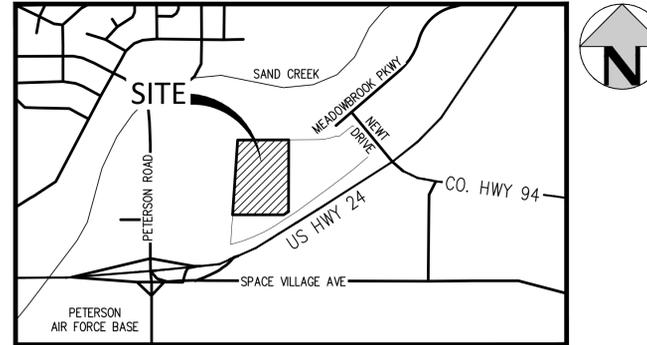


# AURA AT CROSSROADS

## SITUATED IN THE SOUTHEAST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO

### SANITARY SEWER PLANS



**VICINITY MAP**  
SCALE: 1" = 800'

#### SHEET INDEX

- SS1 COVER SHEET
- SS2 OVERALL UTILITY PLAN
- SS3 SANITARY PLAN & PROFILE LINE A
- SS4 SANITARY PLAN & PROFILE LINE A
- SS5 SANITARY PLAN & PROFILE LINE B
- SS6 SANITARY PLAN & PROFILE LINE B
- SS7 SANITARY DETAILS

#### LEGAL DESCRIPTION

LOT 1 AND TRACT B OF THE CROSSROADS MIXED USE FILING NO. 1 RECORDED AT RECEPTION NO. \_\_\_\_\_, EL PASO COUNTY CLERK AND RECORDER.

SAID PARCELS CONTAINS 553,058 SQUARE FEET OR 12.70 ACRES, MORE OR LESS.

AND 44,375 SQUARE FEET OR 1.02 ACRES, MORE OR LESS.

#### BASIS OF BEARINGS

BEARINGS ARE BASED ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, MONUMENTED AT THE WEST QUARTER CORNER BY AN ILLEGIBLE 3-1/2" BRASS CAP 2.0' DOWN AND AT THE SOUTHWEST CORNER BY A 3-1/2" ALUMINUM CAP IN A RANGE BOX STAMPED "LS 22573" ASSUMED TO BEAR NORTH 00°04'51" EAST.

#### BENCHMARK

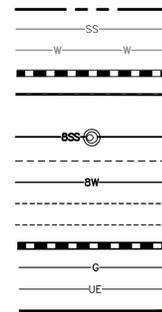
BENCHMARK IS A NGS POINT R 76, BEING A STANDARD U.S. COAST AND GEODETIC SURVEY BENCH MARK DISK SET IN THE TOP OF CONCRETE POST. IT PROJECTS 3 INCHES AND IS STAMPED R 76 1935. ELEVATION = 6286.32 NGVD29.

#### ABBREVIATIONS

BOP	BOTTOM OF PIPE
CONC	CONCRETE
DEF	DEFLECTION
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DS	DOWNSPOUT
E	EAST, EASTING
EGL	ENERGY GRADE LINE
EL	ELEVATION
ESMT	EASEMENT
EX	EXISTING
FES	FLARED END SECTION
FF	FINISHED FLOOR
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
GV	GATE VALVE
HC	HANDICAP
HGL	HYDRAULIC GRADE LINE
HORZ	HORIZONTAL
HP	HIGH POINT
INV	INVERT
LP	LOW POINT
LSD	LANDSCAPE DRAIN
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MJ	MECHANICAL JOINT
N	NORTH, NORTHING
PR	PROPOSED
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT-OF-WAY
SAN	SANITARY
SS	SANITARY SEWER
STA	STATION
STM	STORM
TOP	TOP OF PIPE
TYP	TYPICAL
UE	UNDERGROUND ELECTRIC
UTIL	UTILITY
VERT	VERTICAL
WAT	WATER
XING	CROSSING

#### LEGEND:

- PROPERTY BOUNDARY
- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EXISTING STORM LINE
- PROPOSED LANDSCAPE DRAIN PIPE
- PROPOSED LANDSCAPE AREA DRAIN
- PROPOSED SANITARY SEWER W/ MANHOLE
- PROPOSED SANITARY SERVICE
- PROPOSED WATER LINE
- PROPOSED WATER SERVICE
- PROPOSED SANITARY SERVICE
- PROPOSED STORM LINE
- PROPOSED GAS LINE
- PROPOSED ELECTRIC LINE
- PROPOSED RETAINING WALL
- PROPOSED HYDRANT



#### ENGINEERS STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.



05/02/2022

JOHN D. O'ROURKE, P.E.  
STATE OF COLORADO REGISTRATION NO. 43327

DATE

#### OWNER/DEVELOPER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

*Allison Jones*

ALLISON JONES  
TRINSCIC ACQUISITION COMPANY, LLC  
8235 DOUGLAS AVE., DALLAS, TX 75225

#### EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JENNIFER IRVIN, P.E.  
COUNTY ENGINEER/ECM ADMINISTRATOR

DATE

#### CHEROKEE METROPOLITAN DISTRICT WASTEWATER PLAN APPROVAL

THE CHEROKEE METROPOLITAN DISTRICT RECOGNIZES THE DESIGN PROFESSIONAL OF RECORD AS THE LICENSED CIVIL ENGINEER HAVING RESPONSIBILITIES FOR THE SUBMITTED DESIGN AND THE DISTRICT HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY. AS SUCH, THE APPROVAL GRANTED HEREIN IS FOR THE CONSTRUCTION OF THE FACILITIES AS REPRESENTED ON THESE DOCUMENTS. APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE BELOW AND RESUBMITTAL OF THESE PLANS FOR REVIEW AND APPROVAL IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD.

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

#### OWNER/DEVELOPER:



1515 WYNNKOOP ST., STE. 300  
DENVER, CO 80202  
P: 970-819-9968  
POC: ALLISON JONES  
ajones@trinsicres.com

#### CIVIL ENGINEER



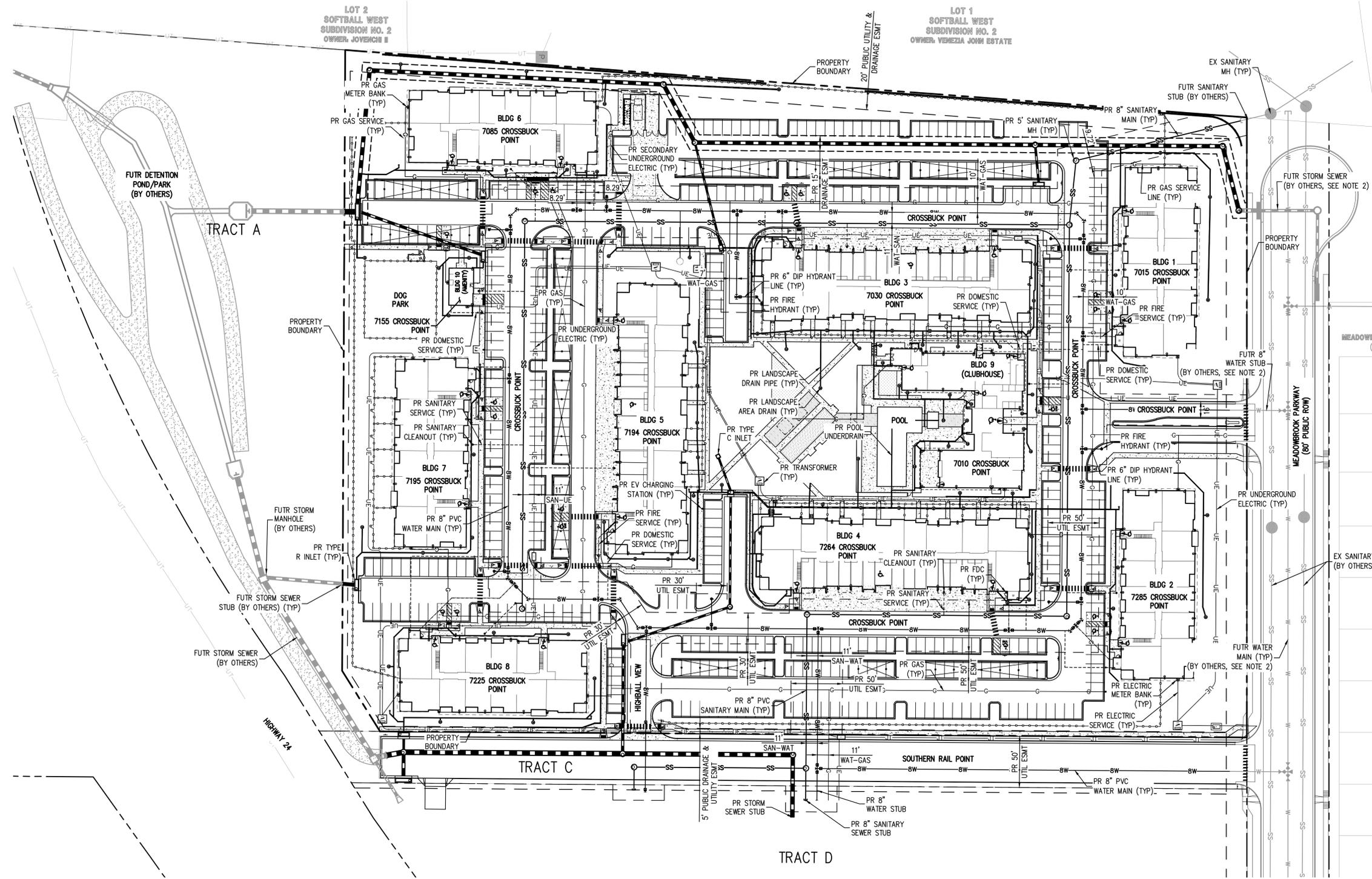
1120 Lincoln Street, Suite 1000  
Denver, Colorado 80203  
P: 303.623.6300 F: 303.623.6311  
HarrisKocherSmith.com

DATE	REVISION COMMENTS
10-29-2021	PER COUNTY COMMENTS
01-13-2022	PER COUNTY COMMENTS
04-01-2022	ISSUED FOR CONSTRUCTION



Know what's below.  
Call before you dig.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.  
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Plot Date: 05/02/2022 12:51:49 PM By: MJK\mjk@hks.com



- NOTES:**
- REPAIR OF ALL LOT 1 STREET PAVEMENT, SIDEWALK, CURB & GUTTER SHALL BE REPLACED BY OWNER/HOA (NOT CHEROKEE METRO DISTRICT) WHEN REPAIRS ARE NEEDED.
  - FUTURE UTILITIES SHOWN ARE TO BE INSTALLED BY CROSSROADS METROPOLITAN DISTRICT NO. 1. REFER TO THE CROSSROADS MIXED USE FILING NO. 1 UTILITY PLANS PREPARED BY MS CIVIL, DATED FEBRUARY 2022.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.  
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 PLOTTED: MON 05/02/2022 12:52:27 P.M. BY: MATT LEBIEDZINSKI

811  
Know what's below.  
Call before you dig.

DATE	REVISION COMMENTS
10-29-2021	PER COUNTY COMMENTS
01-13-2022	PER COUNTY COMMENTS
04-01-2022	ISSUED FOR CONSTRUCTION

**HKS HARRIS KOCHER SMITH**  
 1120 Lincoln Street, Suite 1000  
 Denver, Colorado 80203  
 P: 303.623.6300 F: 303.623.6311  
 HarrisKocherSmith.com

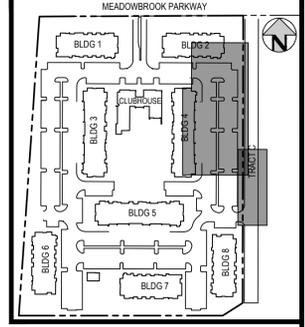
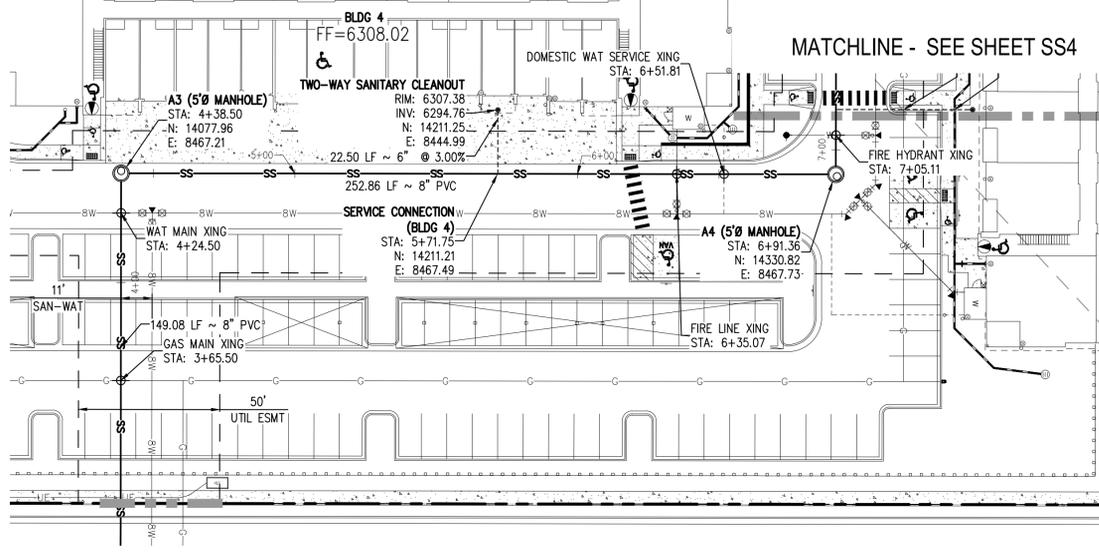
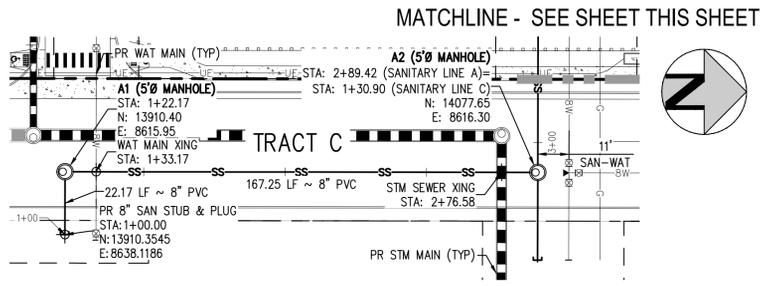
TRINISIC ACQUISITION COMPANY, LLC

AURA AT CROSSROADS  
OVERALL UTILITY PLAN

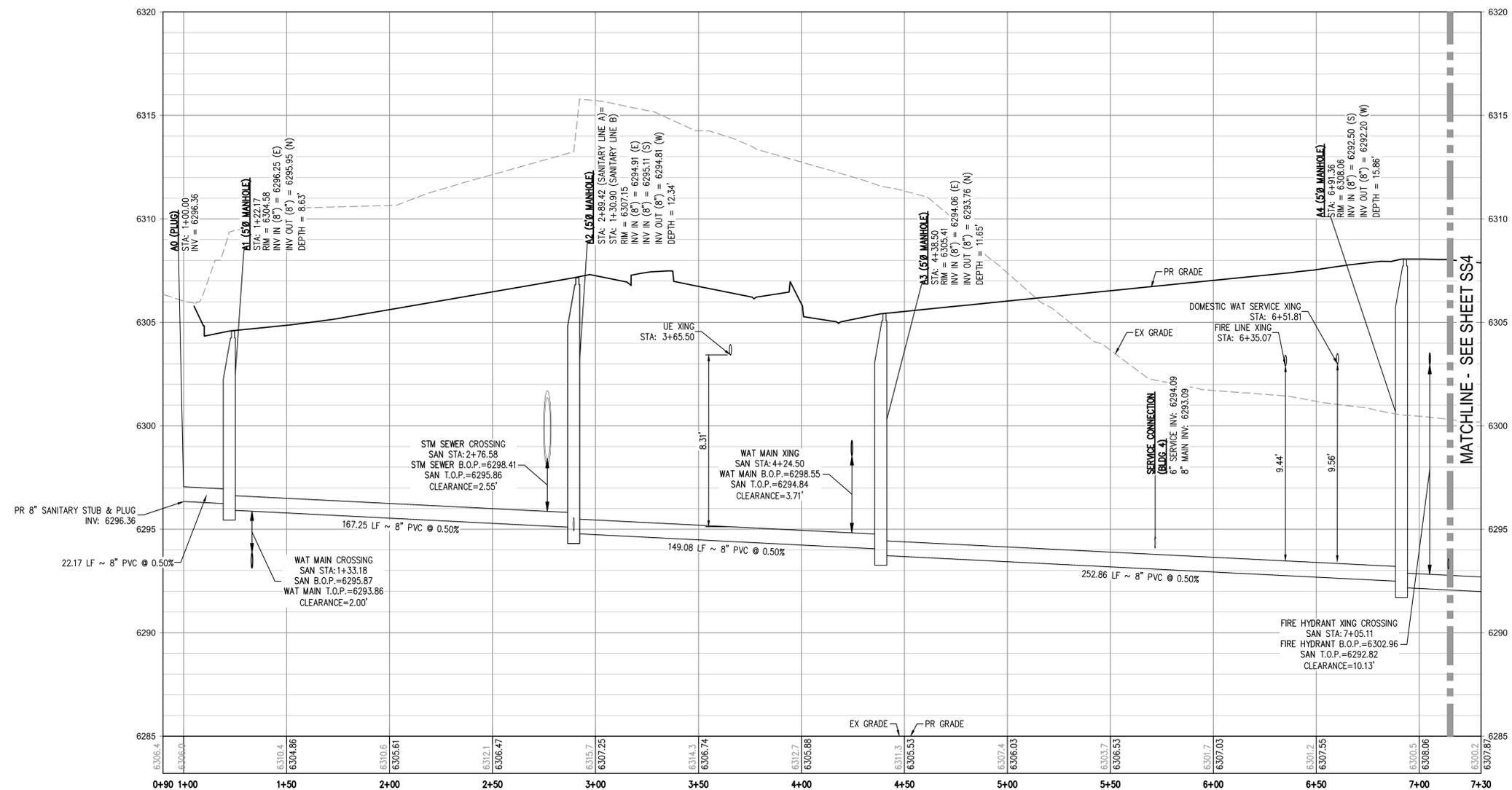
43327  
05/02/2022  
PROFESSIONAL ENGINEER

PROJECT #: 200823  
SHEET NUMBER  
**SS2**  
2 OF 7

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



- GENERAL SANITARY NOTES:**
- THE CONTRACTOR SHALL NOTIFY COLORADO 811 PRIOR TO EXCAVATION, IN ACCORDANCE WITH COLORADO STATE STATUTES.
  - THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE, AS SUPPLIED BY THE UTILITY OWNERS. PRIOR TO EXCAVATION, THE CONTRACTOR SHALL VERIFY EXISTENCE, SIZE, AND LOCATION OF EXISTING UTILITIES AND IMMEDIATELY NOTIFY HARRIS KOCHER SMITH OF ANY DISCREPANCIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UNDERGROUND FACILITIES.
  - LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.
  - PIPE LENGTHS ARE MEASURED FROM CENTER OF MANHOLE TO CENTER OF MANHOLE. ALL COORDINATES ARE AT THE CENTER OF THE STRUCTURE UNLESS OTHERWISE INDICATED.
  - ALL WORK, INCLUDING CORRECTION WORK, SHALL BE INSPECTED BY THE UTILITY PROVIDER'S REPRESENTATIVE WHO SHALL HAVE THE AUTHORITY TO HALT CONSTRUCTION WHEN THERE IS A LACK OF ADHERENCE TO STANDARD CONSTRUCTION PRACTICES.
  - MAINTAIN A MINIMUM OF TEN FEET OF HORIZONTAL SEPARATION BETWEEN ALL SANITARY SEWER AND DOMESTIC WATER MAINS AND SERVICES IN ACCORDANCE WITH STATE OF COLORADO AND JURISDICTIONAL UTILITY PROVIDER SPECIFICATIONS.
  - FOR ALL NON-CONCENTRIC MANHOLES, MANHOLE RINGS/COVERS AND STEPS LIDS SHALL BE ROTATED AS SHOWN IN PLAN VIEW.
  - CONTRACTOR SHALL ADJUST ALL EXISTING RIM ELEVATIONS TO MATCH THE PROPOSED GRADE.
  - ALL SANITARY SERVICE CLEANOUTS LOCATED ADJACENT TO A BUILDING SHALL BE TWO-WAY CLEANOUTS.
  - THE CONTRACTOR IS RESPONSIBLE FOR:
    - OBTAINING ALL APPLICABLE LICENSES, BONDS, PERMITS, STANDARDS AND SPECIFICATIONS FOR SEWER MAIN INSTALLATION.
    - VERIFYING THE LOCATION AND DEPTH OF EXISTING UTILITIES AND NOTIFYING THE ENGINEER OF ANY DISCREPANCIES.
    - RESTORING ALL DISTURBED AREAS TO ORIGINAL CONDITION, OR AS INDICATED ON THE PLANS.
  - REFER TO CHEROKEE STANDARDS FOR MANHOLE COATING & LINING REQUIREMENTS.
  - MINIMUM MANHOLE DIAMETER IS 5'-0".
  - SANITARY SEWER MAINS WITH A SLOPE LESS THAN 1.04% MUST BE BEDDED AND COMPACTED IN MAXIMUM 6" LIFTS WITH SELECT BEDDING. REFER TO "COLORADO SPRINGS UTILITIES WASTEWATER LINE EXTENSIONS & SERVICE STANDARDS - 2021" SECTION 5.11.D.3 FOR MORE INFORMATION.
  - REFERENCE DETAIL D1-6 SHOWN ON SHEET SS7 FOR ALL SANITARY SERVICE CONNECTIONS.
  - FOR BUILDING 6 AND BUILDING 8, WHERE SANITARY SEWER SERVICE AND LANDSCAPE DRAIN PIPE CROSS WITH LESS THAN 18-INCHES OF CLEARANCE, FLOWFILL SHALL BE REQUIRED PER CSU DETAIL C-2.7.



**LEGEND:**

PROPERTY BOUNDARY	---
EXISTING SANITARY SEWER	SS
EXISTING WATER LINE	W
EXISTING STORM LINE	---
PROPOSED LANDSCAPE DRAIN PIPE	---
PROPOSED LANDSCAPE AREA DRAIN	---
PROPOSED SANITARY SEWER W/ MANHOLE	SS-C
PROPOSED SANITARY SERVICE	---
PROPOSED WATER LINE	W
PROPOSED WATER SERVICE	---
PROPOSED SANITARY SERVICE	---
PROPOSED STORM LINE	---
PROPOSED GAS LINE	---
PROPOSED ELECTRIC LINE	---
PROPOSED RETAINING WALL	---
PROPOSED HYDRANT	---

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**811**  
Know what's below.  
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DATE	REVISION COMMENTS
10-29-2021	PER COUNTY COMMENTS
01-13-2022	PER COUNTY COMMENTS
04-01-2022	ISSUED FOR CONSTRUCTION

**HKS HARRIS KOCHER SMITH**  
 1120 Lincoln Street, Suite 1000  
 Denver, Colorado 80203  
 P: 303.623.6300 F: 303.623.6311  
 HarrisKocherSmith.com

**TRINIS ACQUISITION COMPANY, LLC**

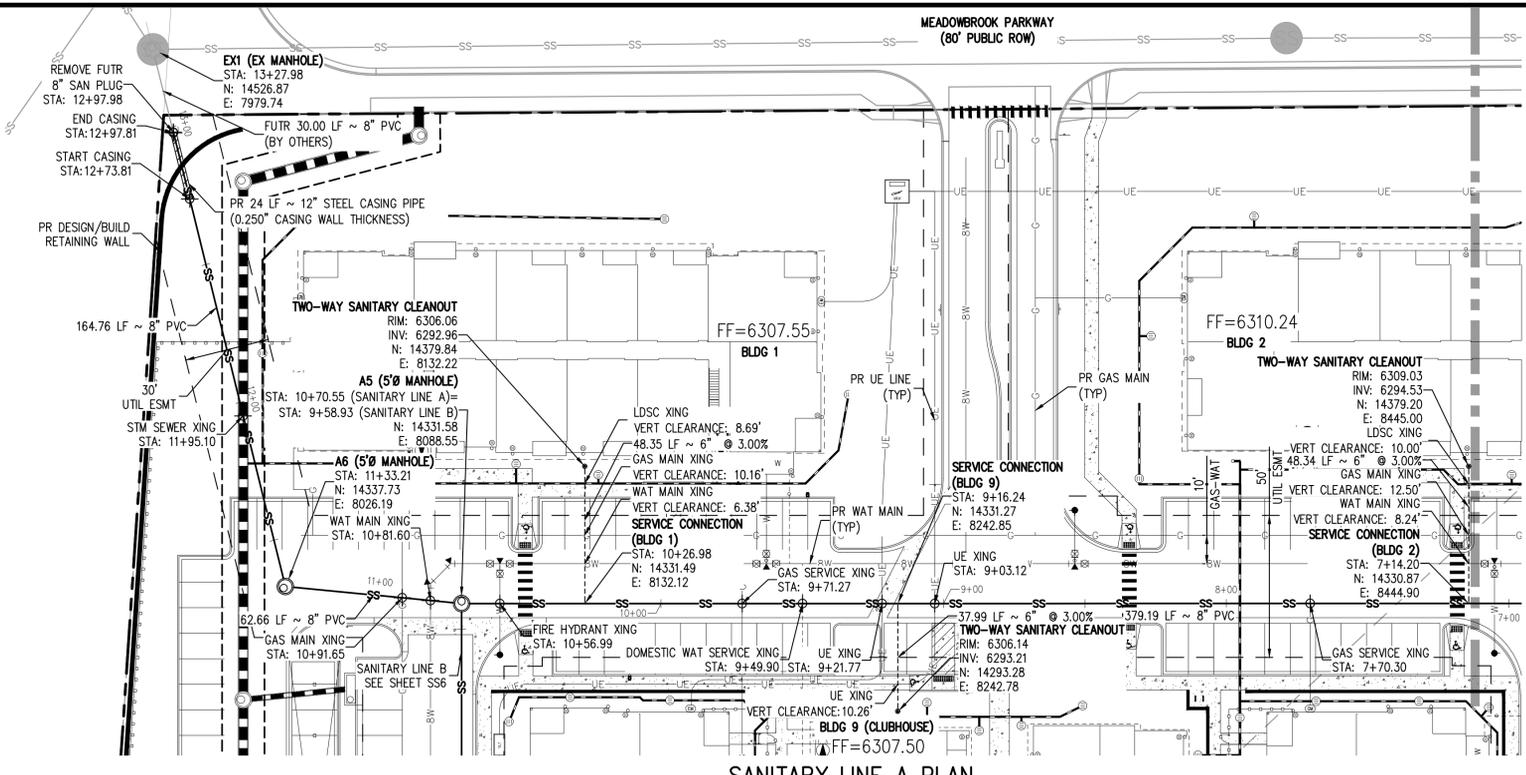
**AURA AT CROSSROADS  
 SANITARY PLAN & PROFILE LINE A**

**43327**  
04/08/2022  
PROFESSIONAL ENGINEER

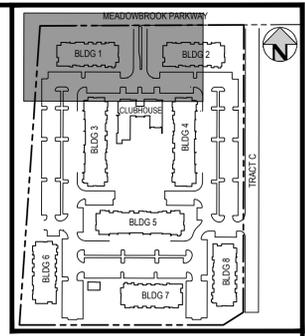
PROJECT #: 200823  
 SHEET NUMBER  
**SS3**  
 3 OF 7

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

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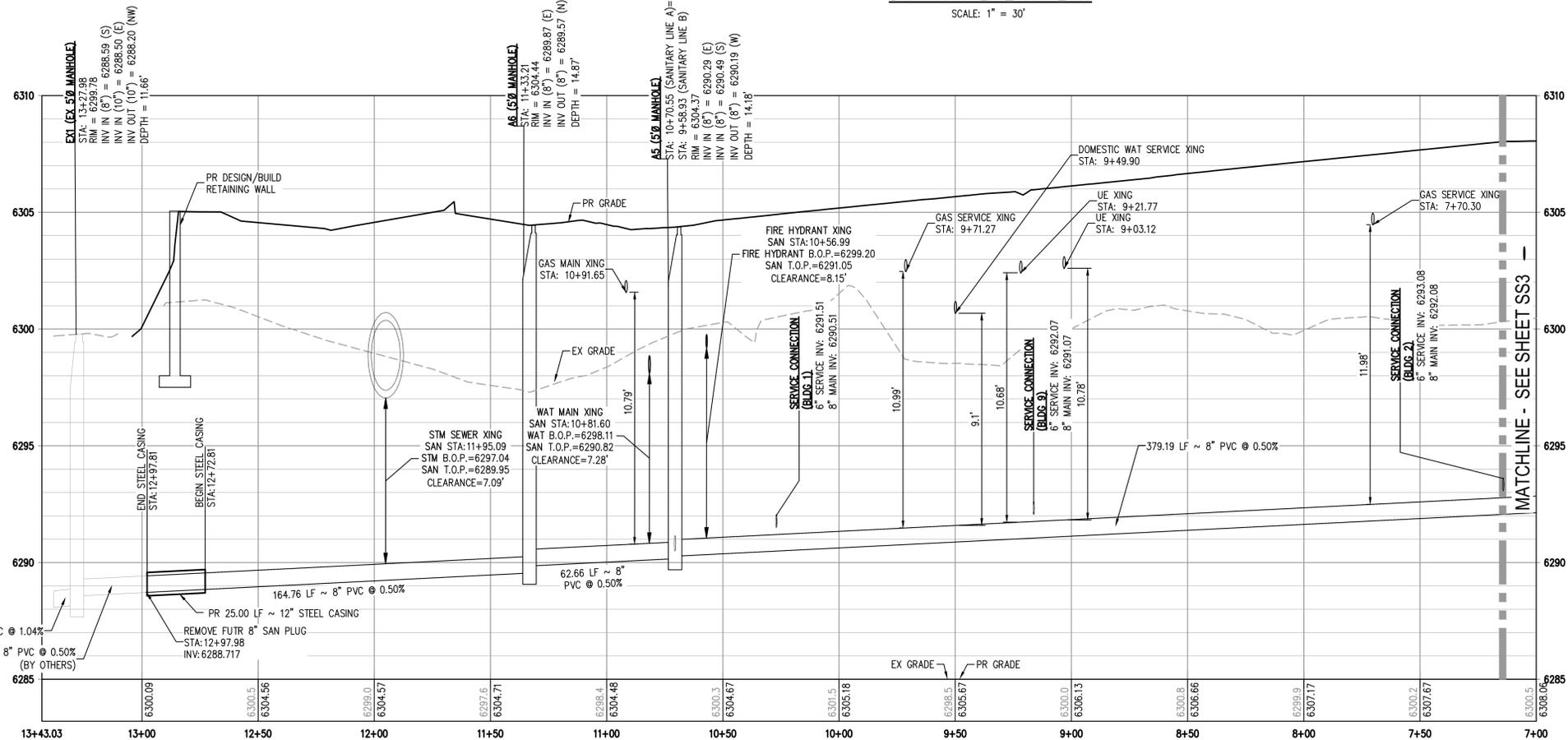
**SANITARY LINE A PLAN**  
 SCALE: 1" = 30'



**KEY MAP**  
 SCALE: 1" = 250'

**GENERAL SANITARY NOTES:**

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2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE, AS SUPPLIED BY THE UTILITY OWNERS. PRIOR TO EXCAVATION, THE CONTRACTOR SHALL VERIFY EXISTENCE, SIZE, AND LOCATION OF EXISTING UTILITIES AND IMMEDIATELY NOTIFY HARRIS KOCHER SMITH OF ANY DISCREPANCIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UNDERGROUND FACILITIES.
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5. ALL WORK, INCLUDING CORRECTION WORK, SHALL BE INSPECTED BY THE UTILITY PROVIDER'S REPRESENTATIVE WHO SHALL HAVE THE AUTHORITY TO HALT CONSTRUCTION WHEN THERE IS A LACK OF ADHERENCE TO STANDARD CONSTRUCTION PRACTICES.
6. MAINTAIN A MINIMUM OF TEN FEET OF HORIZONTAL SEPARATION BETWEEN ALL SANITARY SEWER AND DOMESTIC WATER MAINS AND SERVICES IN ACCORDANCE WITH STATE OF COLORADO AND JURISDICTIONAL UTILITY PROVIDER SPECIFICATIONS.
7. FOR ALL NON-CENTRIC MANHOLES, MANHOLE RINGS/COVERS AND STEPS LIDS SHALL BE ROTATED AS SHOWN IN PLAN VIEW.
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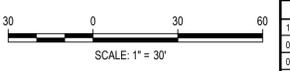
**SANITARY LINE A PROFILE**  
 HORIZONTAL SCALE: 1" = 30'  
 VERTICAL SCALE: 1" = 3'

**LEGEND:**

PROPERTY BOUNDARY	---
EXISTING SANITARY SEWER	SS
EXISTING WATER LINE	W
EXISTING STORM LINE	---
PROPOSED LANDSCAPE DRAIN PIPE	---
PROPOSED LANDSCAPE AREA DRAIN	---
PROPOSED SANITARY SEWER W/ MANHOLE	SS-C
PROPOSED SANITARY SERVICE	---
PROPOSED WATER LINE	W
PROPOSED WATER SERVICE	---
PROPOSED SANITARY SERVICE	---
PROPOSED STORM LINE	---
PROPOSED GAS LINE	G
PROPOSED ELECTRIC LINE	UE
PROPOSED RETAINING WALL	---
PROPOSED HYDRANT	---



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 Call before you dig.



DESIGNED BY: ML  
 CHECKED BY: EM  
 DRAWN BY: ML

ISSUE DATE: 08-06-2021	
DATE	REVISION COMMENTS
10-29-2021	PER COUNTY COMMENTS
01-13-2022	PER COUNTY COMMENTS
04-01-2022	ISSUED FOR CONSTRUCTION

**HKS HARRIS KOCHER SMITH**  
 1120 Lincoln Street, Suite 1000  
 Denver, Colorado 80203  
 P: 303.623.6300 F: 303.623.6311  
 HarrisKocherSmith.com

TRINAC ACQUISITION COMPANY, LLC

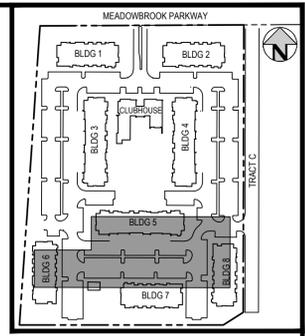
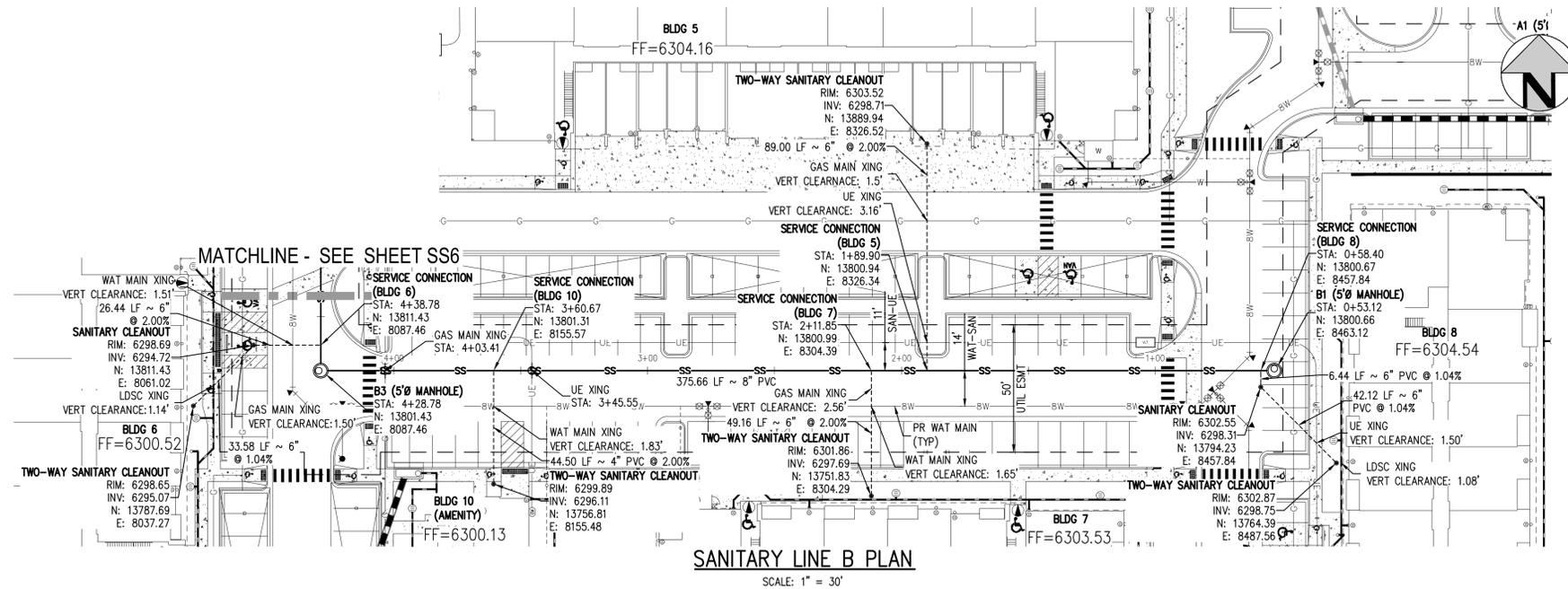
AURA AT CROSSROADS  
 SANITARY PLAN & PROFILE LINE A



PROJECT #: 200823  
 SHEET NUMBER

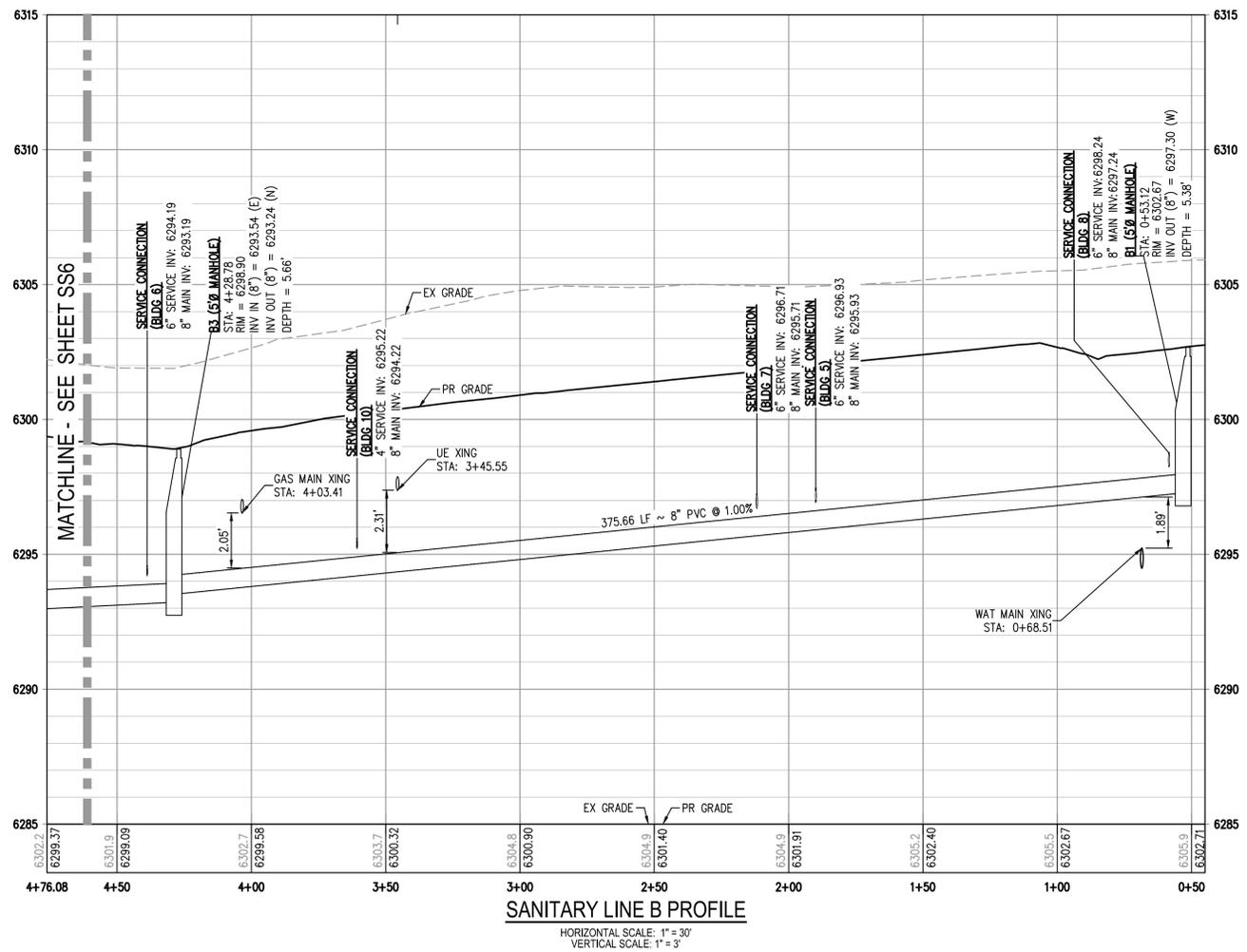
**SS4**

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.



**KEY MAP**  
SCALE: 1" = 250'

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**SANITARY LINE B PROFILE**  
HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 3'

**LEGEND:**

PROPERTY BOUNDARY	---
EXISTING SANITARY SEWER	SS
EXISTING WATER LINE	W
EXISTING STORM LINE	---
PROPOSED LANDSCAPE DRAIN PIPE	---
PROPOSED LANDSCAPE AREA DRAIN	---
PROPOSED SANITARY SEWER W/ MANHOLE	SS-M
PROPOSED SANITARY SERVICE	---
PROPOSED WATER LINE	BW
PROPOSED WATER SERVICE	---
PROPOSED SANITARY SERVICE	---
PROPOSED STORM LINE	---
PROPOSED GAS LINE	G
PROPOSED ELECTRIC LINE	UE
PROPOSED RETAINING WALL	---
PROPOSED HYDRANT	H

FILEPATH: K:\2022\ENGINEERING\UTILITIES\SANITARY\SS - PLAN & PROFILE\DWG LAYOUT: LAYOUT1 (5) PLOT: SS5.dwg PLOT DATE: 04/08/2022 PLOT BY: MATT LEBIEDZINSKI

811  
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ISSUE DATE: 08-06-2021	
DATE	REVISION COMMENTS
10-29-2021	PER COUNTY COMMENTS
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1120 Lincoln Street, Suite 1000  
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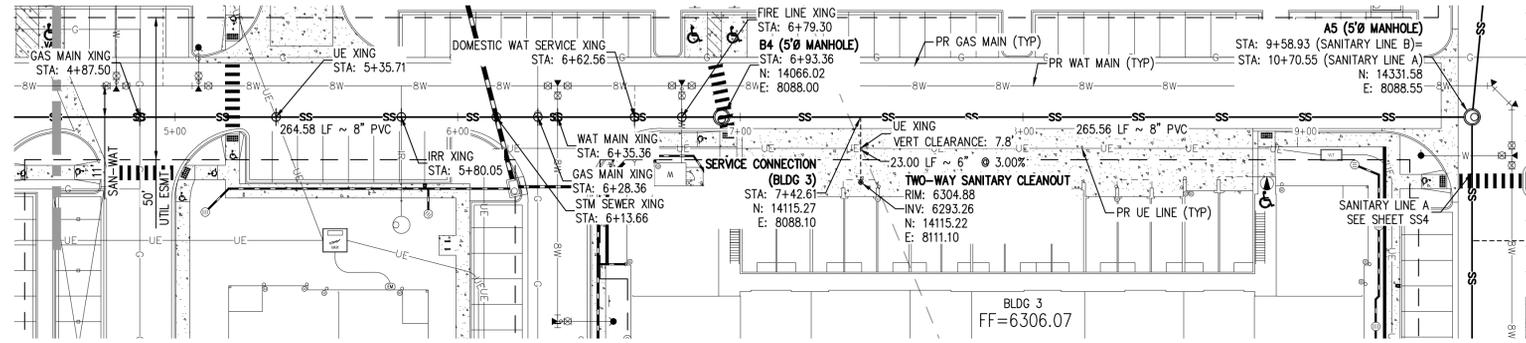
TRINISIC ACQUISITION COMPANY, LLC

AURA AT CROSSROADS  
SANITARY PLAN & PROFILE LINE B

PROJECT #: 200823  
SHEET NUMBER  
**SS5**  
5 OF 7

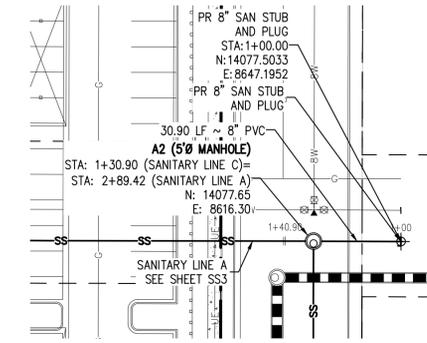
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MATCHLINE - SEE SHEET SS5



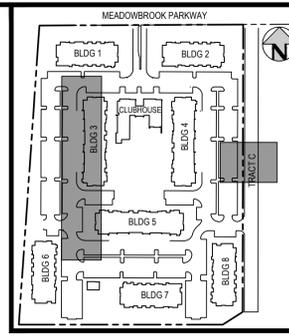
**SANITARY LINE B PLAN**

SCALE: 1" = 30'



**SANITARY LINE C PLAN**

SCALE: 1" = 30'



**KEY MAP**

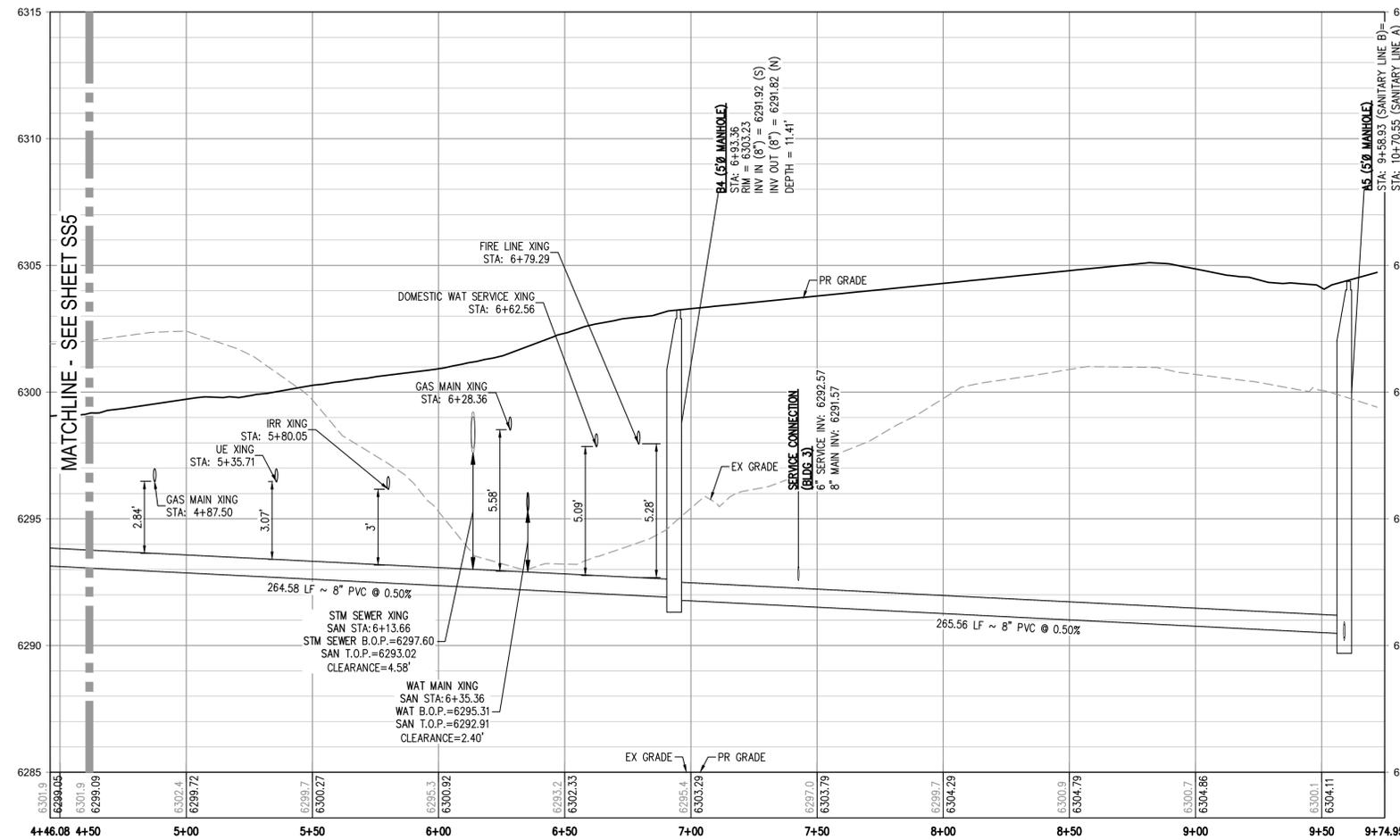
SCALE: 1" = 250'

**GENERAL SANITARY NOTES:**

1. THE CONTRACTOR SHALL NOTIFY COLORADO 811 PRIOR TO EXCAVATION, IN ACCORDANCE WITH COLORADO STATE STATUTES.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE, AS SUPPLIED BY THE UTILITY OWNERS. PRIOR TO EXCAVATION, THE CONTRACTOR SHALL VERIFY EXISTENCE, SIZE, AND LOCATION OF EXISTING UTILITIES AND IMMEDIATELY NOTIFY HARRIS KOCHER SMITH OF ANY DISCREPANCIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UNDERGROUND FACILITIES.
3. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.
4. PIPE LENGTHS ARE MEASURED FROM CENTER OF MANHOLE TO CENTER OF MANHOLE. ALL COORDINATES ARE AT THE CENTER OF THE STRUCTURE UNLESS OTHERWISE INDICATED.
5. ALL WORK, INCLUDING CORRECTION WORK, SHALL BE INSPECTED BY THE UTILITY PROVIDER'S REPRESENTATIVE WHO SHALL HAVE THE AUTHORITY TO HALT CONSTRUCTION WHEN THERE IS A LACK OF ADHERENCE TO STANDARD CONSTRUCTION PRACTICES.
6. MAINTAIN A MINIMUM OF TEN FEET OF HORIZONTAL SEPARATION BETWEEN ALL SANITARY SEWER AND DOMESTIC WATER MAINS AND SERVICES IN ACCORDANCE WITH STATE OF COLORADO AND JURISDICTIONAL UTILITY PROVIDER SPECIFICATIONS.
7. FOR ALL NON-CONCENTRIC MANHOLES, MANHOLE RINGS/COVERS AND STEPS LIDS SHALL BE ROTATED AS SHOWN IN PLAN VIEW.
8. CONTRACTOR SHALL ADJUST ALL EXISTING RIM ELEVATIONS TO MATCH THE PROPOSED GRADE.
9. ALL SANITARY SERVICE CLEANOUTS LOCATED ADJACENT TO A BUILDING SHALL BE TWO-WAY CLEANOUTS.
10. THE CONTRACTOR IS RESPONSIBLE FOR:
  - a. OBTAINING ALL APPLICABLE LICENSES, BONDS, PERMITS, STANDARDS AND SPECIFICATIONS FOR SEWER MAIN INSTALLATION.
  - b. VERIFYING THE LOCATION AND DEPTH OF EXISTING UTILITIES AND NOTIFYING THE ENGINEER OF ANY DISCREPANCIES.
  - c. RESTORING ALL DISTURBED AREAS TO ORIGINAL CONDITION, OR AS INDICATED ON THE PLANS.
11. REFER TO CHEROKEE STANDARDS FOR MANHOLE COATING & LINING REQUIREMENTS.
12. MINIMUM MANHOLE DIAMETER IS 5'-0".
13. SANITARY SEWER MAINS WITH A SLOPE LESS THAN 1.04% MUST BE BEDDED AND COMPACTED IN MAXIMUM 6" LIFTS WITH SELECT BEDDING. REFER TO "COLORADO SPRINGS UTILITIES WASTEWATER LINE EXTENSIONS & SERVICE STANDARDS - 2021" SECTION 5.11.D.3 FOR MORE INFORMATION.
14. REFERENCE DETAIL D1-6 SHOWN ON SHEET SS7 FOR ALL SANITARY SERVICE CONNECTIONS.
15. FOR BUILDING 6 AND BUILDING 8, WHERE SANITARY SEWER SERVICE AND LANDSCAPE DRAIN PIPE CROSS WITH LESS THAN 18-INCHES OF CLEARANCE, FLOWFILL SHALL BE REQUIRED PER CSU DETAIL C-2.

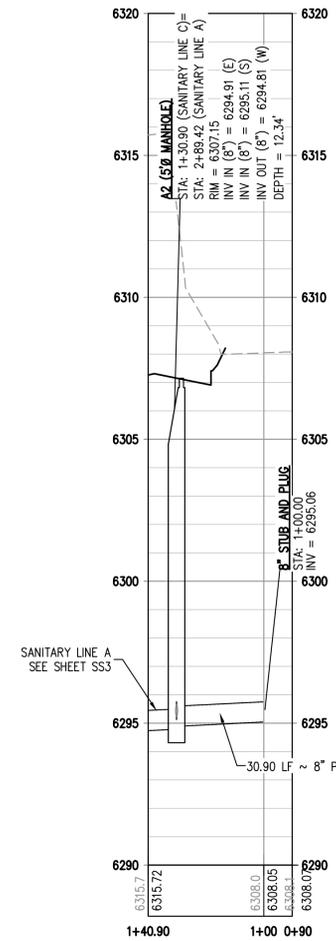
**LEGEND:**

- PROPERTY BOUNDARY
- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EXISTING STORM LINE
- PROPOSED LANDSCAPE DRAIN PIPE
- PROPOSED LANDSCAPE AREA DRAIN
- PROPOSED SANITARY SEWER W/ MANHOLE
- PROPOSED SANITARY SERVICE
- PROPOSED WATER LINE
- PROPOSED WATER SERVICE
- PROPOSED SANITARY SERVICE
- PROPOSED STORM LINE
- PROPOSED GAS LINE
- PROPOSED ELECTRIC LINE
- PROPOSED RETAINING WALL
- PROPOSED HYDRANT



**SANITARY LINE B PROFILE**

HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 3'



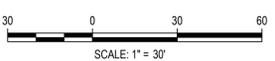
**SANITARY LINE C PROFILE**

HORIZONTAL SCALE: 1" = 30'  
VERTICAL SCALE: 1" = 3'

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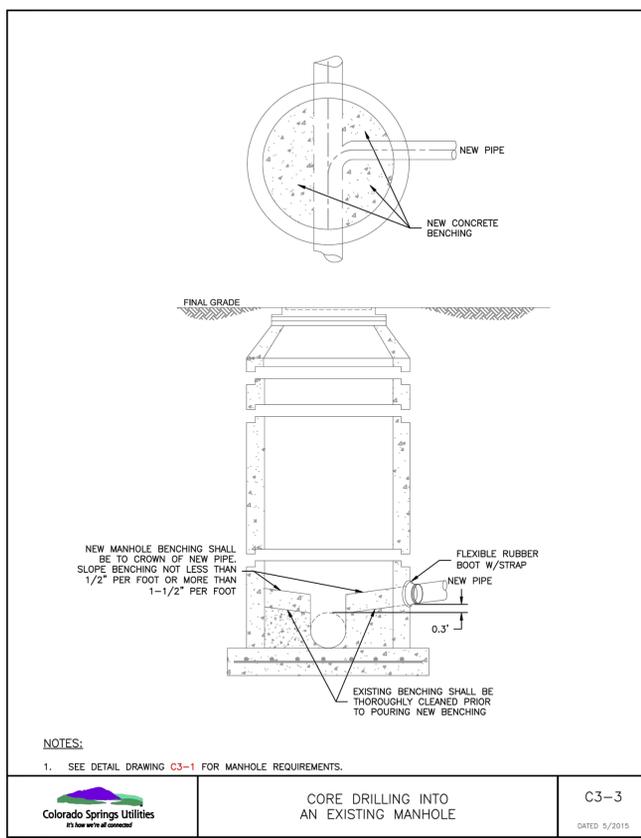
TRINIS ACQUISITION COMPANY, LLC

AURA AT CROSSROADS  
SANITARY PLAN & PROFILE LINE B



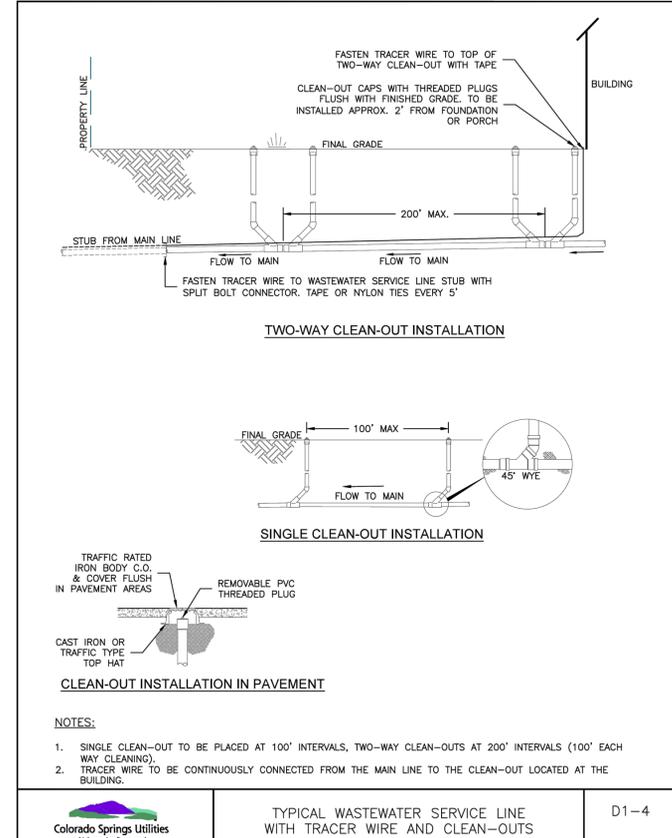
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SHEET NUMBER  
**SS6**  
6 OF 7

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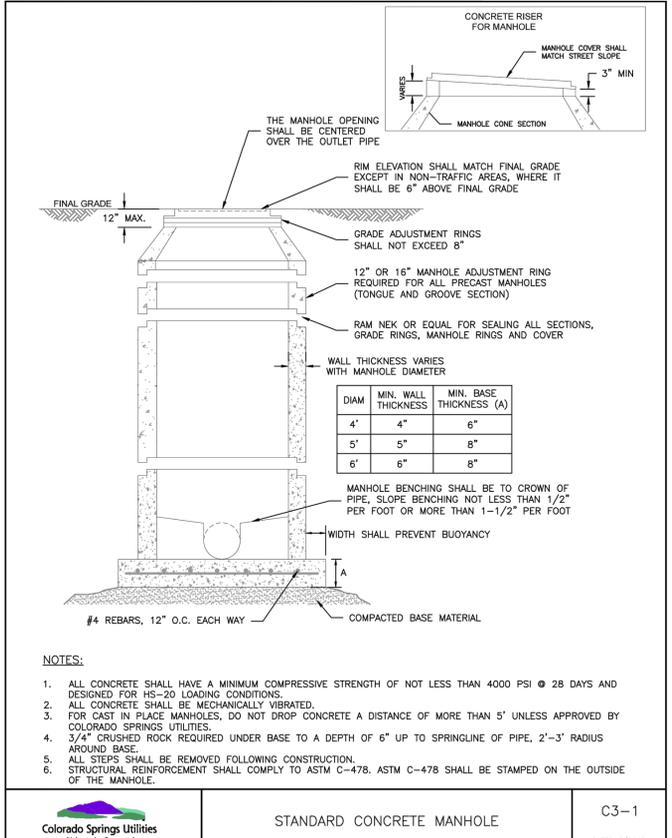
NOTES:  
1. SEE DETAIL DRAWING C3-1 FOR MANHOLE REQUIREMENTS.

Colorado Springs Utilities  
CORE DRILLING INTO AN EXISTING MANHOLE  
C3-3  
DATED: 5/2015



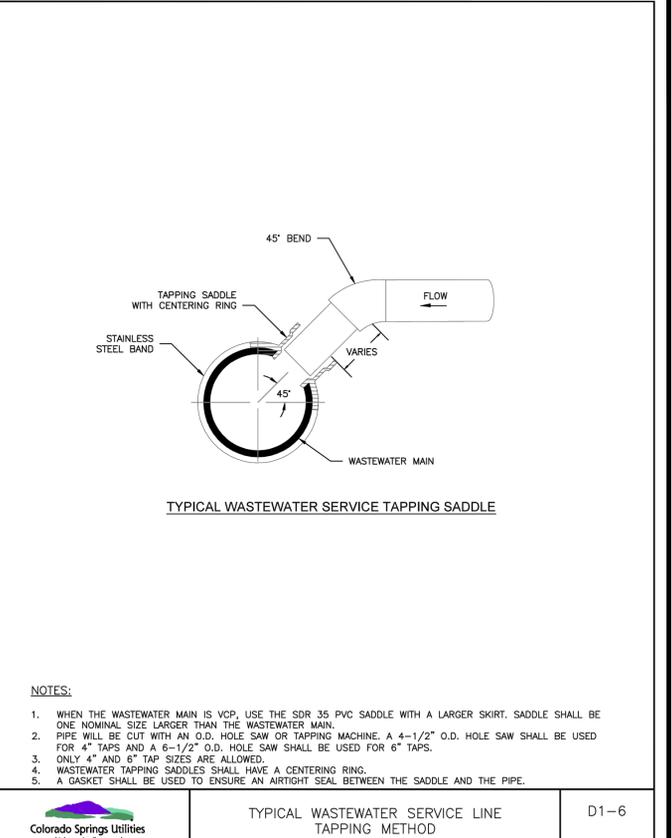
NOTES:  
1. SINGLE CLEAN-OUT TO BE PLACED AT 100\' INTERVALS, TWO-WAY CLEAN-OUTS AT 200\' INTERVALS (100\' EACH WAY CLEANING).  
2. TRACER WIRE TO BE CONTINUOUSLY CONNECTED FROM THE MAIN LINE TO THE CLEAN-OUT LOCATED AT THE BUILDING.

Colorado Springs Utilities  
TYPICAL WASTEWATER SERVICE LINE WITH TRACER WIRE AND CLEAN-OUTS  
D1-4  
DATED: 5/2015



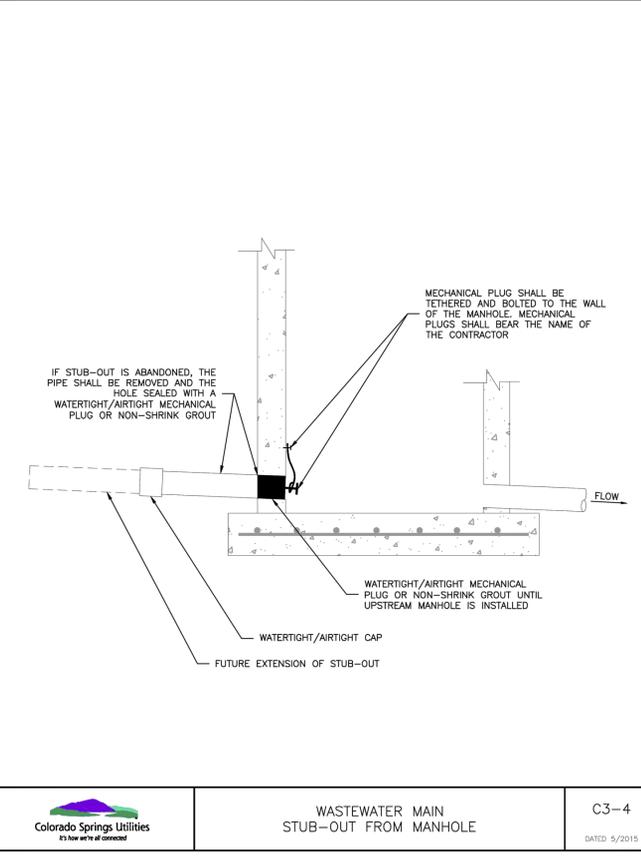
NOTES:  
1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF NOT LESS THAN 4000 PSI @ 28 DAYS AND DESIGNED FOR HS-20 LOADING CONDITIONS.  
2. ALL CONCRETE SHALL BE MECHANICALLY VIBRATED.  
3. FOR CAST IN PLACE MANHOLES, DO NOT DROP CONCRETE A DISTANCE OF MORE THAN 5\' UNLESS APPROVED BY COLORADO SPRINGS UTILITIES.  
4. 3/4" CRUSHED ROCK REQUIRED UNDER BASE TO A DEPTH OF 6" UP TO SPRINGLINE OF PIPE, 2"-3" RADIUS AROUND BASE.  
5. ALL STEPS SHALL BE REMOVED FOLLOWING CONSTRUCTION.  
6. STRUCTURAL REINFORCEMENT SHALL COMPLY TO ASTM C-478. ASTM C-478 SHALL BE STAMPED ON THE OUTSIDE OF THE MANHOLE.

Colorado Springs Utilities  
STANDARD CONCRETE MANHOLE  
C3-1  
DATED: 5/2015

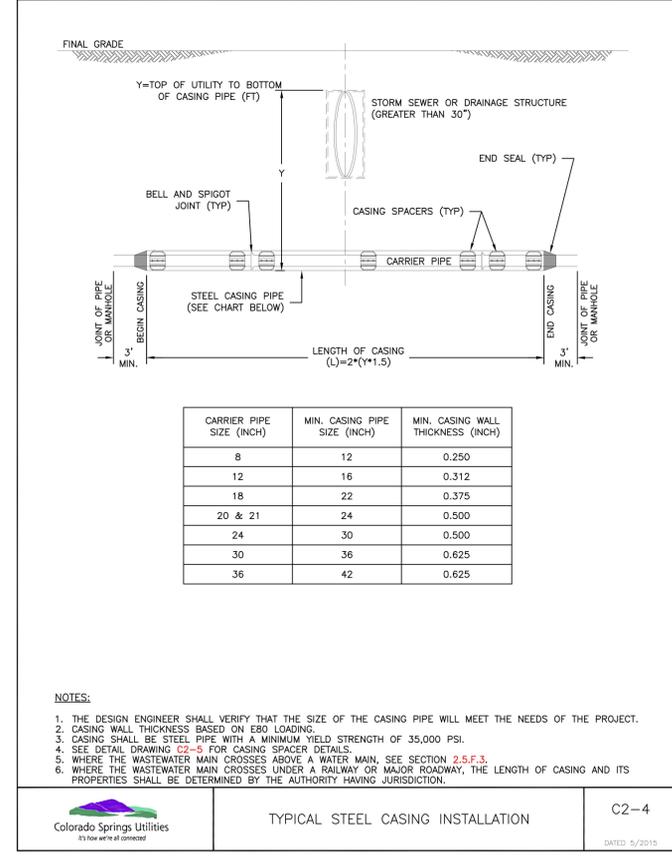


NOTES:  
1. WHEN THE WASTEWATER MAIN IS VCP, USE THE SDR 35 PVC SADDLE WITH A LARGER SKIRT. SADDLE SHALL BE ONE NOMINAL SIZE LARGER THAN THE WASTEWATER MAIN.  
2. PIPE WILL BE CUT WITH AN O.D. HOLE SAW OR TAPPING MACHINE. A 4-1/2" O.D. HOLE SAW SHALL BE USED FOR 4" TAPS AND A 6-1/2" O.D. HOLE SAW SHALL BE USED FOR 6" TAPS.  
3. ONLY 4" AND 6" TAP SIZES ARE ALLOWED.  
4. WASTEWATER TAPPING SADDLES SHALL HAVE A CENTERING RING.  
5. A GASKET SHALL BE USED TO ENSURE AN AIRTIGHT SEAL BETWEEN THE SADDLE AND THE PIPE.

Colorado Springs Utilities  
TYPICAL WASTEWATER SERVICE LINE TAPPING METHOD  
D1-6  
DATED: 5/2015

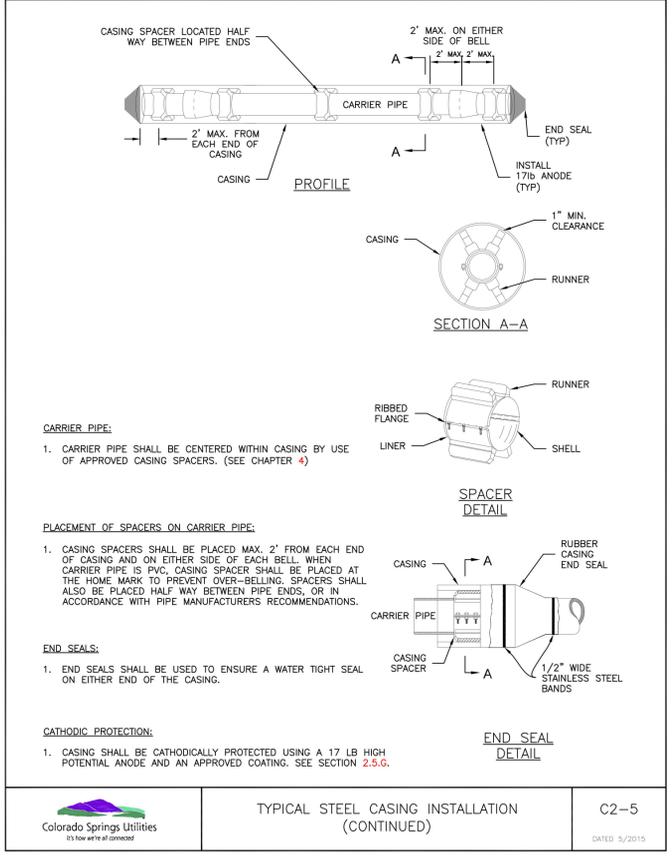


Colorado Springs Utilities  
WASTEWATER MAIN STUB-OUT FROM MANHOLE  
C3-4  
DATED: 5/2015



NOTES:  
1. THE DESIGN ENGINEER SHALL VERIFY THAT THE SIZE OF THE CASING PIPE WILL MEET THE NEEDS OF THE PROJECT.  
2. CASING WALL THICKNESS BASED ON E80 LOADING.  
3. CASING SHALL BE STEEL PIPE WITH A MINIMUM YIELD STRENGTH OF 35,000 PSI.  
4. SEE DETAIL DRAWING C2-5 FOR CASING SPACER DETAILS.  
5. WHERE THE WASTEWATER MAIN CROSSES ABOVE A WATER MAIN, SEE SECTION 2.5.F.3.  
6. WHERE THE WASTEWATER MAIN CROSSES UNDER A RAILWAY OR MAJOR ROADWAY, THE LENGTH OF CASING AND ITS PROPERTIES SHALL BE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.

Colorado Springs Utilities  
TYPICAL STEEL CASING INSTALLATION  
C2-4  
DATED: 5/2015



Colorado Springs Utilities  
TYPICAL STEEL CASING INSTALLATION (CONTINUED)  
C2-5  
DATED: 5/2015

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TRINIS ACQUISITION COMPANY, LLC

AURA AT CROSSROADS  
SANITARY DETAILS



PROJECT #: 200823  
SHEET NUMBER  
**SS7**  
7 OF 7