE TO COPPER STUB-OUT, AT METER OR POINT OF CONNECTION, PER PLAN.
- PLUMBING CONTRACTOR TO INSTALL MAINLINE STUB-OUT AND BACK FLOW PREVENTER PER THE IRRIGATION SCHEDULE.
- CONTRACTORS TO COORDINATE THE CONNECTION TO THE MAINLINE STUB, EXTEND COPPER PIPE TO IRRIGATION MAINLINE DEPTH 24" BELOW FINISH GRADE.
- ALL VALVE BOXES SHALL BE INSTALLED FLUSH WITH GRADE AND SUPPORTED BY CONCRETE BLOCK (MIN. 4 PER BOX). INSTALL BLOCKS IN A MANNER THAT WILL PREVENT CONTACT WITH PIPING, WIRES, AND VALVE.
- IRRIGATION CONTROL WIRE SHALL BE COMMON TRENCH WITH MAINLINE AND SHALL HAVE SEPARATE SLEEVE CROSSING ALL HARD CONSTRUCTION.
- CONTRACTOR SHALL TAPE CLOSED ALL SLEEVE PIPE OPENINGS TO PREVENT DEBRIS FROM ENTERING SLEEVES.
- CONTRACTOR SHALL EXTEND 120-VOLT A.C. FROM EXISTING POWER TO PROPOSED CONTROLLER LOCATION. ALL ELECTRICAL WORK SHALL BE PER CODE AND N.E.C. STANDARDS
- INSTALL IRRIGATION CONTROLLER ON THE EXTERIOR OF THE BUILDING OR A PEDESTAL PER PLAN. COORDINATE FINAL LOCATION WITH OWNER AND/OR THEIR ASSIGNED. EXTEND ALL CONTROL WIRING FROM IRRIGATION CONTROLLER TO EXTERIOR OF BUILDING IN CONDUIT. COORDINATE INSTALLATION OF CONDUIT AND WALL PENETRATION WITH OWNER AND/OR THEIR ASSIGNED.
- THIS SYSTEM IS DESIGNED AT 60 PSI STATIC WATER PRESSURE AND 18.2 GPM. **THE CONTRACTOR SHALL VERIFY THE ACTUAL STATIC WATER PRESSURE PRIOR TO CONSTRUCTION AND INFORM THE LANDSCAPE ARCHITECT OF RESULTS IF MODIFICATIONS MUST BE MADE PRIOR TO CONSTRUCTION.**
- DRAWINGS ARE DIAGRAMMATIC, IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE OF PLANTING AREAS FOR CLARITY ONLY. CONTRACTOR SHALL AVOID CONFLICTS WITH PLANT MATERIALS AND ARCHITECTURAL FEATURES ALL PIPING AND WIRING SHALL BE INSTALLED IN PLANTING AREA OR IN SLEEVES. NO PIPING UNDER TREES OR SHRUBS WILL BE ACCEPTED.
- ALL IRRIGATION EQUIPMENT IS TO BE INSTALLED PER MANUFACTURE SPECIFICATIONS.
- CONTRACTOR WILL PROVIDE OWNER WITH A COMPLETE AND REPRODUCIBLE DRAWING OR IRRIGATION SYSTEM LAYOUT AS IT WAS INSTALLED. DRAWING SHOULD INCLUDE, BUT NOT BE LIMITED TO, LOCATIONS OF ZONES VALVES, MAIN, LATERAL AND DISTRIBUTION LINES, SLEEVES, WATER METER, BACK FLOW PREVENTION DEVICE, SENSORS AND CONTROLLER. ALL HEADS TO BE ADJUSTED TO PREVENT OVER SPRAY ONTO BUILDING AND WALK-WAYS.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.

CSU WATER WISE RULES

- FROM MAY 1 TO OCTOBER 15, SPRINKLERS CAN BE OPERATED BEFORE 10 A.M. AND AFTER 6 P.M.
- WATERING IS LIMITED TO THREE DAYS A WEEK (DRIP IRRIGATION IS ALLOWED AT ANY TIME).
- ESTABLISHMENT PERMITS ARE REQUIRED FROM COLORADO SPRINGS UTILITIES FOR CUSTOMERS WHO NEED TO TEMPORARILY WATER MORE THAT THREE DAYS PER WEEK TO ESTABLISH NEW LANDSCAPES.
- ALLOCATION PLANS ARE AVAILABLE TO CUSTOMERS WHO NEED MORE WATERING SCHEDULE FLEXIBILITY FROM COLORADO SPRINGS UTILITIES.

CRITICAL ANALYSIS

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P.O.C. NUMBER: 01
Water Source Information:

FLOW AVAILABLE
Point of Connection Size: 1"
Flow Available: 18.2 GPM

PRESSURE AVAILABLE
Static Pressure at POC: 60 PSI
Pressure Available: 60 PSI

DESIGN ANALYSIS
Flow Velocity: 5 Ft.sec.
Maximum Station Flow: 7.32 GPM
Flow Available at POC: 18.2 GPM
Residual Flow Available: 9.1 GPM

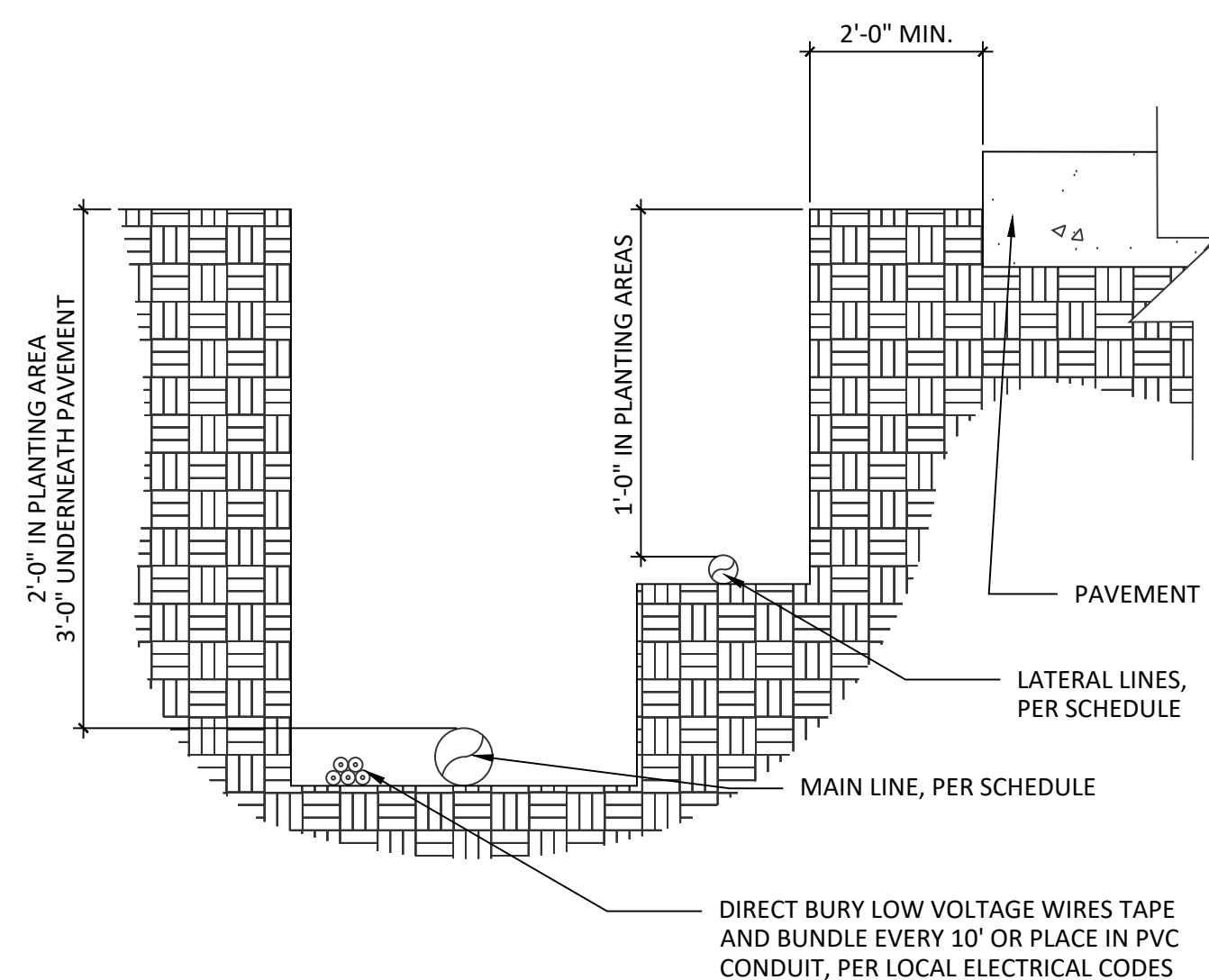
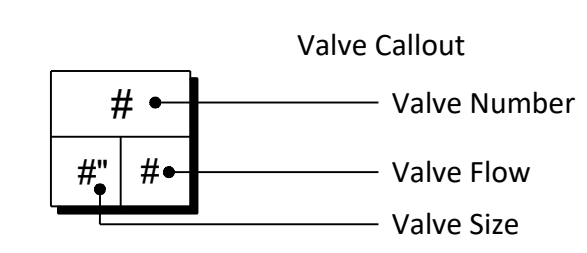
Critical Station: 3
Design Pressure: 30 PSI
Friction Loss: 0.77 PSI
Fittings Loss: 0.08 PSI
Elevation Loss: 0 PSI
Loss through Valve: 1.71 PSI
Pressure Req. at Critical Station: 32.6 PSI
Loss for Fittings: 0.34 PSI
Loss for Main Line: 3.42 PSI
Loss for POC to Valve Elevation: 0 PSI
Loss for Backflow: 12.4 PSI
Loss for Master Valve: 0.26 PSI
Critical Station Pressure at POC: 49.0 PSI
Pressure Available: 60 PSI
Residual Pressure Available: 11.0 PSI

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	DESIGN PSI	VELOCITY	FRICTION LOSS	VALVE LOSS	PSI	PSI LESS VALVE LOSS	MAINLINE LOSSES	PSI @ POC	RESIDUAL PSI
1	RAIN BIRD XCZF-100-PRF	1"	DRIP EMITTER	3	30	5 Ft.sec.	0.22	0.3	30.5	30.2	14.0	44.5	15.5
2	RAIN BIRD PEB-PRS-D	1"	TURF ROTARY	7.32	30	5 Ft.sec.	0.44	1.75	32.2	30.4	16.1	48.3	11.7
3	RAIN BIRD PEB-PRS-D	1"	TURF ROTARY	5.56	30	5 Ft.sec.	0.85	1.71	32.6	30.8	16.5	49.0	11.0
4	RAIN BIRD PEB-PRS-D	1"	TURF ROTARY	3.54	30	5 Ft.sec.	0.26	1.55	31.8	30.3	13.8	45.7	14.3
5	RAIN BIRD XCZF-100-PRF	1"	DRIP EMITTER	3.5	30	5 Ft.sec.	0.56	0.75	31.3	30.6	13.6	44.9	15.1
6	RAIN BIRD PEB-PRS-D	1"	TURF ROTARY	6.48	30	5 Ft.sec.	0.36	1.73	32.1	30.4	16.1	48.2	11.8

IRRIGATION SCHEDULE

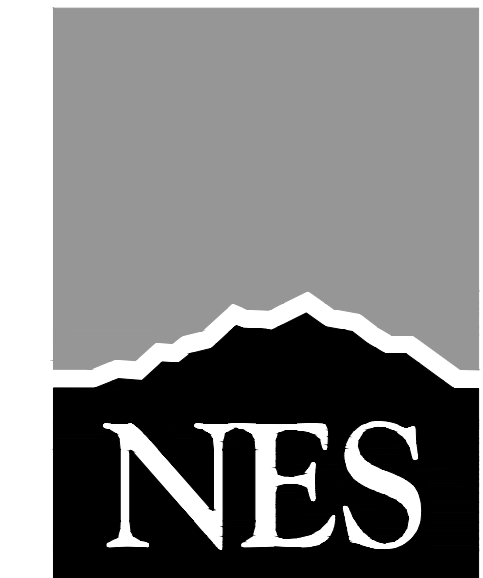
SYMBOL	MANUFACTURER/MODEL/DESCRIPTI ON	PSI
1000	HUNTER MP1000 PROS-06-PRS30-CV TURF ROTATOR, 6IN. POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC.	30
2000	HUNTER MP2000 PROS-06-PRS30-CV TURF ROTATOR, 6IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.	30
3000	HUNTER MP3000 PROS-06-PRS30-CV TURF ROTATOR, 6IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTI ON	
100	RAIN BIRD XCZF-100-PRF MEDIUM FLOW DRIP CONTROL KIT. 1IN. DV VALVE WITH 1IN. PRESSURE REGULATING FILTER AT, AND MDCCF FITTING. 3 GPM-15 GPM.	
1000	RAIN BIRD MDCCFAP DRIPLINE FLUSH VALVE CAP IN COMPRESSION FITTING COUPLER.	
1000	TREE RING 1/4" LANDSCAPE DRIPLINE .8GPH @ 12" SPACING	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTI ON	
100	RAIN BIRD PEB-PRS-D 1IN., 1-1/2IN., 2IN. PLASTIC INDUSTRIAL REMOTE CONTROL VALVE. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION. WITH PRESSURE REGULATOR MODULE.	
100	RAIN BIRD 5-RC 1IN. BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, THERMOPLASTIC RUBBER COVER, AND 1-PIECE BODY.	
100	RAIN BIRD EFB-CP-PRS-D 1" 1IN., 1-1/4", 1-1/2IN., 2IN. BRASS MASTER VALVE, THAT IS CONTAMINATION PROOF W/SELF-FLUSHING FILTER SCREEN. GLOBE CONFIGURATION, RECLAIMED WATER COMPATIBLE, AND PURPLE HANDLE COVER DESIGNATES NON-POTABLE WATER USE. WITH PRESSURE REGULATOR.	
100	WATTS 009 1" REDUCED PRESSURE BACKFLOW PREVENTER	
100	RAIN BIRD RSD-BEX (RAIN SENSOR) RAIN SENSOR, WITH METAL LATCHING BRACKET, EXTENSION WIRE.	
100	HUNTER FLOW-CLIK-100 FLOW SENSOR SOV WITH INTERFACE PANEL, 1IN. SCHEDULE 40 SENSOR BODY, 24 VAC, 2 AMP, INSTALL INTERFACE PANEL AS REQUIRED.	
POC	POINT OF CONNECTION 1"	
---	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	
---	IRRIGATION LATERAL LINE: POLYETHYLENE PIPE SDR-7	
---	IRRIGATION MAINLINE: PVC SCHEDULE 40	
---	PIPE SLEEVE: PVC CLASS 200 SDR 21	



1 IRRIGATION TRENCHING
NTS N-IR-18

WATERING SCHEDULE

NUMBER	MODEL	TYPE	PRECIP	IN./WEEK	MIN./WEEK	GAL./WEEK	GAL./DAY
1	RAIN BIRD XCZF-100-PRF	DRIP EMITTER	0.12 in/h	1	500	1321	440
2	RAIN BIRD PEB-PRS-D	TURF ROTARY	0.40 in/h	0.5000	75	1265	422
3	RAIN BIRD PEB-PRS-D	TURF ROTARY	0.40 in/h	0.5000	75	791	264
4	RAIN BIRD PEB-PRS-D	TURF ROTARY	0.40 in/h	0.5000	75	1016	339
5	RAIN BIRD XCZF-100-PRF	DRIP EMITTER	0.12 in/h	1	500	1249	416
6	RAIN BIRD PEB-PRS-D	TURF ROTARY	0.40 in/h	0.5000	75	1530	510
TOTALS:							



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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

REAGAN RANCH 7-11
DEVELOPMENT PLAN
520 MARKSHEFFEL ROAD
DATE: 7/7/26
PROJECT MGR: AP / JA
PREPARED BY: AR

PROJECT INFO

STAMP

FINAL LANDSCAPE PLAN

ISSUE INFO

DATE:	BY:	DESCRIPTION:

ISSUE / REVISION

IRRIGATION NOTES & DETAILS

SHEET DESCRIPTION

LI1.00
9 OF 14

SHEET NUMBER/TITLE

PLAN FILE # CPC #



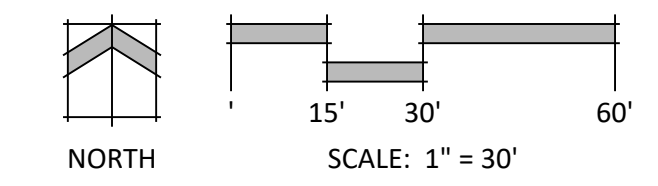
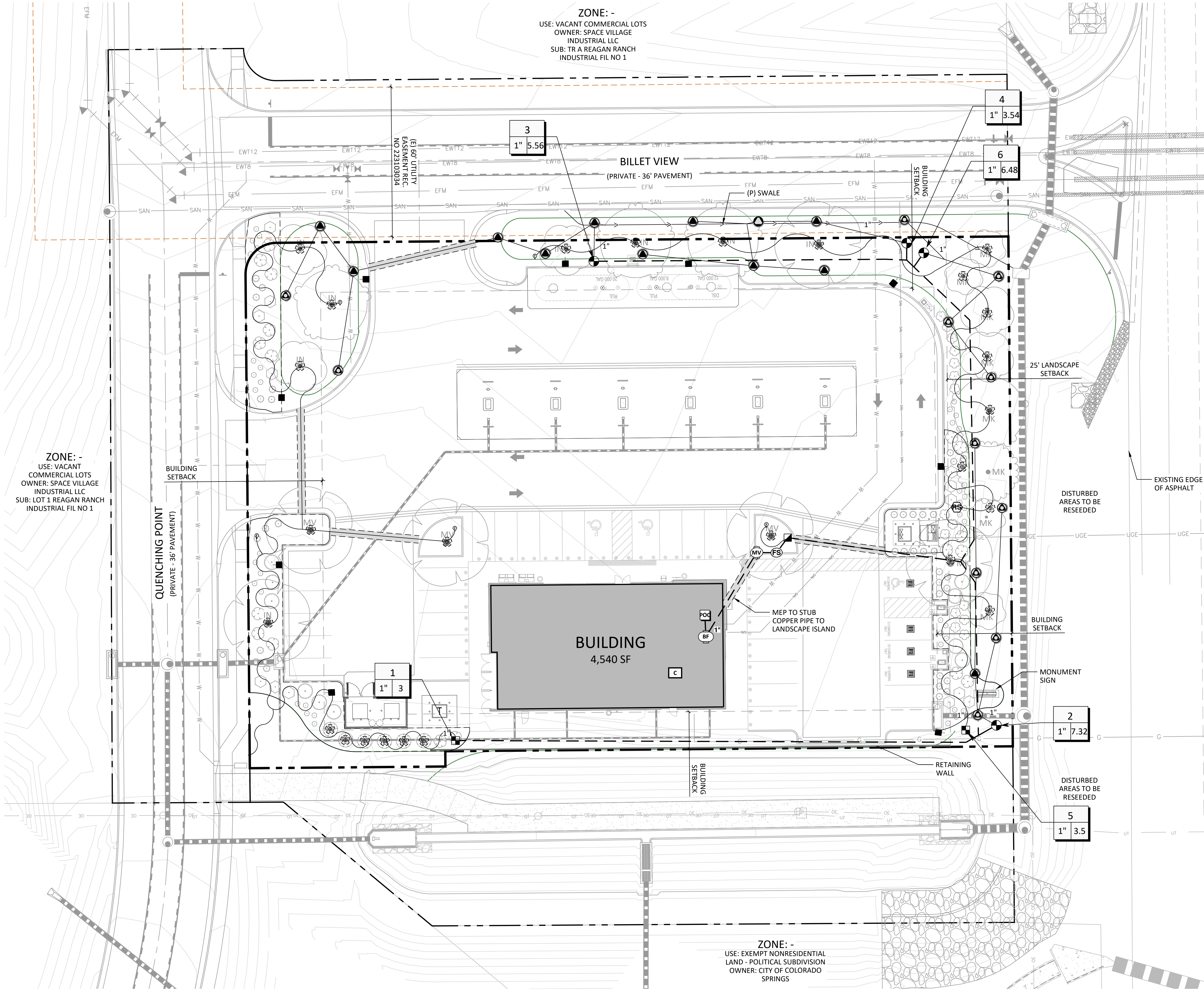
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LINE TYPE LEGEND

---	PROPERTY LINE
- - -	SETBACKS
- · - · -	EASEMENTS
- - - - -	ADJACENT PROPERTY
---	STEEL PROPERTY
---	PROPOSED CONTOURS

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
1000	HUNTER MP1000 PROS-06-PRS30-CV TURF ROTATOR, 6IN. POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC.	30
2000	HUNTER MP2000 PROS-06-PRS30-CV TURF ROTATOR, 6IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.	30
3000	HUNTER MP3000 PROS-06-PRS30-CV TURF ROTATOR, 6IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 30 PSI, MP ROTATOR NOZZLE ON PRS30 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.	30
□	RAIN BIRD XCZF-100-PRF MEDIUM FLOW DRIP CONTROL KIT. 1IN. DV VALVE WITH 1IN. PRESSURE REGULATING FILTER AT, AND MDCF FITTING. 3 GPM-15 GPM.	
⊕	RAIN BIRD MDCF CAP DRIPLINE FLUSH VALVE CAP IN COMPRESSION FITTING COUPLER.	
⊙	TREE RING 1/4" LANDSCAPE DRIPLINE .8GPH @ 12" SPACING	
⊕	RAIN BIRD PEB-PRS-D 1IN., 1-1/2IN., 2IN. PLASTIC INDUSTRIAL REMOTE CONTROL VALVE. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION, WITH PRESSURE REGULATOR MODULE.	
⊕	RAIN BIRD 5-RC 1IN. BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, THERMOPLASTIC RUBBER COVER, AND 1-PIECE BODY.	
⊕	RAIN BIRD EFB-CP-PRS-D 1" 1IN., 1-1/4", 1-1/2IN., 2IN. BRASS MASTER VALVE, THAT IS CONTAMINATION PROOF W/SELF-FLUSHING FILTER SCREEN. GLOBE CONFIGURATION, RECLAIMED WATER COMPATIBLE, AND PURPLE HANDLE COVER DESIGNATES NON-POTABLE WATER USE. WITH PRESSURE REGULATOR.	
⊕	WATTS 009 1" REDUCED PRESSURE BACKFLOW PREVENTER	
⊕	RAIN BIRD RSD-BEX (RAIN SENSOR) RAIN SENSOR, WITH METAL LATCHING BRACKET, EXTENSION WIRE.	
⊕	HUNTER FLOW-CLIK-100 FLOW SENSOR SOV WITH INTERFACE PANEL, 1IN. SCHEDULE 40 SENSOR BODY, 24 VAC, 2 AMP, INSTALL INTERFACE PANEL AS REQUIRED. POINT OF CONNECTION 1"	
---	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	
---	IRRIGATION LATERAL LINE: POLYETHYLENE PIPE SDR-7	
---	IRRIGATION MAINLINE: PVC SCHEDULE 40	
---	PIPE SLEEVE: PVC CLASS 200 SDR 21	
#	Valve Callout	
#	Valve Number	
#	Valve Flow	
#	Valve Size	



REAGAN RANCH 7-11

DEVELOPMENT PLAN

520 MARKSHEFFEL ROAD

DATE: 7/7/26
PROJECT MGR: AP / JA
PREPARED BY: AR

FINAL LANDSCAPE PLAN

DATE: BY: DESCRIPTION:

LANDSCAPE PLAN

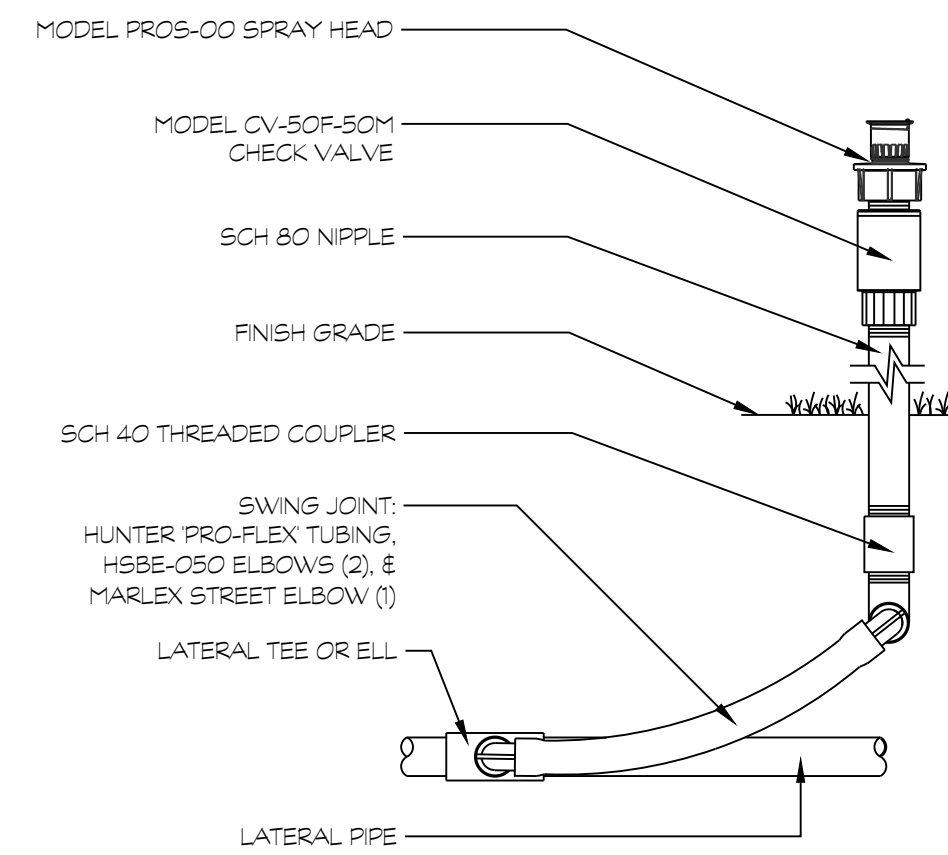
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10 OF 14

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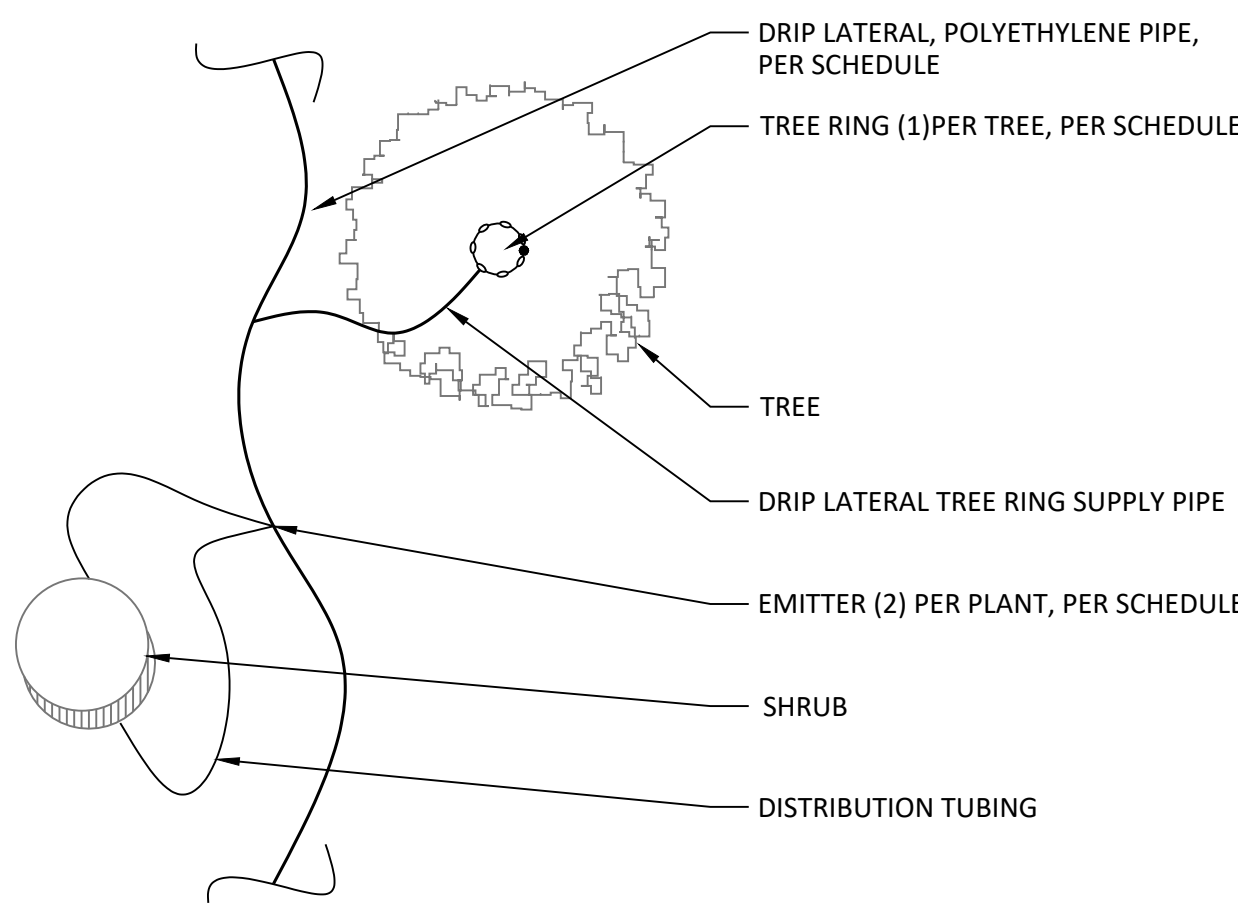
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Hunter®



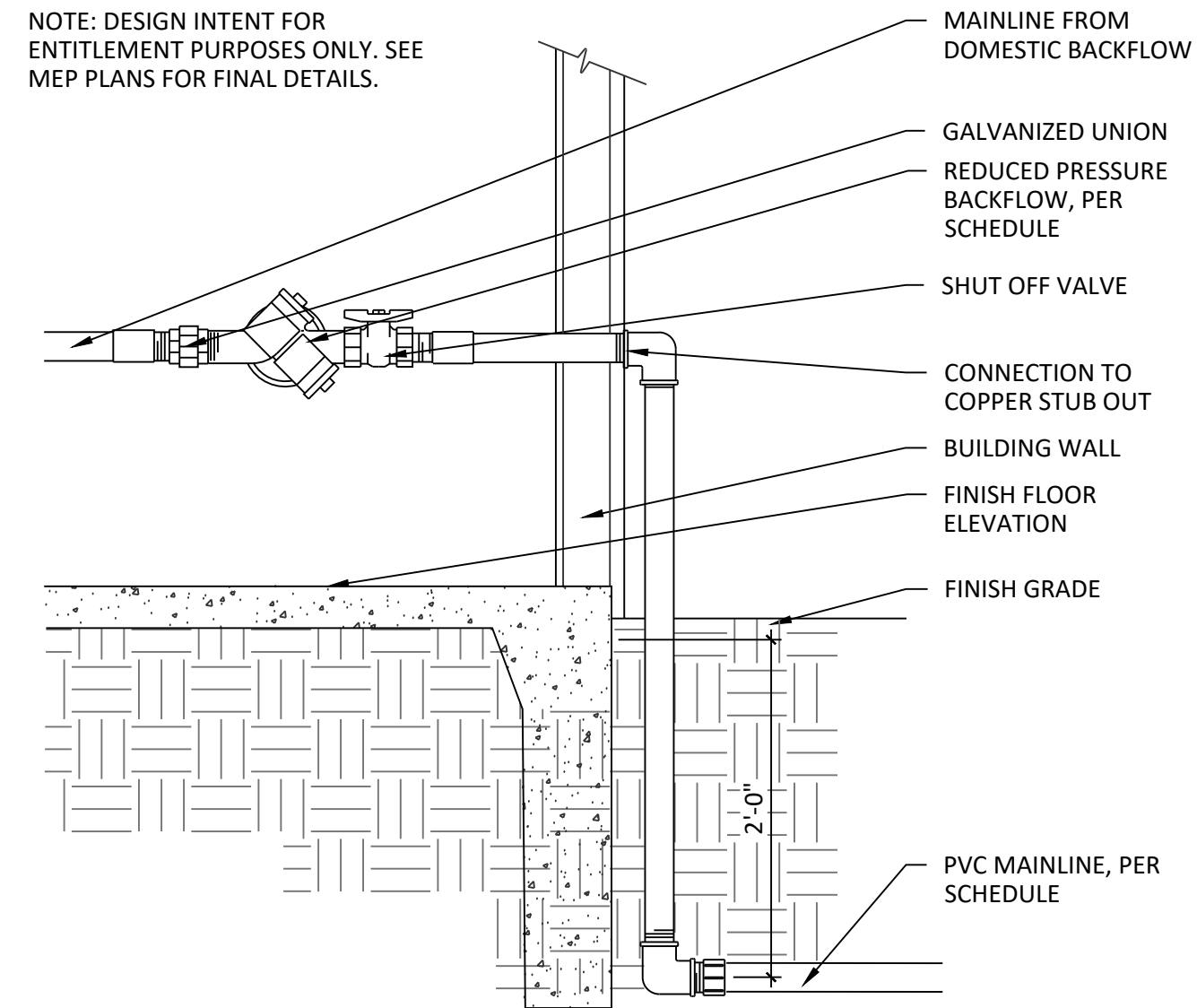
1 PRO SPRAY RISER SERIES
NTS

NOTES:
1. DISTRIBUTION TUBING SHALL BE LOCATED IMMEDIATELY ADJACENT TO PERENNIALS AND AT THE OUTSIDE OF PERIMETER OF THE PLANTING PIT OF ALL SHRUBS.
2. TREE RINGS SHALL BE MADE TO MATCH THE SIZE OF ROOT BALL OF EACH TREE.



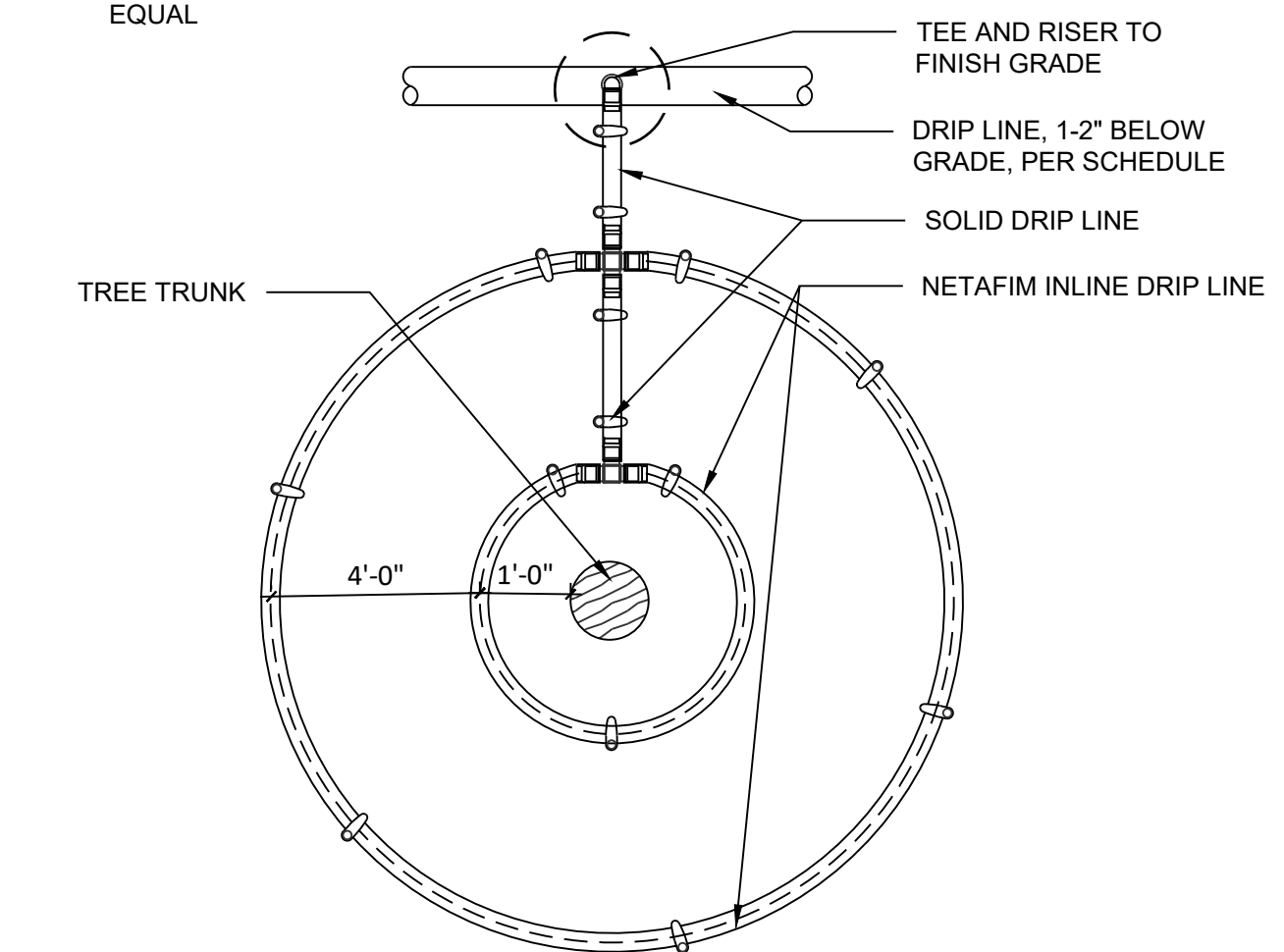
2 DRIP EMITTER PLACEMENT PLAN
NTS

NOTE: DESIGN INTENT FOR ENTITLEMENT PURPOSES ONLY. SEE MEP PLANS FOR FINAL DETAILS.



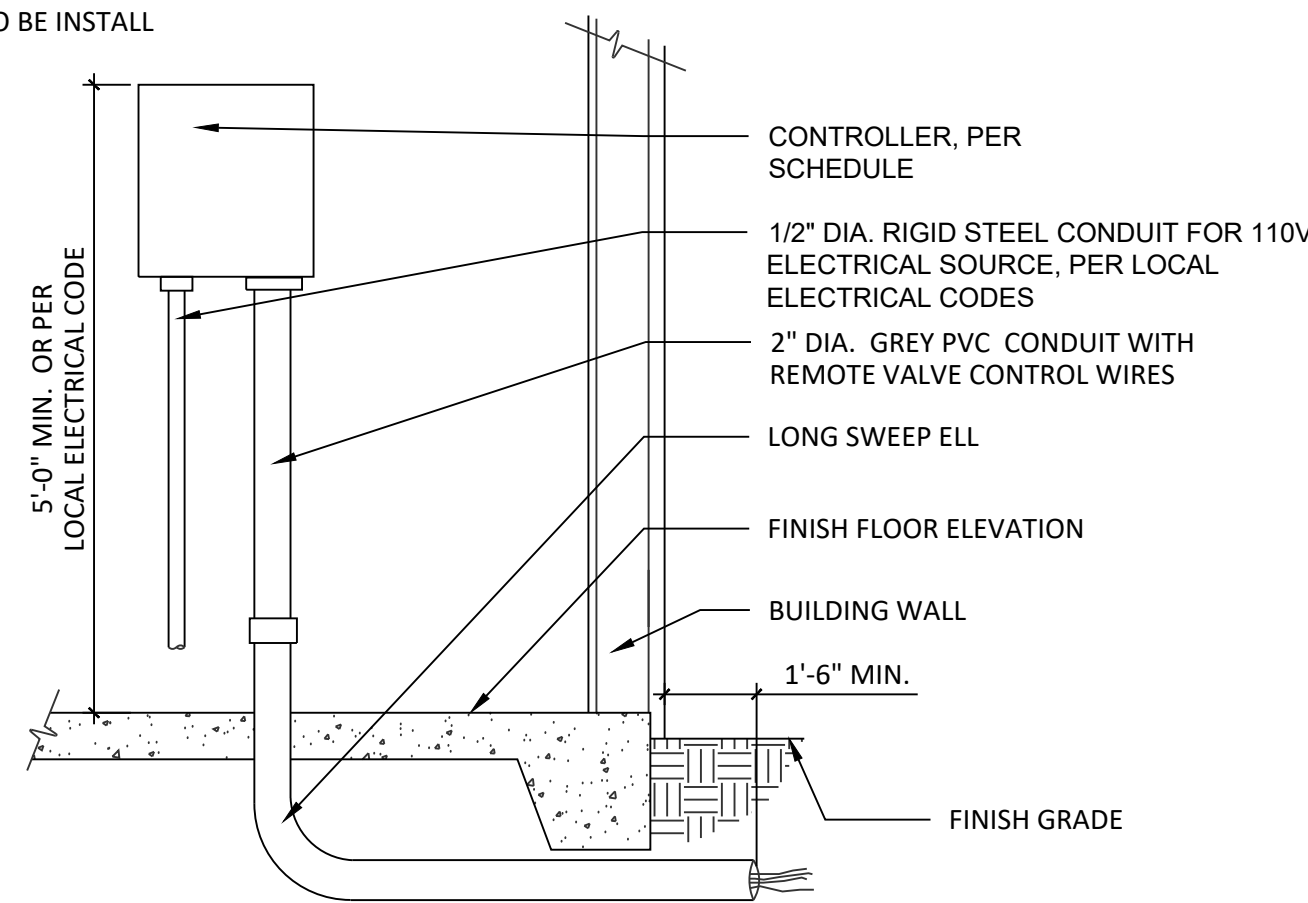
3 REDUCE PRESSURE BACKFLOW-INTERNAL
NTS

NOTES:
1. 6" MIN. DEPTH BELOW MULCH IN PLANTING PIT.
2. 2 RINGS OF NATAFEM DRIP LINE TO CIRCLE EACH TREE.
3. RINGS TO BE STAKED SECURELY
4. ALL FITTINGS TO BE SECURED WITH STAINLESS COMPRESSION TYPE FITTINGS OR APPROVED EQUAL



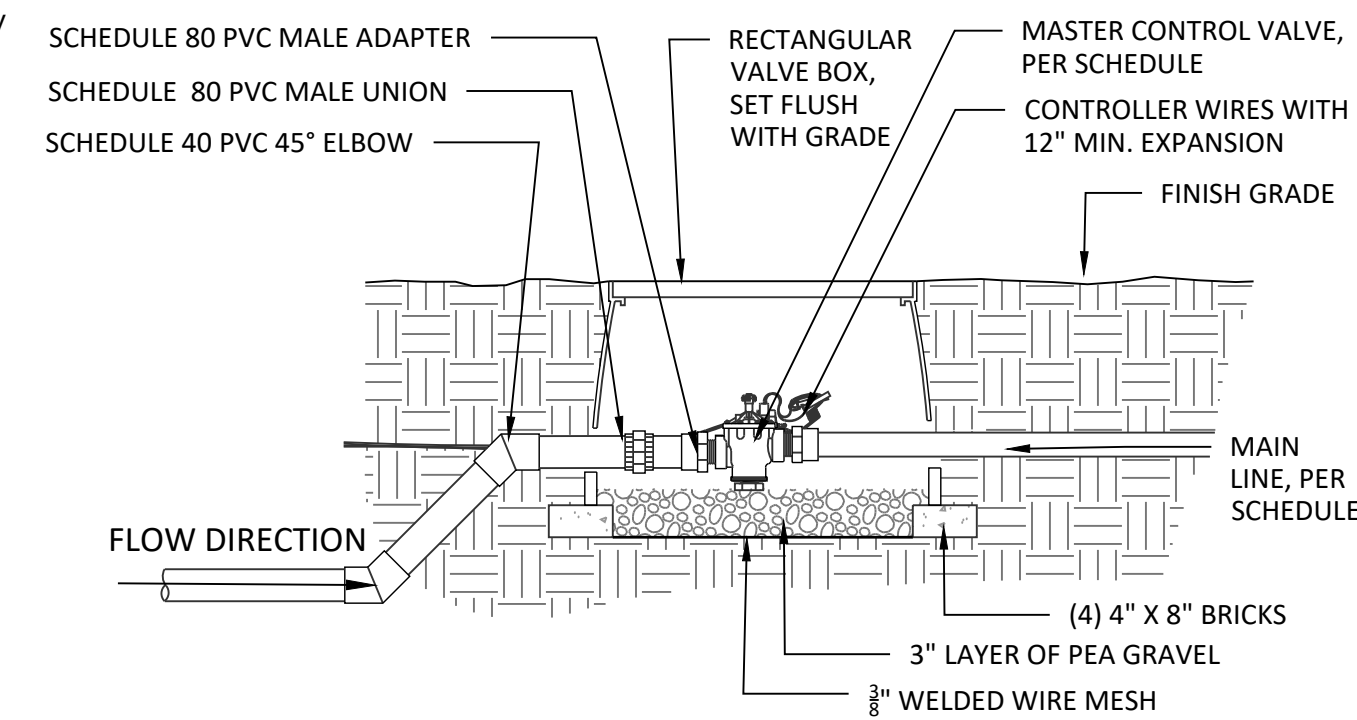
4 TREE RING
NTS

NOTES:
1. CONTROLLER TO BE SECURELY BOLTED TO WALL
2. CONTRACTOR TO ENSURE CONTROLLER IS GROUNDED PER MANUFACTURE SPECIFICATIONS AND LOCAL ELECTRICAL CODE
3. BACK-UP BATTERIES TO BE INSTALL



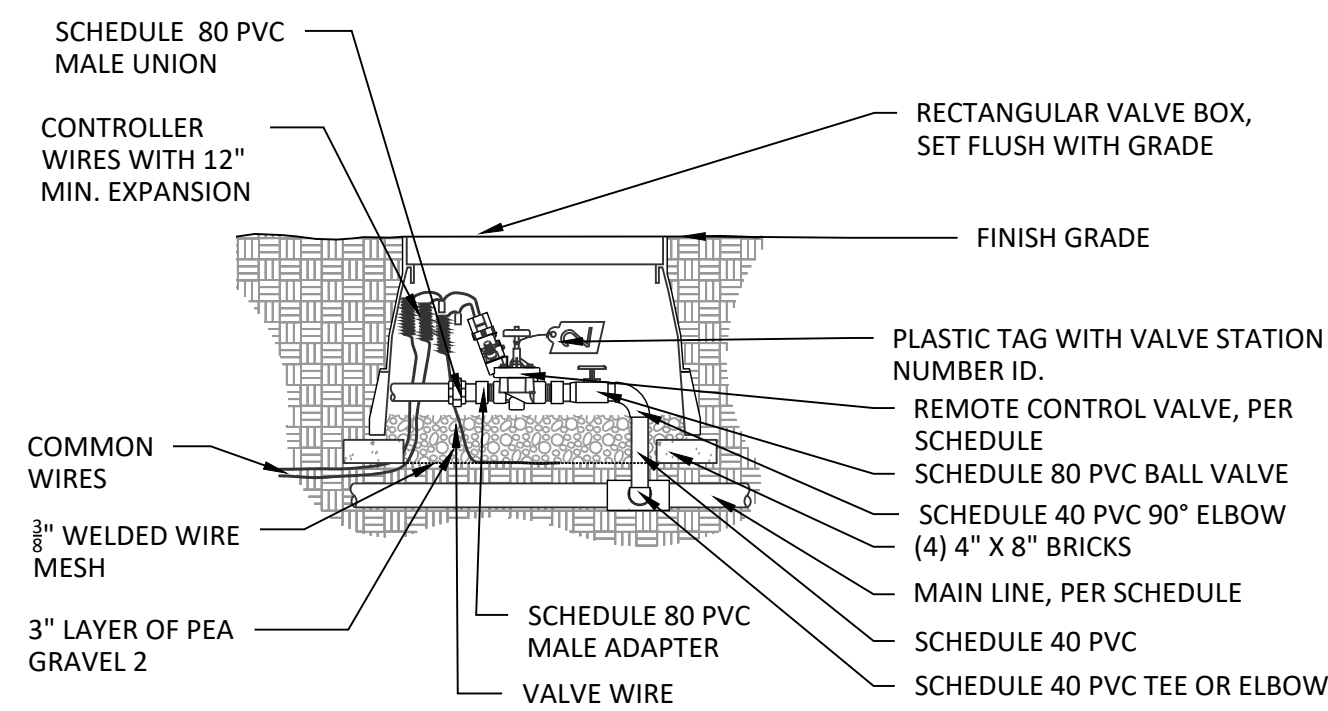
5 CONTROLLER- WALL MOUNTED INTERNAL
NTS

NOTES:
1. LOCATE VALVE BOX WITHIN 24" OF PAVEMENT EDGE IN PLANTING AREA WHERE EASILY ACCESSIBLE WHENEVER POSSIBLE.
2. MASTER VALVE WIRE SHALL BE 14 AWG OR LARGER. COLOR: BLACK.
3. ALL WIRE RUNS SHALL BE CONTINUOUS WITHOUT ANY SPLICES UNLESS APPROVED BY THE OWNER AND/OR THEIR ASSIGNED. WIRE CONNECTIONS SHALL BE MADE USING DBR/Y-6 CONNECTORS OR APPROVED EQUAL.
4. VALVE BOX SHALL BE WRAPPED WITH MIN. 3 MIL THICK PLASTIC AND SECURE IT USING DUCT TAPE OR ELECTRICAL TAPE.
5. ALL SCHEDULE 80 PVC TO SCHEDULE 40 PVC THREADED CONNECTIONS SHALL BE MADE USING TEFLON TAPE.
6. INSTALL MASTER VALVE PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.



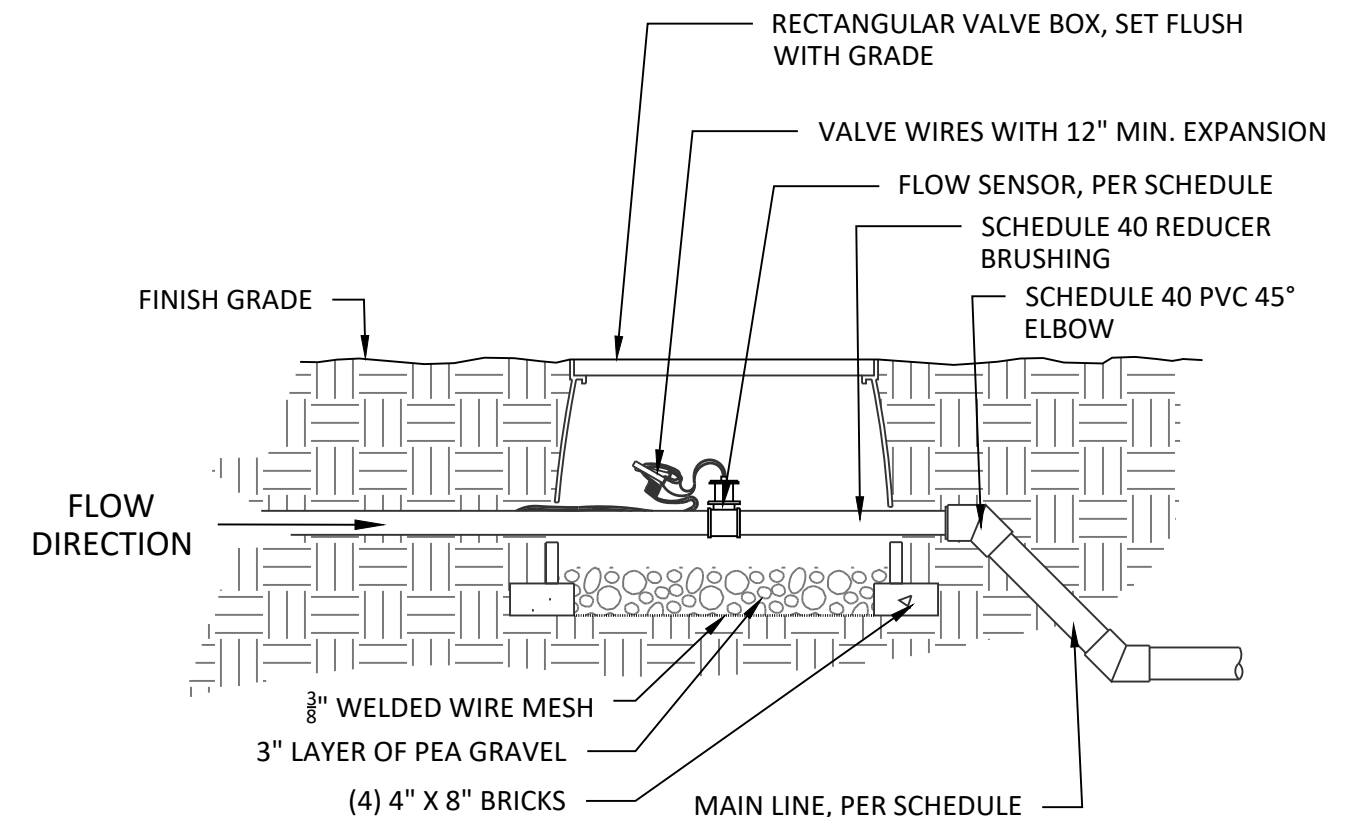
6 MASTER VALVE
NTS

NOTES:
1. LOCATE VALVE BOX WITHIN 24" OF PAVEMENT EDGE IN PLANTING AREA WHERE EASILY ACCESSIBLE WHENEVER POSSIBLE.
2. COMMON WIRE AND CONTROLLER WIRE SHALL BE DIRECT BURIAL 14 AWG OR LARGER. COLOR: COMMON (WHITE), CONTROLLER WIRE FOR TURF (BLUE), AND CONTROLLER WIRE FOR SHRUBS (RED).
3. ALL WIRE RUNS SHALL BE CONTINUOUS WITHOUT ANY SPLICES UNLESS APPROVED BY THE OWNER AND/OR THEIR ASSIGNED. WIRE CONNECTIONS SHALL BE MADE USING DBR/Y-6 CONNECTORS OR APPROVED EQUAL.
4. ALL SCHEDULE 80 PVC TO SCHEDULE 40 PVC THREADED CONNECTIONS SHALL BE MADE USING TEFLON TAPE.
5. INSTALL REMOTE CONTROL VALVE PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.



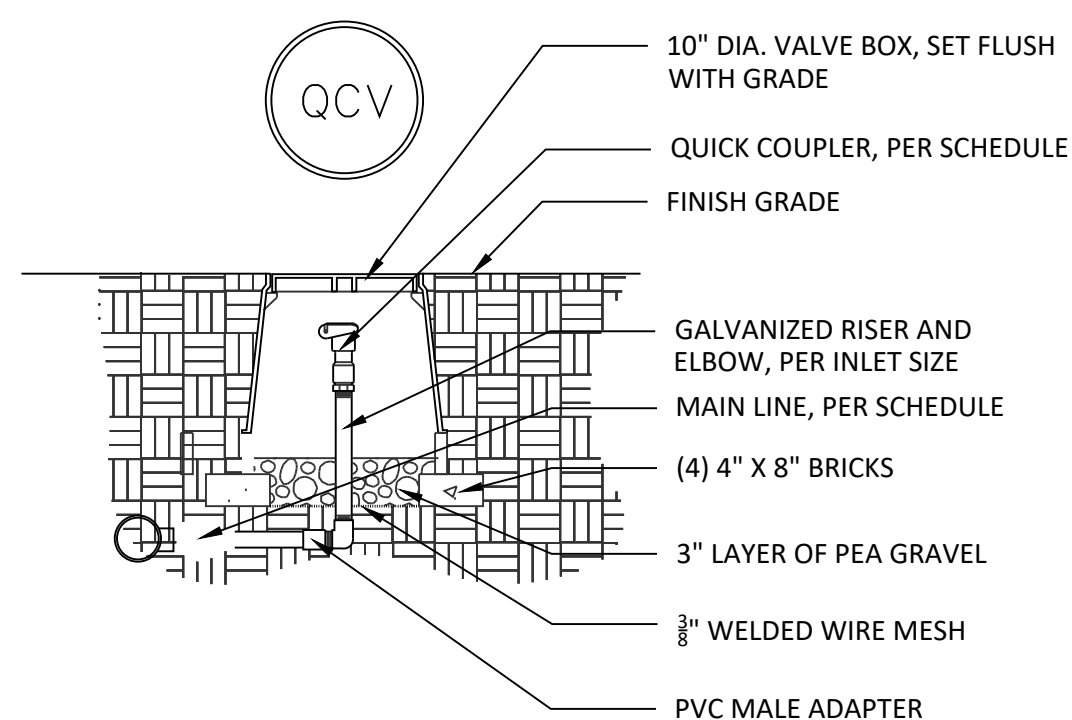
7 REMOTE CONTROL VALVE
NTS

NOTES:
1. LOCATE VALVE BOX WITHIN 24" OF PAVEMENT EDGE IN PLANTING AREA WHERE EASILY ACCESSIBLE WHENEVER POSSIBLE.
2. ALL WIRE RUNS SHALL BE CONTINUOUS WITHOUT ANY SPLICES UNLESS APPROVED BY THE OWNER AND/OR THEIR ASSIGNED. WIRE CONNECTIONS SHALL BE MADE USING DBR/Y-6 CONNECTORS OR APPROVED EQUAL.
3. ALL SCHEDULE 80 PVC TO SCHEDULE 40 PVC THREADED CONNECTIONS SHALL BE MADE USING TEFLON TAPE.
4. INSTALL FLOW SENSOR PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

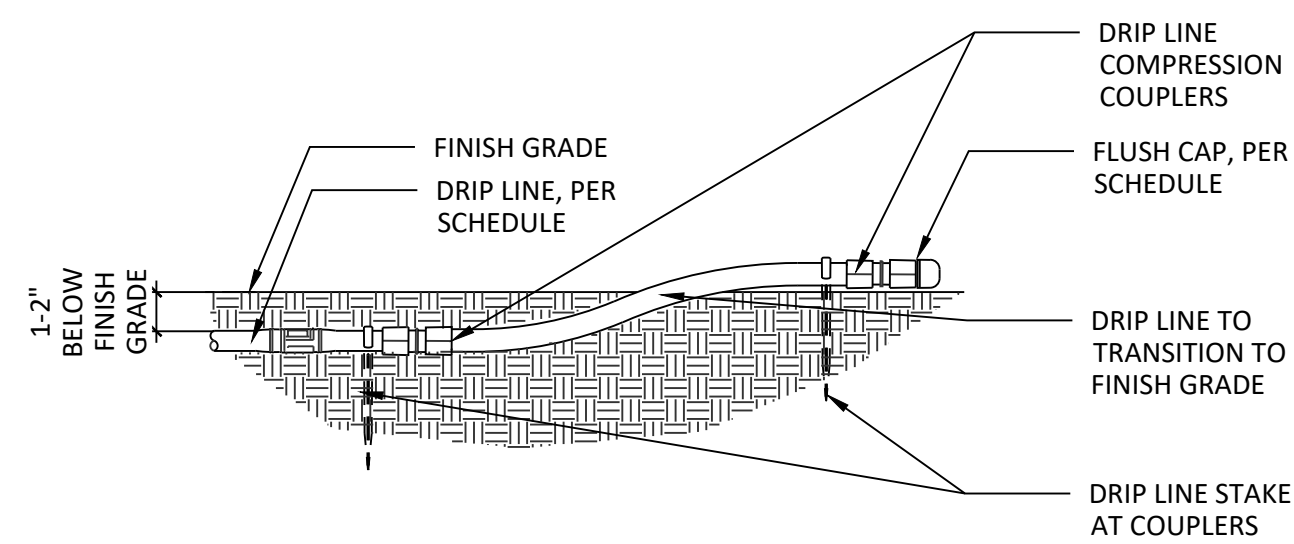


8 FLOW SENSOR
NTS

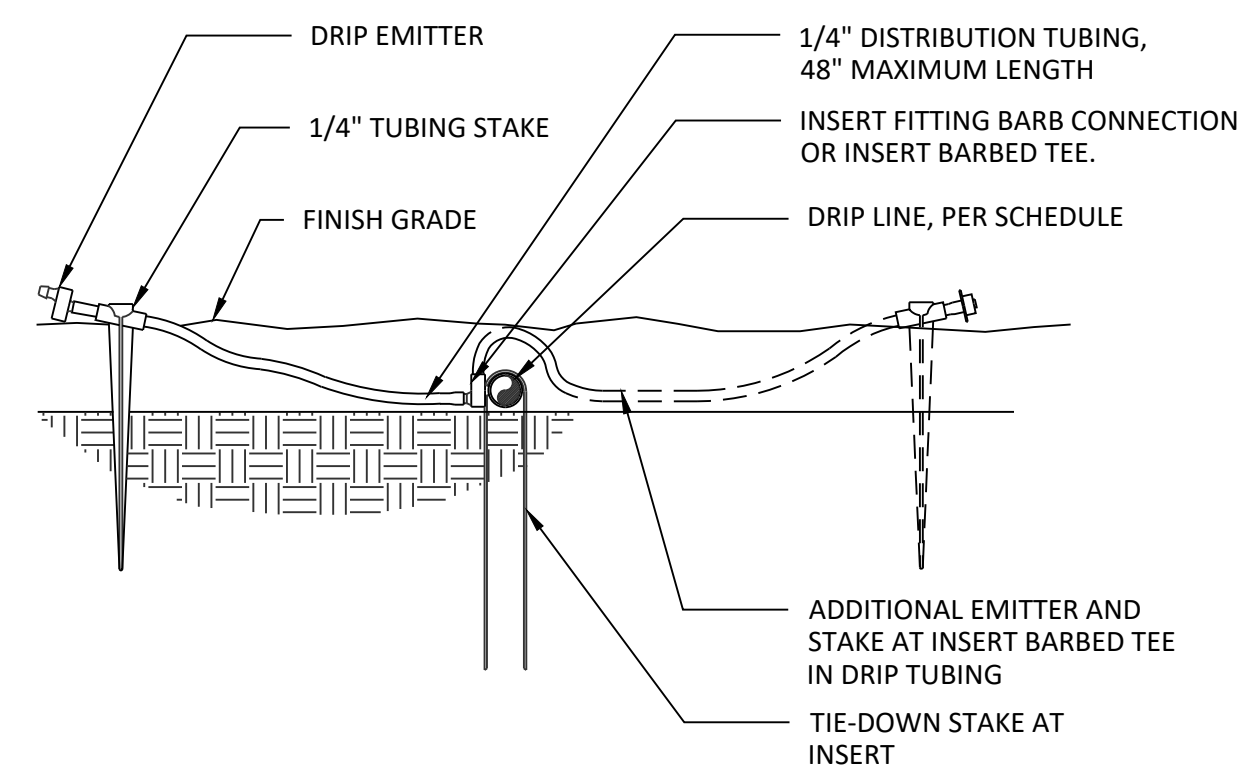
NOTES:
1. LOCATE VALVE BOX WITHIN 24" OF PAVEMENT EDGE IN PLANTING AREA WHERE EASILY ACCESSIBLE WHENEVER POSSIBLE.
2. ALL SCHEDULE 80 PVC TO SCHEDULE 40 PVC THREADED CONNECTIONS SHALL BE MADE USING TEFLON TAPE.
3. INSTALL QUICK COUPLER PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.



9 QUICK COUPLER
NTS



10 FLUSH CAP
NTS



11 DRIP EMITTER
NTS



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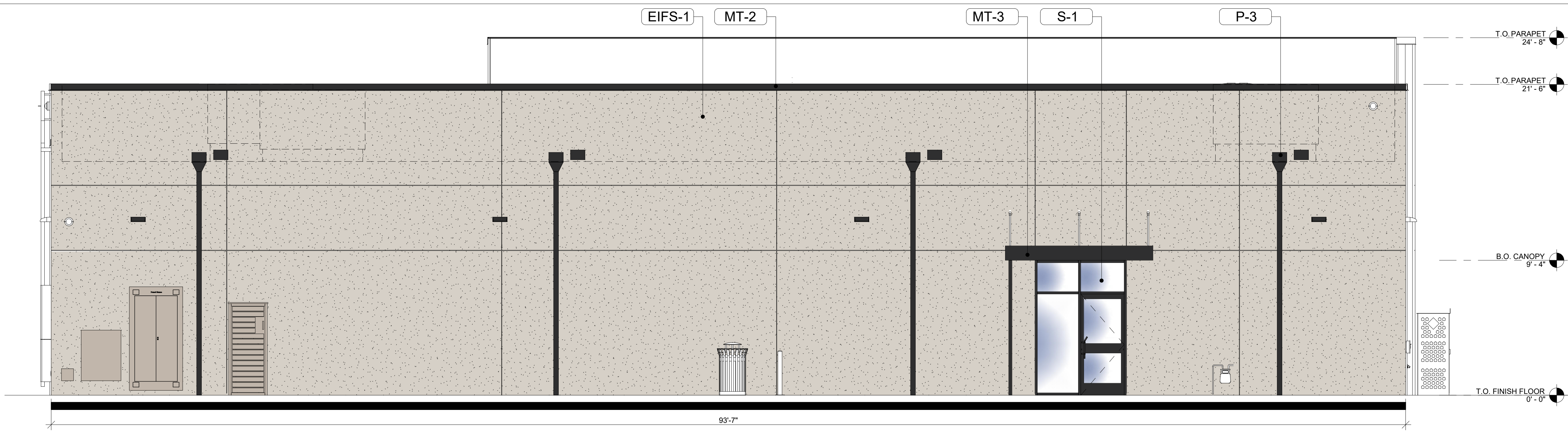
IRRIGATION DETAILS

LI3.00

11 OF 14

PLAN FILE #

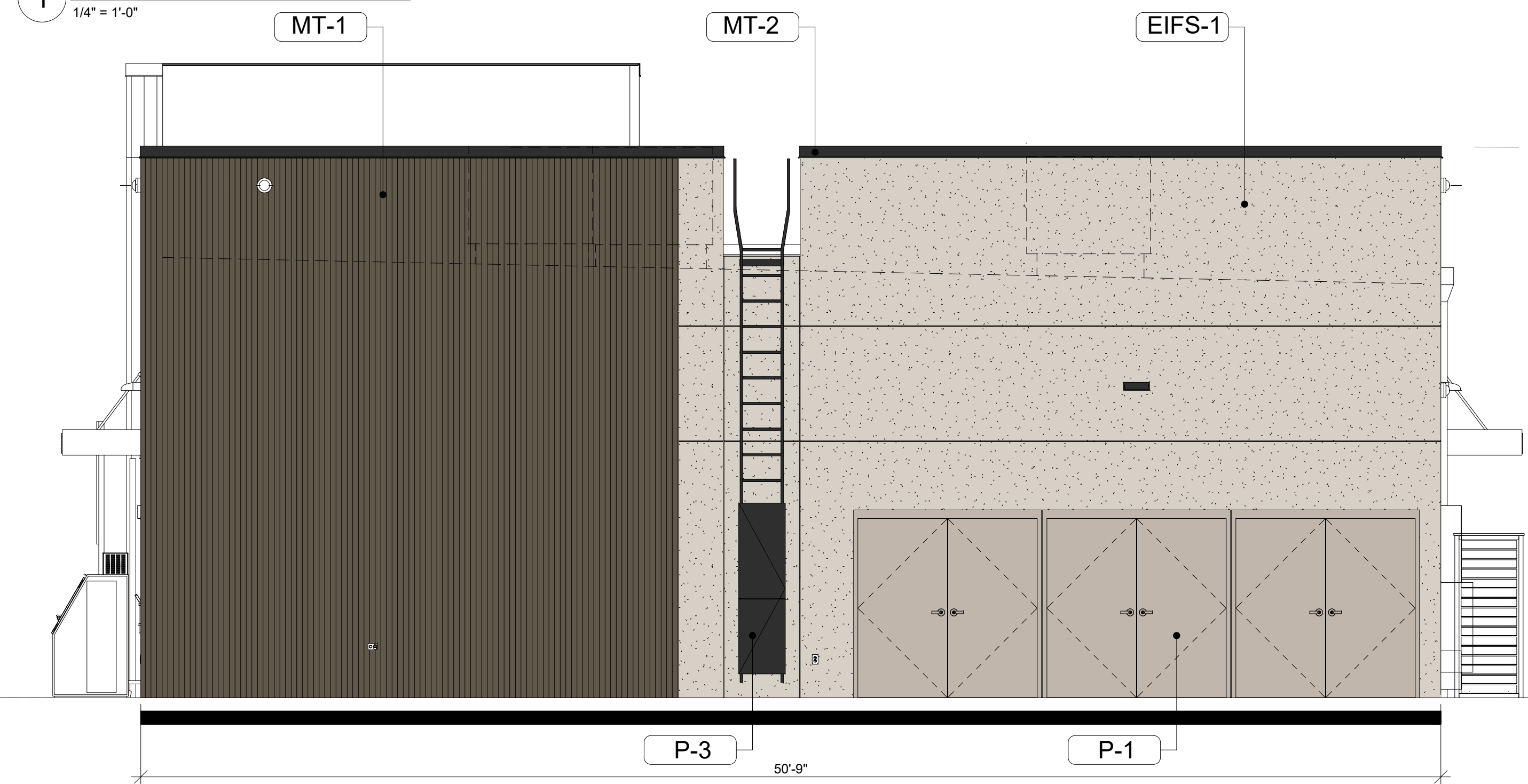
CPC #



EXTERIOR FINISH SCHEDULE		
NOTE: SEALANT COLORS: MATCH COLOR OF ADJACENT MATERIAL BEING SEALED - WHEN 2 OR MORE COLORS ARE ADJACENT, MATCH LIGHTER-COLORED MATERIAL.		
FINISH	MATERIAL	PATTERN
EIFS-1	DRYVIT EIFS - "104 DOVER SKY"	
FC-1	FIBER CEMENT PANEL NICHIA VINTAGE WOOD - "CEDAR"	
MT-1	EXPOSED FASTENER CORRUGATED METAL PANEL - "BURNISHED SLATE"	
MT-2	PRE-FINISHED METAL COPING & COMPRESSION EDGE - "COAL BLACK"	
MT-3	MAPES PRE-FINISHED ALUMINUM CANOPY - "MATE BLACK"	
S-1	KAWNEER ALUMINUM STOREFRONT FRAMING - "#29 BLACK"	
P-1	PAINT - SW 7062 - "VERSATILE GRAY"	
P-3	PAINT - SW 6258 - "TRICORN BLACK"	
CMU-1	8" BURNISHED CMU BLOCK - COMAL	
ACM	ALUMINUM COMPOSITE MATERIAL	

Rear Elevation Materials	SF	Percent
EIFS-1	1972 sf	100%
Total	1,972 sf	100%

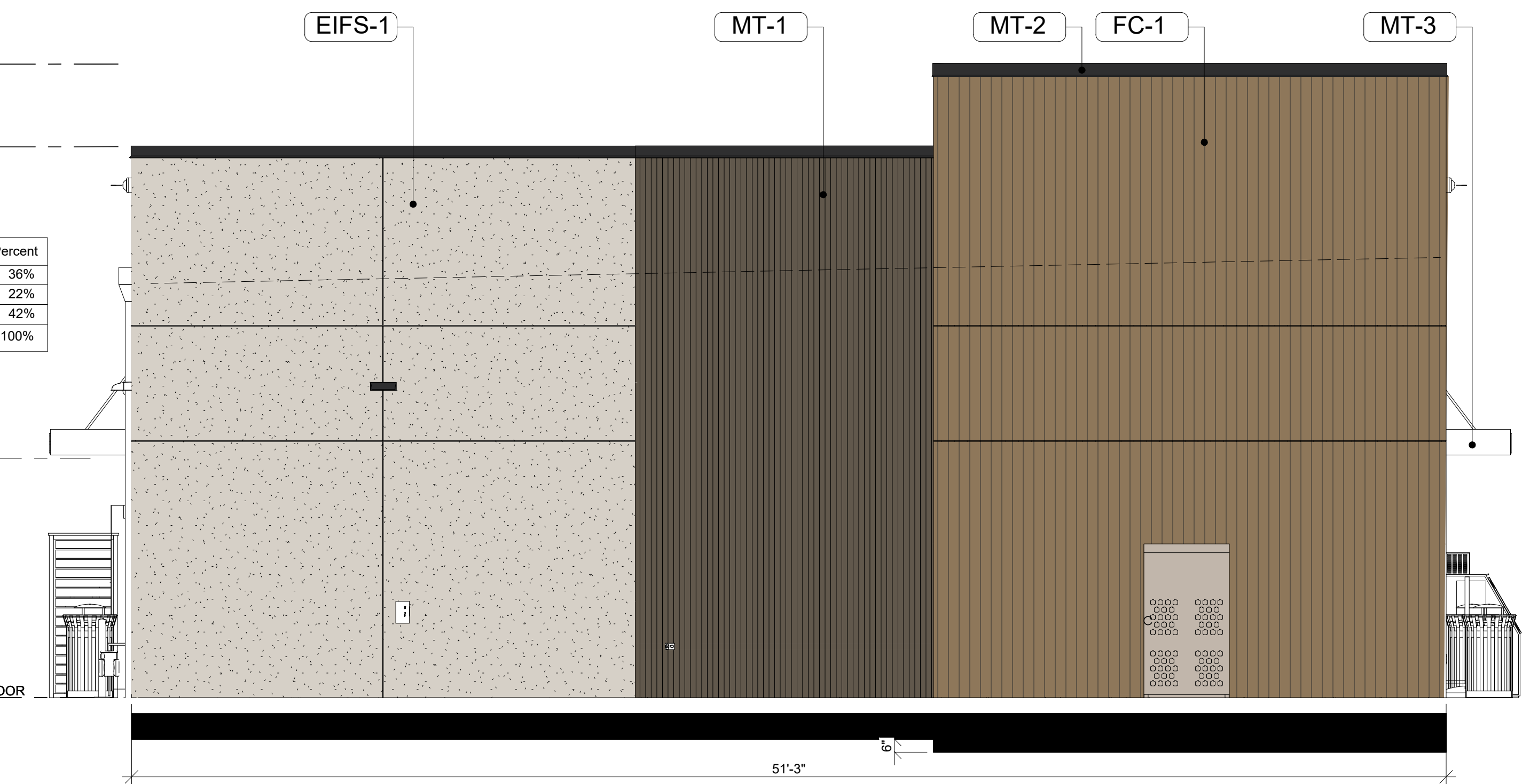
1 ELEVATION - NORTHEAST
1/4" = 1'-0"



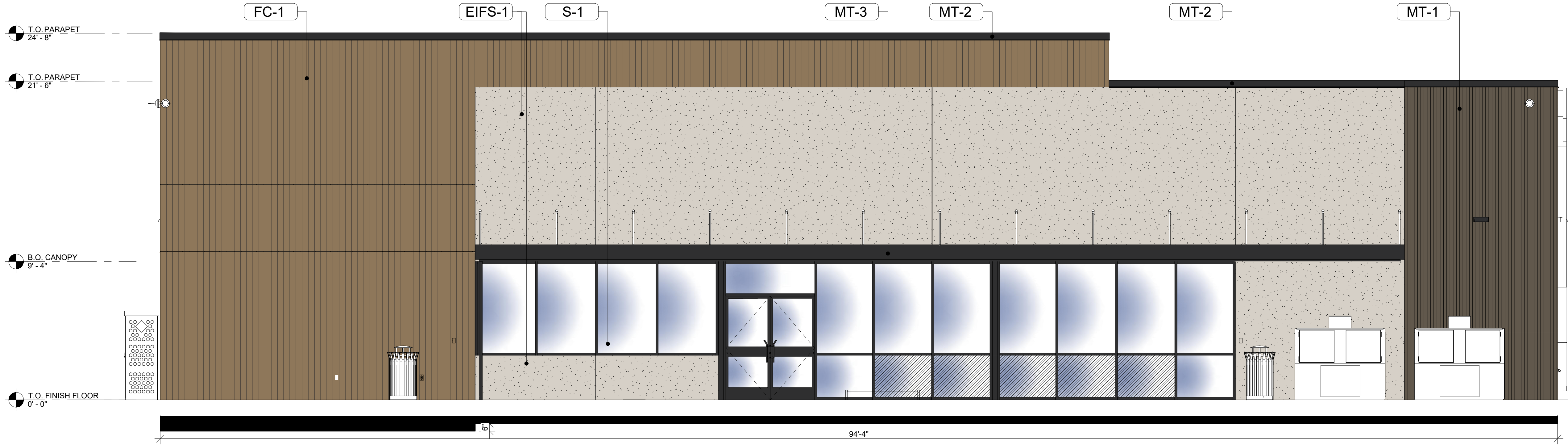
Left Elevation Materials	SF	Percent
EIFS-1	414 sf	36%
MT-1	245 sf	22%
FC-1	484 sf	42%
Total	1143 sf	100%

Right Elevation Materials	SF	Percent
EIFS-1	453 sf	43%
MT-1	443 sf	42%
P-1	162 sf	15%
Total	1058 sf	100%

2 ELEVATION - SOUTHEAST
1/4" = 1'-0"

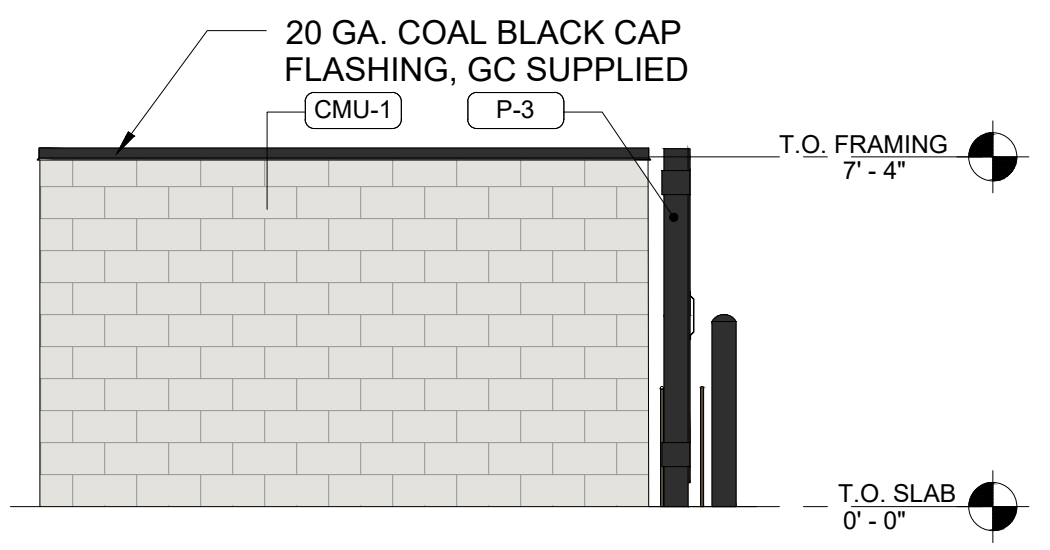


3 ELEVATION - NORTHWEST
1/4" = 1'-0"

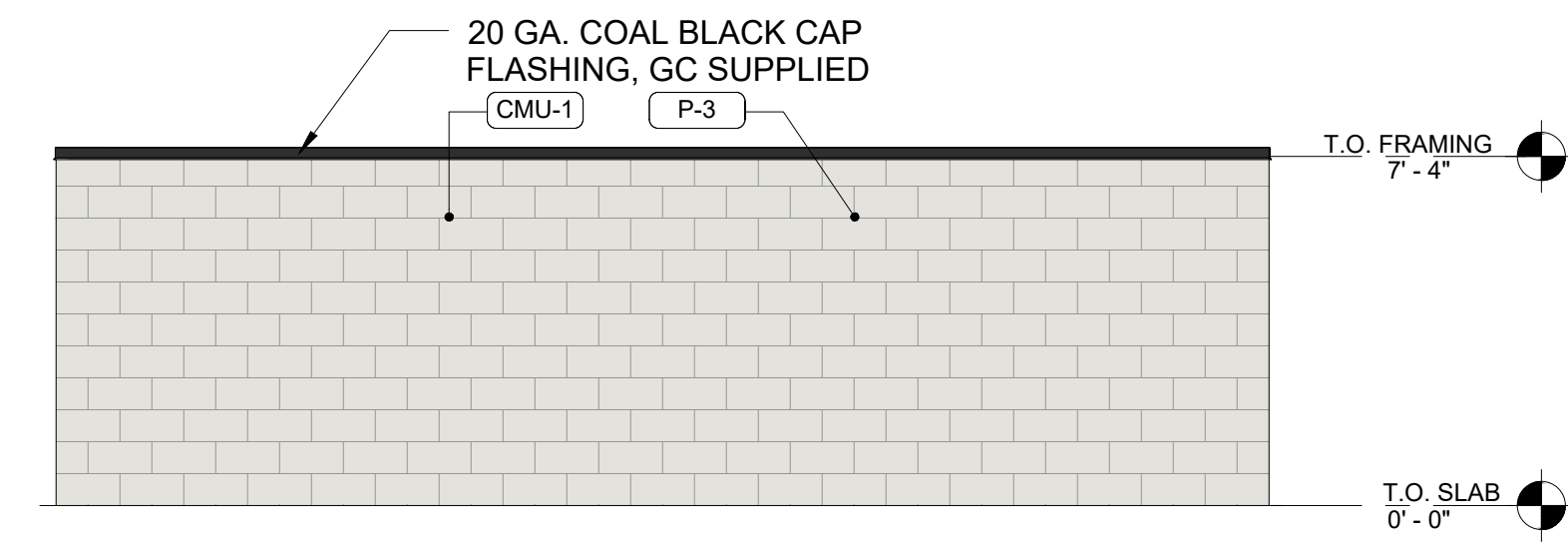


Front Elevation Materials	SF	Percent
EIFS-1	821 sf	48%
MT-1	218 sf	13%
FC-1	652 sf	39%
Total	1691 sf	100%

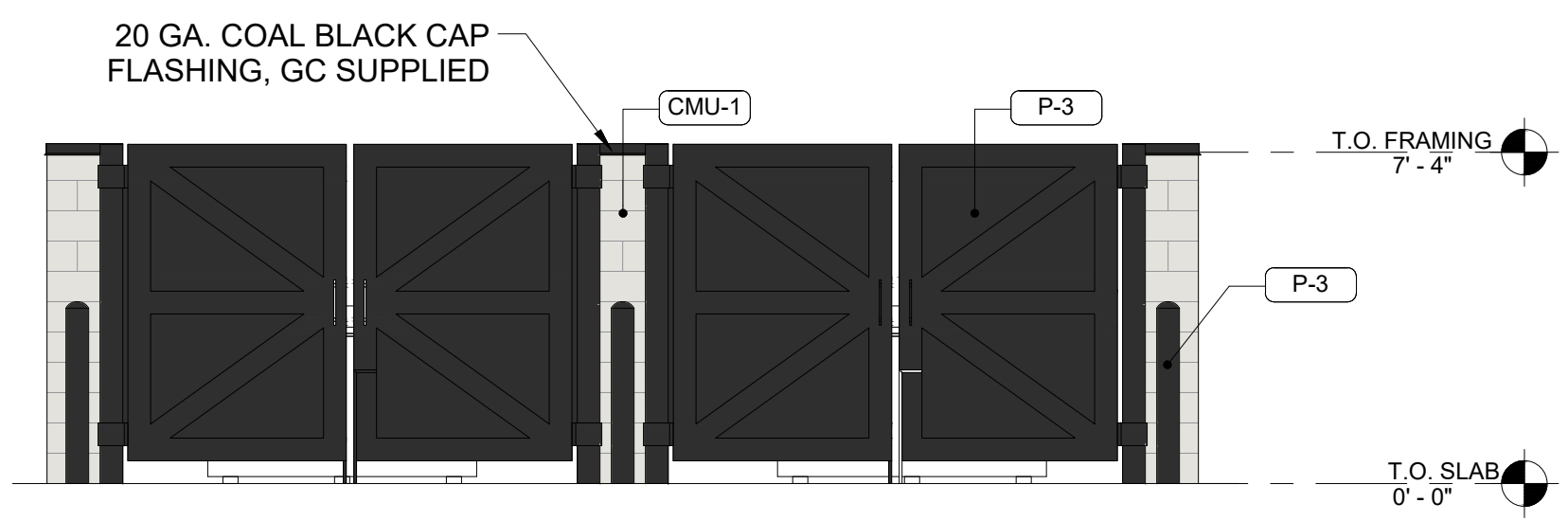
4 ELEVATION - SOUTHWEST
1/4" = 1'-0"



5 SIDE DUMPSTER ENCL. ELEVATION
3/16" = 1'-0"



6 BACK DUMPSTER ENCL. ELEVATION
3/16" = 1'-0"

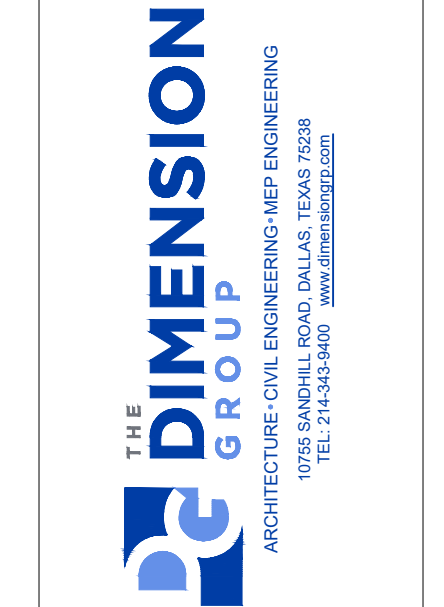
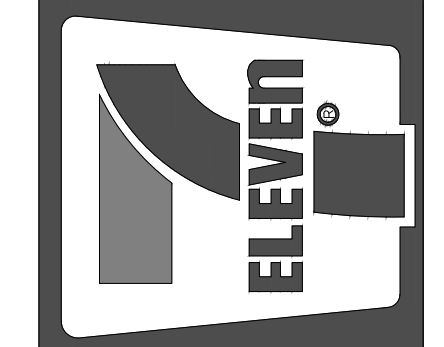


7 FRONT DUMPSTER ENCL. ELEVATION
3/16" = 1'-0"

Rev. #	Date	Description

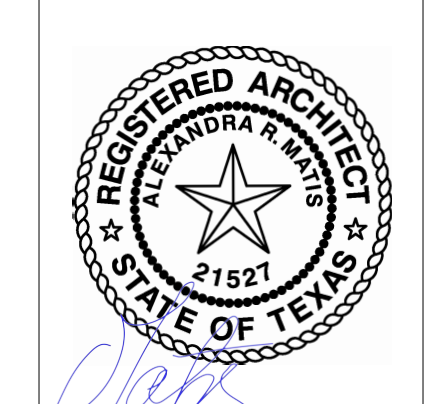
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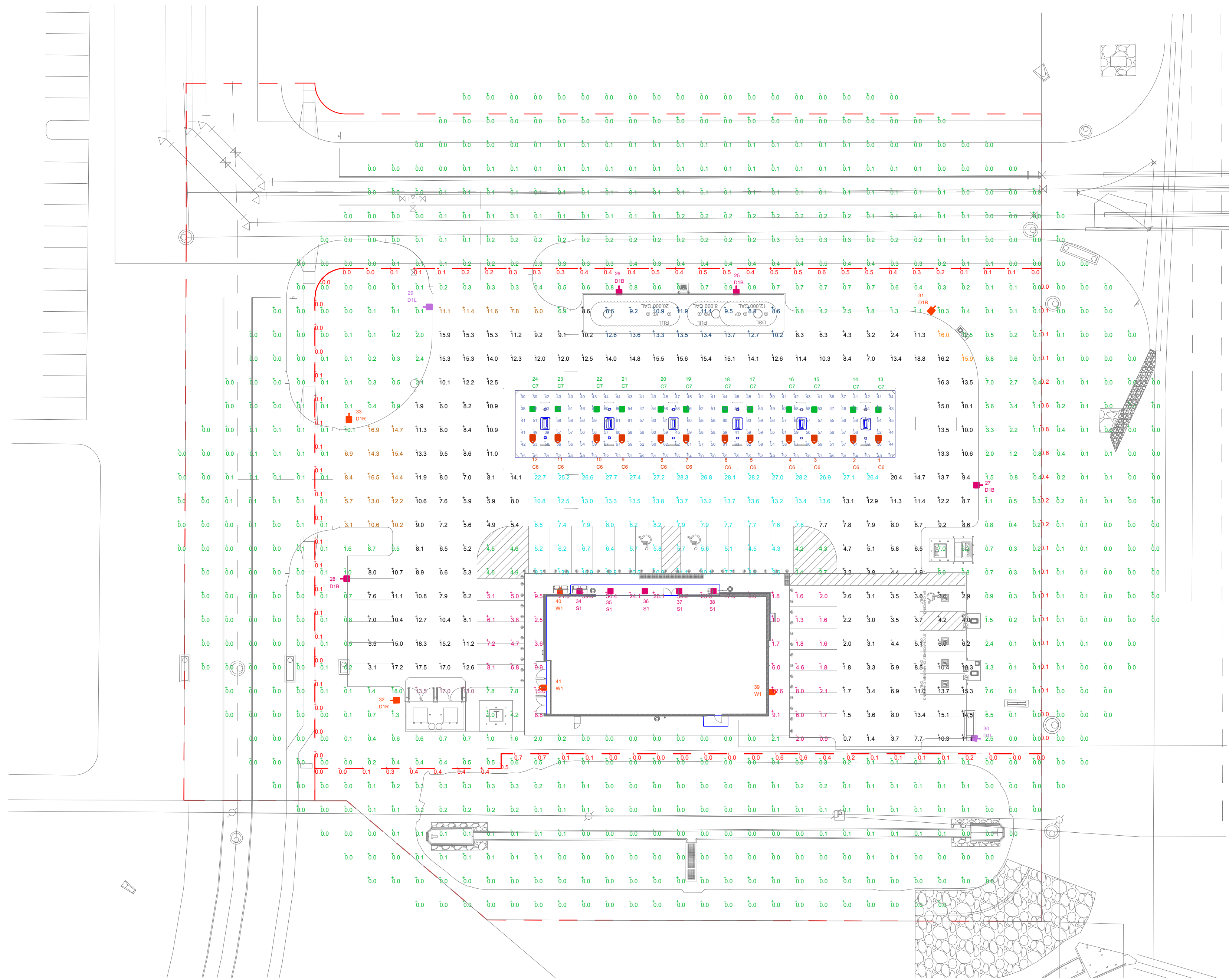
7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING, TX 75063
7-ELEVEN
COLOR
EXTERIOR ELEVATIONS



Job#: 250-212
Scale: AS NOTED
Date: 10/09/25
Drawn By:
Checked By:

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THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS REGULATED BY LOCAL ORDINANCES

ALL POLES TO BE LOCATED 5FT BEHIND FACE OF CURB

FOOTCANDLES LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES UNLESS NOTED OTHERWISE

NOTES:
- AREA LIGHT POLE MOUNTED FIXTURES ARE MOUNTED ON A 17FT POLE ATOP A 3FT CONCRETE BASE.

LUM NO.	LABEL	MTG. HT.
1-12	C6	14.5
13-24	C7	14.5
25-28	D1B	20
29-30	D1L	20
31-33	D1R	20
34-38	S1	9.333
39-41	W1	12

LABEL	AVG	MAX	MIN	AVGMIN	MAXMIN
AIR-VAC	15.95	16.0	15.9	1.00	1.01
APPROACH	11.06	16.9	3.1	3.57	5.45
CANOPY TO BUILDING	13.49	28.3	2.6	5.19	10.88
GAS CANOPY	52.33	67	30	1.74	2.23
PAVED AREA	9.17	20.4	0.7	13.10	29.14
PROPERTY LINE	0.20	0.8	0.0	N.A.	N.A.
SIDEWALK AND SIDE PARKING	9.09	39.0	0.9	10.10	43.33
TANK PAD	11.37	13.7	8.6	1.32	1.59
TRASH PAD	14.50	17.0	13.0	1.12	1.31
UNDEFINED	0.42	18.0	0.0	N.A.	N.A.

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	ARR. WATTS	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
[Symbol]	12	C6	Single	16306	1.030	B3-L0-G3	100	1200	Lithonia Lighting	PCNY LED ALO2 SWW2 FTL MVOLT DWHXD M3 (CCT: 5000K - 16000L)
[Symbol]	12	C7	Single	13331	1.030	B3-L0-G1	80.19	962.28	Lithonia Lighting	PCNY LED ALO2 SWW2 FTL MVOLT DWHXD M3 (CCT: 5000K - 13000L)
[Symbol]	4	D1B	Single	26039	1.030	B0-L0-G5	277.07	1108.28	Lithonia Lighting	DSX1 LED P9 50K 70CRI BLC4 MVOLT SPA FAO
[Symbol]	2	D1L	Single	25446	1.030	B1-L0-G4	277.07	554.14	Lithonia Lighting	DSX1 LED P9 50K 70CRI LCCO MVOLT SPA FAO
[Symbol]	3	D1R	Single	25446	1.030	B1-L0-G4	277.07	831.21	Lithonia Lighting	DSX1 LED P9 50K 70CRI RCCO MVOLT SPA FAO
[Symbol]	5	S1	Single	5546	1.030	B2-L0-G1	37.48	187.4	Lithonia Lighting	SCNY LED ALO2 SWW2 PFL MVOLT DWHXD M3 (SETTING 2, CCT: 5000K) + PCNYDT XXXXX J12
[Symbol]	3	W1	Single	6200	1.030	B1-L0-G1	46.93	140.79	Lithonia Lighting	WPX2 LED 50K MVOLT XXXXX

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REV.	BY	DATE	DESCRIPTION


SCALE: 1" = 30'
 LAYOUT BY: CIS
 DWG SIZE: D
 DATE: 07/02/26



QTY	LABEL	DESCRIPTION
4	D1B	DSX1 LED P9 50K 70CRI BLC4 MVOLT SPA FAO
2	D1L	DSX1 LED P9 50K 70CRI LCCO MVOLT SPA FAO
3	D1R	DSX1 LED P9 50K 70CRI RCCO MVOLT SPA FAO

ADDITIONAL FIXTURE INFO

D-Series Size 1 LED Area Luminaire



Specifications

EPK: 0.69 ft (0.19 m)
 Length: 32.71" (8.36 m)
 Width: 14.26" (3.62 m)
 Height H1: 7.88" (2.00 m)
 Height H2: 2.73" (0.69 m)
 Weight: 34.36 (12.9 kg)

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information


EXAMPLE: DSX1 LED P7 40K 70CRI 2M VOLT SPA NLAIR2 PIRHN DDBX

Series	Size	Color Temperature	Color Rendering Index	Introduction	Package	Mounting
DSX1LED	P7	40K	90	2M	2M	2M
		50K	90	2M	2M	2M
		60K	90	2M	2M	2M
P9	P9	40K	90	2M	2M	2M
		50K	90	2M	2M	2M
		60K	90	2M	2M	2M
P11	P11	40K	90	2M	2M	2M
		50K	90	2M	2M	2M
		60K	90	2M	2M	2M

QTY	LABEL	DESCRIPTION
12	C6	PCNY LED AL02 SWW2 FTL MVOLT DWHXD M3 (CCT: 5000K + 16000L)
12	C7	PCNY LED AL02 SWW2 FPCL MVOLT DWHXD M3 (CCT: 5000K + 13000L)

ADDITIONAL FIXTURE INFO

PCNY LED LED Canopy/Ceiling Luminaire



Specifications

Width: 15.2"
 Height: 9.4"
 Depth: 15.2"
 Weight: 10.62 lbs

Introduction

The all-new PCNY LED Luminaire is designed to provide exceptional energy savings and versatility in one package. Features such as Adjustable Lumen Output (ALCO) and replaceable decorative cover make PCNY LED suitable for a wide variety of applications.

With over 17A LPW the PCNY LED delivers up to 80% in energy savings when replacing metal halide luminaires. With over 100,000 hour life expectancy (L70 - 24/7 continuous operation), the PCNY LED luminaire provides significant maintenance savings over traditional luminaires.

Ordering Information


EXAMPLE: PCNY LED AL01 50K FPCL MVOLT DWHXD M3

Family	Series	Color Temperature	Package	Mounting	Options	UPC	Part #
PCNY LED	AL01	50K	FPCL	MVOLT	DWHXD	M3	36
		5000K	FPCL	MVOLT	DWHXD	M3	36
PCNY LED	AL02	50K	FPCL	MVOLT	DWHXD	M3	36
		5000K	FPCL	MVOLT	DWHXD	M3	36

QTY	LABEL	DESCRIPTION
5	S1	SCNY LED AL02 SWW2 PFL MVOLT DWHXD M3 (SETTING 2, CCT: 5000K) + PCNYDT XXXXX J12

ADDITIONAL FIXTURE INFO

SCNY LED LED Canopy/Soffit Luminaire



Specifications

Width: 15.2"
 Height: 5.6"
 Length: 15.2"
 Weight: 10.9 lbs

Introduction

The all-new SCNY LED (Soffit) Canopy luminaire is designed to provide exceptional energy savings and versatility in multiple lumen packages. Features such as Adjustable Lumen Output (ALCO) and Switchable CCTs make the SCNY suitable for a variety of applications.

With over 150 LPW the SCNY LED delivers up to 80% in energy savings when replacing metal halide luminaires. With over 100,000 hour life expectancy (L70 - 24/7 continuous operation), the SCNY LED luminaire provides significant maintenance savings over traditional luminaires.

Ordering Information


EXAMPLE: SCNY LED AL01 50K FPCL MVOLT DWHXD M3

Family	Series	Color Temperature	Package	Mounting	Options	UPC	Part #
SCNY	AL01	50K	FPCL	MVOLT	DWHXD	M3	36
		5000K	FPCL	MVOLT	DWHXD	M3	36
SCNY	AL02	50K	FPCL	MVOLT	DWHXD	M3	36
		5000K	FPCL	MVOLT	DWHXD	M3	36

QTY	LABEL	DESCRIPTION
3	W1	WPX2 LED 50K MVOLT XXXXX

ADDITIONAL FIXTURE INFO

WPX LED Wall Packs



Specifications

Width: 11.71" (2.97 m)
 Height: 4.17" (1.06 m)
 Depth: 4.17" (1.06 m)

Introduction

The WPX LED wall packs are energy efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution.

The WPX full cut-off solutions fully cover the footprint of the HD glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

Ordering Information

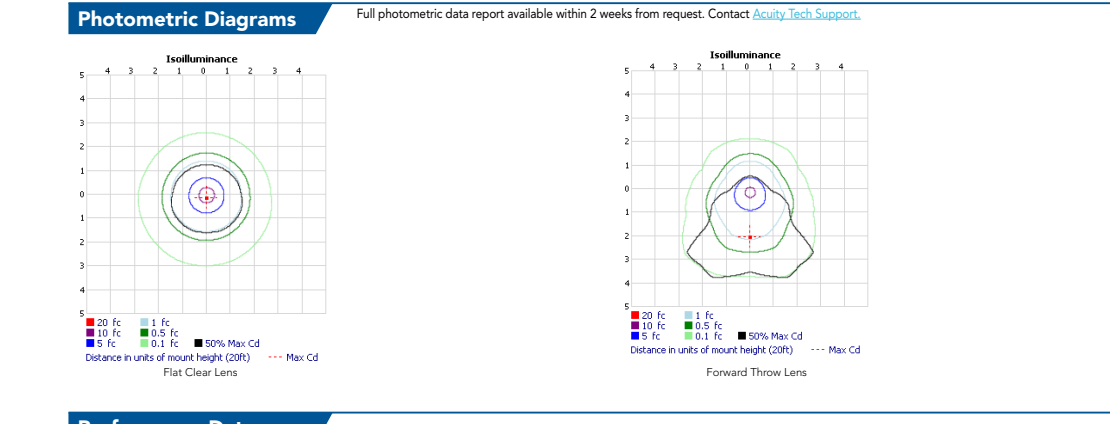
EXAMPLE: WPX2 LED 40K MVOLT DDBX

Series	Color Temperature	Package	Options	Finish
WPX1LED P1	40K	40K	None	White
WPX1LED P2	40K	40K	None	White
WPX1LED P3	40K	40K	None	White

Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI 2M VOLT SPA NLAIR2 PIRHN DDBX

Series	Size	Color Temperature	Color Rendering Index	Introduction	Package	Mounting
DSX1LED	P7	40K	90	2M	2M	2M
		50K	90	2M	2M	2M
		60K	90	2M	2M	2M
P9	P9	40K	90	2M	2M	2M
		50K	90	2M	2M	2M
		60K	90	2M	2M	2M
P11	P11	40K	90	2M	2M	2M
		50K	90	2M	2M	2M
		60K	90	2M	2M	2M



Performance Data

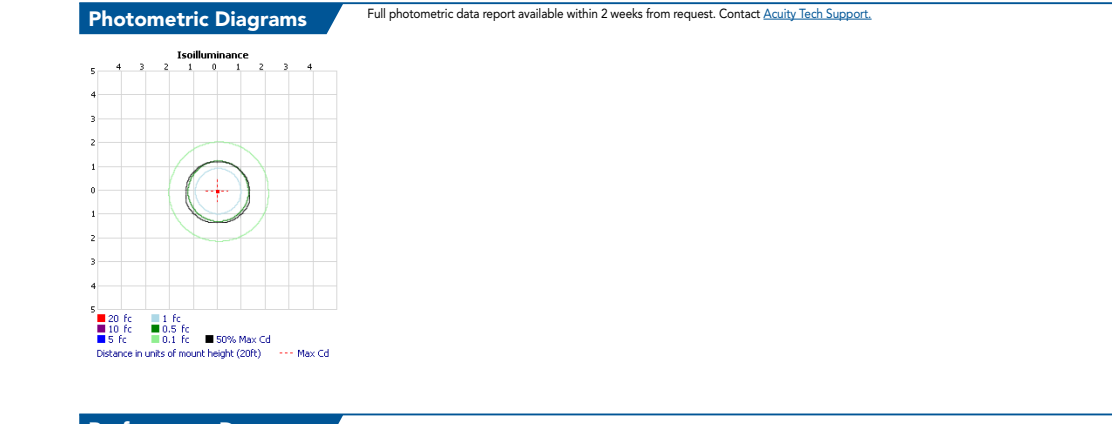
Ambient Temp	Lumen Multiplier	Percent
10°C	1.00	100%
20°C	0.98	98%
30°C	0.95	95%
40°C	0.90	90%

Lumen Output Flat Polycarbonate Clear Lens (FPCL)

Performance Package	Setting	System Watts	10K (LMW, 60 CRI)	50K (LMW, 60 CRI)	50K (FPCL, 90 CRI)
A002	1	84	11,930	156	16,844
	2	42	6,040	140	9,727
	3	46	7,811	155	12,881
	4	118	19,999	156	21,236
	5	100	15,895	157	16,636

Lumen Output Forward Throw Lens (FTL)

Performance Package	Setting	System Watts	10K (LMW, 60 CRI)	50K (LMW, 60 CRI)	50K (FPCL, 90 CRI)
A002	1	131	15,209	149	20,833
	2	66	10,370	154	14,368
	3	80	12,622	154	17,130
	4	61	9,479	155	13,094
	5	50	7,741	155	10,747



Performance Data

Ambient Temp	Lumen Multiplier	Percent
10°C	1.00	100%
20°C	0.98	98%
30°C	0.95	95%
40°C	0.90	90%

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	5	50	7,741	155	10,747

Performance Data

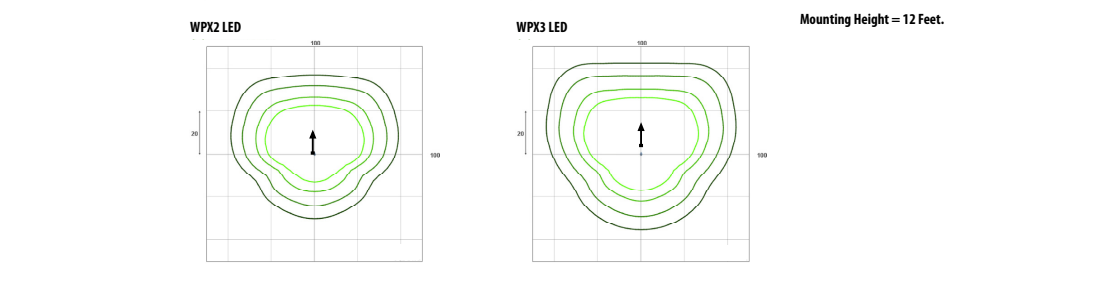
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Performance Package	Setting	System Watts	10K (LMW, 60 CRI)	50K (LMW, 60 CRI)	50K (FPCL, 90 CRI)
A002	1	131	15,209	149	20,833
	2	66	10,370	154	14,368
	3	80	12,622	154	17,130
	4	61	9,479	155	13,094
	5	50	7,741	155	10,747



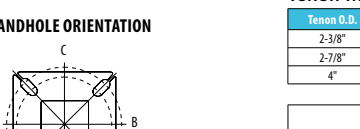
Shield Accessories



External Glass Shield (EGSR)
 House Side Shield (HS)

Drilling

Handhole Orientation



Tenon Mounting Spitter

System Watts	Mounting	10K (LMW, 60 CRI)	50K (LMW, 60 CRI)	50K (FPCL, 90 CRI)
84	10K	11,930	156	16,844
42	10K	6,040	140	9,727
46	10K	7,811	155	12,881
118	10K	19,999	156	21,236
100	10K	15,895	157	16,636

DSX1 Area Luminaire - EPA

System Watts	Mounting	10K (LMW, 60 CRI)	50K (LMW, 60 CRI)	50K (FPCL, 90 CRI)
84	10K	11,930	156	16,844
42	10K	6,040	140	9,727
46	10K	7,811	155	12,881
118	10K	19,999	156	21,236
100	10K	15,895	157	16,636

1 Acuity Way • Decatur, Georgia 30033 • Phone: 1-800-705-SERV (7378) • [www.lighthouse.com](#) PCNY LED Rev. 07/21/20

One Lithonia Way • Cumers, Georgia 30013 • Phone: 1-800-705-SERV (7378) • [www.lighthouse.com](#) SCNY LED Rev. 11/21/20

One Lithonia Way • Cumers, Georgia 30013 • Phone: 1-800-705-SERV (7378) • [www.lighthouse.com](#) WPX LED Rev. 07/21/20



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