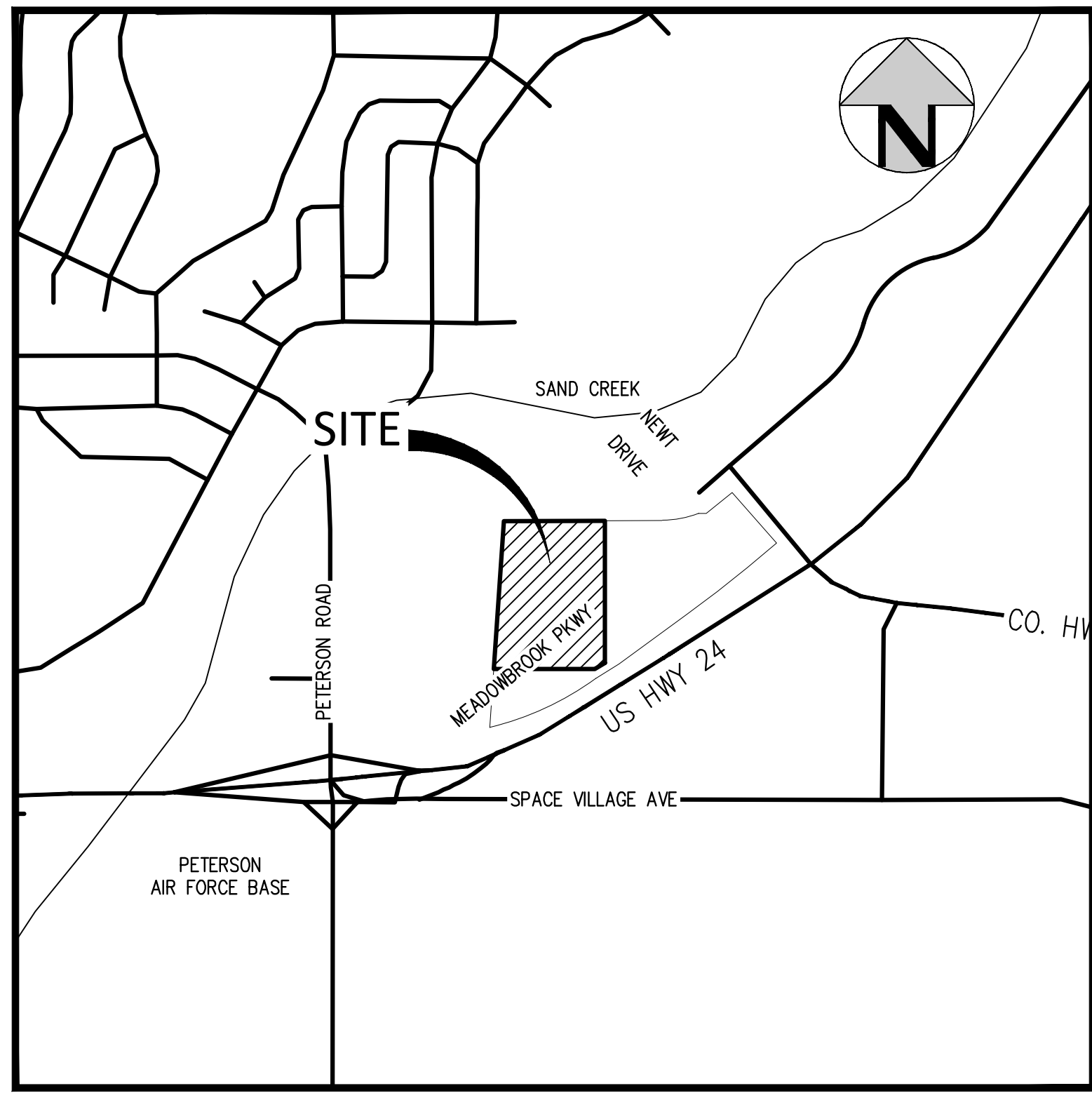


# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

## SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO

### EL PASO COUNTY CONSTRUCTION NOTES:

1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE EL PASO COUNTY. EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2 AND THE EL PASO ENGINEERING MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION.
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
  - a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM).
  - b. EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
  - c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
  - d. CDOT M&S STANDARDS
4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROAD, STORM DRAINAGE, AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL VOLUME 1 AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED AND APPROVED IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPERS RESPONSIBILITY TO RECTIFY.
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPERS RESPONSIBILITY TO RECTIFY.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT (PCD), INSPECTIONS PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL APPLICABLE JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOORPLAN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS- ISSUED 401 AND/ OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAYMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SITE TRIANGLES.
13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DPW AND MUTCD CRITERIA (IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTED WILL BE PROVIDED).
14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITH THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.



VICINITY MAP  
SCALE: 1" = 800'

### SHEET INDEX

- 1 COVER SHEET
- 2 SITE PLAN
- 3 OVERALL UTILITY PLAN
- 4 OVERALL GRADING PLAN
- 5 BUILDING TYPE A - COMPOSITE PLAN
- 6 BUILDING TYPE A - ROOF PLAN
- 7 BUILDING TYPE B - COMPOSITE PLAN
- 8 BUILDING TYPE B - ROOF PLAN
- 9 CLUBHOUSE - COMPOSITE PLAN
- 10 CLUBHOUSE - ROOF PLAN
- 11 AMENITY BUILDING - PLANS & ELEVATIONS
- 12 BUILDING TYPE A - ELEVATIONS
- 13 BUILDING TYPE A ELEVATIONS
- 14 BUILDING TYPE B - ELEVATIONS
- 15 BUILDING TYPE B - ELEVATIONS
- 16 CLUBHOUSE - ELEVATIONS
- 17 CLUBHOUSE - ELEVATIONS
- 18 CAR PORT - PLANS & ELEVATIONS
- 19 TRASH ENCLOSURE - PLANS & ELEVATIONS
- 20 LANDSCAPE COVER
- 21 LANDSCAPE PLAN 'A'
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- 23 LANDSCAPE NOTES
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- 26 PHOTOMETRIC PLAN
- 27 PHOTOMETRIC PLAN
- 28 LIGHTING DETAILS
- 29 LIGHTING DETAILS



### LEGAL DESCRIPTION

LOT 1 AND TRACT C OF THE CROSSROADS MIXED USE FILING NO. 1 RECORDED AT RECEPTION NO. \_\_\_\_\_, EL PASO COUNTY CLERK AND RECORDER.

SAID PARCELS CONTAINS 553,058 SQUARE FEET OR 12.70 ACRES, MORE OR LESS.  
AND 44,375 SQUARE FEET OR 1.02 ACRES, MORE OR LESS.

### BASIS OF BEARINGS

BEARINGS ARE BASED ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, MONUMENTED AT THE WEST QUARTER CORNER BY AN ILLEGIBLE 3-1/2" BRASS CAP 2.0' DOWN AND AT THE SOUTHWEST CORNER BY A 3-1/2" ALUMINUM CAP IN A RANGE BOX STAMPED "LS 22573" ASSUMED TO BEAR NORTH 00°04'51" EAST.

### BENCHMARK

BENCHMARK IS A NGS POINT R 76, BEING A STANDARD U.S. COAST AND GEODETIC SURVEY BENCH MARK DISK SET IN THE TOP OF CONCRETE POST. IT PROJECTS 3 INCHES AND IS STAMPED R 76 1935. ELEVATION = 6286.32 NGVD29.

### SITE DATA

	LOT 1		TRACT C	
ASSESSOR'S PARCEL ID NUMBER	5408007005		5408007005	
TOTAL AREA OF THE PROPERTY	553,058 SF (12.70 ACRES)	100%	44,375 SF (1.02 ACRES)	100%
TOTAL MULTI-FAMILY UNITS	306			
BUILDING COVERAGE	127,982.7 SF (2.94 ACRES)	23%	0 SF (0 ACRES)	0%
LANDSCAPED/OPEN SPACE AREA COVERAGE	195,732 SF (4.49 ACRES)	35%	9,079 SF (0.21 ACRES)	20%
ZONING	RM-30			
MAXIMUM ALLOWABLE BUILDING HEIGHT	40'			
NUMBER OF PARKING SPACES REQUIRED	594			
NUMBER OF PARKING SPACES PROVIDED	594			
	CODE REQUIREMENTS		PROPOSED	
MAX DENSITY	30 DU/AC		24.1 DU/AC	
LANDSCAPE COVERAGE	15% (1.91 AC)		35.4% (4.49 AC)	
SETBACK TYPE	MINIMUM REQUIREMENT			
FRONT	25 FEET			
SIDE/REAR	15 FEET			
MINIMUM DISTANCE BETWEEN BLDGS	10 FEET			

### PROPOSED BUILDING COVERAGE, SHOWN PER USE

BUILDING TYPE	PER BUILDING
A (BLDGS 1,2,6,7,8)	13,035.5 SF
B (BLDGS 3,4,5)	17,364.7 SF
CLUBHOUSE	9,852.3 SF
AMENITY BLDG	868.8 SF
<b>TOTAL</b>	<b>127,982.7 SF</b>

### PROPOSED BUILDING SUMMARY

BUILDING TYPE	GROSS BUILDING AREA	1 BED/1 BATH	2 BED/2 BATH	3 BED/2 BATH	DWELLING UNITS
A (BLDGS 1,2,6,7,8)	35,897 SF	24	9	3	36
B (BLDGS 3,4,5)	49,905 SF	15	27	0	42
CLUBHOUSE	10,423 SF	-	-	-	-
AMENITY	864 SF	-	-	-	-
<b>TOTAL PROJECT UNITS</b>		<b>165</b>	<b>126</b>	<b>15</b>	<b>306</b>

### PARKING COUNT

PARKING TYPE	STANDARD SPACES	ADA STANDARD SPACES	ADA VAN SPACES
OPEN SURFACE	368	11	3
COVERED SURFACE (CARPORT)	119	2	1
GARAGE	42	3	--
TANDEM (DRIVEWAYS)	45	--	--
<b>TOTAL PARKING</b>	<b>594*</b>		
<b>REQUIRED PARKING**</b>	<b>594*</b>		

\*PARKING COUNT INCLUDES STANDARD AND ADA PARKING SPACES  
\*\*REQUIRED PARKING CALCULATION: (165)(1.5)+(126)(1.7)+(15)(2)+(306)3=594

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.  
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PLOT DATE: 06/30/2022 10:37:39 AM By: Ewan Marks

ISSUE DATE:	PROJECT #:
08-06-2021	200823
DATE	REVISION COMMENTS
10-29-2021	PER COUNTY COMMENTS
01-13-2022	PER COUNTY COMMENTS
06-14-2022	PER COUNTY COMMENTS

**DEVELOPER**  
TRINISC ACQUISITION COMPANY, LLC  
8235 DOUGLAS AVENUE, SUITE 950  
DALLAS, TX 75225  
P: 970.819.9968

**ARCHITECT**  
**KEPHART**  
community • planning • architecture  
2555 WALNUT ST.  
DENVER, CO, 80202  
(303) 632-4474

**LANDSCAPE ARCHITECT**  
**henry design group**  
1501 WAZEE ST. SUITE 1-C  
DENVER, CO, 80202  
(303) 446-2368

**CIVIL ENGINEER**  
**HKS HARRIS KOCHER SMITH**  
1120 Lincoln Street, Suite 1000  
Denver, Colorado 80203  
P: 303.623.6300 F: 303.623.6311  
HarrisKocherSmith.com



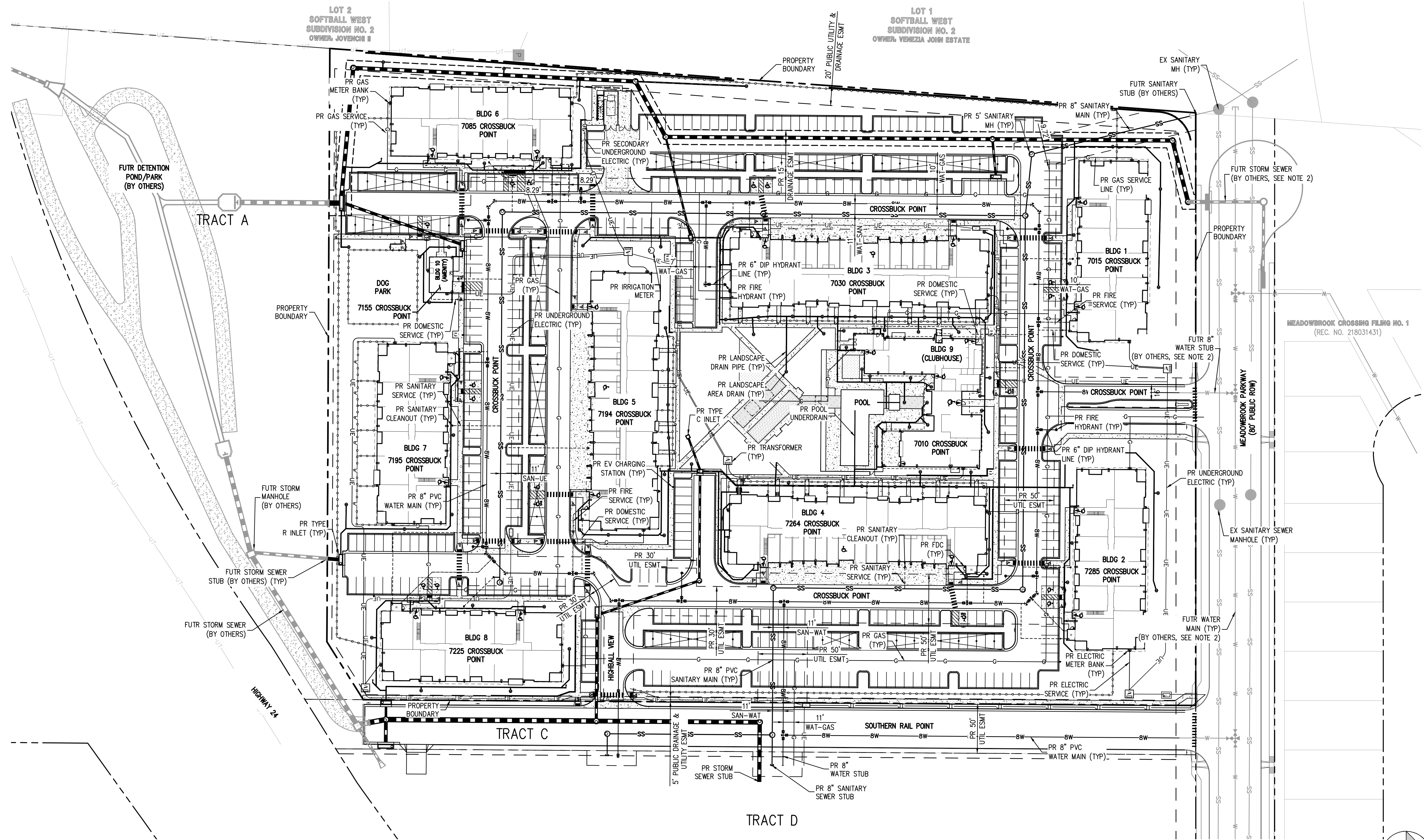
PROJECT #: 200823





# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.  
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 P: 303.623.6300 F: 303.623.6311 HarrisKocherSmith.com

ISSUE DATE:	PROJECT #:
08-06-2021	200823
DATE	REVISION COMMENTS
10-29-2021	PER COUNTY COMMENTS
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**HKS HARRIS KOCHER SMITH**  
 1120 Lincoln Street, Suite 1000  
 Denver, Colorado 80203  
 P: 303.623.6300 F: 303.623.6311  
 HarrisKocherSmith.com

TRINIS ACQUISITION COMPANY, LLC  
 8235 DOUGLAS AVENUE, SUITE 950  
 DALLAS, TX 75225  
 P: 970.819.9968

SCALE: 1" = 50'  
**OVERALL UTILITY PLAN**  
 SHEET 3 OF 29  
 PCD FILE NO. PPR-21-041  
**AURA AT CROSSROADS**

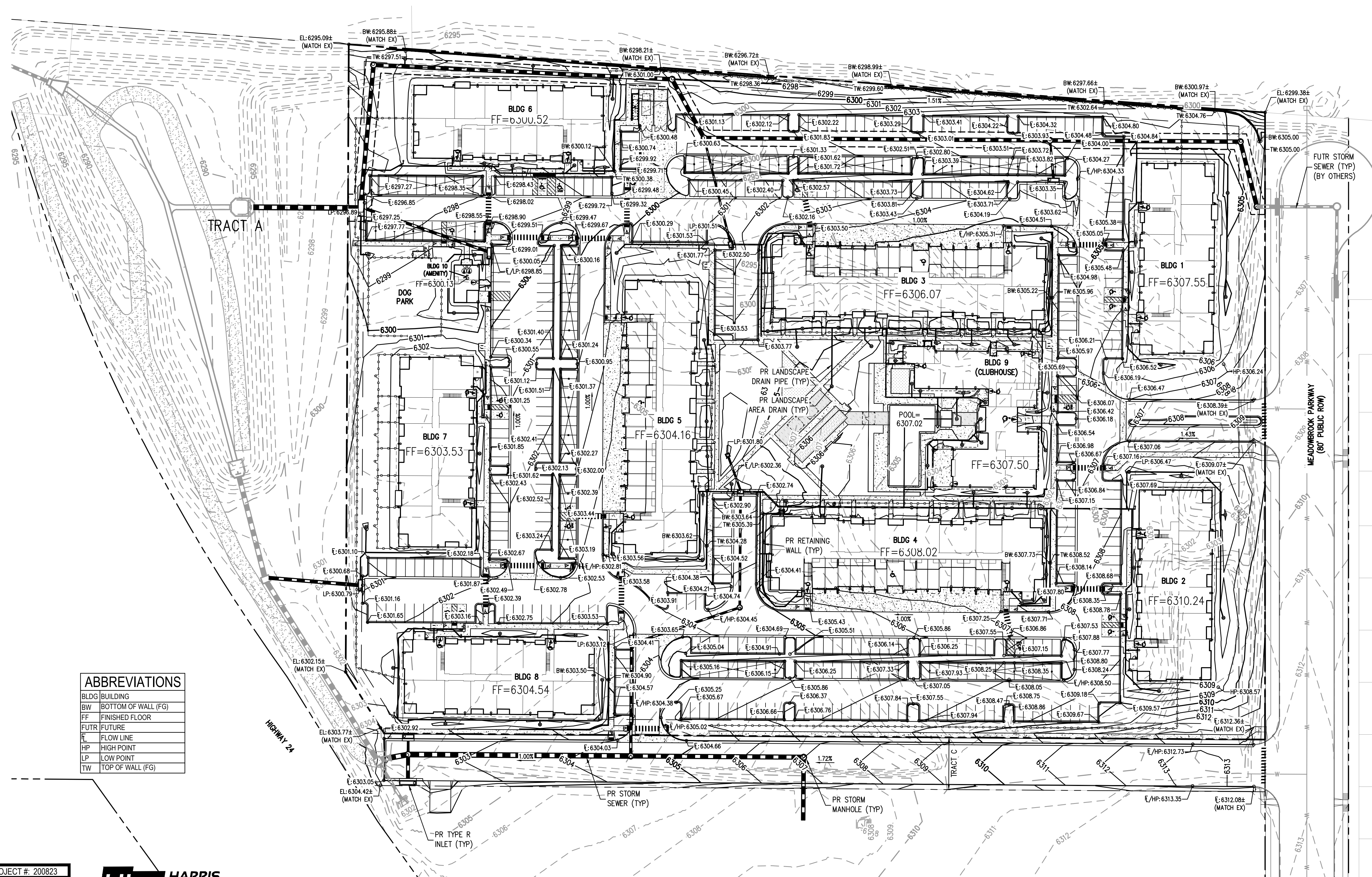
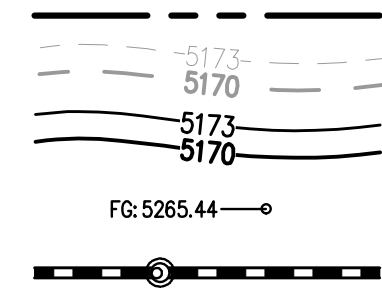


# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO

## LEGEND

- PROPERTY BOUNDARY
- EXISTING CONTOURS
- PROPOSED CONTOURS
- SPOT ELEVATION
- PR STORM SEWER



**ABBREVIATIONS**

BLDG	BUILDING
BW	BOTTOM OF WALL (FG)
FF	FINISHED FLOOR
FUTR	FUTURE
FL	FLOW LINE
HP	HIGH POINT
LP	LOW POINT
TW	TOP OF WALL (FG)

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1120 Lincoln Street, Suite 1000  
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P: 303.623.6300 F: 303.623.6311  
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TRINSC ACQUISITION COMPANY, LLC  
8235 DOUGLAS AVENUE, SUITE 950  
DALLAS, TX 75225  
P: 970.819.9968

SCALE: 1" = 50'  
**OVERALL GRADING PLAN**  
SHEET 4 OF 29  
PCD FILE NO. PPR-21-041

AURA AT CROSSROADS

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# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO

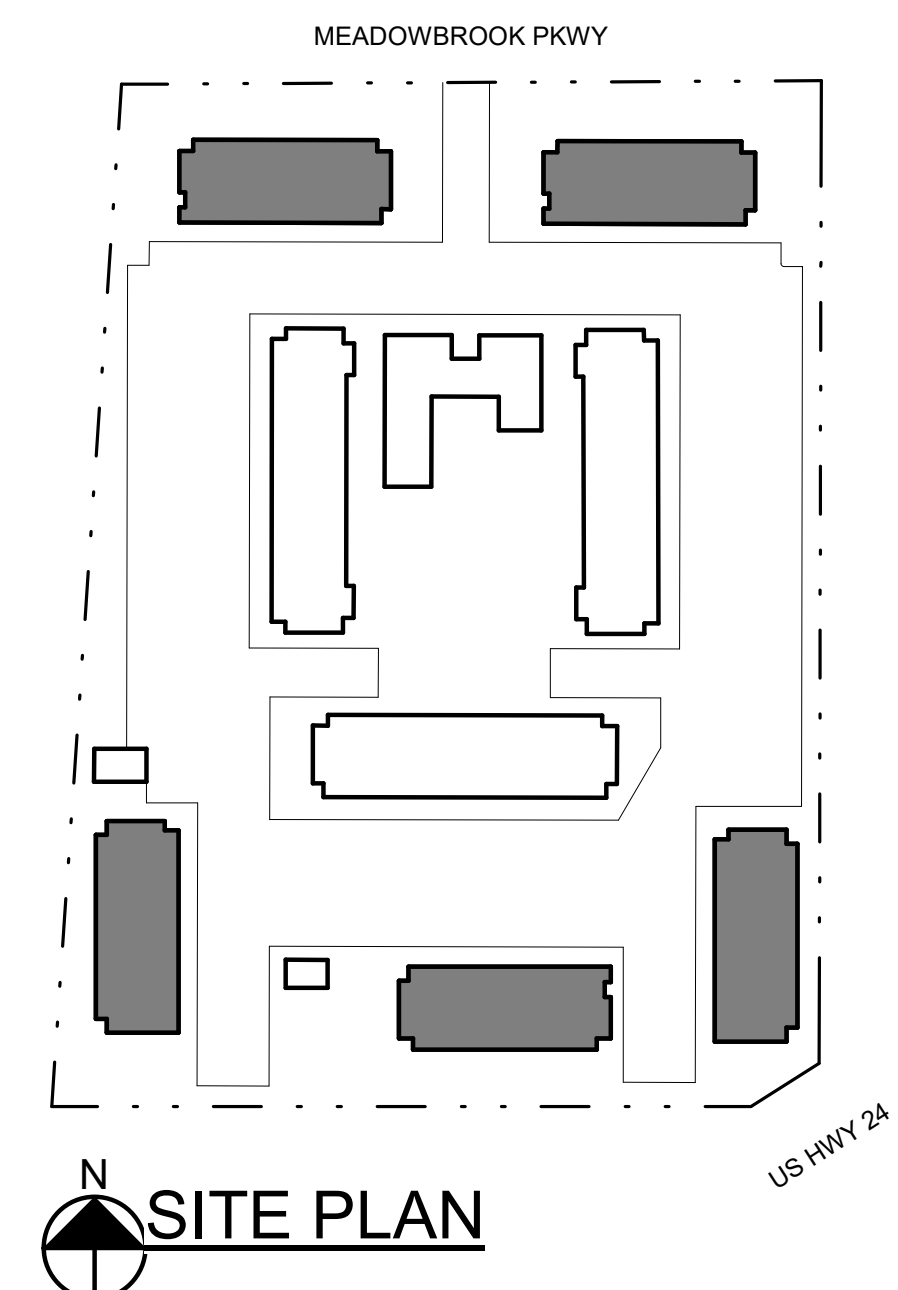


**2 BUILDING TYPE A - SECOND/THIRD FLOOR COMPOSITE PLAN**  
3/32" = 1'-0"



**1 BUILDING TYPE A - FIRST FLOOR COMPOSITE PLAN**  
3/32" = 1'-0"

MATERIAL LEGEND	
	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
	FIBER CEMENT B&B SIDING - SW 7069 IRON ORE
	ADHERED STONE VENEER - SUNSET STONE GAPE COD STACKED
	ASPHALT SHINGLES - BLACK
	STANDING SEAM - SW 2926 IRON GATE
	METAL RAILING - SW 2926 IRON GATE
	FIBER CEMENT HORIZONTAL RAILING - CEDAR
	CMU - GRAY SLATE



**SITE PLAN**

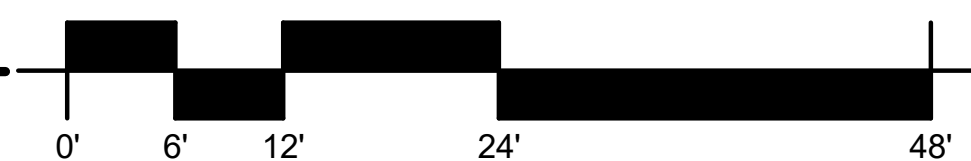
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08-06-2021	220083
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DALLAS, TX 75225  
P: 970.819.9968

**36-PLEX - COMPOSITE PLANS**  
SHEET 5 OF 29  
PCD FILE NO. PPR-21-041

**AURA AT CROSSROADS**



PROJECT # 220083



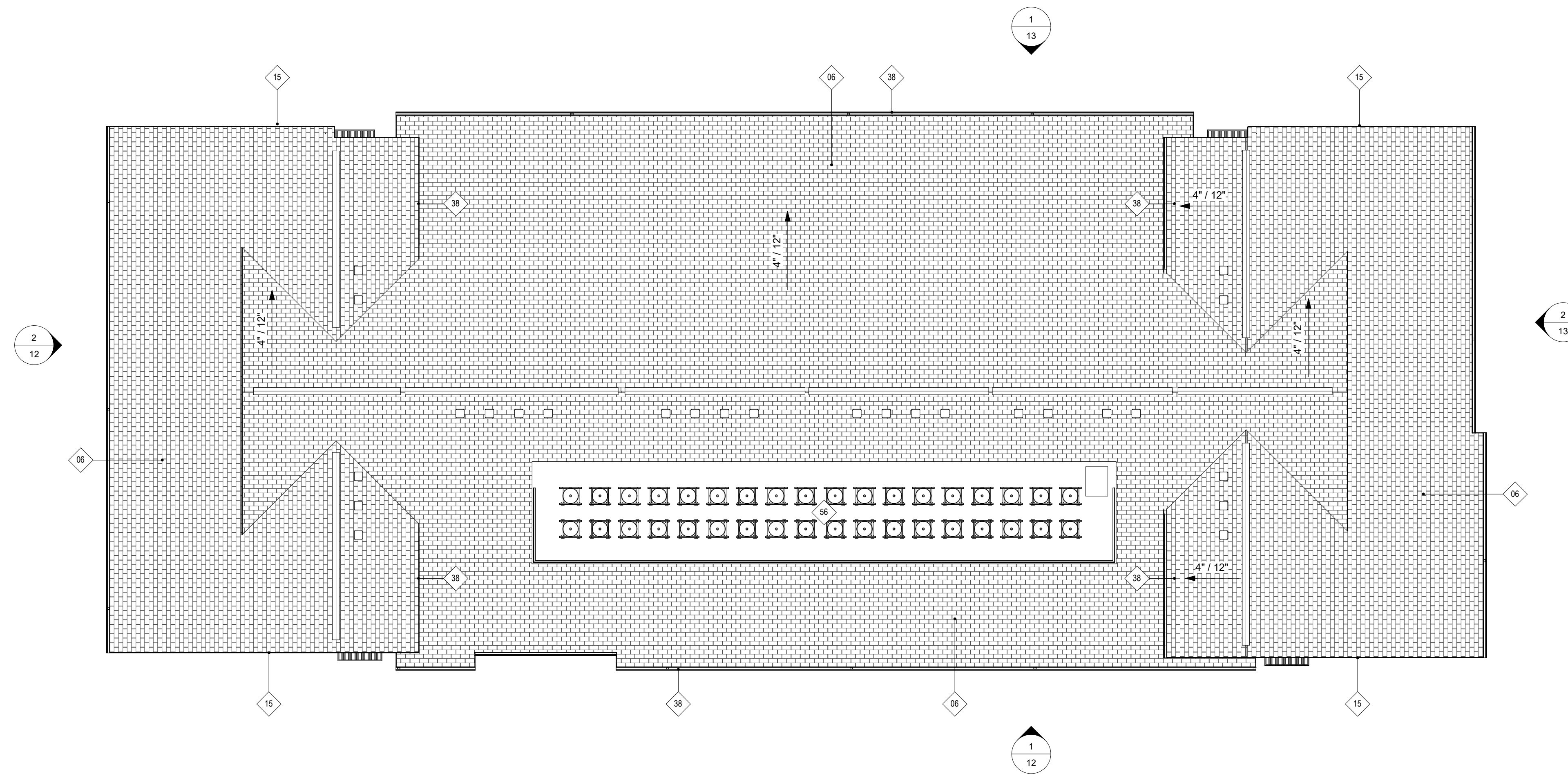
# AURA AT CROSSROADS

## SITE DEVELOPMENT PLAN

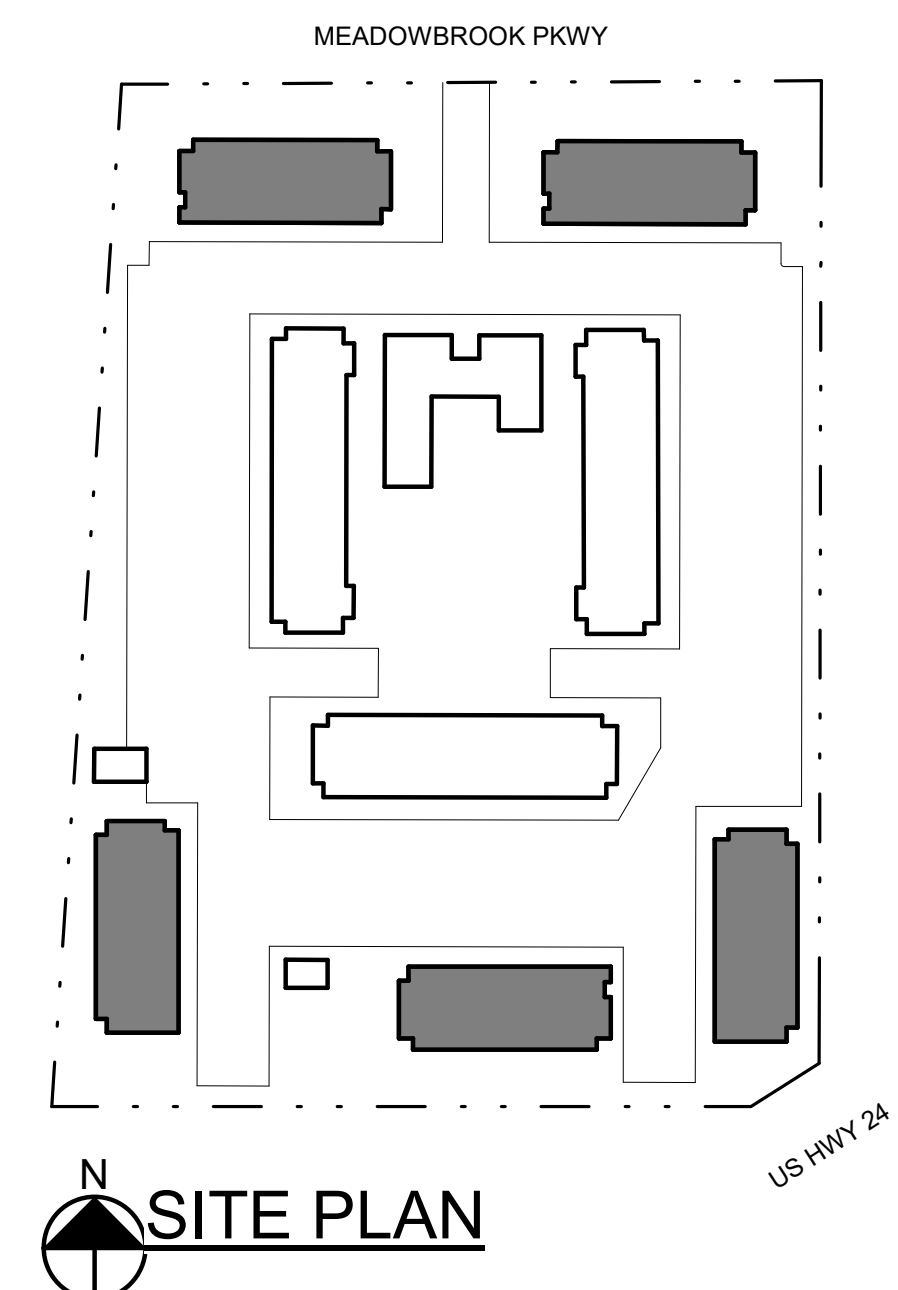
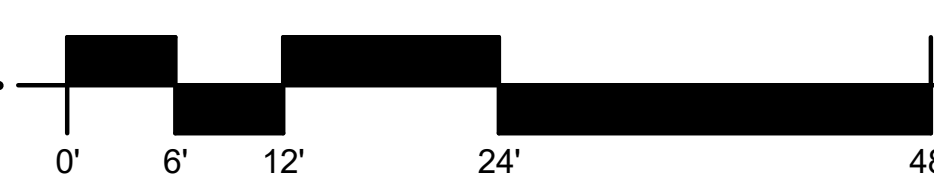
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WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO

MATERIAL LEGEND	
	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
	FIBER CEMENT B&B SIDING - SW 7069 IRON ORE
	ADHERED STONE VENEER - SUNSET STONE GAPE COD STACKED
	ASPHALT SHINGLES - BLACK
	STANDING SEAM - SW 2926 IRON GATE
	METAL RAILING - SW 2926 IRON GATE
	FIBER CEMENT HORIZONTAL RAILING - CEDAR
	CMU - GRAY SLATE

KEYNOTES	
NO.	NOTE
06	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
15	METAL GUTTER - SW 7069 IRON ORE
38	CONCRETE STEM WALL
56	



1 BUILDING TYPE A - ROOF PLAN  
3/32" = 1'-0"



SITE PLAN

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36-PLEX - ROOF PLAN

SHEET 6 OF 29

PCD FILE NO. PPR-21-041

AURA AT CROSSROADS

PROJECT # 220083



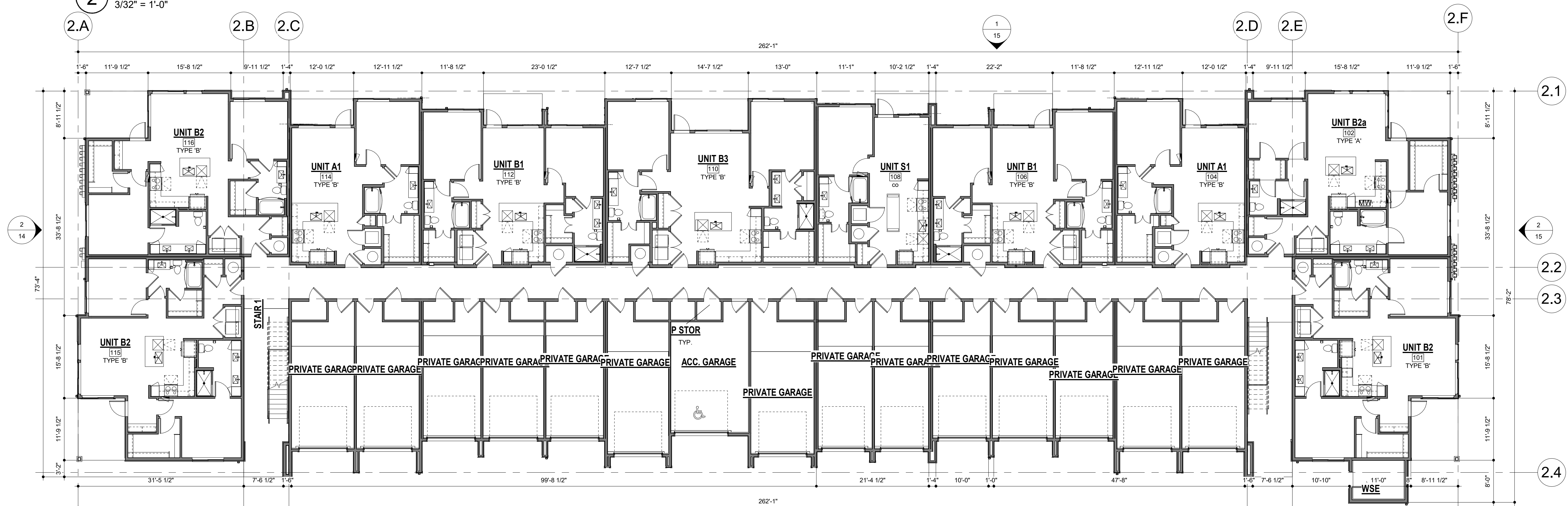
# AURA AT CROSSROADS

## SITE DEVELOPMENT PLAN

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WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO

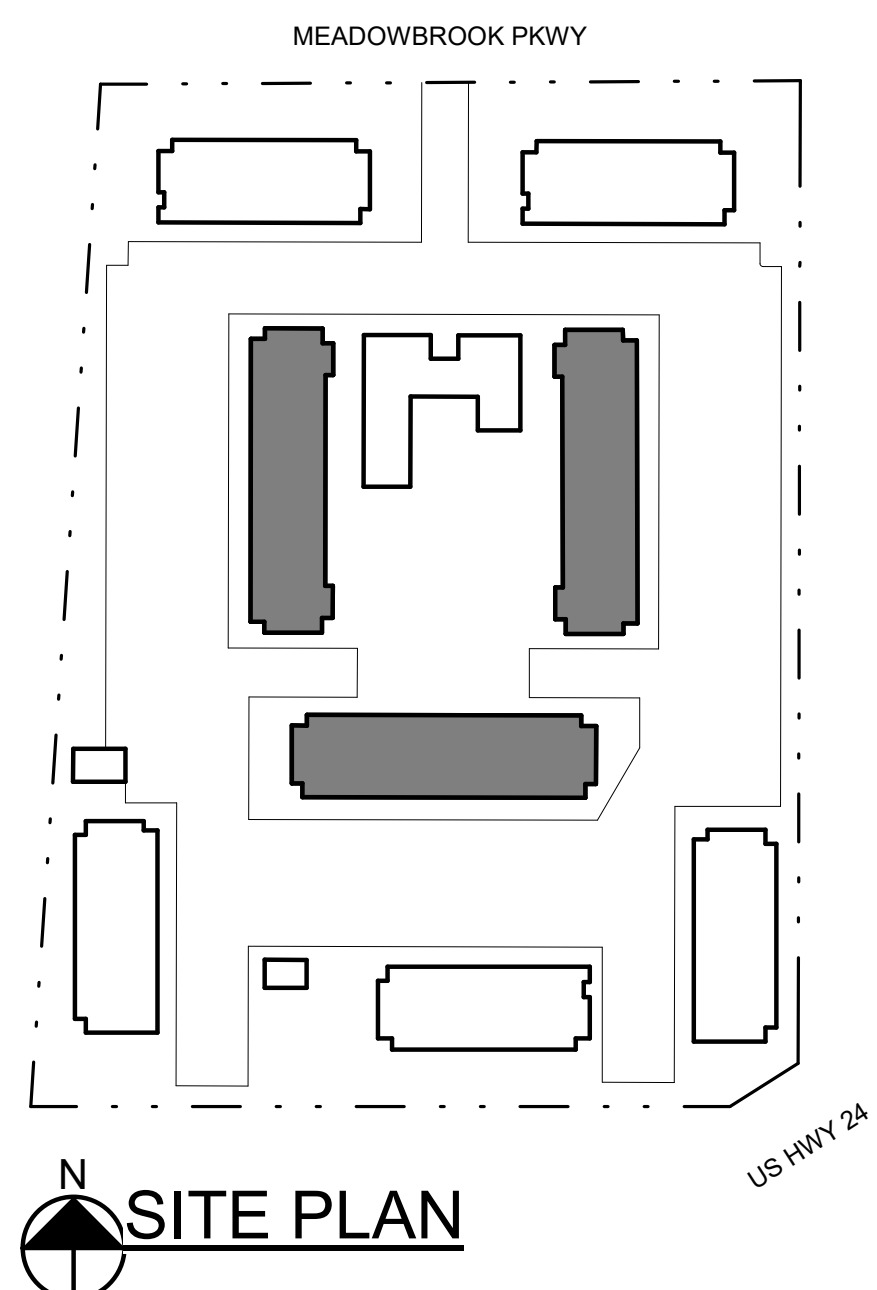


**2 BUILDING TYPE B - SECOND/THIRD FLOOR COMPOSITE PLAN**  
3/32" = 1'-0"



**1 BUILDING TYPE B - FIRST FLOOR COMPOSITE PLAN**  
3/32" = 1'-0"

MATERIAL LEGEND	
	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
	FIBER CEMENT B&B SIDING - SW 7069 IRON ORE
	ADHERED STONE VENEER - SUNSET STONE GAPE COD STACKED
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42-PLEX - COMPOSITE  
PLANS  
SHEET 7 OF 29  
PCD FILE NO. PPR-21-041

AURA AT CROSSROADS

PROJECT # 220083



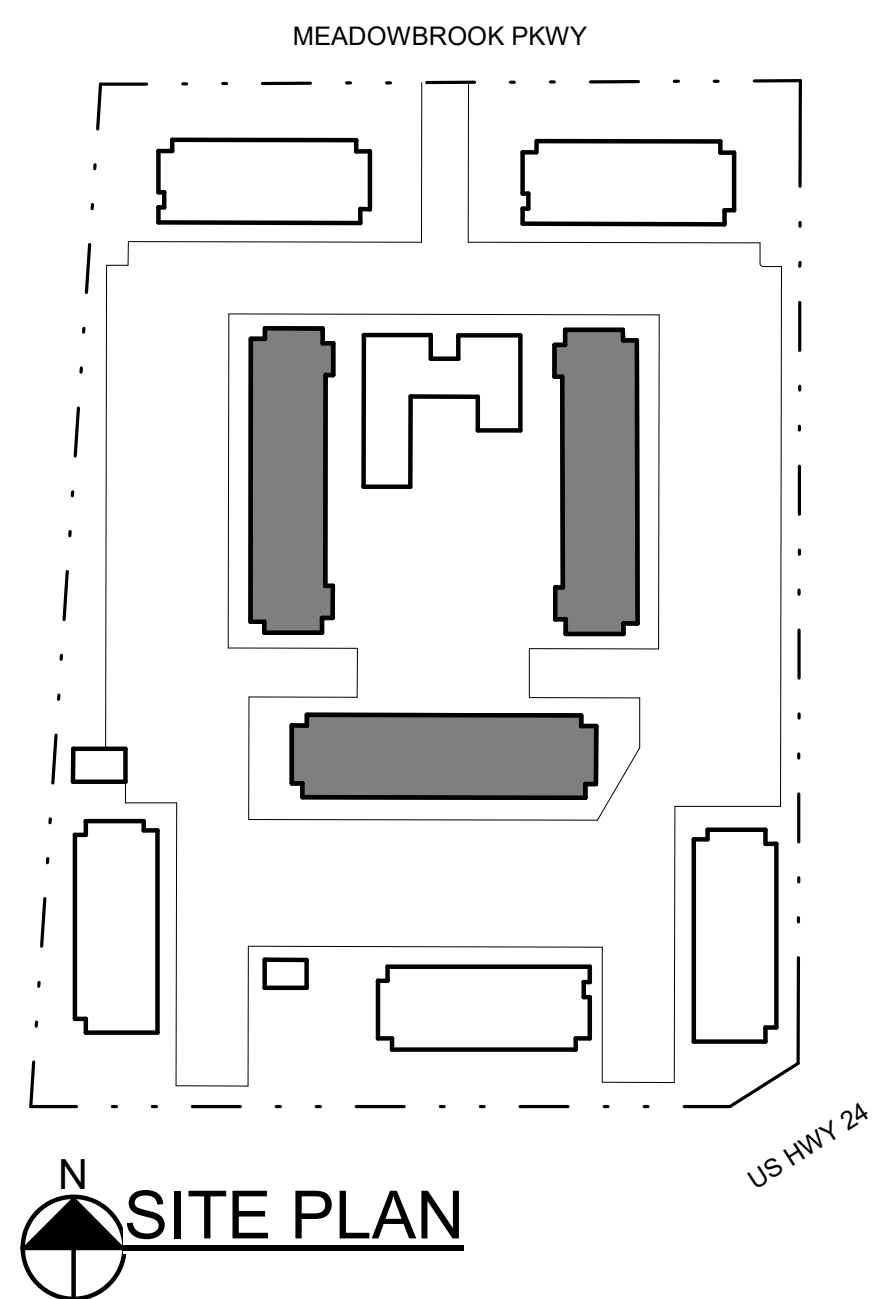
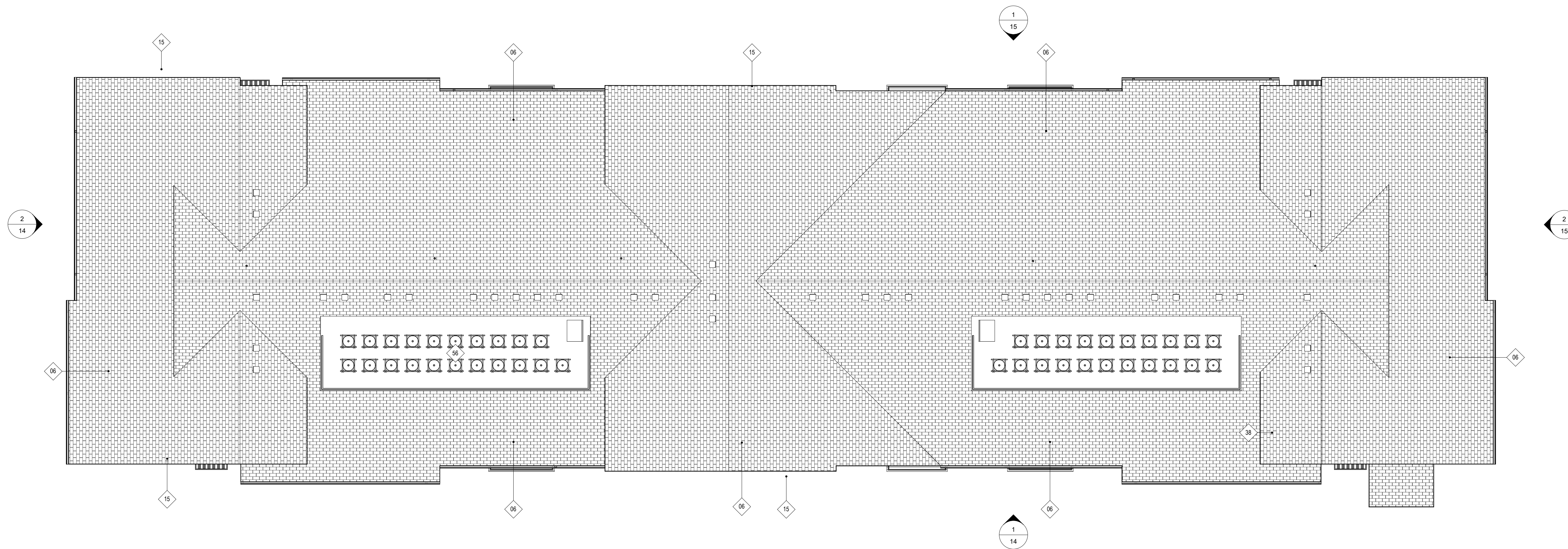
# AURA AT CROSSROADS

## SITE DEVELOPMENT PLAN

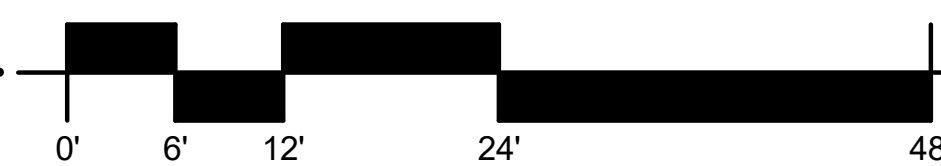
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KEYNOTES	
NO.	NOTE
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15	METAL GUTTER - SW 2926 IRON GATE
38	CONCRETE STEM WALL
56	



**1 BUILDING TYPE B - ROOF PLAN**  
3/32" = 1'-0"



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**42-PLEX - ROOF PLAN**

SHEET 8 OF 29

PCD FILE NO. PPR-21-041

AURA AT CROSSROADS

PROJECT #: 220083



# AURA AT CROSSROADS

## SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



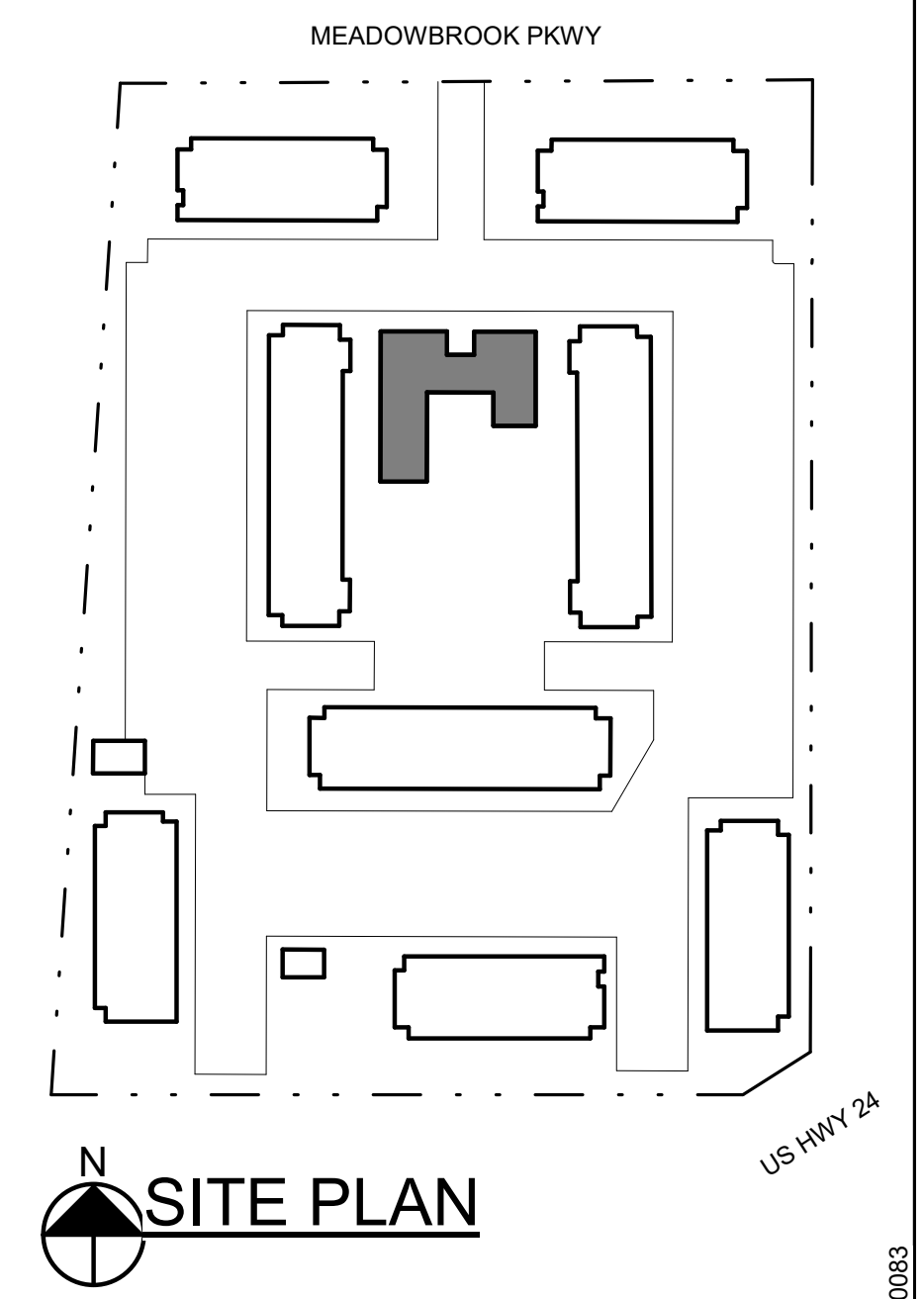
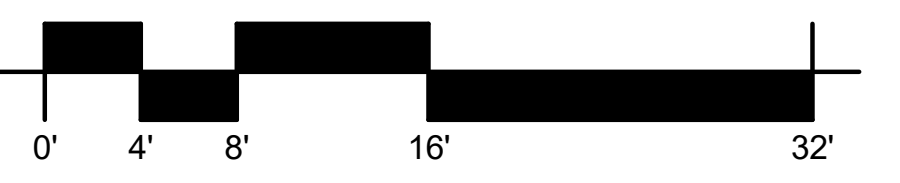
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	FIBER CEMENT HORIZONTAL RAILING - CEDAR
	CMU - GRAY SLATE

2  
17

2  
16

1  
17

**1 CLUBHOUSE/LEASING - FLOOR PLAN**  
1/8" = 1'-0"



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TRINIS ACQUISITION COMPANY, LLC  
8235 DOUGLAS AVENUE, SUITE 950  
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**CLUBHOUSE - FLOOR PLAN**  
SHEET 9 OF 29

PCD FILE NO. PPR-21-041

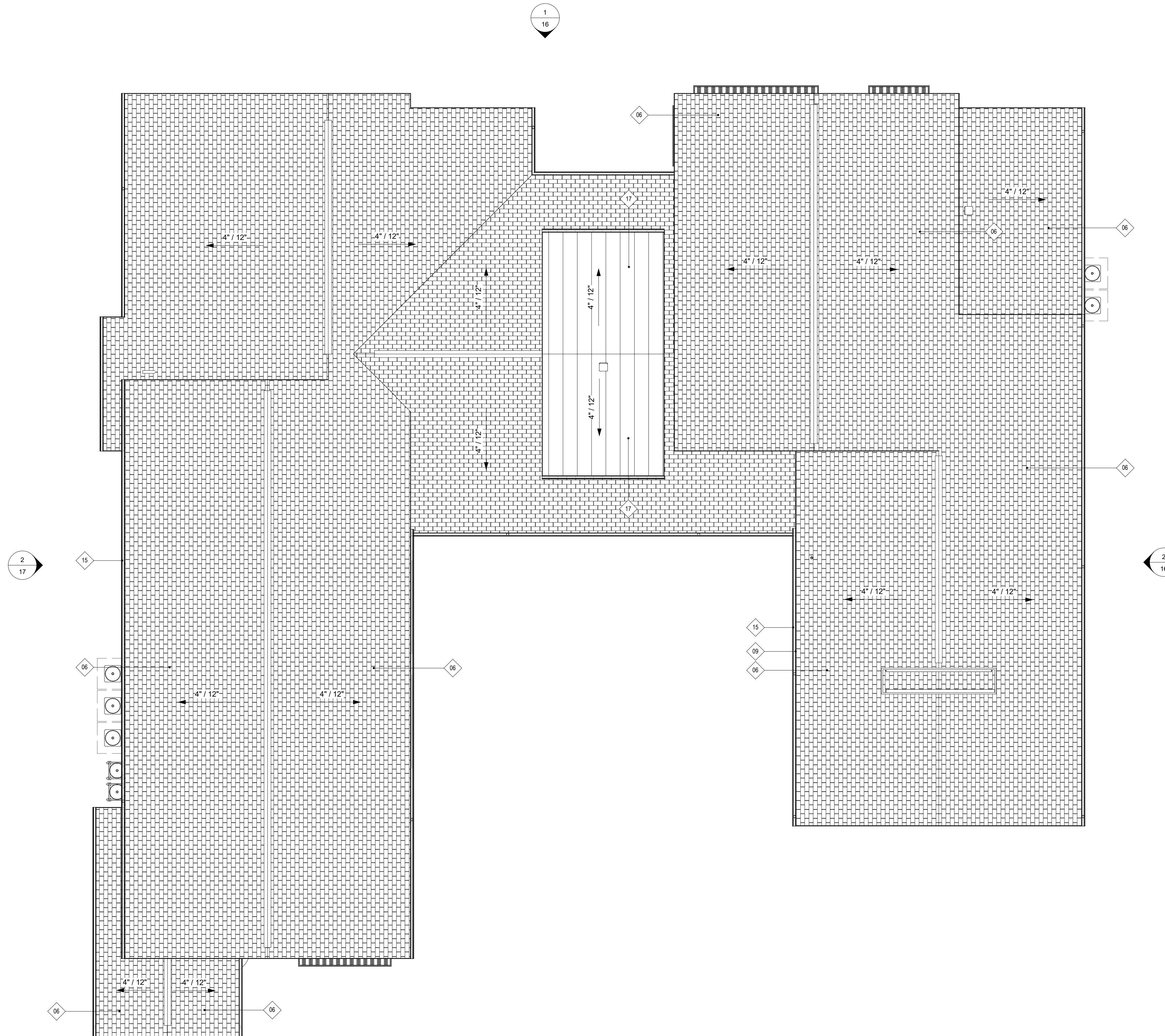
**AURA AT CROSSROADS**

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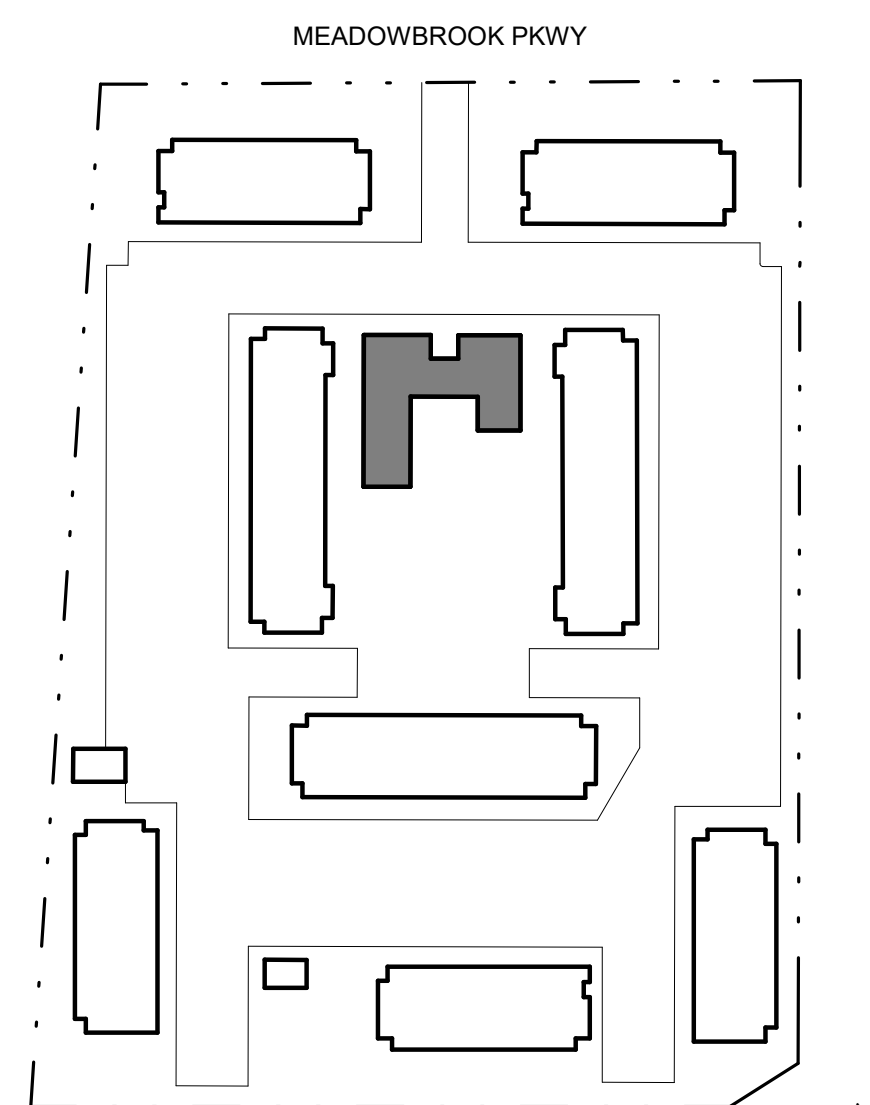
# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



MATERIAL LEGEND	
	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
	FIBER CEMENT B&B SIDING - SW 7069 IRON ORE
	ADHERED STONE VENEER - SUNSET STONE GAPE COD STACKED
	ASPHALT SHINGLES - BLACK
	STANDING SEAM - SW 2926 IRON GATE
	METAL RAILING - SW 2926 IRON GATE
	FIBER CEMENT HORIZONTAL RAILING - CEDAR
	CMU - GRAY SLATE

KEYNOTES	
NO.	NOTE
06	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
09	FIBER CEMENT FASCIA - SW 7069 IRON ORE
15	METAL GUTTER - SW 7069 IRON ORE
17	METAL RAILING - SW 2926 IRON GATE



**SITE PLAN**

ISSUE DATE: 08-06-2021	PROJECT #: 220083
DATE	REVISION COMMENTS
10-29-2021	PER COUNTY COMMENTS



**1 CLUBHOUSE/LEASING - ROOF PLAN**  
1/8" = 1'-0"



TRINIS ACQUISITION COMPANY, LLC  
8235 DOUGLAS AVENUE, SUITE 950  
DALLAS, TX 75225  
P: 970.819.9968

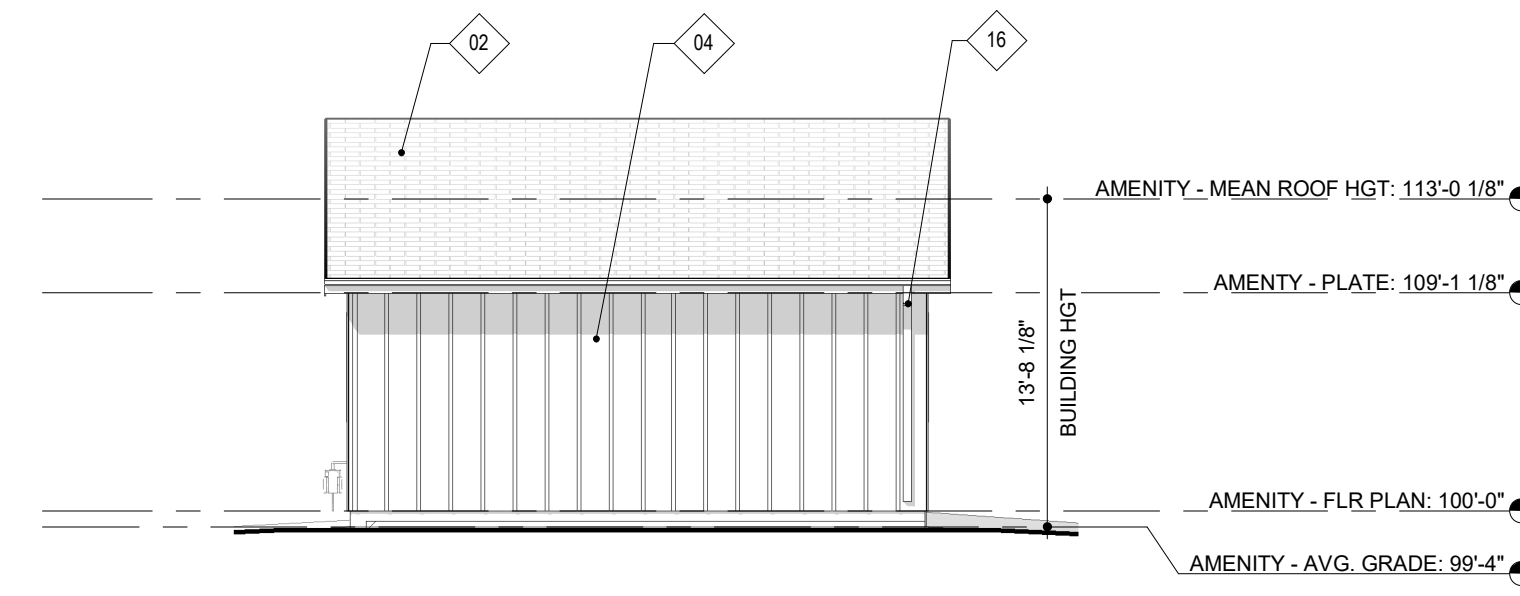
**CLUBHOUSE - ROOF  
PLAN**  
SHEET 10 OF 29  
PCD FILE NO. PPR-21-041

PROJECT #: 220083

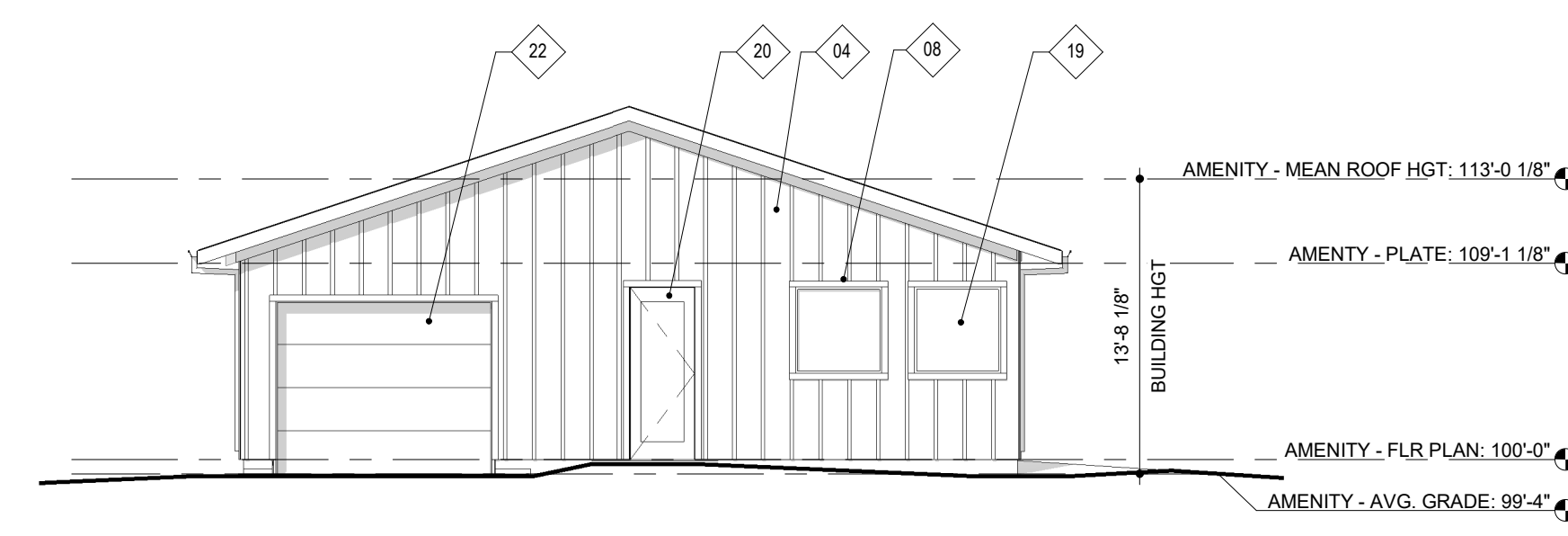
# AURA AT CROSSROADS

## SITE DEVELOPMENT PLAN

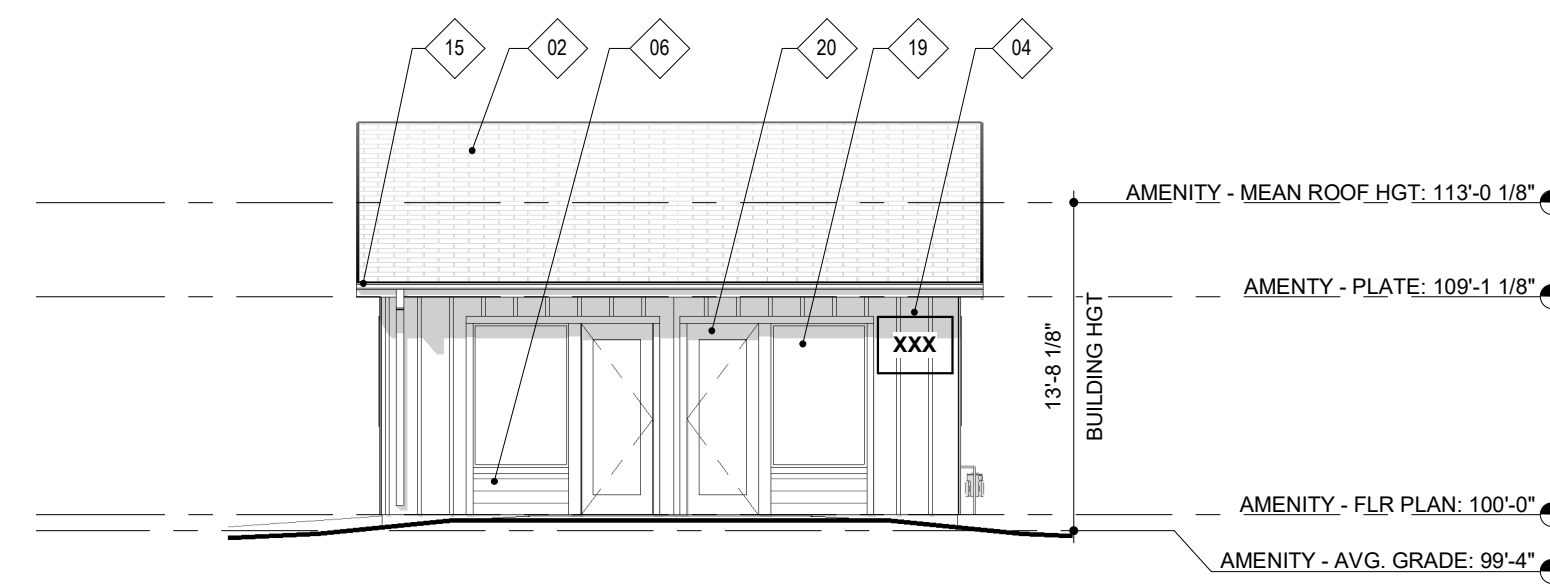
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WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



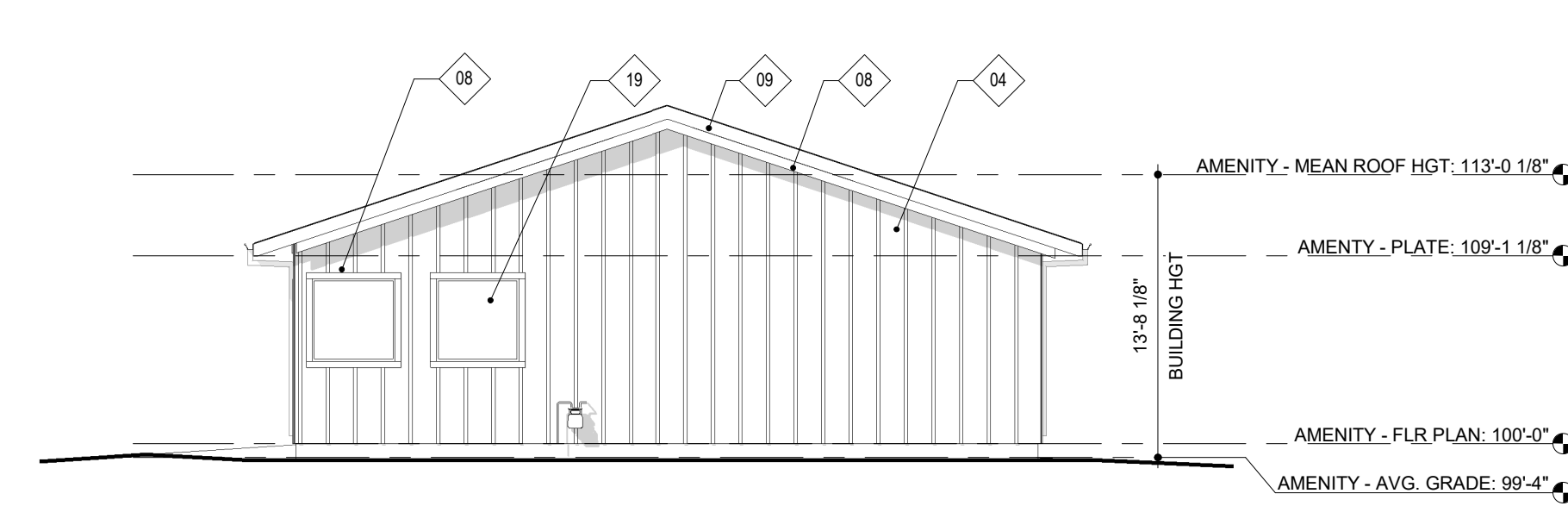
**6 AMENITY - RIGHT ELEVATION**  
1/8" = 1'-0"



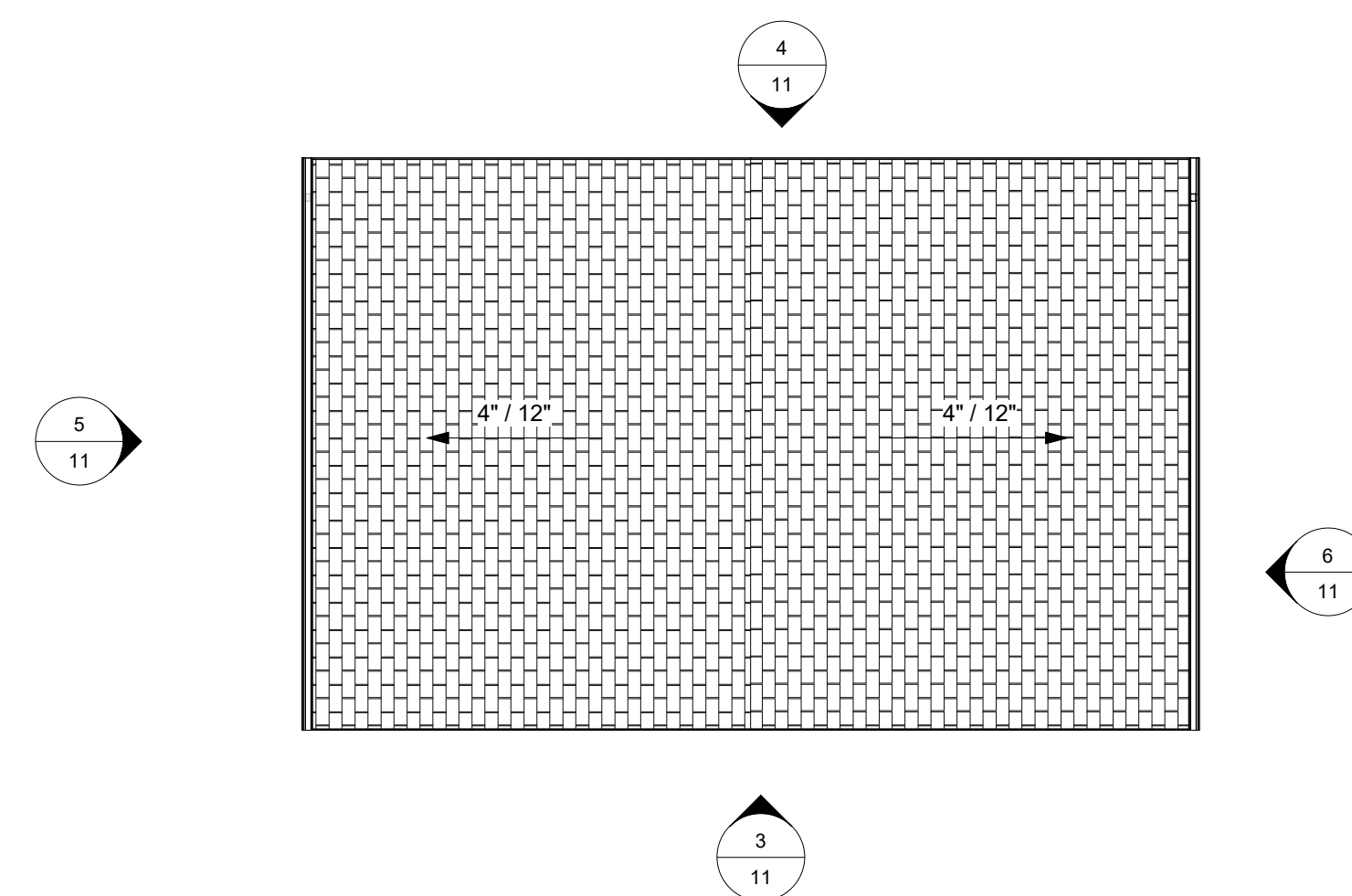
**4 AMENITY - REAR ELEVATION**  
1/8" = 1'-0"



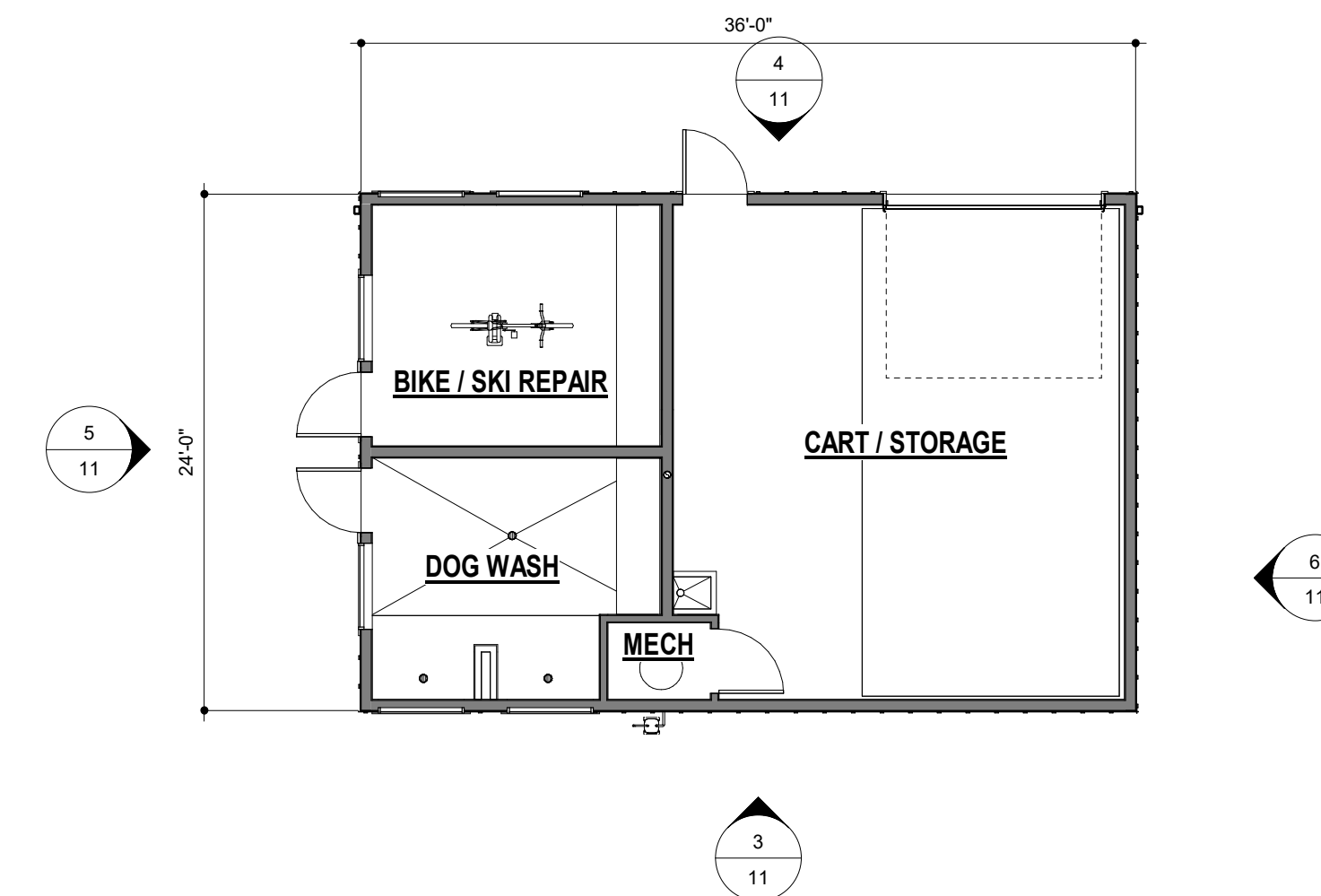
**5 AMENITY - LEFT ELEVATION**  
1/8" = 1'-0"



**3 AMENITY - SOUTH ELEVATION**  
1/8" = 1'-0"



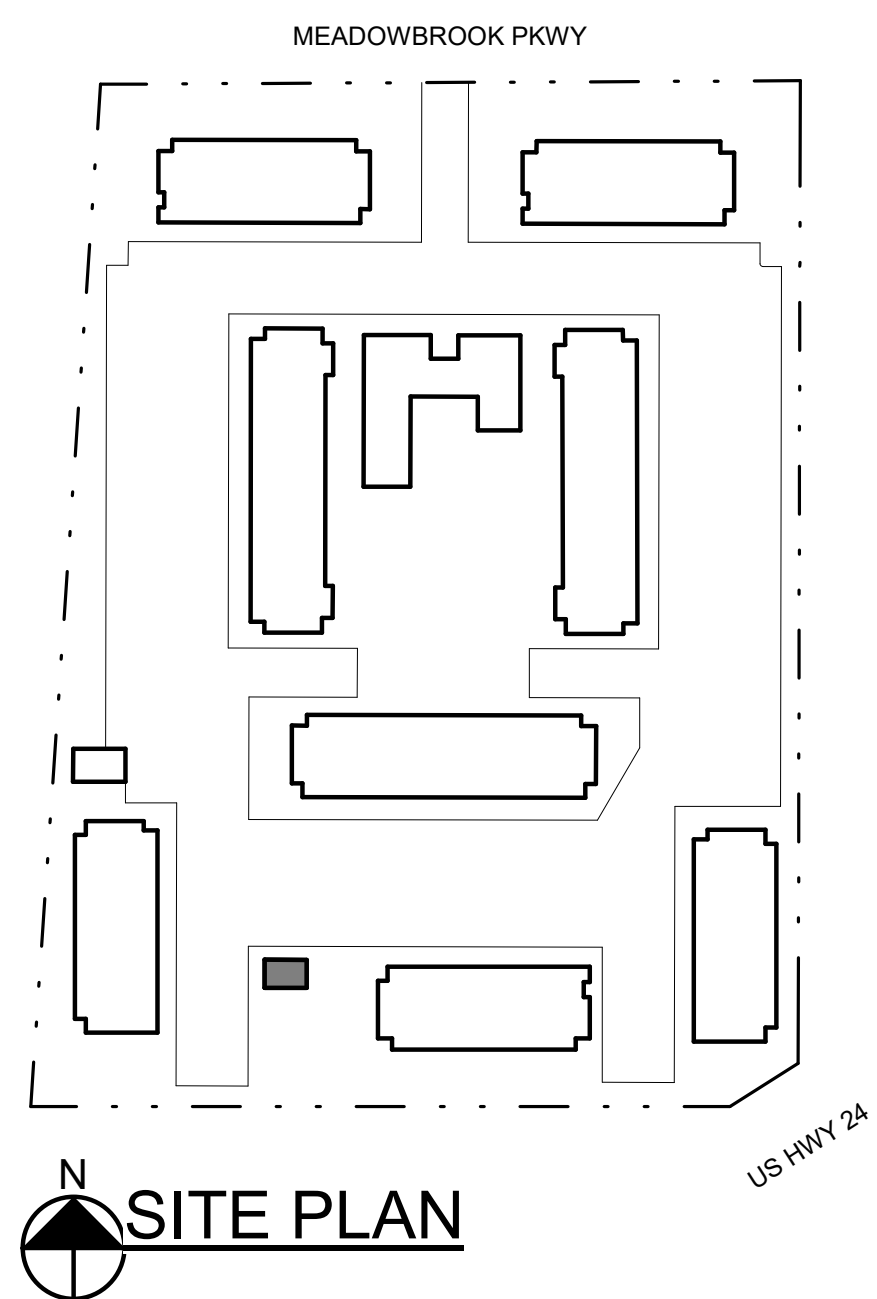
**2 AMENITY - ROOF PLAN**  
1/8" = 1'-0"



**1 AMENITY - PLANNING LEVEL 1**  
1/8" = 1'-0"

MATERIAL LEGEND	
	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
	FIBER CEMENT B&B SIDING - SW 7069 IRON ORE
	ADHERED STONE VENEER - SUNSET STONE CAPE COD STACKED
	ASPHALT SHINGLES - BLACK
	STANDING SEAM - SW 2926 IRON GATE
	METAL RAILING - SW 2926 IRON GATE
	FIBER CEMENT HORIZONTAL RAILING - CEDAR
	CMU - GRAY SLATE

KEYNOTES	
NO.	NOTE
02	ASPHALT SHINGLE ROOF - TAMKO BLACK
04	FIBER CEMENT BOARD & BATTEN SIDING - SW 7069 IRON ORE
06	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
08	FIBER CEMENT TRIM - SW 7069 IRON ORE
09	FIBER CEMENT FASCIA - SW 7069 IRON ORE
15	METAL GUTTER - SW 7069 IRON ORE
16	METAL DOWNSPOUT - PAINT TO MATCH ADJACENT FINISH
19	VINYL WINDOW - ALMOND
20	METAL CLAD EXTERIOR DOOR
22	SECTIONAL OVERHEAD GARAGE DOOR



**SITE PLAN**

ISSUE DATE:	08-06-2021	PROJECT #:	220083
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AMENITY BLDG - PLANS  
/ ELEVATIONS  
SHEET 11 OF 29  
PCD FILE NO. PPR-21-041  
AURA AT CROSSROADS

TRINIS ACQUISITION COMPANY, LLC  
8235 DOUGLAS AVENUE, SUITE 950  
DALLAS, TX 75225  
P: 970.819.9968

PROJECT # 220083



# AURA AT CROSSROADS

## SITE DEVELOPMENT PLAN

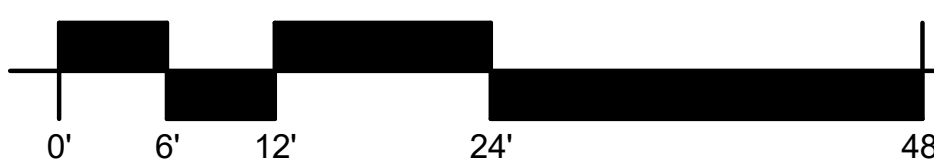
SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



**2 BUILDING TYPE A - PLANNING LEFT ELEVATION**  
3/32" = 1'-0"

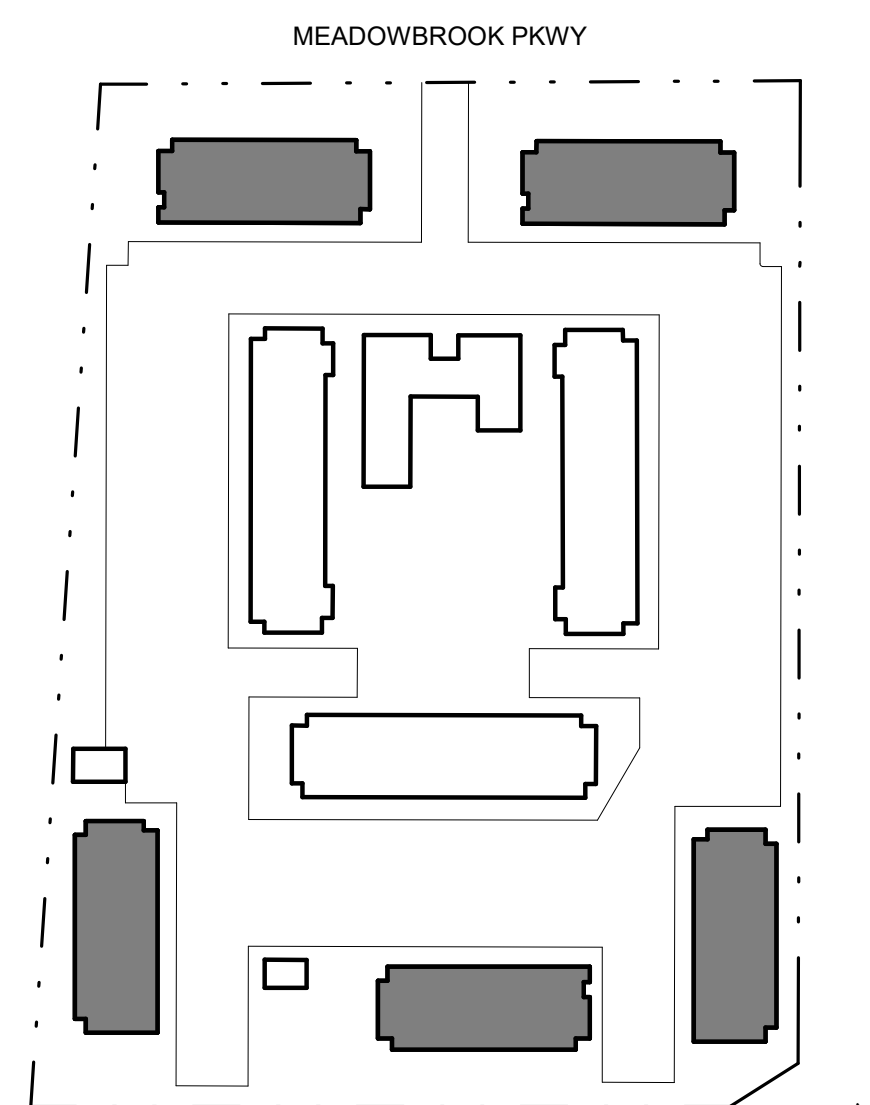


**1 BUILDING TYPE A - PLANNING FRONT ELEVATION**  
3/32" = 1'-0"



MATERIAL LEGEND	
	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
	FIBER CEMENT B&B SIDING - SW 7069 IRON ORE
	ADHERED STONE VENEER - SUNSET STONE CAPE COD STACKED
	ASPHALT SHINGLES - BLACK
	STANDING SEAM - SW 2926 IRON GATE
	METAL RAILING - SW 2926 IRON GATE
	FIBER CEMENT HORIZONTAL RAILING - CEDAR
	CMU - GRAY SLATE

KEYNOTES	
NO.	NOTE
02	ASPHALT SHINGLE ROOF - TAMKO BLACK
04	FIBER CEMENT BOARD & BATTEN SIDING - SW 7069 IRON ORE
05	ADHERED STONE VENEER - SUNSET STONE CAPE COD
06	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
07	FIBER CEMENT TRIM - SW 0077 CLASSIC FRENCH GREY
08	FIBER CEMENT TRIM - SW 7069 IRON ORE
09	FIBER CEMENT FASCIA - SW 7069 IRON ORE
10	PRECAST STONE WALL CAP/SILL/HEADER
12	FIBER CEMENT PANEL SIDING - SW 2926 IRON GATE
15	METAL GUTTER - SW 7069 IRON ORE
16	METAL DOWNSPOUT - PAINT TO MATCH ADJACENT FINISH
17	METAL RAILING - SW 2926 IRON GATE
18	WOOD HORIZONTAL RAILING - CEDAR
19	VINYL WINDOW - ALMOND
20	METAL CLAD EXTERIOR DOOR
25	BUILDING ENTRY
27	MECHANICAL EQUIPMENT
28	WATER SERVICE ENTRY ROOM
29	GAS METER/ELECTRICAL METERS



**SITE PLAN**

ISSUE DATE: 08-06-2021	PROJECT #: 220083
DATE	REVISION COMMENTS
10-29-2021	PER COUNTY COMMENTS



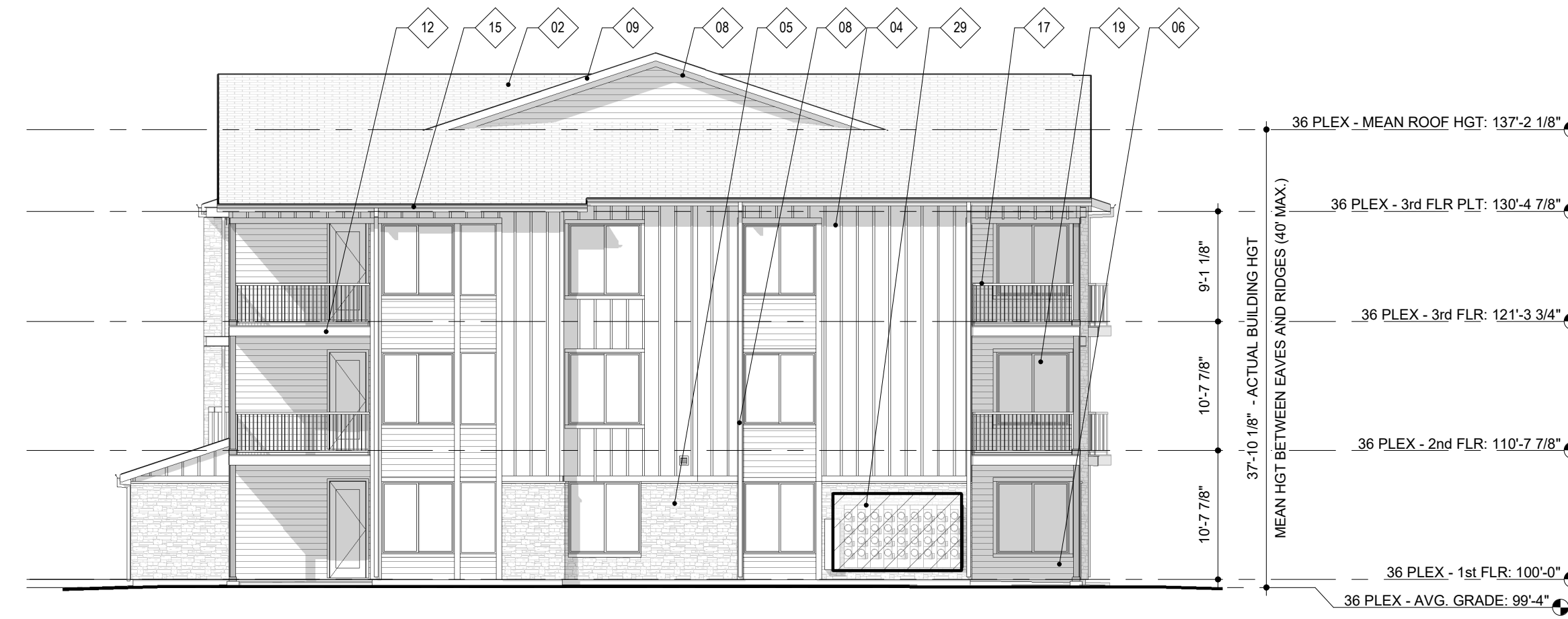
# AURA AT CROSSROADS

## SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO

MATERIAL LEGEND	
	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
	FIBER CEMENT B&B SIDING - SW 7069 IRON ORE
	ADHERED STONE VENEER - SUNSET STONE CAPE COD STACKED
	ASPHALT SHINGLES - BLACK
	STANDING SEAM - SW 2926 IRON GATE
	METAL RAILING - SW 2926 IRON GATE
	FIBER CEMENT HORIZONTAL RAILING - CEDAR
	CMU - GRAY SLATE

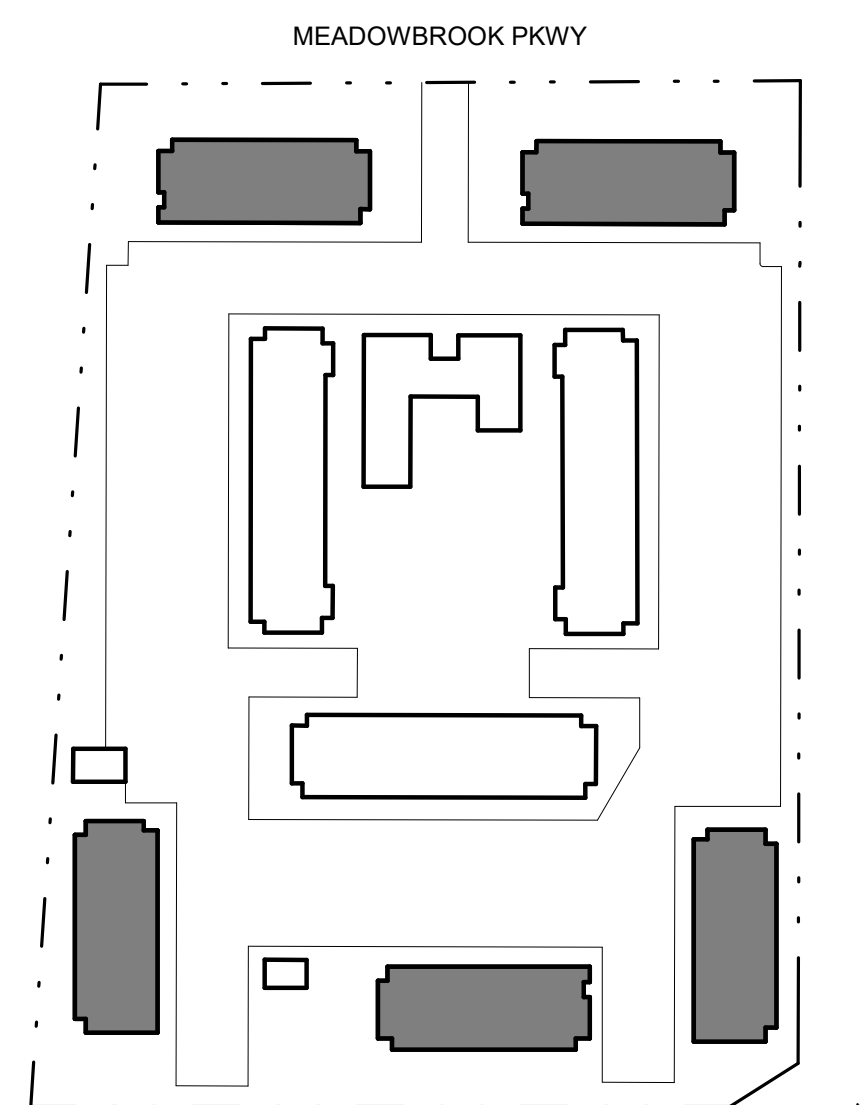
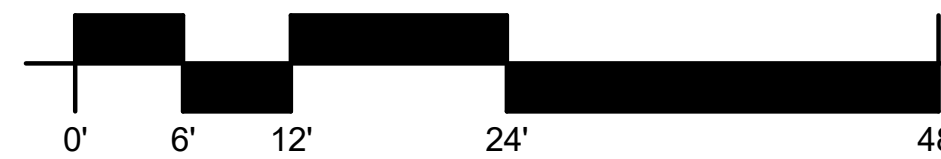
KEYNOTES	
NO.	NOTE
02	ASPHALT SHINGLE ROOF - TAMKO BLACK
04	FIBER CEMENT BOARD & BATTEN SIDING - SW 7069 IRON ORE
05	ADHERED STONE VENEER - SUNSET STONE CAPE COD
06	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
07	FIBER CEMENT TRIM - SW 0077 CLASSIC FRENCH GREY
08	FIBER CEMENT TRIM - SW 7069 IRON ORE
09	FIBER CEMENT FASCIA - SW 7069 IRON ORE
10	PRECAST STONE WALL CAP/SILL/HEADER
12	FIBER CEMENT PANEL SIDING - SW 2926 IRON GATE
15	METAL GUTTER - SW 7069 IRON ORE
16	METAL DOWNSPOUT - PAINT TO MATCH ADJACENT FINISH
17	METAL RAILING - SW 2926 IRON GATE
19	VINYL WINDOW - ALMOND
20	METAL CLAD EXTERIOR DOOR
29	GAS METER/ELECTRICAL METERS



**2 BUILDING TYPE A - PLANNING RIGHT ELEVATION**  
3/32" = 1'-0"



**1 BUILDING TYPE A - PLANNING REAR ELEVATION**  
3/32" = 1'-0"



**SITE PLAN**

ISSUE DATE: 08-06-2021	PROJECT #: 220083
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10-29-2021	PER COUNTY COMMENTS

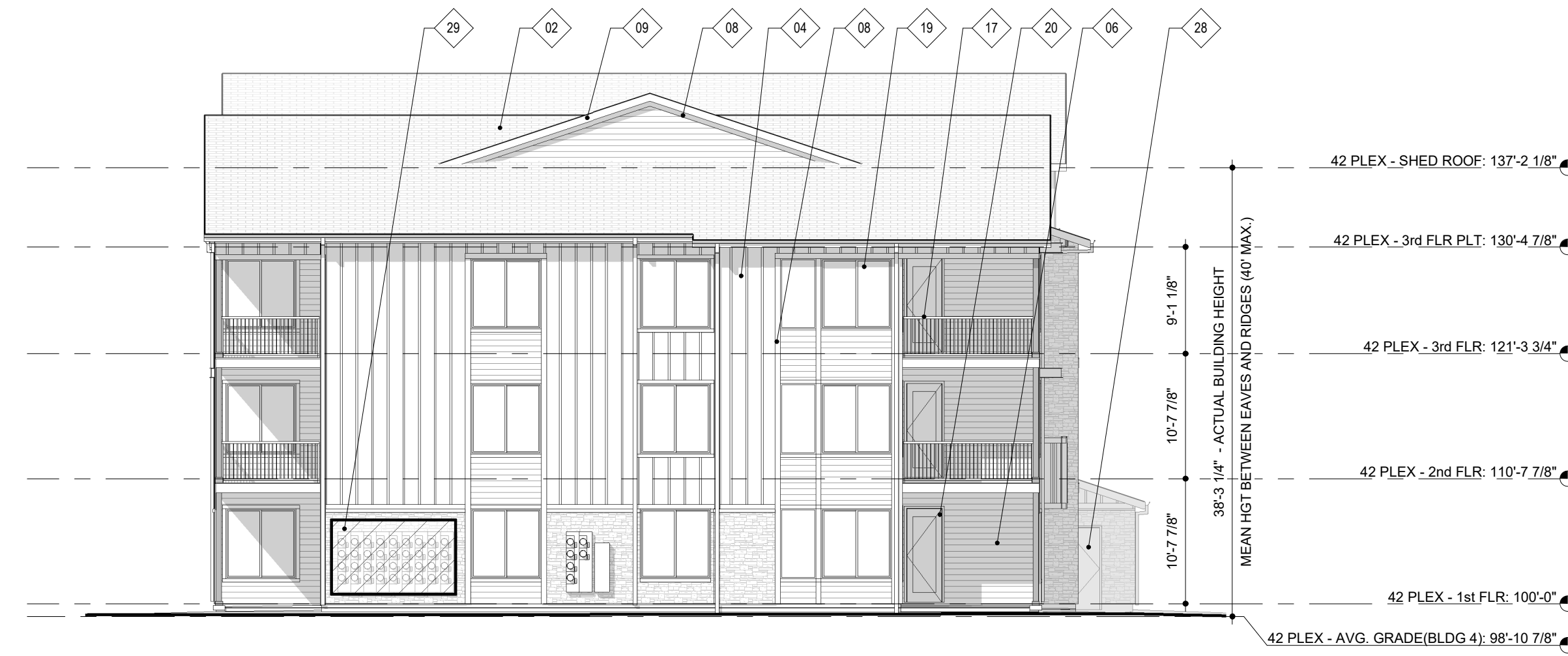




# AURA AT CROSSROADS

## SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



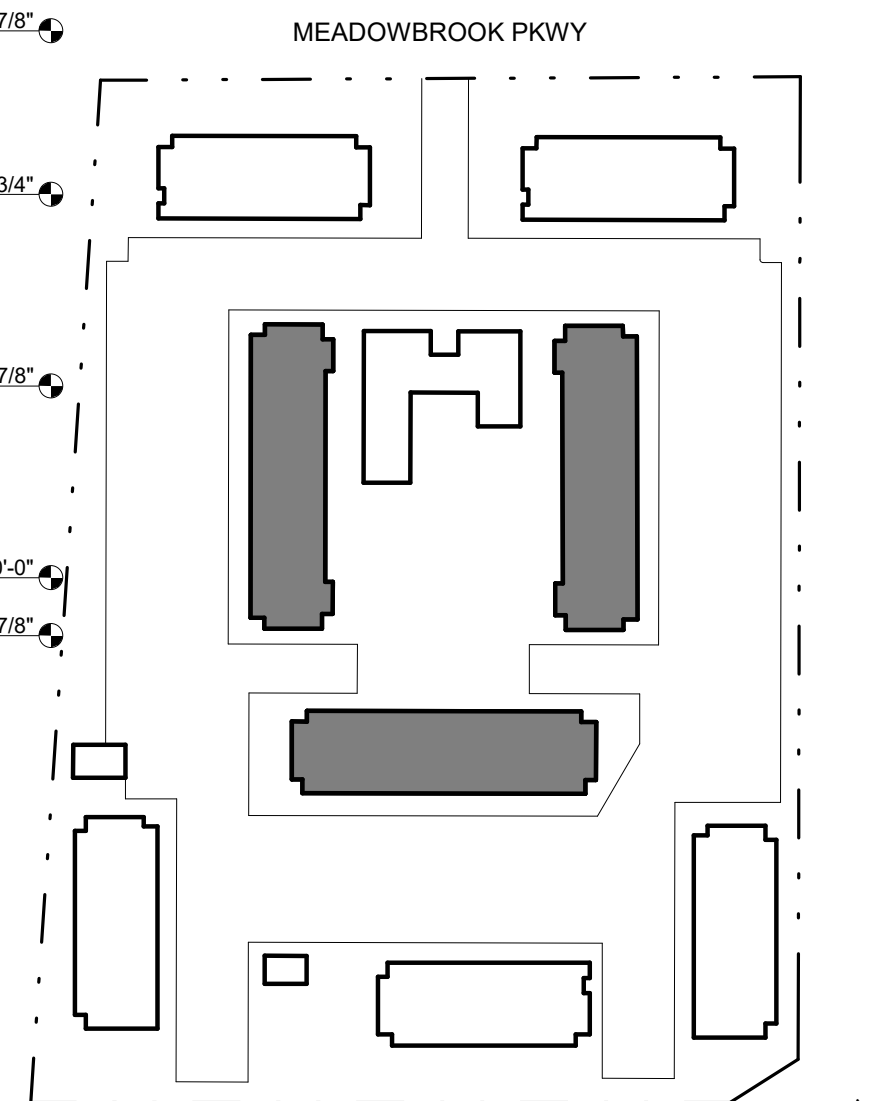
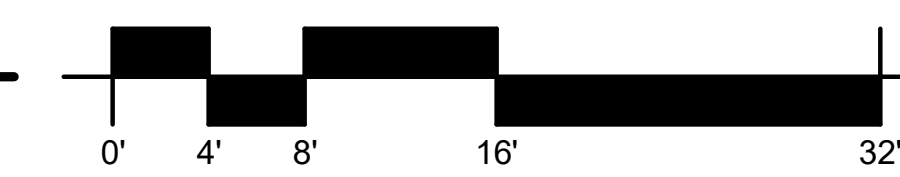
**2** BUILDING TYPE B - PLANNING LEFT ELEVATION  
3/32" = 1'-0"

MATERIAL LEGEND	
	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
	FIBER CEMENT B&B SIDING - SW 7069 IRON ORE
	ADHERED STONE VENEER - SUNSET STONE CAPE COD STACKED
	ASPHALT SHINGLES - BLACK
	STANDING SEAM - SW 2926 IRON GATE
	METAL RAILING - SW 2926 IRON GATE
	FIBER CEMENT HORIZONTAL RAILING - CEDAR
	CMU - GRAY SLATE

KEYNOTES	
NO.	NOTE
02	ASPHALT SHINGLE ROOF - TAMKO BLACK
04	FIBER CEMENT BOARD & BATTEN SIDING - SW 7069 IRON ORE
05	ADHERED STONE VENEER - SUNSET STONE CAPE COD
06	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
07	FIBER CEMENT TRIM - SW 0077 CLASSIC FRENCH GREY
08	FIBER CEMENT TRIM - SW 7069 IRON ORE
09	FIBER CEMENT FASCIA - SW 7069 IRON ORE
10	PRECAST STONE WALL CAP/SILL/HEADER
12	FIBER CEMENT PANEL SIDING - SW 2926 IRON GATE
15	METAL GUTTER - SW 7069 IRON ORE
16	METAL DOWNSPOUT - PAINT TO MATCH ADJACENT FINISH
17	METAL RAILING - SW 2926 IRON GATE
18	WOOD HORIZONTAL RAILING - CEDAR
19	W/WR WINDOW - ALMOND
20	METAL CLAD EXTERIOR DOOR
22	SECTIONAL OVERHEAD GARAGE DOOR
25	BUILDING ENTRY
28	WATER SERVICE ENTRY ROOM
29	GAS METER/ELECTRICAL METERS



**1** BUILDING TYPE B - PLANNING FRONT ELEVATION  
3/32" = 1'-0"



**SITE PLAN**

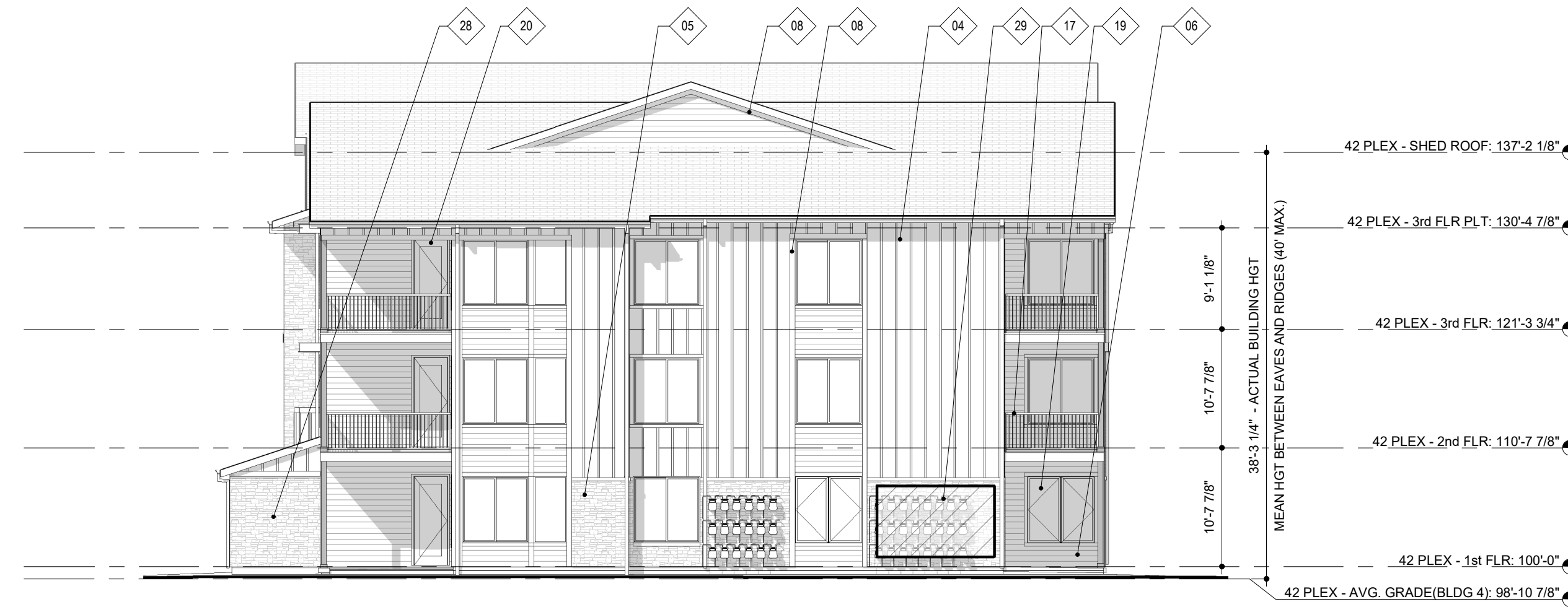
ISSUE DATE:	08-06-2021	PROJECT #:	220083
DATE	10-29-2021	REVISION COMMENTS	PER COUNTY COMMENTS



# AURA AT CROSSROADS

## SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



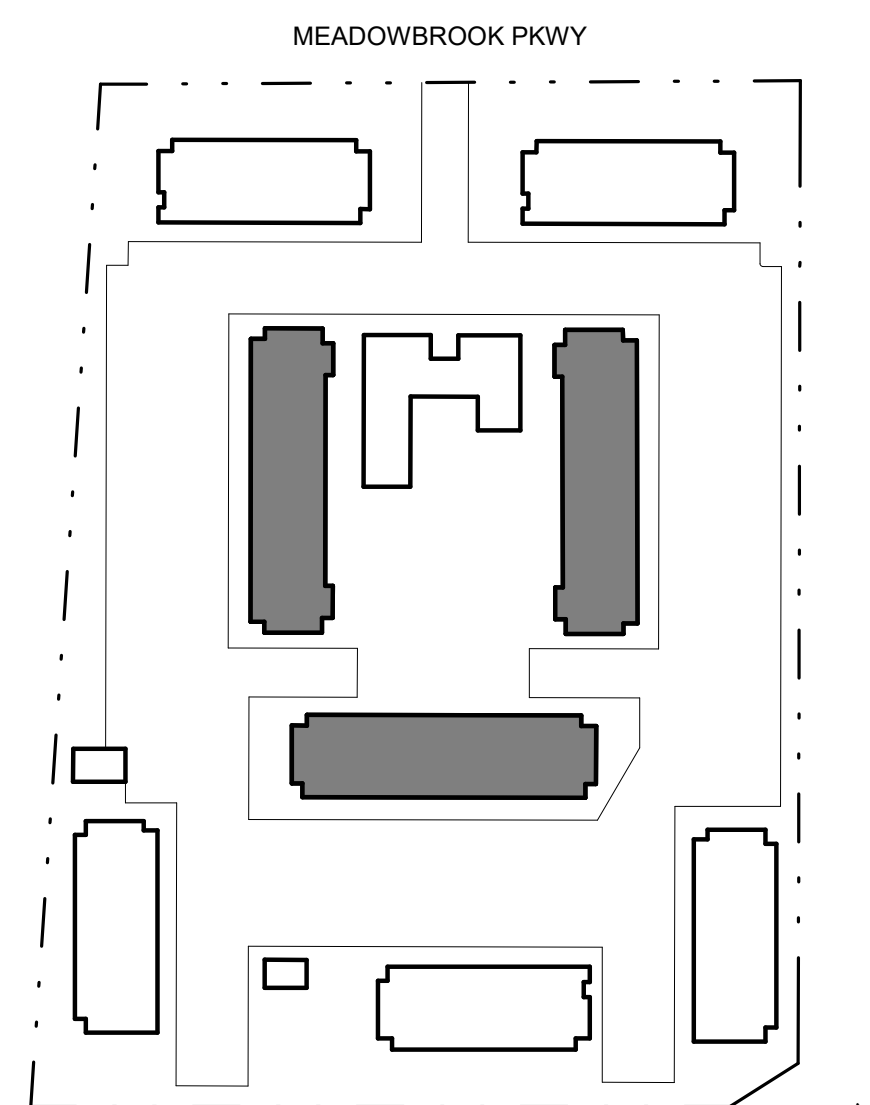
**2 BUILDING TYPE B - PLANNING RIGHT ELEVATION**  
3/32" = 1'-0"

MATERIAL LEGEND	
	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
	FIBER CEMENT B&B SIDING - SW 7069 IRON ORE
	ADHERED STONE VENEER - SUNSET STONE CAPE COD STACKED
	ASPHALT SHINGLES - BLACK
	STANDING SEAM - SW 2926 IRON GATE
	METAL RAILING - SW 2926 IRON GATE
	FIBER CEMENT HORIZONTAL RAILING - CEDAR
	CMU - GRAY SLATE

KEYNOTES	
NO.	NOTE
02	ASPHALT SHINGLE ROOF - TAMKO BLACK
04	FIBER CEMENT BOARD & BATTEN SIDING - SW 7069 IRON ORE
05	ADHERED STONE VENEER - SUNSET STONE CAPE COD
06	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
08	FIBER CEMENT TRIM - SW 7069 IRON ORE
09	FIBER CEMENT FASCIA - SW 7069 IRON ORE
12	FIBER CEMENT PANEL SIDING - SW 2926 IRON GATE
15	METAL GUTTER - SW 7069 IRON ORE
16	METAL DOWNSPOUT - PAINT TO MATCH ADJACENT FINISH
17	METAL RAILING - SW 2926 IRON GATE
19	VINYL WINDOW - ALMOND
20	METAL CLAD EXTERIOR DOOR
28	WATER SERVICE ENTRY ROOM
29	GAS METER/ELECTRICAL METERS



**1 BUILDING TYPE B - PLANNING REAR ELEVATION**  
3/32" = 1'-0"



**SITE PLAN**

ISSUE DATE: 08-06-2021	PROJECT #: 220083
DATE	REVISION COMMENTS
10-29-2021	PER COUNTY COMMENTS

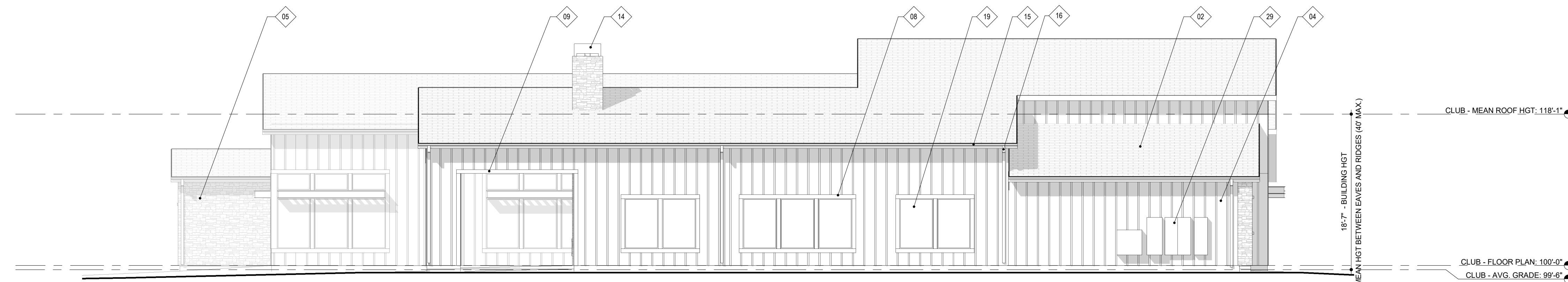




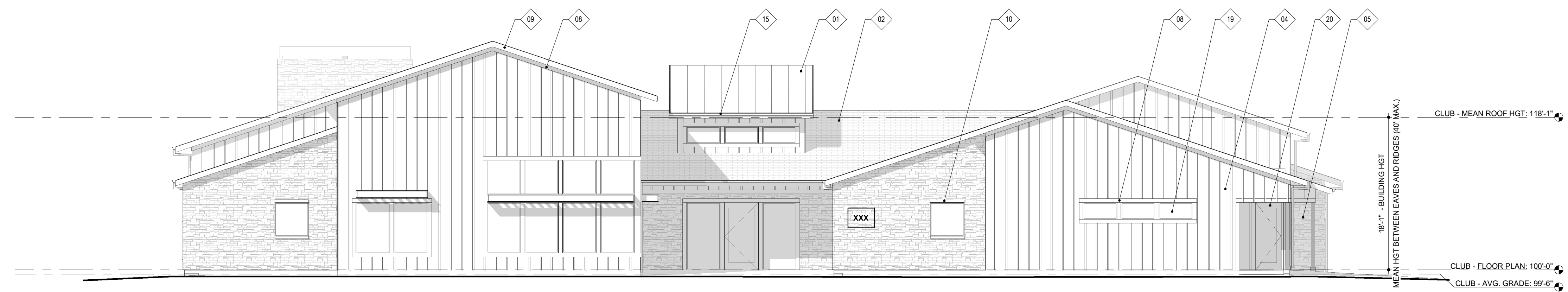
# AURA AT CROSSROADS

## SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



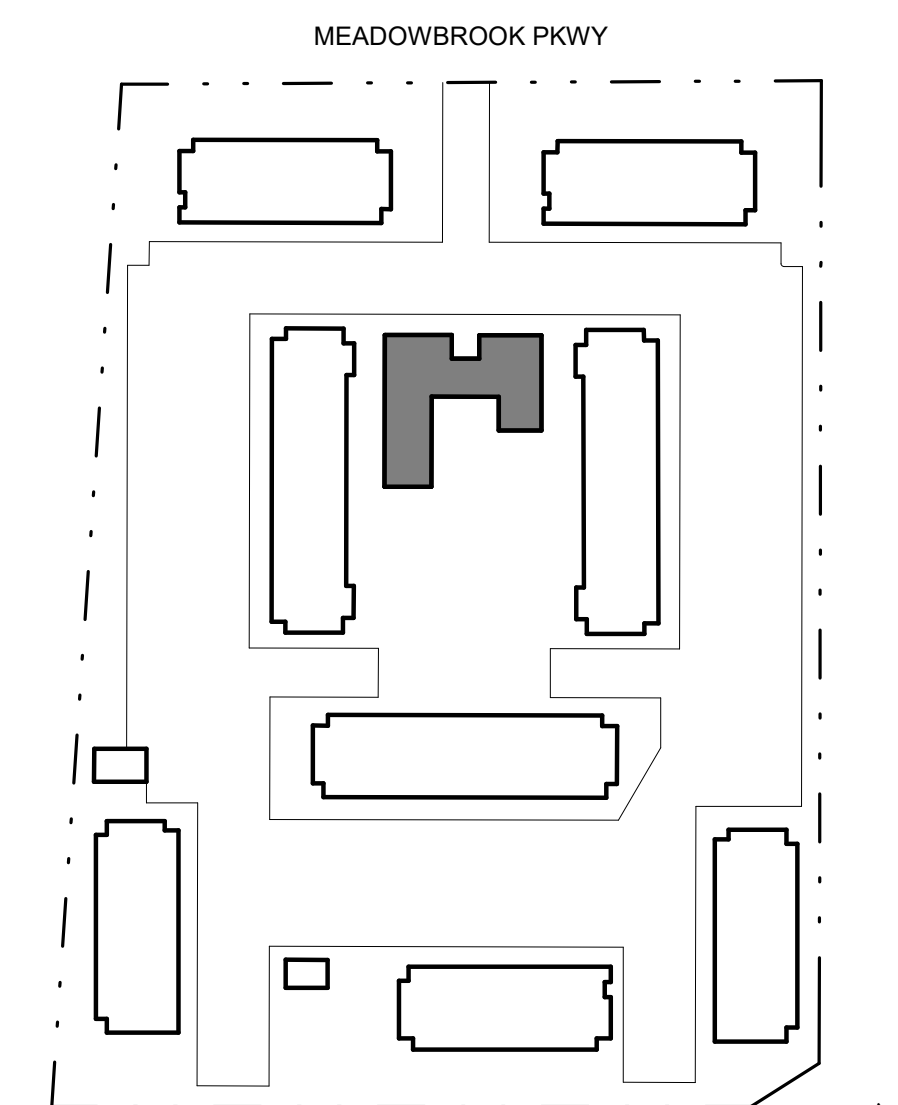
2 CLUBHOUSE/LEASING - PLANNING EAST ELEVATION  
1/8" = 1'-0"



1 CLUBHOUSE/LEASING - PLANNING NORTH ELEVATION  
1/8" = 1'-0"

MATERIAL LEGEND	
[Symbol]	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
[Symbol]	FIBER CEMENT B&B SIDING - SW 7069 IRON ORE
[Symbol]	ADHERED STONE VENEER - SUNSET STONE CAPE COD STACKED
[Symbol]	ASPHALT SHINGLES - BLACK
[Symbol]	STANDING SEAM - SW 2926 IRON GATE
[Symbol]	METAL RAILING - SW 2926 IRON GATE
[Symbol]	FIBER CEMENT HORIZONTAL RAILING - CEDAR
[Symbol]	CMU - GRAY SLATE

KEYNOTES	
NO.	NOTE
01	STANDING SEAM METAL ROOF - SW 2926 IRON GATE
02	ASPHALT SHINGLE ROOF - TAMKO BLACK
04	FIBER CEMENT BOARD & BATTEN SIDING - SW 7069 IRON ORE
05	ADHERED STONE VENEER - SUNSET STONE CAPE COD
08	FIBER CEMENT TRIM - SW 7069 IRON ORE
09	FIBER CEMENT FASCIA - SW 7069 IRON ORE
10	PRECAST STONE WALL CAP/SILL/HEADER
14	METAL CHIMNEY SHROUD - SW 2926 IRON GATE
15	METAL GUTTER - SW 7069 IRON ORE
16	METAL DOWNSPOUT - PAINT TO MATCH ADJACENT FINISH
19	VINYL WINDOW - ALMOND
20	METAL CLAD EXTERIOR DOOR
29	GAS METER/ELECTRICAL METERS



SITE PLAN

ISSUE DATE: 08-06-2021	PROJECT #: 220083
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TRINIS ACQUISITION COMPANY, LLC  
8235 DOUGLAS AVENUE, SUITE 950  
DALLAS, TX 75225  
P: 970.819.9968

CLUBHOUSE -  
ELEVATIONS  
SHEET 16 OF 29

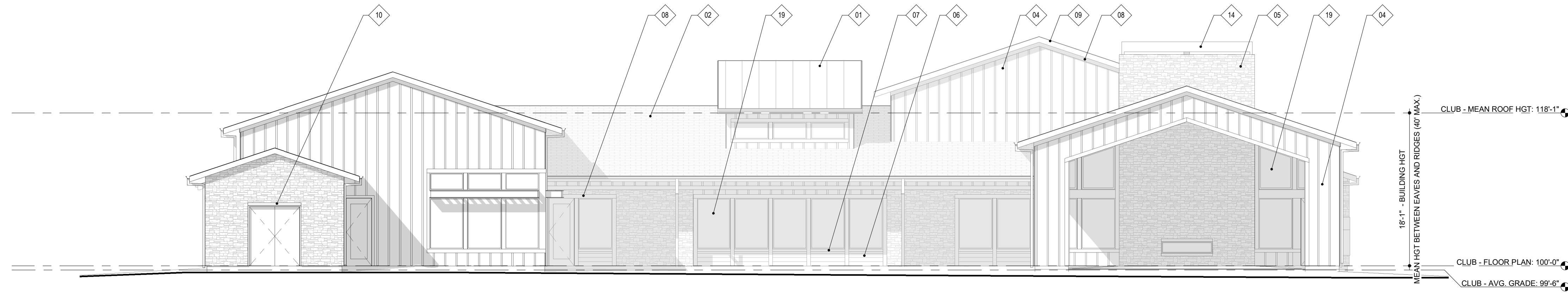
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AURA AT CROSSROADS

PROJECT #: 220083

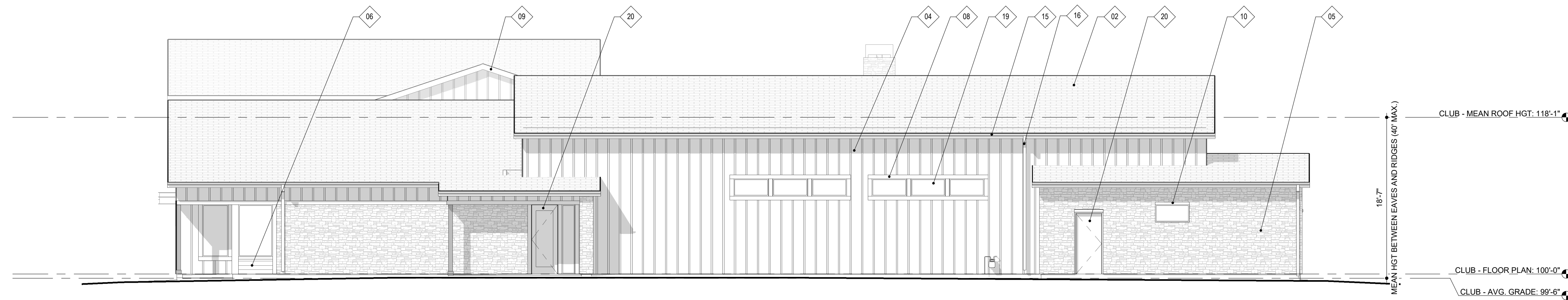
# AURA AT CROSSROADS

## SITE DEVELOPMENT PLAN

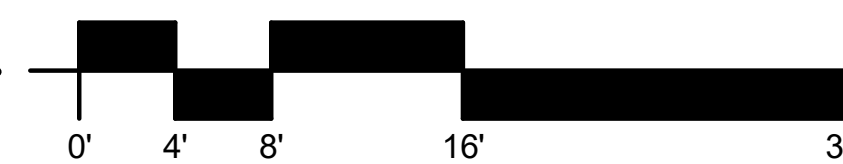
SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



**1 CLUBHOUSE/LEASING - PLANNING SOUTH ELEVATION**  
1/8" = 1'-0"

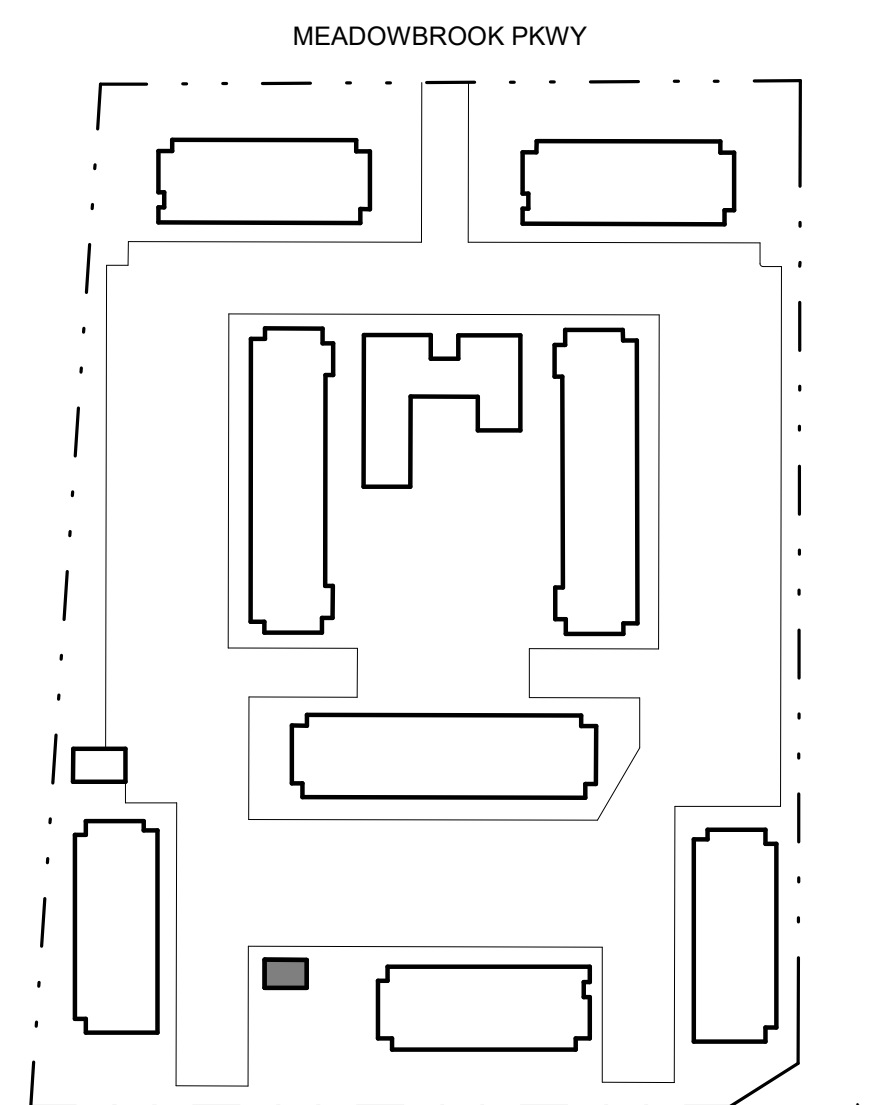


**2 CLUBHOUSE/LEASING - PLANNING WEST ELEVATION**  
1/8" = 1'-0"



MATERIAL LEGEND	
	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
	FIBER CEMENT B&B SIDING - SW 7069 IRON ORE
	ADHERED STONE VENEER - SUNSET STONE CAPE COD STACKED
	ASPHALT SHINGLES - BLACK
	STANDING SEAM - SW 2926 IRON GATE
	METAL RAILING - SW 2926 IRON GATE
	FIBER CEMENT HORIZONTAL RAILING - CEDAR
	CMU - GRAY SLATE

KEYNOTES	
NO.	NOTE
01	STANDING SEAM METAL ROOF - SW 2926 IRON GATE
02	ASPHALT SHINGLE ROOF - TAMKO BLACK
04	FIBER CEMENT BOARD & BATTEN SIDING - SW 7069 IRON ORE
05	ADHERED STONE VENEER - SUNSET STONE CAPE COD
06	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
07	FIBER CEMENT TRIM - SW 0077 CLASSIC FRENCH GREY
08	FIBER CEMENT TRIM - SW 7069 IRON ORE
09	FIBER CEMENT FASCIA - SW 7069 IRON ORE
10	PRECAST STONE WALL CAP/SILL/HEADER
14	METAL CHIMNEY SHROUD - SW 2926 IRON GATE
15	METAL GUTTER - SW 7069 IRON ORE
16	METAL DOWNSPOUT - PAINT TO MATCH ADJACENT FINISH
19	VINYL WINDOW - ALMOND
20	METAL CLAD EXTERIOR DOOR



**SITE PLAN**

ISSUE DATE: 08-06-2021	PROJECT #: 220083
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TRINIS ACQUISITION COMPANY, LLC  
8235 DOUGLAS AVENUE, SUITE 950  
DALLAS, TX 75225  
P: 970.819.9968

**CLUBHOUSE -  
ELEVATIONS**  
SHEET 17 OF 29

PCD FILE NO. PPR-21-041

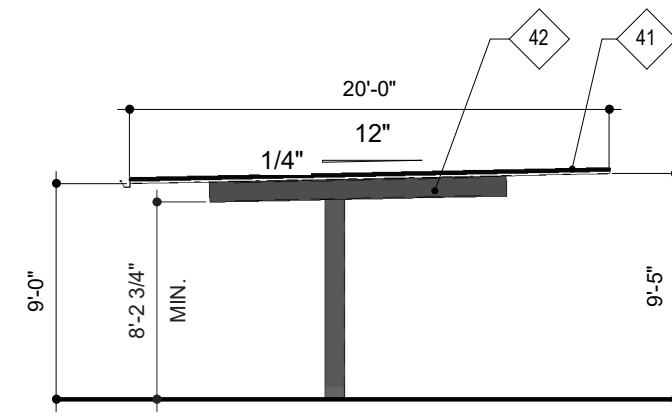
**AURA AT CROSSROADS**

PROJECT #: 220083

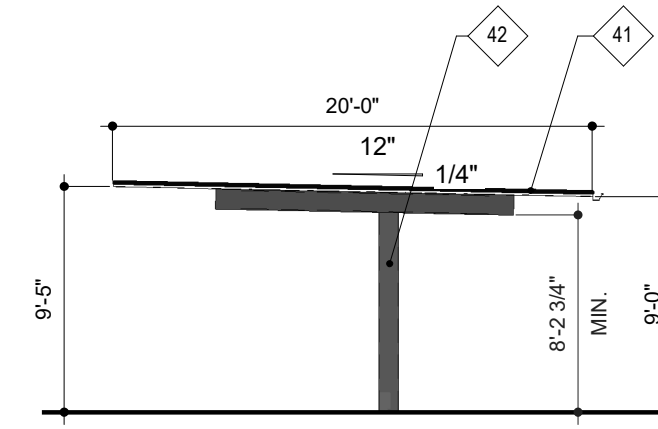


# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



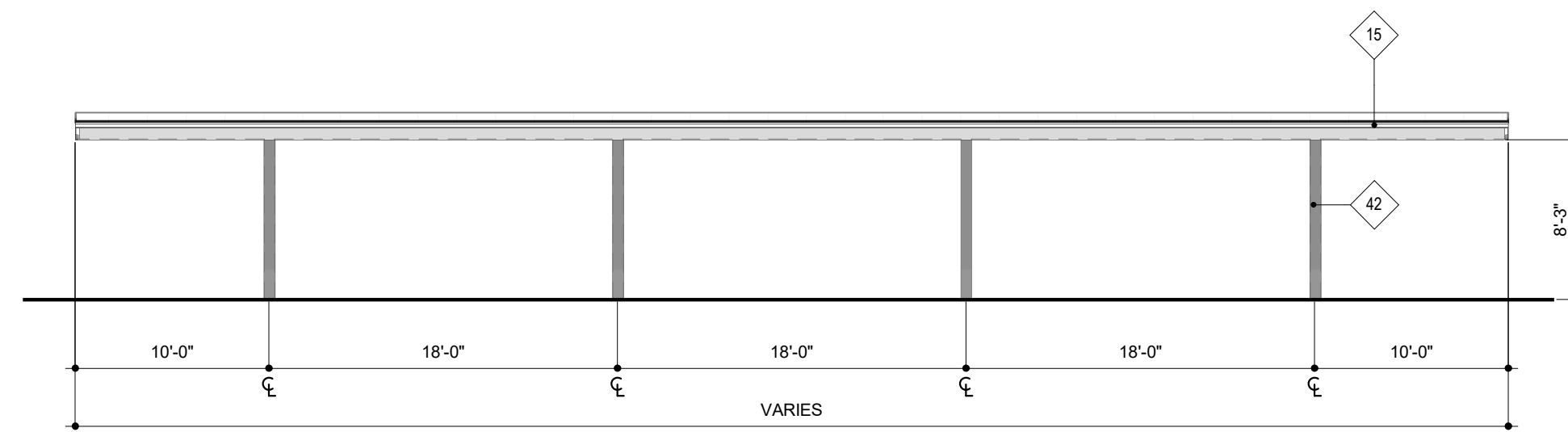
**6 CAR PORT - PLANNING LEFT ELEVATION**  
1/8" = 1'-0"



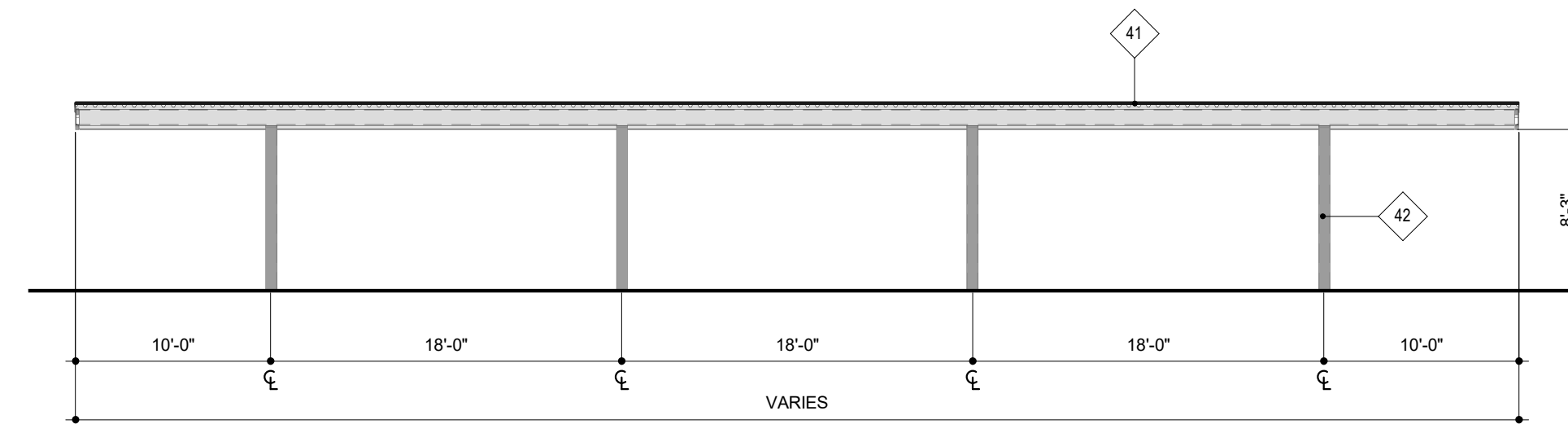
**3 CAR PORT - PLANNING RIGHT ELEVATION**  
1/8" = 1'-0"

MATERIAL LEGEND	
	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
	FIBER CEMENT B&B SIDING - SW 7069 IRON ORE
	ADHERED STONE VENEER - SUNSET STONE GAPE COD STACKED
	ASPHALT SHINGLES - BLACK
	STANDING SEAM - SW 2926 IRON GATE
	METAL RAILING - SW 2926 IRON GATE
	FIBER CEMENT HORIZONTAL RAILING - CEDAR
	CMU - GRAY SLATE

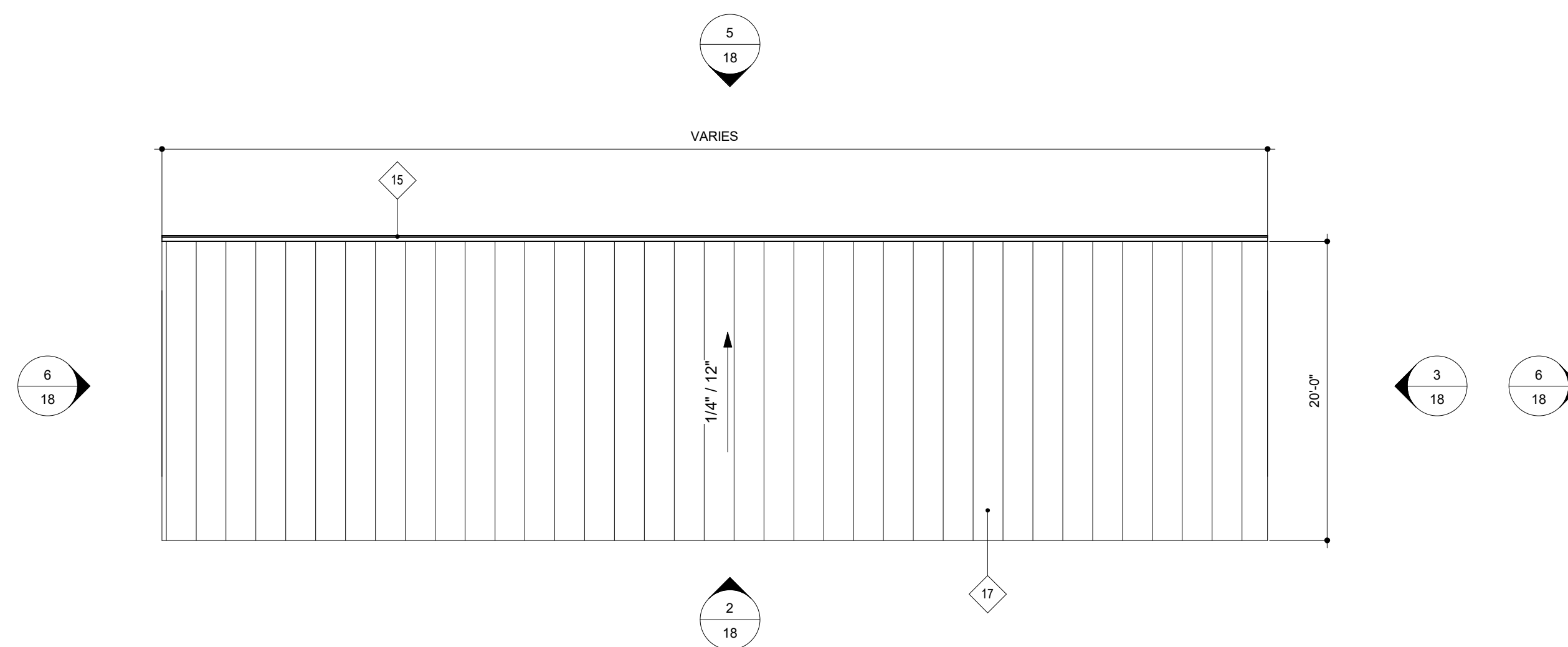
KEYNOTES	
NO.	NOTE
15	METAL GUTTER - SW 7069 IRON ORE
17	METAL RAILING - SW 2926 IRON GATE
40	LINE OF ROOF ABOVE
41	DESIGN / BUILD COVERED CARPORT
42	DESIGN / BUILD COVERED CARPORT STRUCTURE



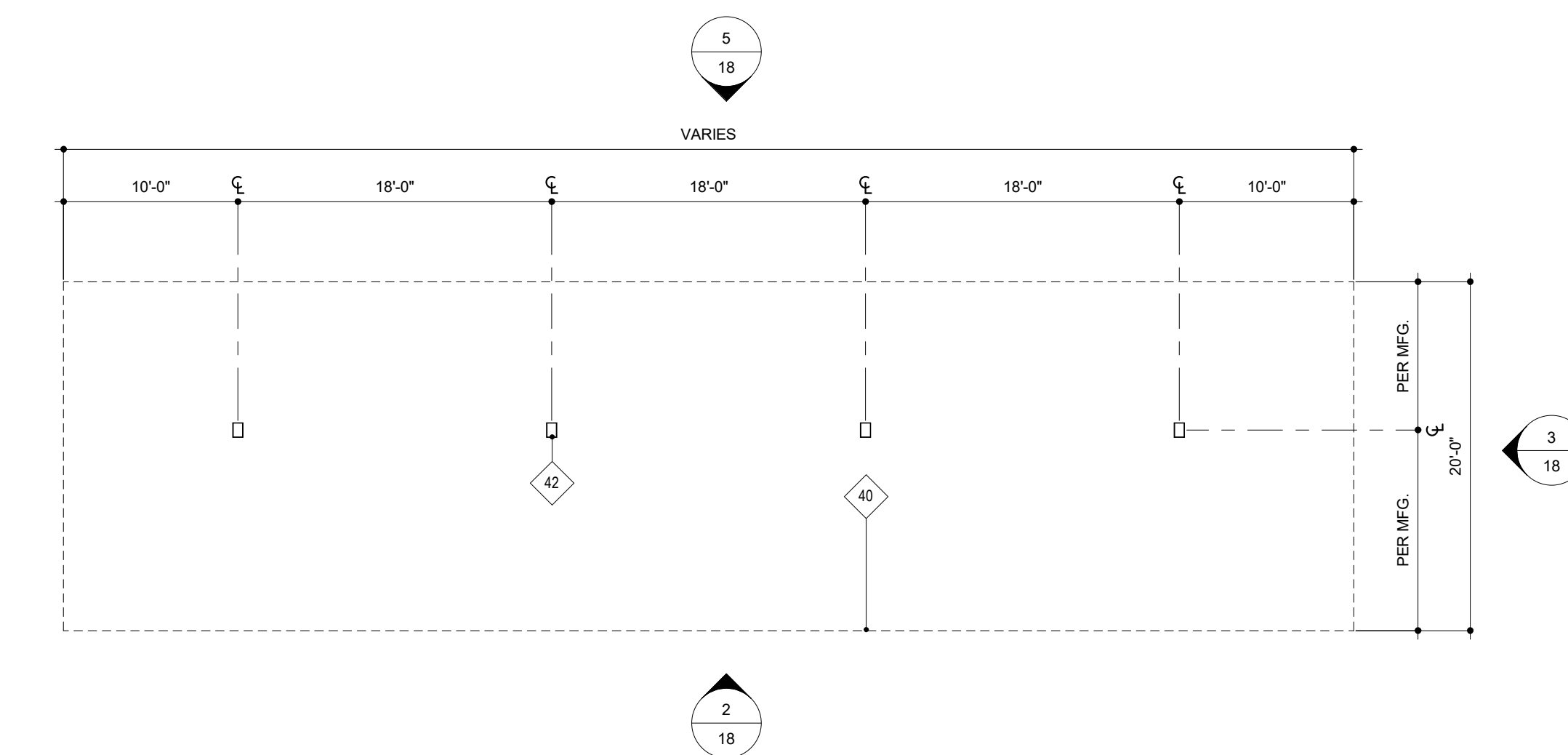
**5 CAR PORT - PLANNING REAR ELEVATION**  
1/8" = 1'-0"



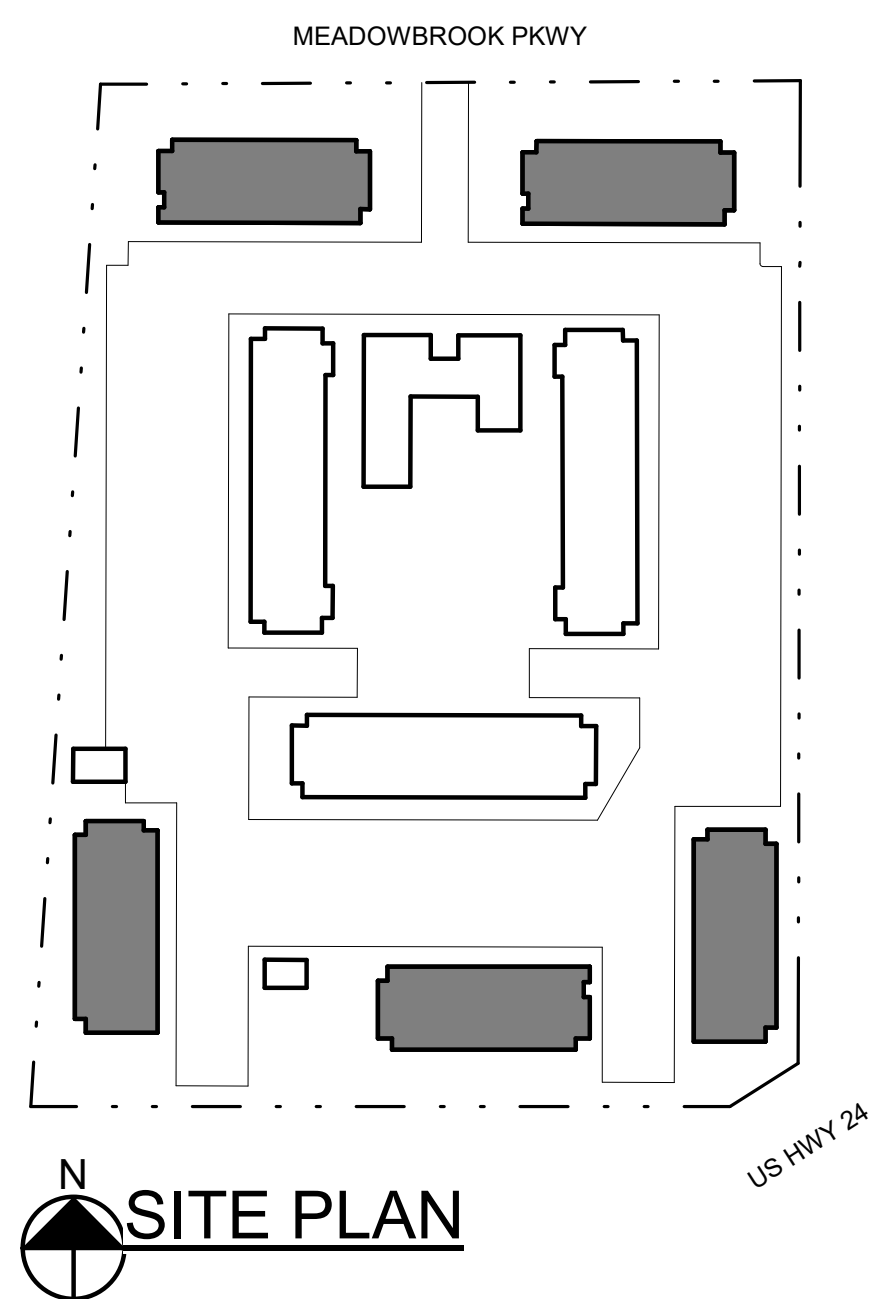
**2 CAR PORT - PLANNING FRONT ELEVATION**  
1/8" = 1'-0"



**4 CAR PORT - ROOF PLAN**  
1/8" = 1'-0"



**1 CAR PORT - LEVEL 1**  
1/8" = 1'-0"



**SITE PLAN**

ISSUE DATE:	PROJECT #:
08-06-2021	220083
DATE	REVISION COMMENTS
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DALLAS, TX 75225  
P: 970.819.9968

**CARPORT - PLANS /  
ELEVATIONS**  
SHEET 18 OF 29

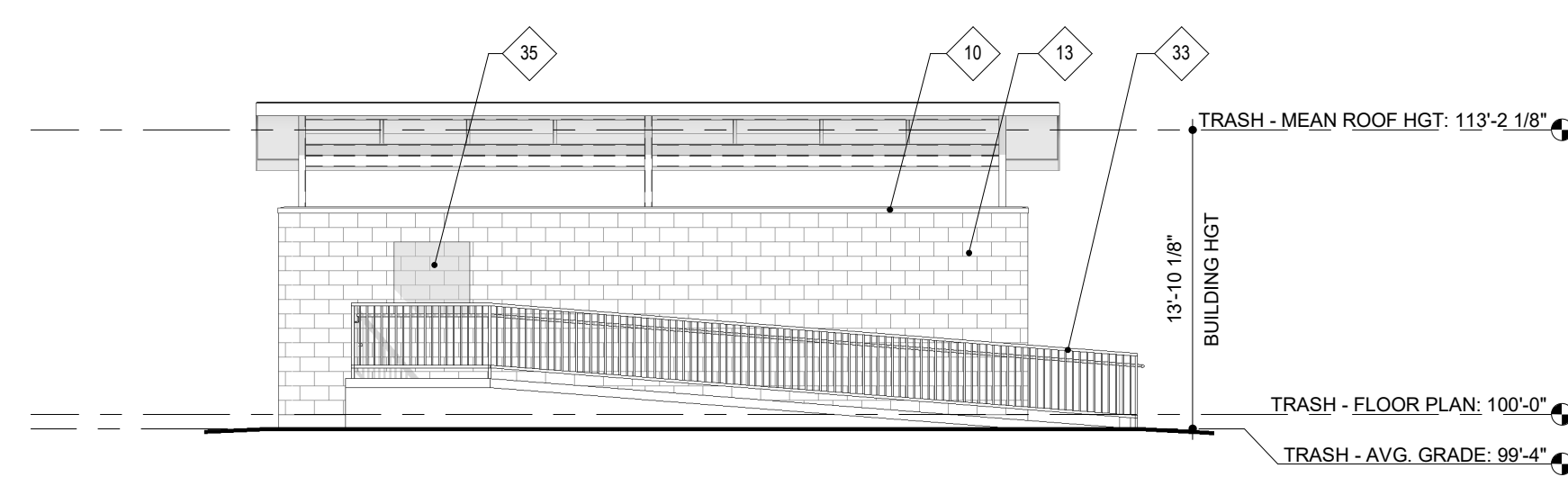
PCD FILE NO. PPR-21-041

**AURA AT CROSSROADS**

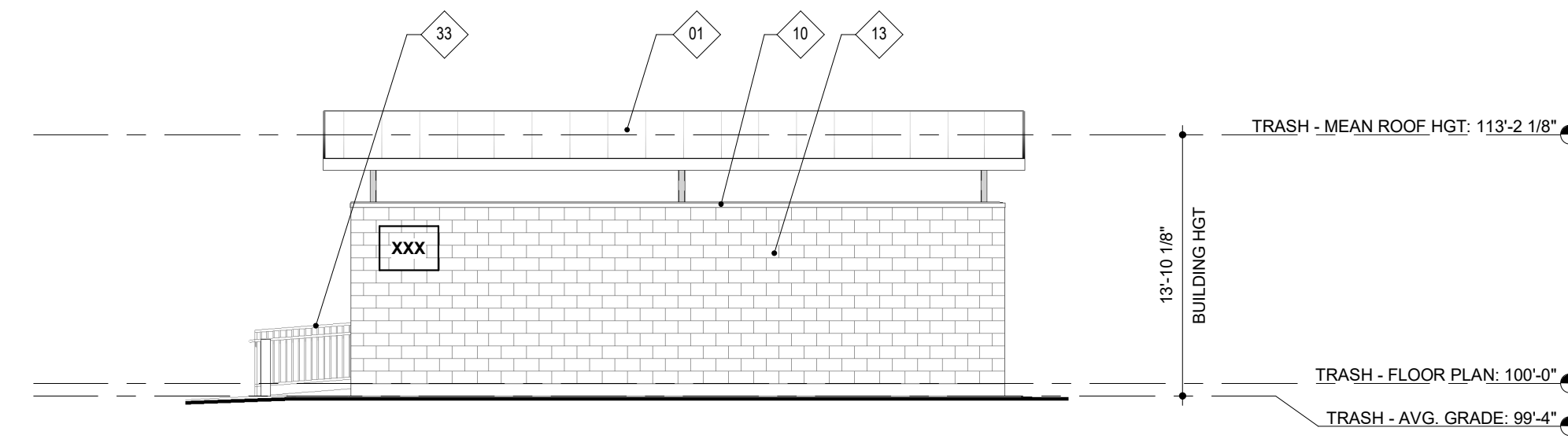
PROJECT # : 220083

# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

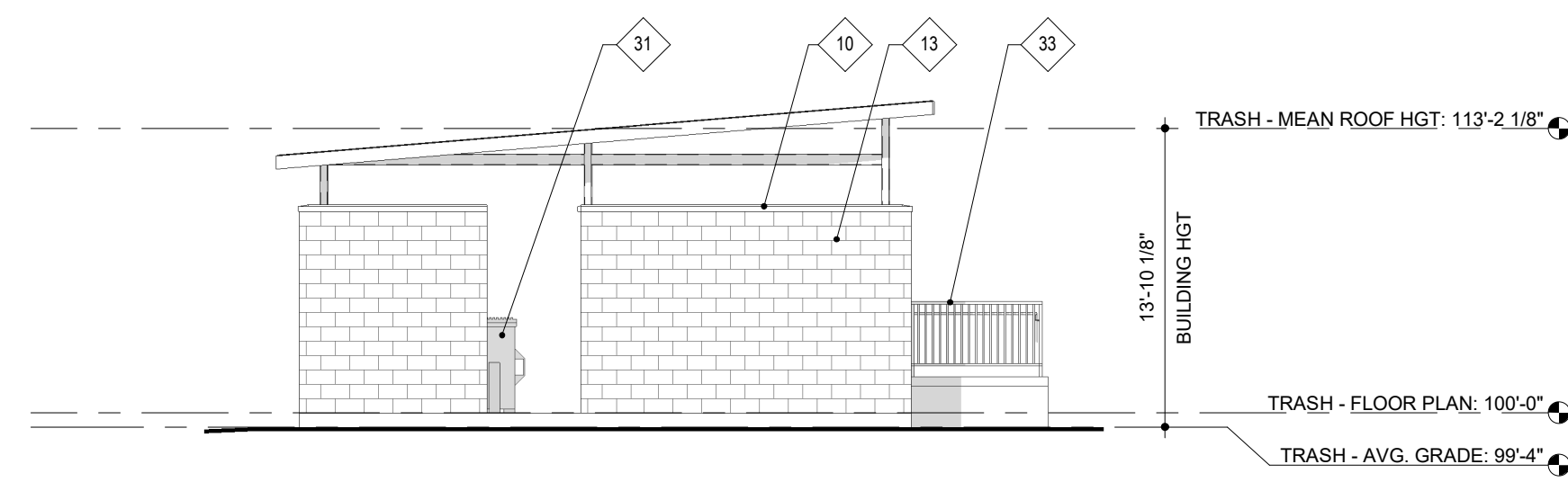
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WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



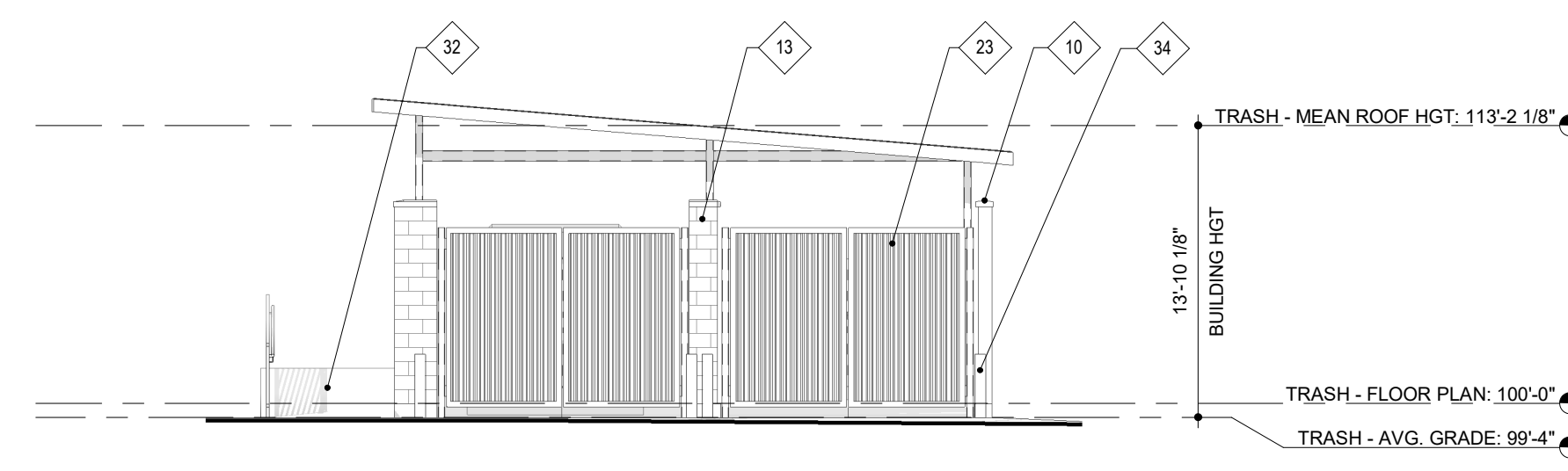
**A TRASH ENCLOSURE - LEFT ELEVATION**  
1/8" = 1'-0"



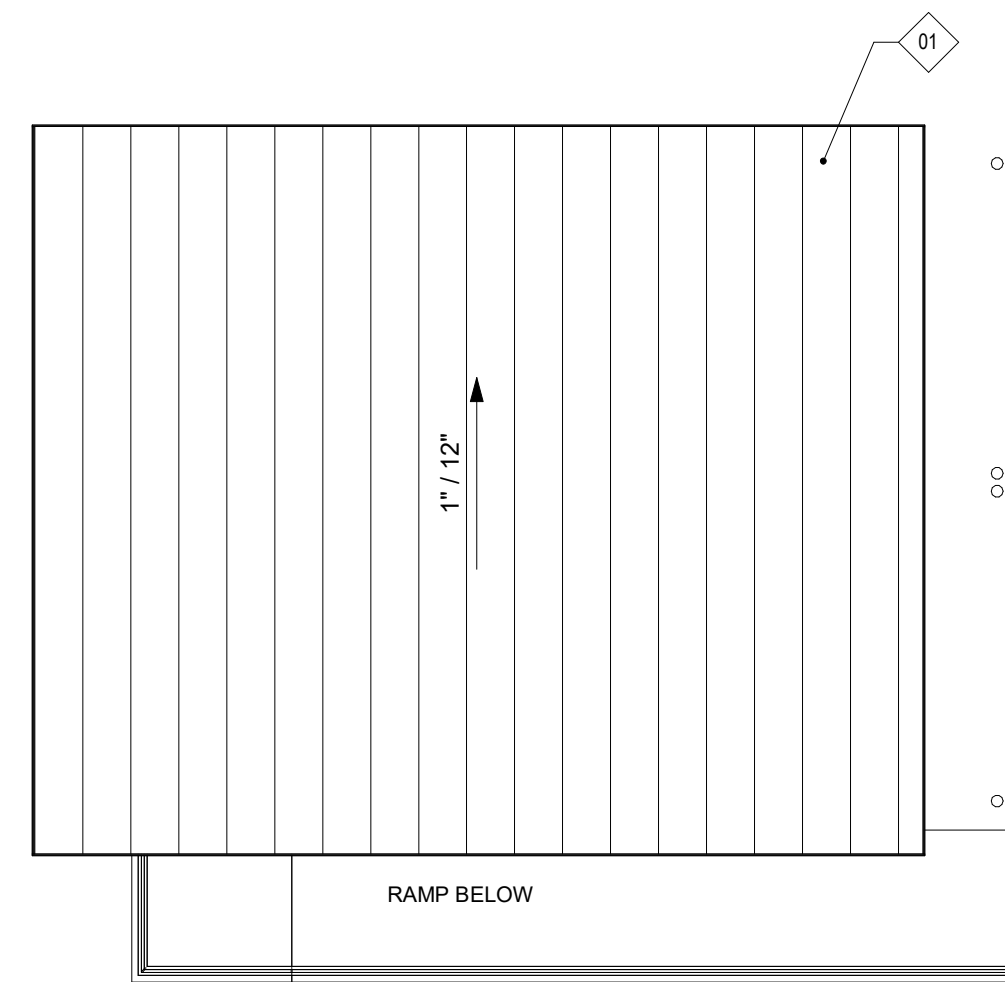
**5 TRASH ENCLOSURE - RIGHT ELEVATION**  
1/8" = 1'-0"



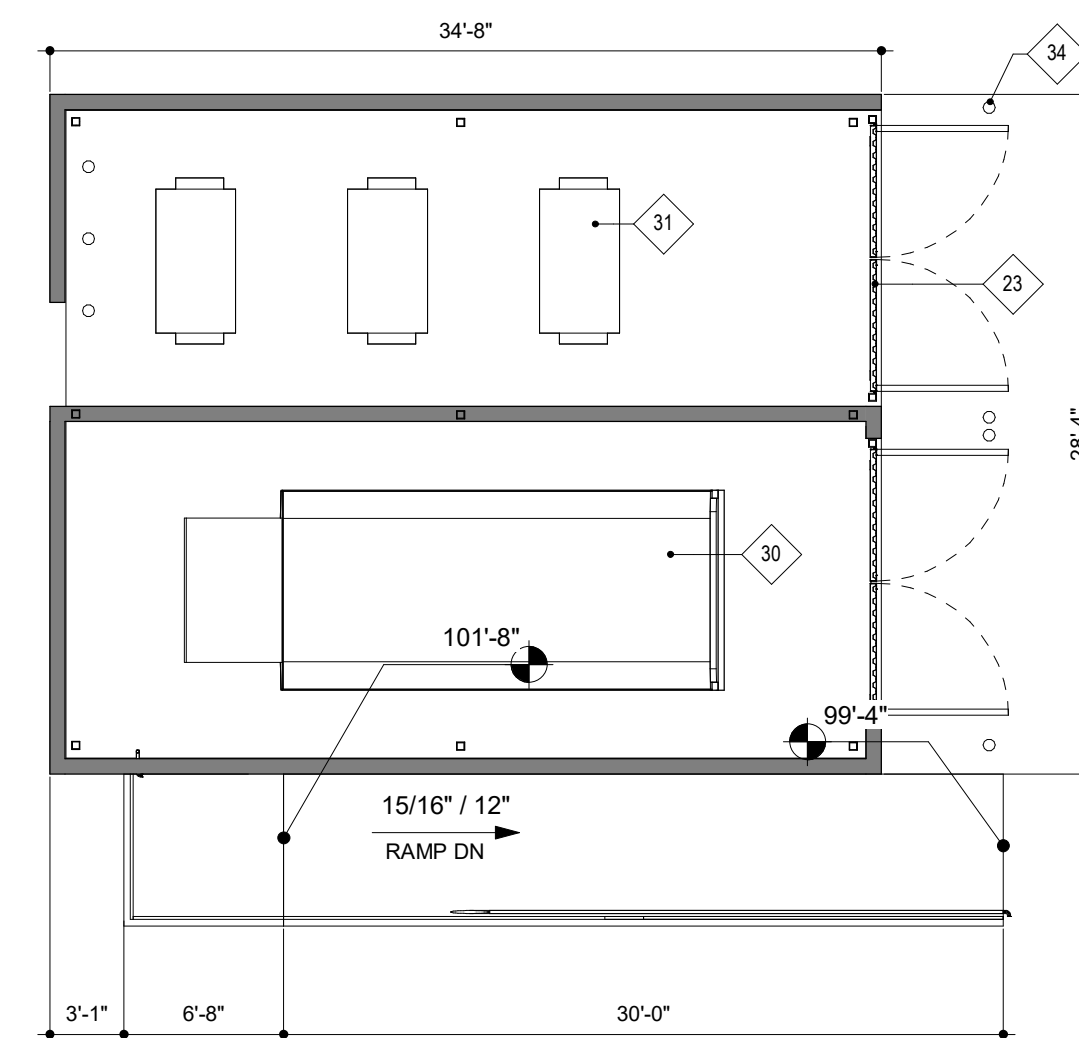
**4 TRASH ENCLOSURE - REAR ELEVATION**  
1/8" = 1'-0"



**3 TRASH ENCLOSURE - FRONT ELEVATION**  
1/8" = 1'-0"



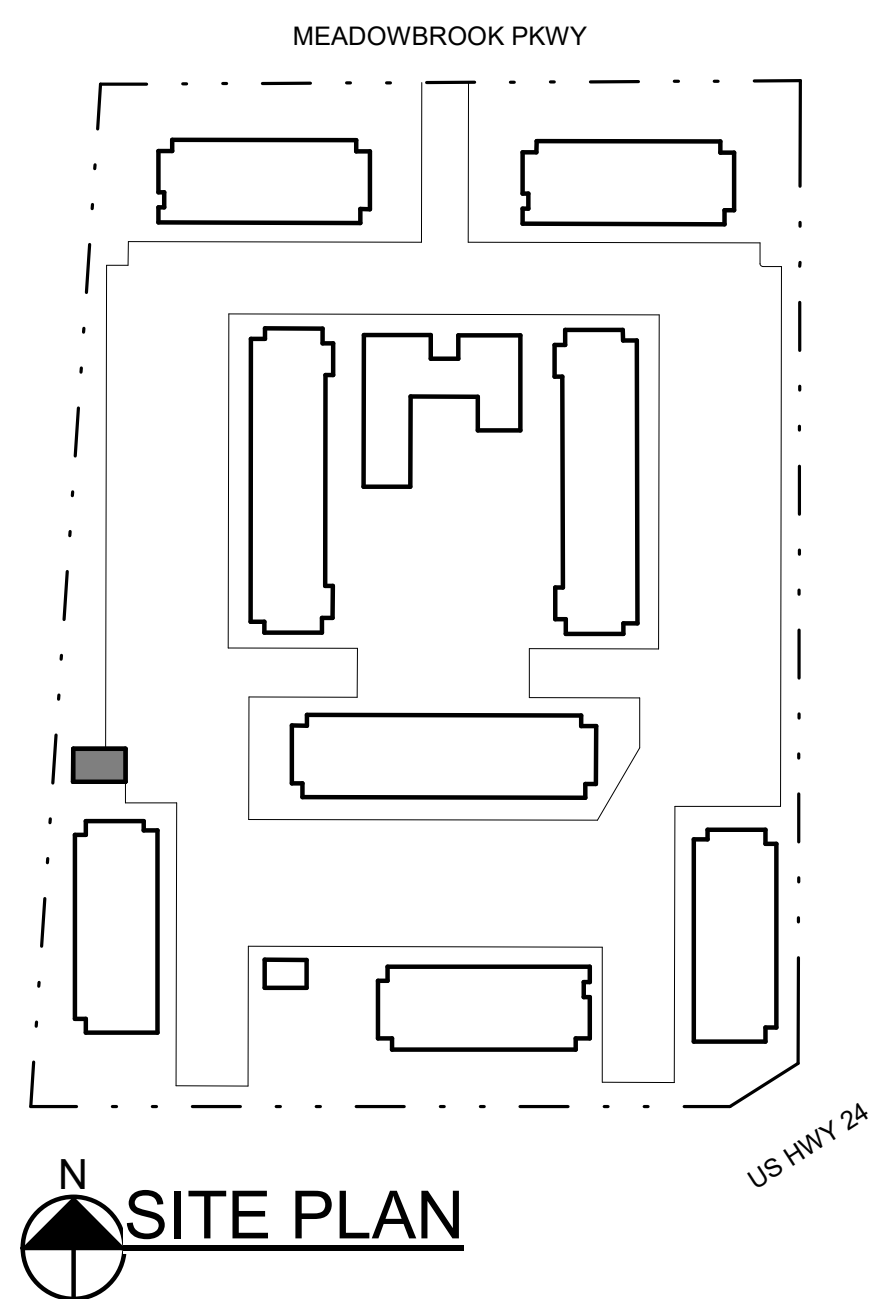
**2 TRASH ENCLOSURE - ROOF PLAN**  
1/8" = 1'-0"



**1 TRASH ENCLOSURE - LEVEL 1**  
1/8" = 1'-0"

MATERIAL LEGEND	
	FIBER CEMENT LAP SIDING - SW 0077 CLASSIC FRENCH GREY
	FIBER CEMENT B&B SIDING - SW 7069 IRON ORE
	ADHERED STONE VENEER - SUNSET STONE GAPE COD STACKED
	ASPHALT SHINGLES - BLACK
	STANDING SEAM - SW 2926 IRON GATE
	METAL RAILING - SW 2926 IRON GATE
	FIBER CEMENT HORIZONTAL RAILING - CEDAR
	CMU - GRAY SLATE

KEYNOTES	
NO.	NOTE
01	STANDING SEAM METAL ROOF - SW 2926 IRON GATE
10	PRECAST STONE WALL CAP/SILL/HEADER
13	CMU - GRAY SLATE
23	SECURED TRASH ENCLOSURE ENTRY GATE
30	TRASH COMPACTOR
31	RECYCLING BINS
32	EXTERIOR TRASH ACCESS RAMP
33	EXTERIOR GUARDRAIL AND HANDRAIL
34	EXTERIOR STEEL BOLLARD
35	ACCESSIBLE WALL OPENING AT TRASH CHUTE



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TRASH ENCLOSURE -  
PLANS / ELEVATIONS  
SHEET 19 OF 29

PCD FILE NO. PPR-21-041

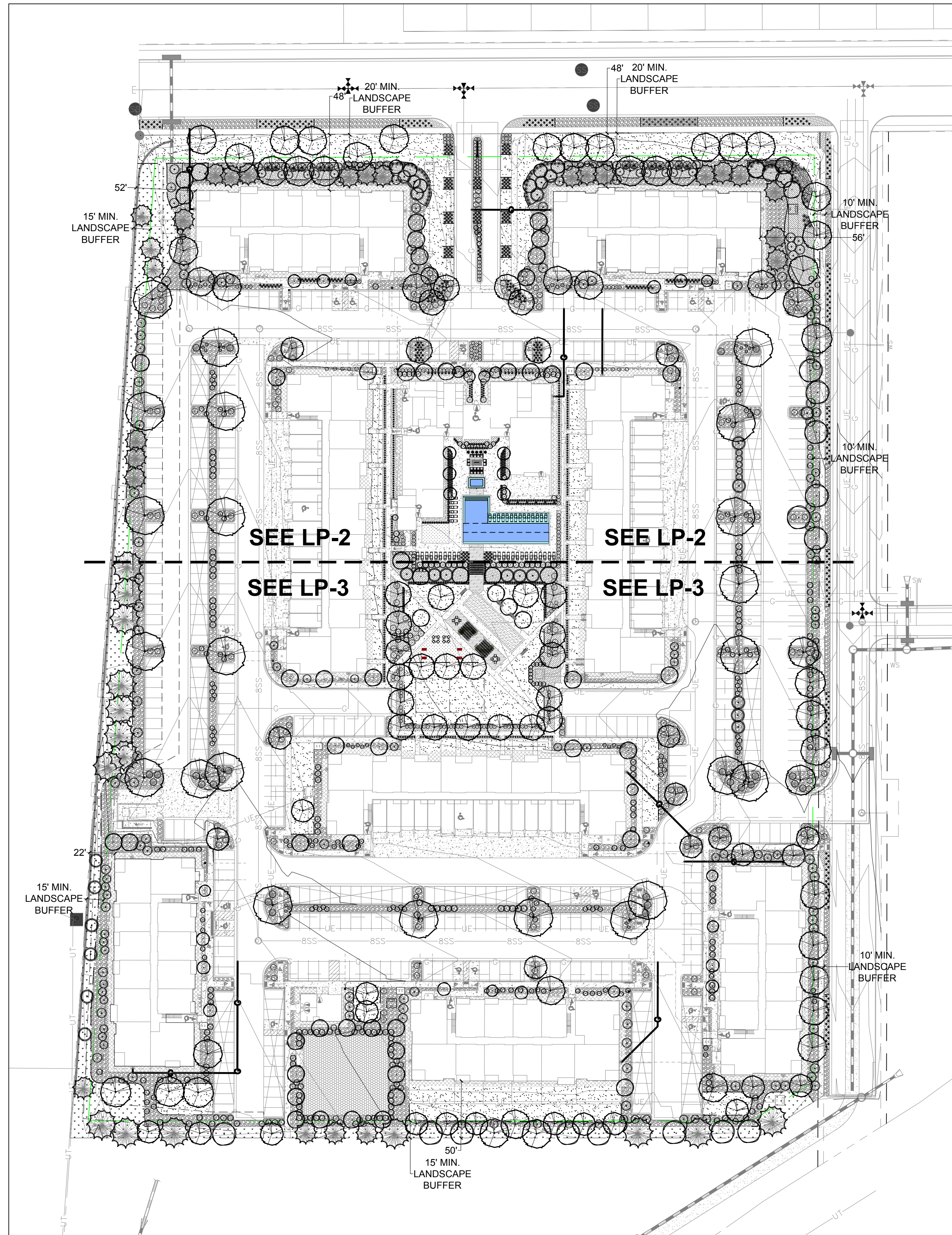
AURA AT CROSSROADS

PROJECT # 220083



# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



Landscape Code Requirements			
INTERNAL LANDSCAPING			
Lot Area	15% of Lot Area	1 tree per 500 sf	Trees Provided
553058.31	82958.75	165.92	166
ROADWAY LANDSCAPING			
Linear Feet of Non-Arterial	1 tree per 30 lf	Trees Provided	
1176.36	39.21	40	
BUFFER LANDSCAPING			
Linear Feet of Buffer	1 tree per 25 lf	Trees Provided	
1628.28	65.13	65	
PARKING LOT LANDSCAPING			
Number of Parking Spaces	1 tree per 15 ps	Trees Provided	
496	33.07	33	
Total Trees Required		303.33	304

Hydrozones Legend						
Symbols	Square Footage	Abbreviations	Hydrozones	Inches per year	Landscape Coverage	Irrigation
[Symbol]	5258	NA	Dog Park	0	Pea Gravel / Sand Mix	No
[Symbol]	1474		Artificial Turf	0	Artificial Turf	No
[Symbol]	19100	NON-IRR	Non Irrigated	0	4" Rock Mulch	No
[Symbol]	25409	V	Very Low	0 to 7	Native Seed	Yes
[Symbol]	74656	L	Low	7 to 15	1.5" Rock Mulch	Yes
[Symbol]	24988	M	Moderate	15 to 25	Bark Mulch	Yes
[Symbol]	44847	H	High	more than 25	Drought Tolerant Sod	Yes
	195732	Total Landscape Area				

Bicycle Parking Requirements		
Number of Vehicular Parking Spaces	1 Bike p.s. per 5% of Vehicular p.s.	Bike Spaces Provided
583	29.15	32

Landscape Buffer Summary		
BUFFER - ADJACENT TO RIGHT OF WAY		
Location	Required Width	Provided Width
Northern Boundary	20'-0"	20'-0"
Eastern Boundary	10'-0"	10'-0"
BUFFER - ADJACENT TO NON-RESIDENTIAL		
Location	Required Width	Provided Width
Western Boundary	15'-0"	15'-0"
Southern Boundary	15'-0"	15'-0"

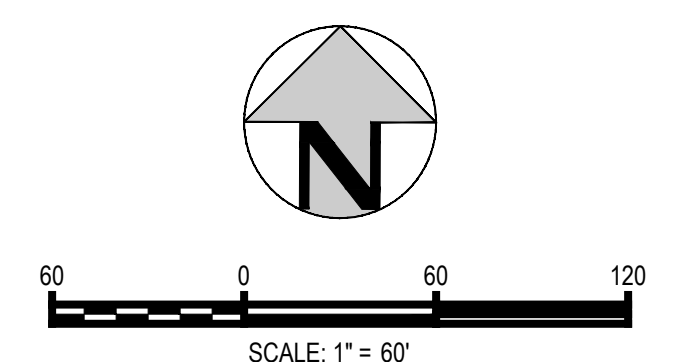
Sheet Index	
Page Number	Sheet Name
20	Landscape Cover
21	Landscape Plan 'A'
22	Landscape Plan 'B'
23	Landscape Notes
24	Landscape Details
25	Landscape Details

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AURA AT CROSSROADS  
LANDSCAPE COVER SHEET  
SHEET 20 OF 29  
PCD FILE NO. PPR-21-041



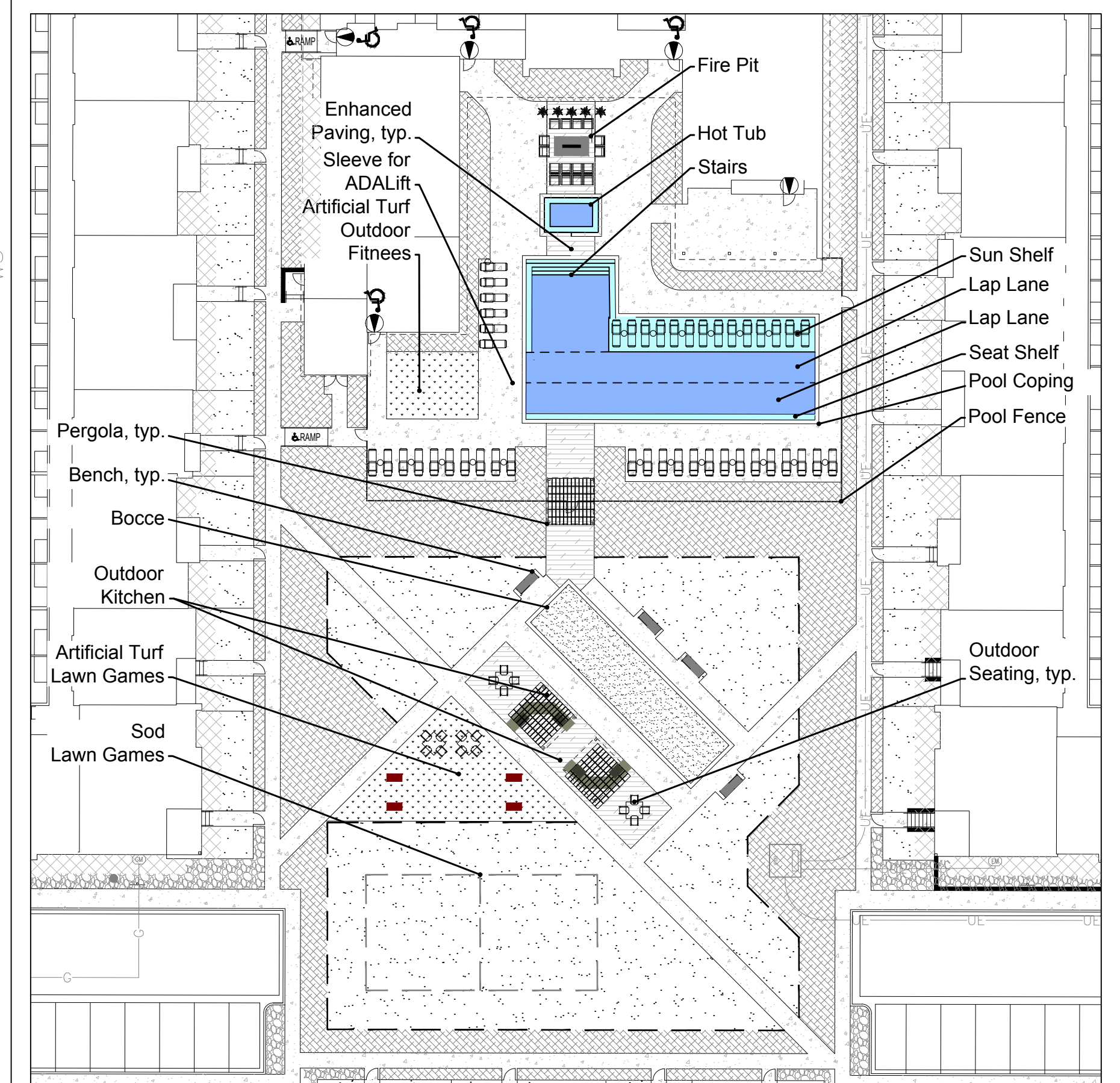
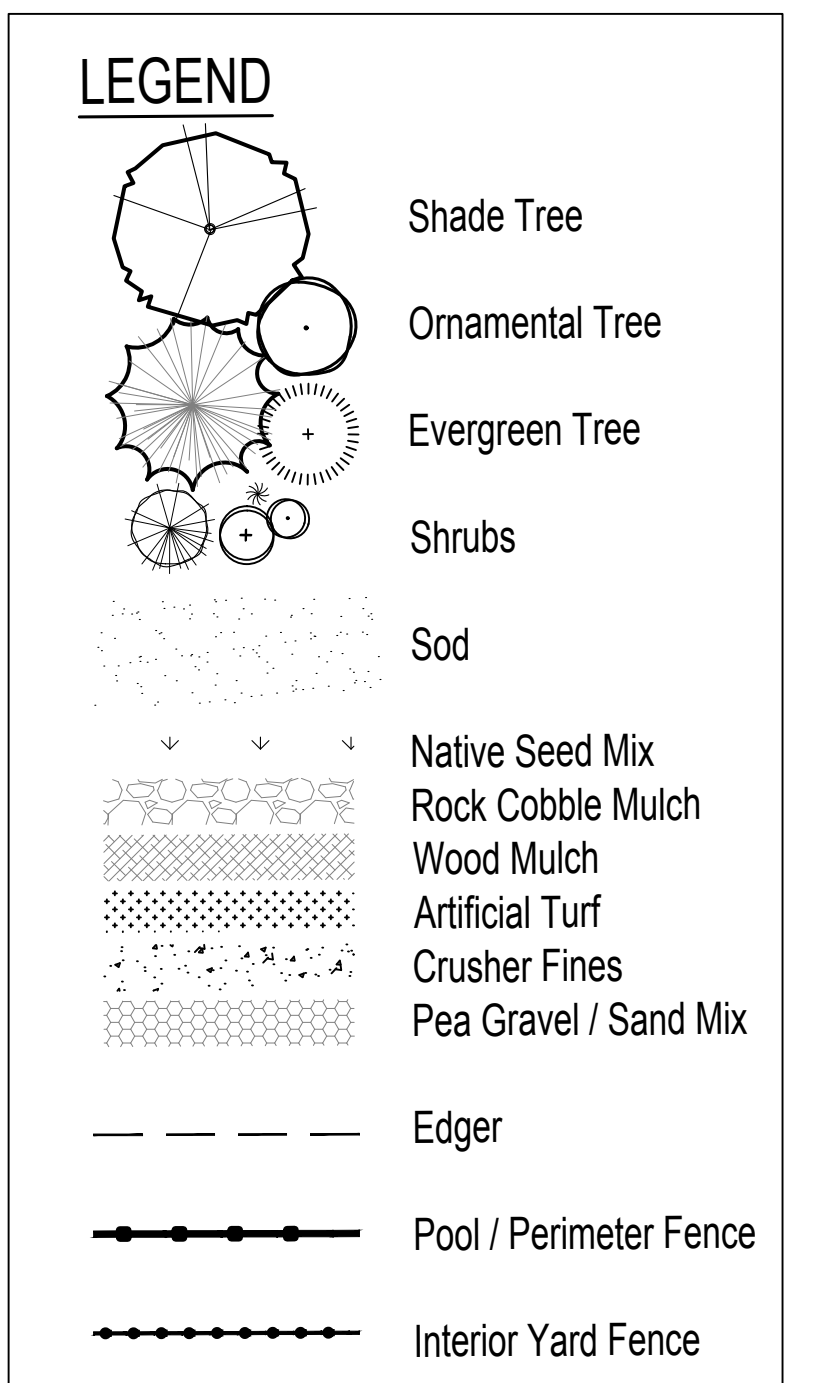
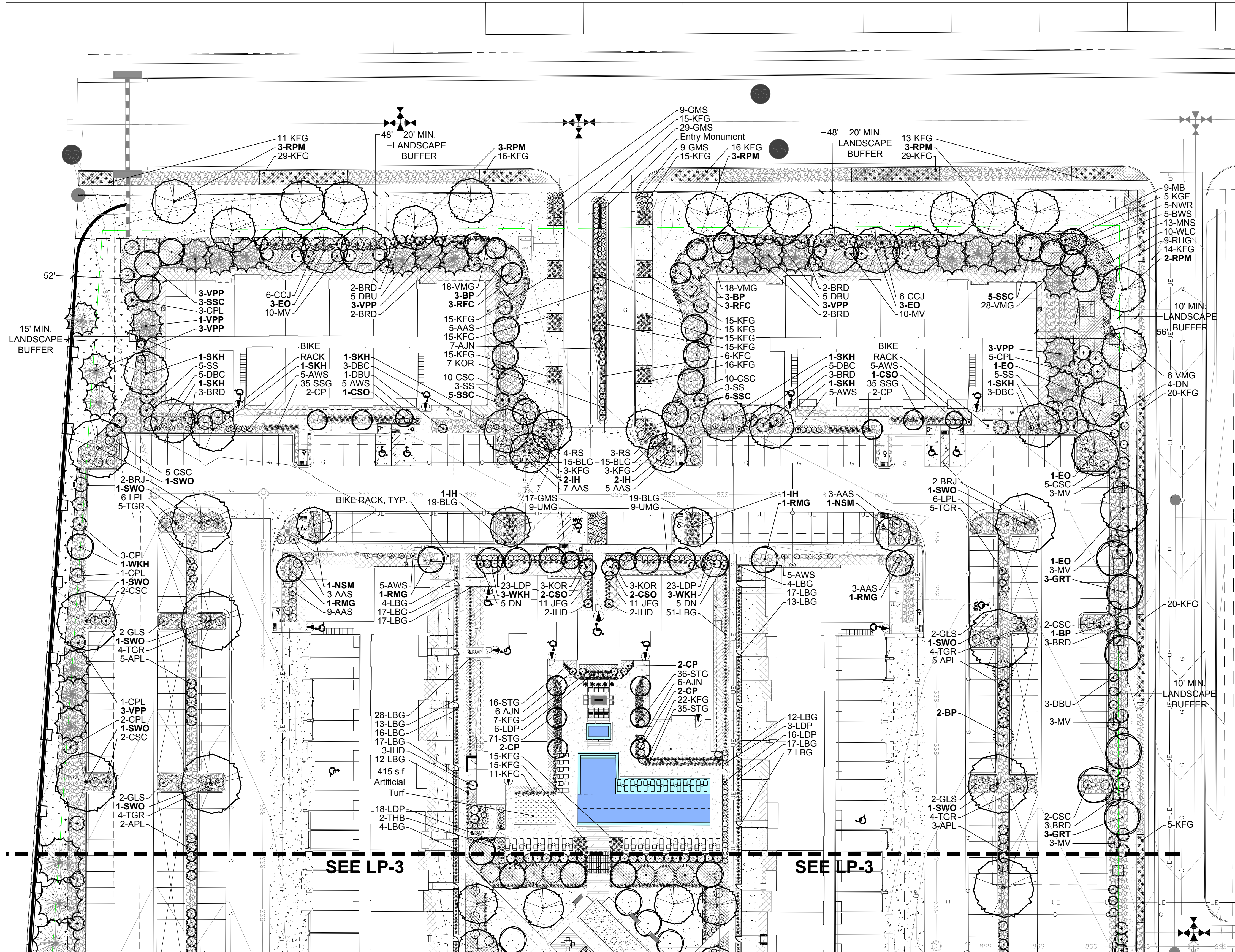
PROJECT #200823



# AURA AT CROSSROADS

## SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



**Amenity Plan**

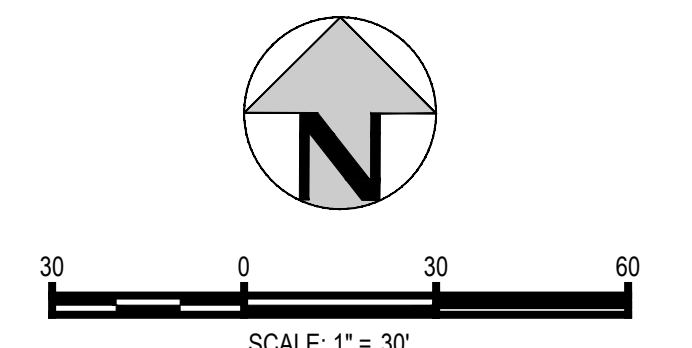
**Landscape Plan 'A'**

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**AURA AT CROSSROADS**  
**LANDSCAPE PLAN 'A'**  
 SHEET 21 OF 29  
 PCD FILE NO. PPR-21-041

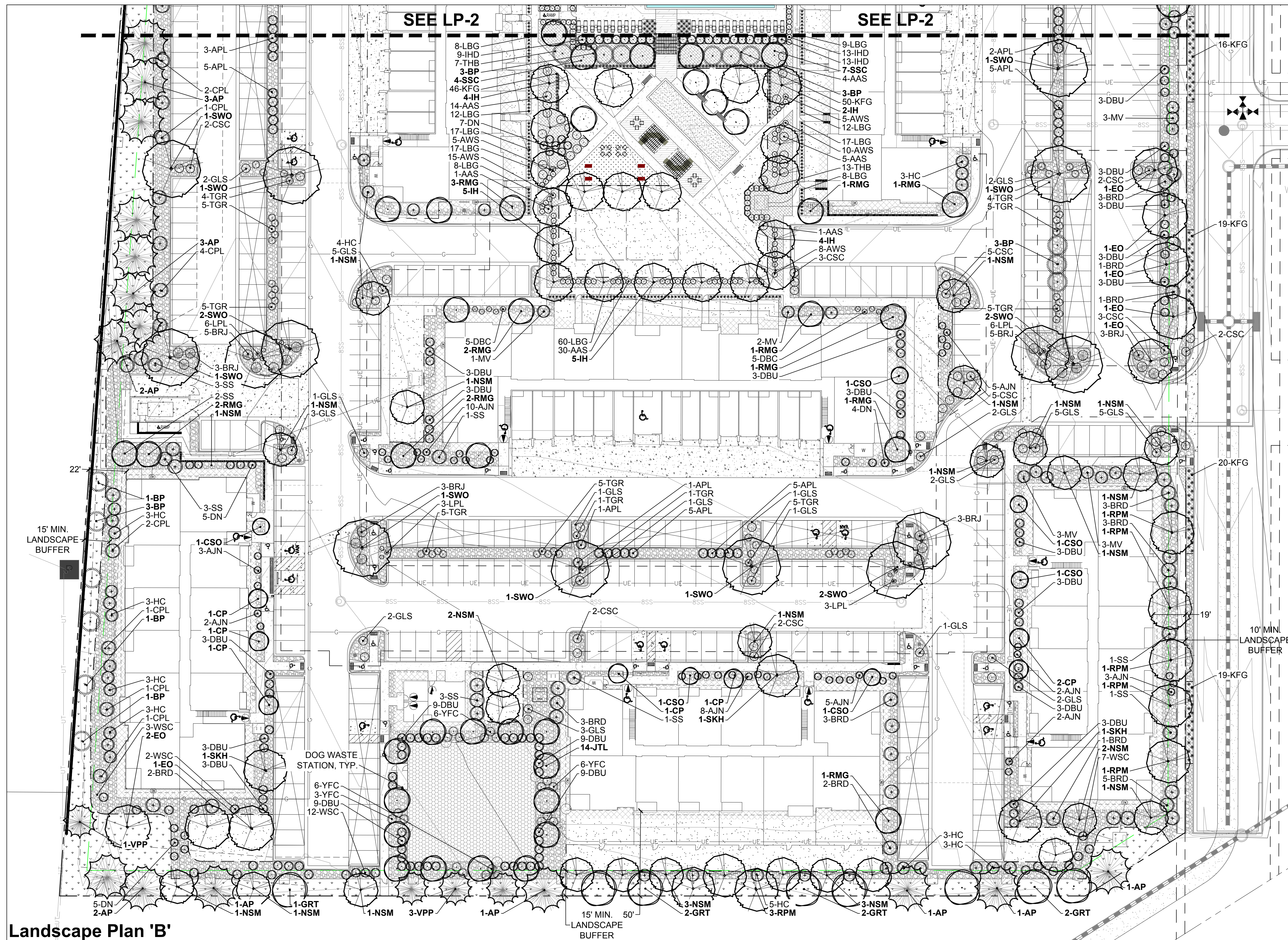


PROJECT #200823



# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



**LEGEND**

- Shade Tree
- Ornamental Tree
- Evergreen Tree
- Shrubs
- Sod
- Native Seed Mix
- Rock Cobble Mulch
- Wood Mulch
- Artificial Turf
- Crusher Fines
- Pea Gravel / Sand Mix
- Edger
- Pool / Perimeter Fence
- Interior Yard Fence

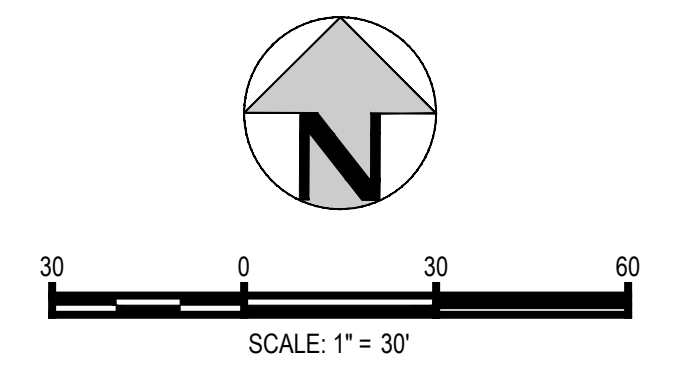
Landscape Plan 'B'

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# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO

## PLANT LIST

SHADE TREES					
Qty.	Sym.	Scientific Name	Common Name	Size	Water Use
17	EO	Quercus robur	English Oak	2" cal. B&B	Xeric
26	IH	Gleditsia triacanthos var. inermis 'Imperial'	Imperial Honeylocust	2" cal. B&B	Low Hydro
27	NSM	Acer truncatum x platanoides 'Keithsform'	Norwegian Sunset Maple	2" cal. B&B	Low Hydro
22	RPM	Acer rubrum 'Frank Jr.' PP #16,769	Redpointe Maple	2" cal. B&B	Low Hydro
11	SKH	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honeylocust	2" cal. B&B	Low Hydro
23	SWO	Quercus bicolor	Swamp White Oak	2" cal. B&B	Low Hydro
126					
ORNAMENTAL TREES					
16	CP	Pyrus calleryana 'Glen's Form'	Chanticleer Pear	1.5" cal. B&B	Low Hydro
12	CSO	Quercus robur x Q. alba 'Crimschmidt'	Crimson Spire Oak	1.5" cal. B&B	Low Hydro
14	GRT	Koelreuteria paniculata	Golden Rain Tree	1.5" cal. B&B	Low Hydro
14	JTL	Syringa reticulata 'Ivory Silk'	Japanese Tree Lilac	1.5" cal. B&B	Low Hydro
6	RFC	Malus x 'Prairifire'	Radiant Flowering Crabapple	1.5" cal. B&B	Low Hydro
18	RMG	Acer grandidentatum 'Schmidt'	Rocky Mountain Glow Maple	1.5" cal. B&B	Low Hydro
25	SSC	Malus x 'Spring Snow'	Spring Snow Crabapple	1.5" cal. B&B	Low Hydro
8	WKH	Crataegus viridis 'Winter King'	Winter King Hawthorn	1.5" cal. B&B	Low Hydro
113					
EVERGREEN TREES					
15	AP	Pinus nigra	Austrian Pine	6' B&B	Low Hydro
24	BP	Pinus heldreichii	Bosnian Pine	6' B&B	Low Hydro
26	VPP	Pinus flexilis 'Vanderwolf's Pyramid'	Vanderwolf's Pyramidal Pine	6' B&B	Low Hydro
65					
DECIDUOUS SHRUBS					
Qty.	Sym.	Scientific Name	Common Name	Size	
60	AAS	Rhus trilobata 'Autumn Amber'	Autumn Amber Sumac	5 Gallon	Low Hydro
61	AJN	Physocarpus opulifolius 'Jefam'	Autumn Jubilee Ninebark	5 Gallon	Low Hydro
42	APL	Fallugia paradoxa	Apache Plume	5 Gallon	Xeric
103	AWS	Spirea japonica 'Anthony Waterer'	Anthony Waterer Spirea	5 Gallon	Low Hydro
47	BRD	Cornus stolonifera 'Baileyi'	Bailey Redtwig Dogwood	5 Gallon	Low Hydro
64	CSC	Prunus besseyi 'Pawnee Buttes'	Creeping Sand Cherry	5 Gallon	Xeric
27	CPL	Syringa vulgaris	Common Purple Lilac	5 Gallon	Low Hydro
26	DBC	Aronia melanocarpa 'Morton'	Dwarf Black Chokeberry	5 Gallon	Low Hydro
98	DBU	Euonymus alatus 'Compactus'	Dwarf Burning Bush	5 Gallon	Low Hydro
38	DN	Physocarpus opulifolius 'Nana'	Dwarf Ninebark	5 Gallon	Low Hydro
47	GLS	Rhus aromatica 'Gro-Low'	Dwarf Fragrant Sumac	5 Gallon	Xeric
64	GMS	Spiraea x bumalda 'Goldflame'	Gold Flame Spirea	5 Gallon	Low Hydro
30	HC	Cotoneaster lucidus	Hedge Cotoneaster	5 Gallon	Low Hydro
29	IHD	Cornus alba 'Bailhalo'	Ivory Halo Dogwood	5 Gallon	Low Hydro
13	KOR	Rosa x 'Radrzz'	Knock Out Rose	5 Gallon	Low Hydro
89	LDP	Ligustrum vulgare 'Lodense'	Lodense Privet	5 Gallon	Xeric
30	LPL	Amorpha canescens	Leadplant	5 Gallon	Xeric
44	MV	Viburnum lantana 'Mohican'	Mohican Viburnum	5 Gallon	Low Hydro
5	NWR	Rosa 'Nearly Wild'	Nearly Wild Rose	5 Gallon	Low Hydro
7	RS	Perovskia atriplicifolia	Russian Sage	5 Gallon	Low Hydro
29	SS	Amelanchier alnifolia	Saskatoon Serviceberry	5 Gallon	Low Hydro
22	THB	Rhamnus frangula 'Columnaris'	Tall Hedge Buckthorn	5 Gallon	Low Hydro
76	TGR	Chrysothamnus nauseosus graveolens	Tall Green Rabbitbrush	5 Gallon	Xeric
24	WSC	Prunus besseyi	Western Sand Cherry	5 Gallon	Low Hydro
21	YFC	Ribes aureum	Yellow Flowering Currant	5 Gallon	Low Hydro
1096					

EVERGREEN SHRUBS					
26	BRJ	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	5 Gallon	Xeric
12	CCJ	Juniperus sabina 'Monna'	Calgary Carpet Juniper	5 Gallon	Xeric
38					
ORNAMENTAL GRASSES					
68	BLG	Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Grass	1 Gallon	Low Hydro
22	JFG	Hakonechloa macra 'Aureola'	Japanese Forest Grass	1 Gallon	Low Hydro
574	KFG	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	1 Gallon	Low Hydro
400	LBG	Schizachyrium scoparium	Little Bluestem Grass	1 Gallon	Xeric
70	SSG	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1 Gallon	Low Hydro
158	STG	Nassella tenuissima	Silky Thread Grass	1 Gallon	Low Hydro
18	UMG	Muhlenbergia reverchonii 'PUND01S'	Undaunted Ruby Muhly Grass	1 Gallon	Low Hydro
70	VMG	Miscanthus sinensis 'Variegatus'	Variegated Maiden Grass	1 Gallon	Low Hydro
1380					
PERENNIALS					
5	BWS	Veronica pectinata	Blue Woolly Veronica	1 Gallon	Low Hydro
5	KGF	Liatris spicata 'Kobold'	Kobold Gayfeather	1 Gallon	Low Hydro
9	MB	Liatris spicata	Morning Blazing Star	1 Gallon	Low Hydro
13	MNS	Salvia sylvestris 'May Night'	May Night Salvia	1 Gallon	Low Hydro
9	RHG	Geranium 'Rozanne' PP12175	Rozanne Hardy Geranium	1 Gallon	Low Hydro
10	WLC	Nepeta x faassenii 'Walker's Low'	Walkers Low Catmint	1 Gallon	Low Hydro
51					

## LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH AAN (AMERICAN ASSOCIATION OF NURSERYMAN) SPECIFICATIONS FOR NUMBER ONE GRADE.
- ALL TURF AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES TO BE IRRIGATED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM, OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL.
- ALL SHRUB BEDS TO BE MULCHED WITH ROCK MULCH CONSISTING OF 1-1/2" DIAMETER ROCK TO A DEPTH OF 4" AND SHALL BE PLACED OVER A WEED BARRIER FILTER FABRIC.
- ALL 5' BUILDING OFFSET BEDS TO BE MULCHED WITH ROCK MULCH CONSISTING OF 2" TO 3" DIAMETER ROCK TO A DEPTH OF 4" AND SHALL BE PLACED OVER A WEED BARRIER FILTER FABRIC.
- ALL PLANTING BEDS ADJACENT TO DRYLAND SEEDED AREAS OR SOD AREAS SHALL BE SEPARATED WITH 1/8" X 4" ROLLED TOP STEEL EDGER.
- OWNER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS BY OTHER CONSULTANTS SO THE PROPOSED GRADING, STORM DRAINAGE OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION AS REQUIRED BY SITE CONDITIONS OR AVAILABILITY OF MATERIAL. OVERALL QUALITY AND DESIGN CONCEPT SHALL BE CONSISTENT WITH APPROVED LANDSCAPE PLANS. ANY CHANGES WILL BE PROVIDED TO THE OWNER FOR REVIEW AND APPROVAL.
- PRIOR TO INSTALLATION OF PLANT MATERIAL & SOD, CONTRACTOR SHALL THOROUGHLY LOOSEN ALL AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION. CONTRACTOR TO THOROUGHLY INCORPORATE SIX CUBIC YARDS OF COMPOST OR COMPOSTED WEED FREE MANURE PER 1,000 SQUARE FEET TO BED AND SOD AREAS. AREAS TO BE NATIVE SEEDED TO RECEIVE FOUR CUBIC YARDS OF AMENDMENT. ORGANIC MATERIAL TO HAVE THE FOLLOWING CHARACTERISTICS:
  - ORGANIC MATTER: 25% OR GREATER
  - SALT CONTENT: 3.0 MMHOS/CM MAX.
  - pH: 8.5 MAXIMUM
  - CARBON TO NITROGEN RATIO 10:1 TO 25:1
 CONTRACTOR WILL PROVIDE A NUTRIENT TEST FROM THE LAST 3 MONTHS PRIOR TO SPREADING. MOUNTAIN PEAT, ASPEN HUMUS, GYPSUM AND SAND WILL NOT BE ACCEPTED.
- TURF GRASS WILL BE SODDED WITH DROUGHT TOLERANT ENVIROTURF.
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- NO LANDSCAPING OR IRRIGATION SHALL OCCUR WITHIN 5' FEET OF ALL BUILDING FOUNDATIONS.

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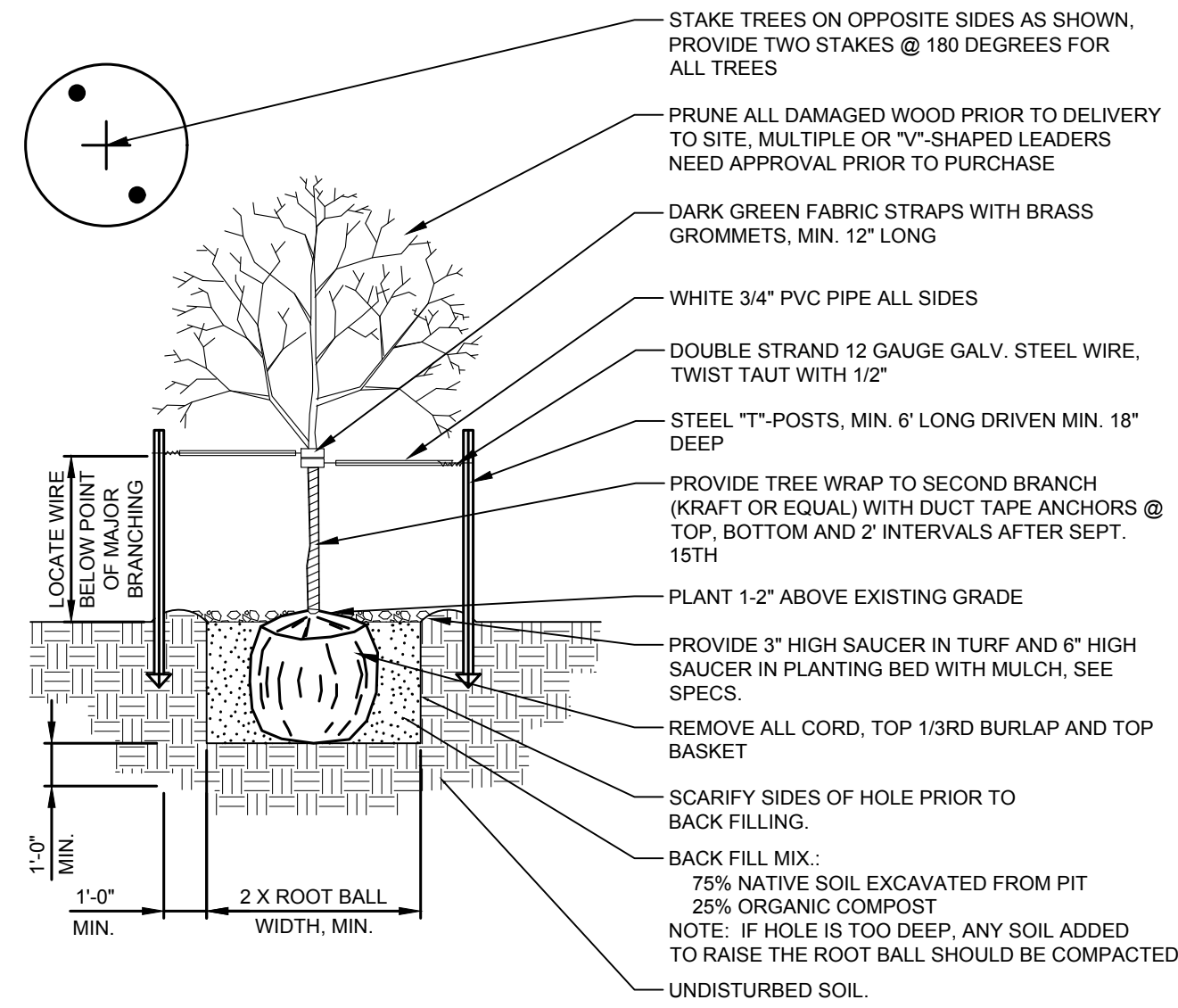
AURA AT CROSSROADS  
LANDSCAPE NOTES  
SHEET 23 OF 29  
PCD FILE NO. PPR-21-041

PROJECT #200823

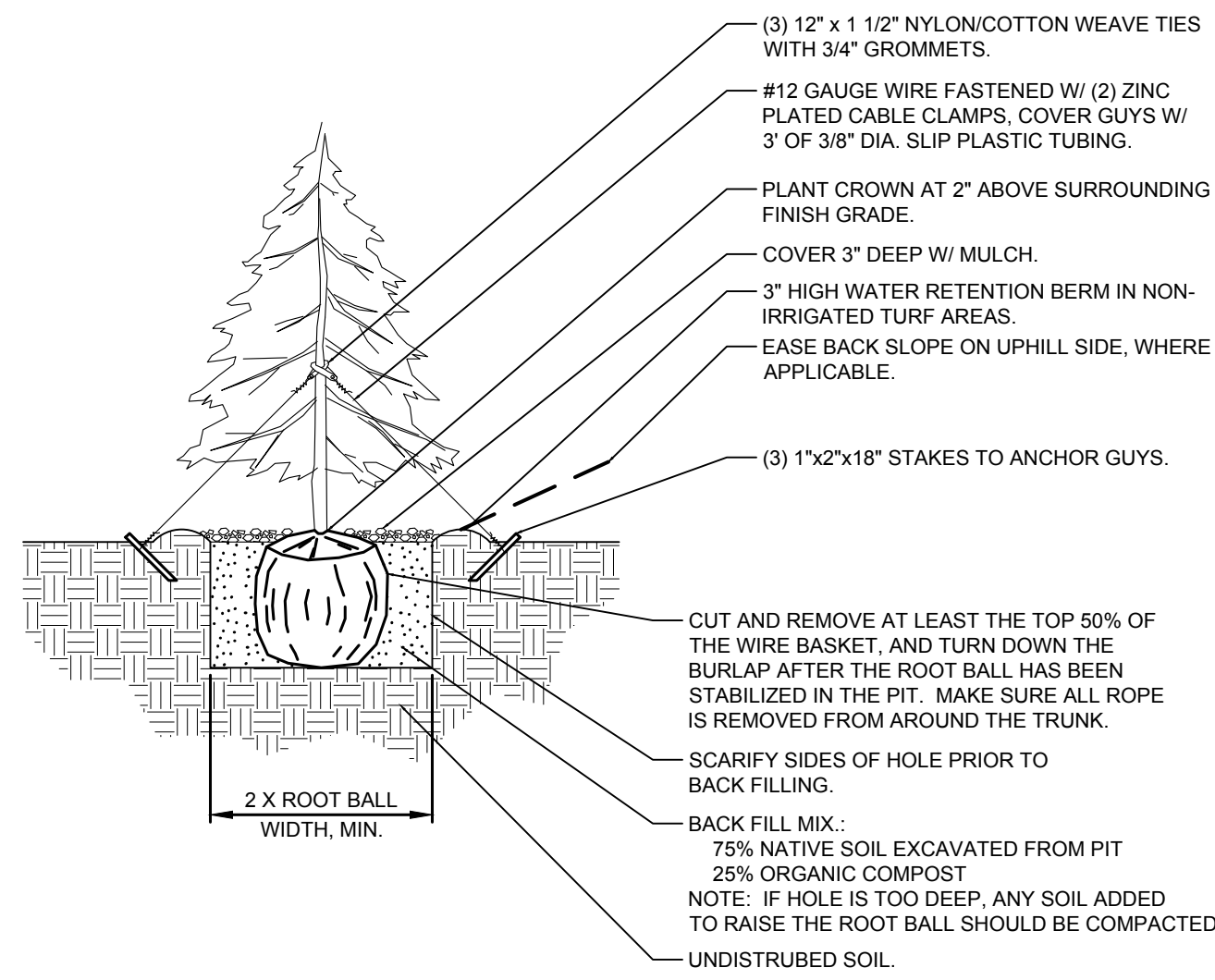


# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

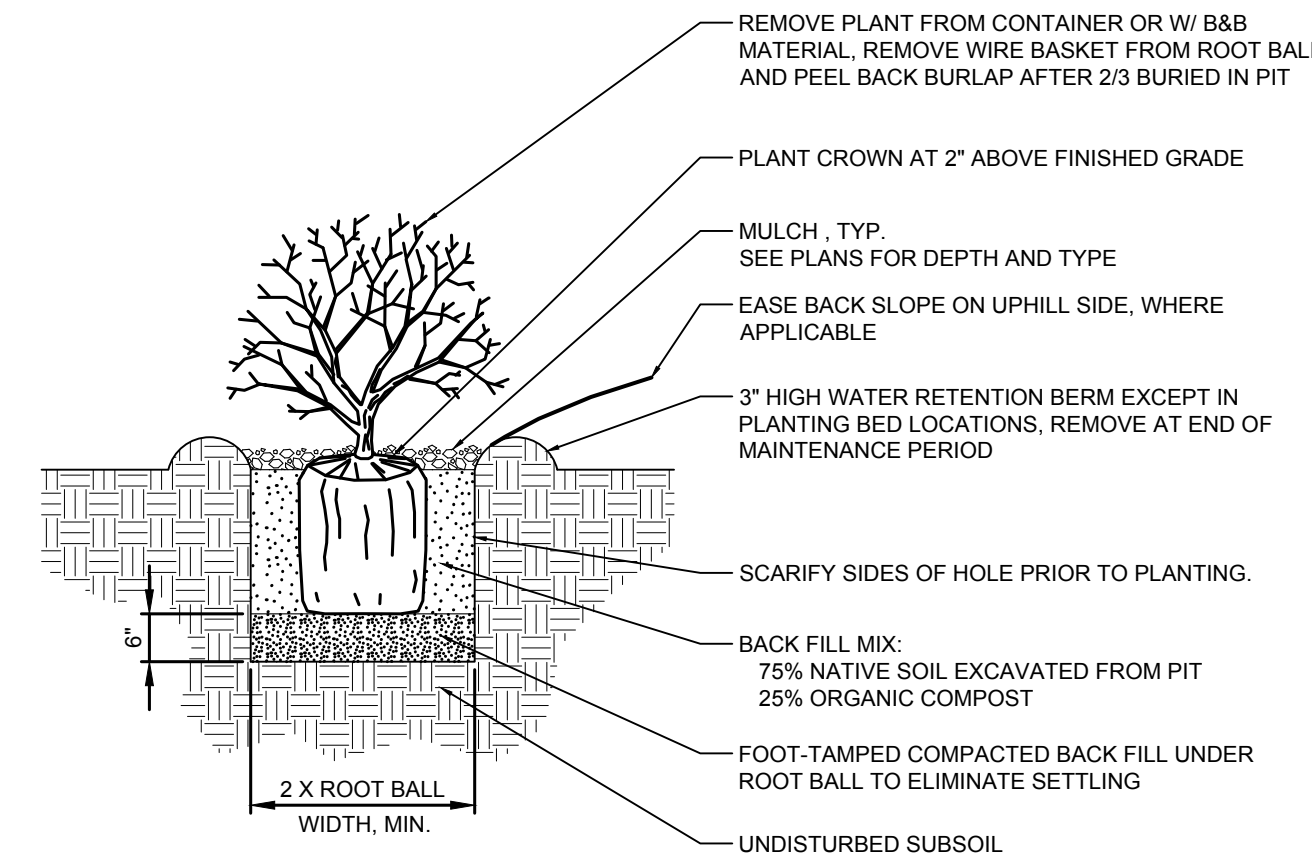
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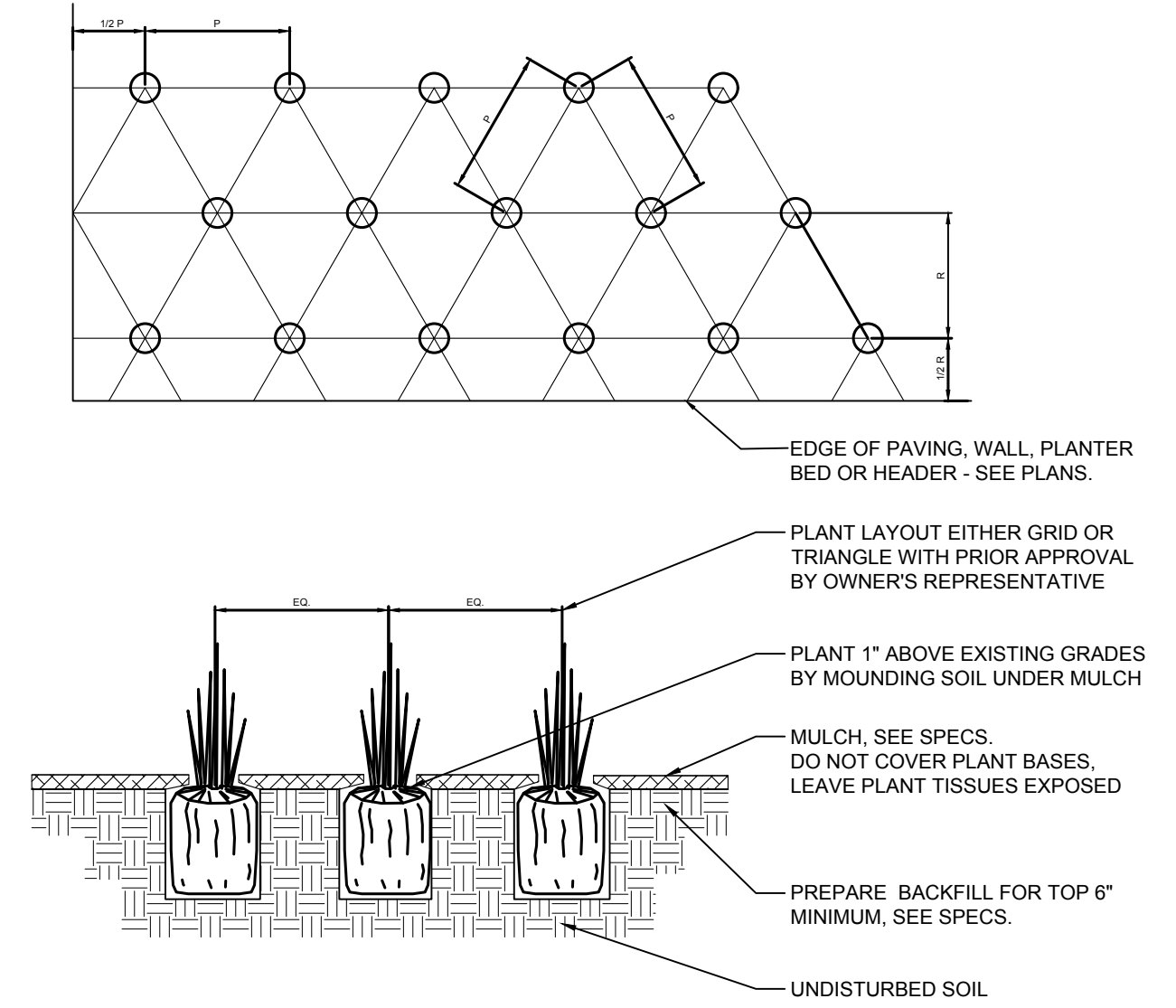
DECIDUOUS TREE PLANTING & STAKING  
SCALE: 1/4"=1'-0"



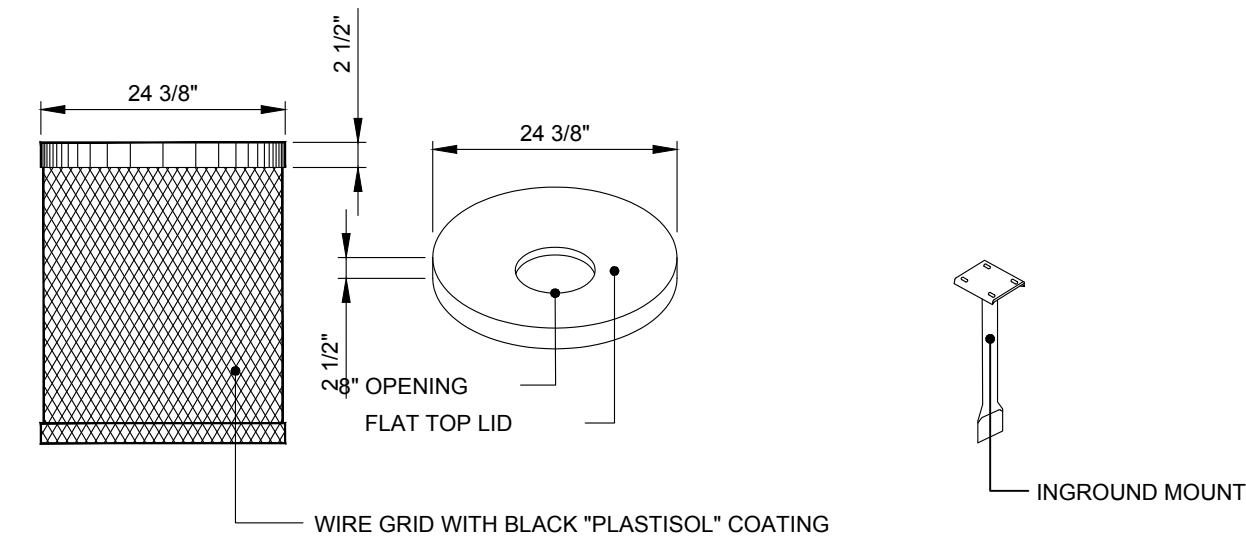
EVERGREEN TREE PLANTING & STAKING  
SCALE: 1/4"=1'-0"



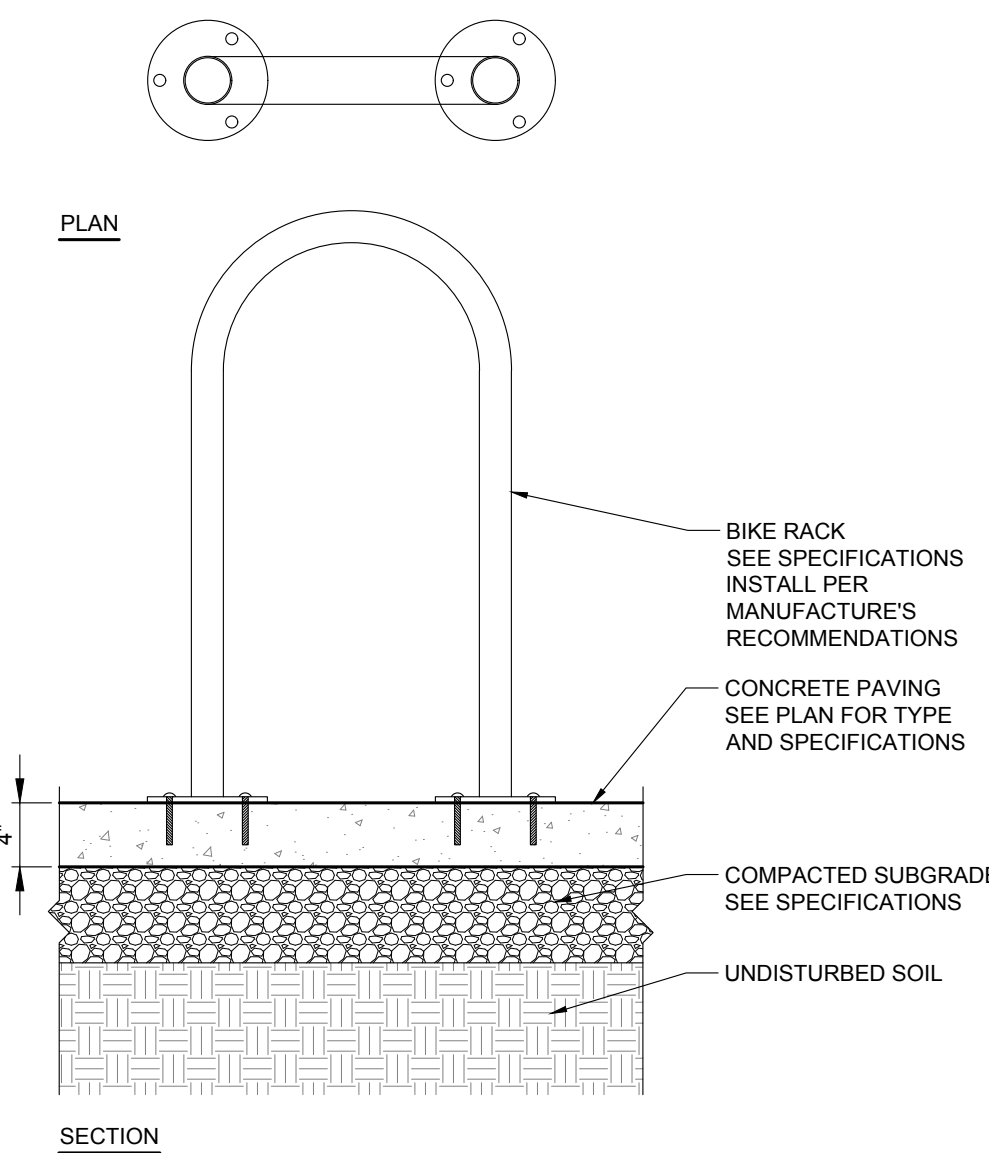
TYPICAL SHRUB PLANTING  
SCALE: 1/2"=1'-0"



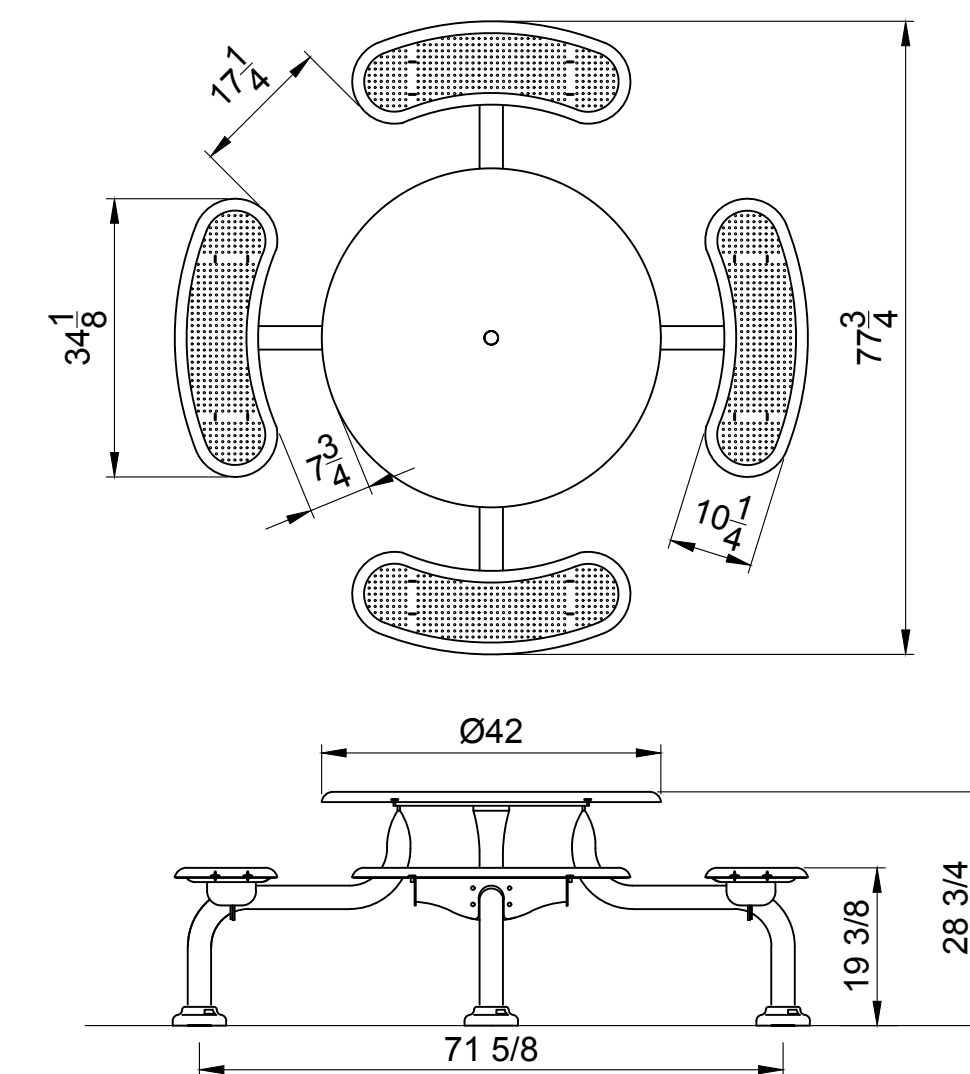
TYPICAL PERENNIAL PLANTING DETAIL  
SCALE: 1/2"=1'-0"



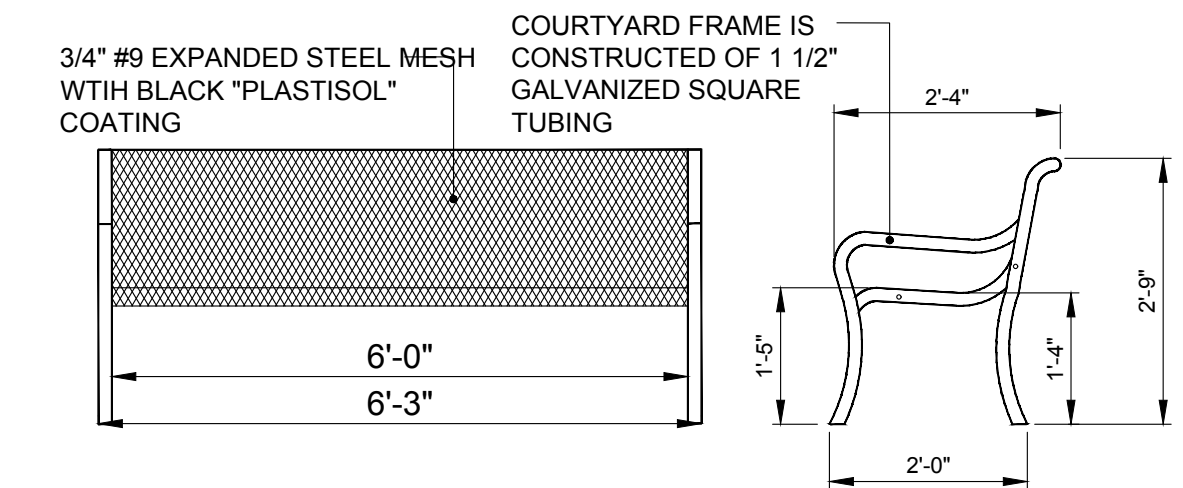
Wabash Valley model No. LRD32 with lid  
No. FTL32 and inground leg model 10056.  
TRASH RECEPTACLE  
SCALE: 1/2"=1'-0"



BIKE RACK ON CONCRETE PAVING  
SCALE: 1"=1'-0"



Wabash Valley - Round Perforation Pattern - Model no. CA2Q50C, Color: Silver  
PICNIC TABLE  
SCALE: 1/2"=1'-0"



Wabash Valley Diamond Pattern Bench no. CYD4110, Color: black  
COURTYARD BENCH  
SCALE: 1/2"=1'-0"

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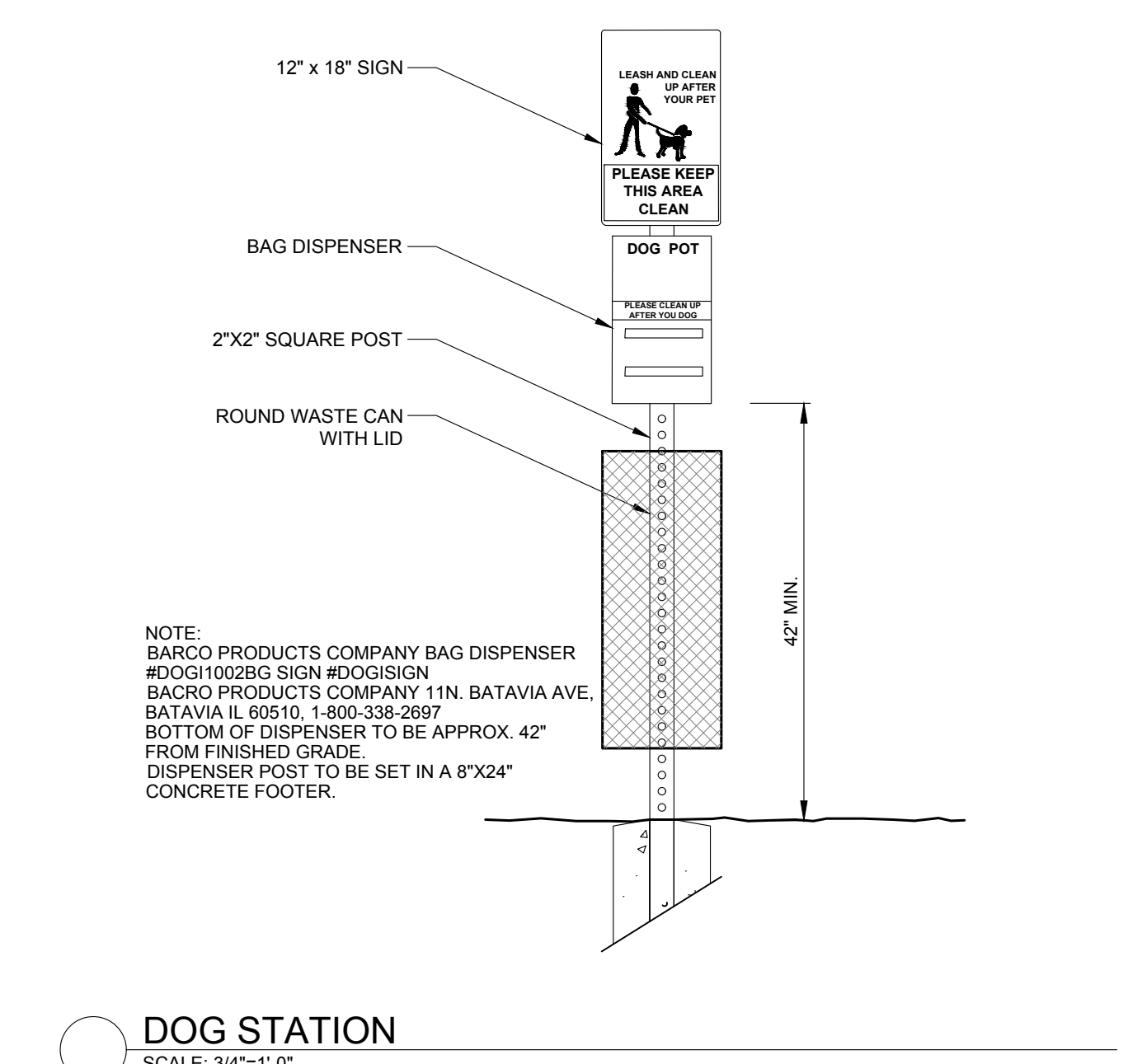
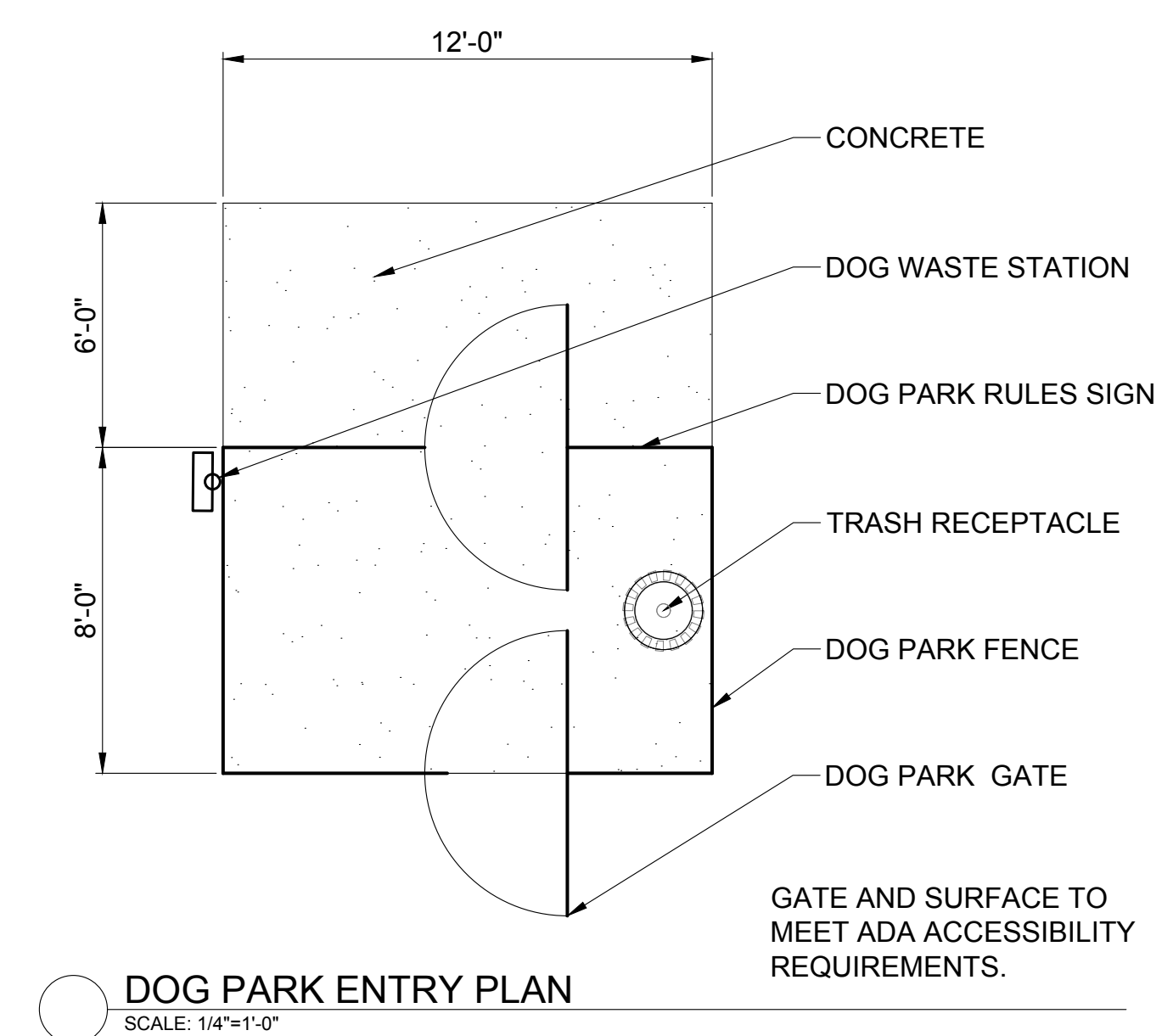
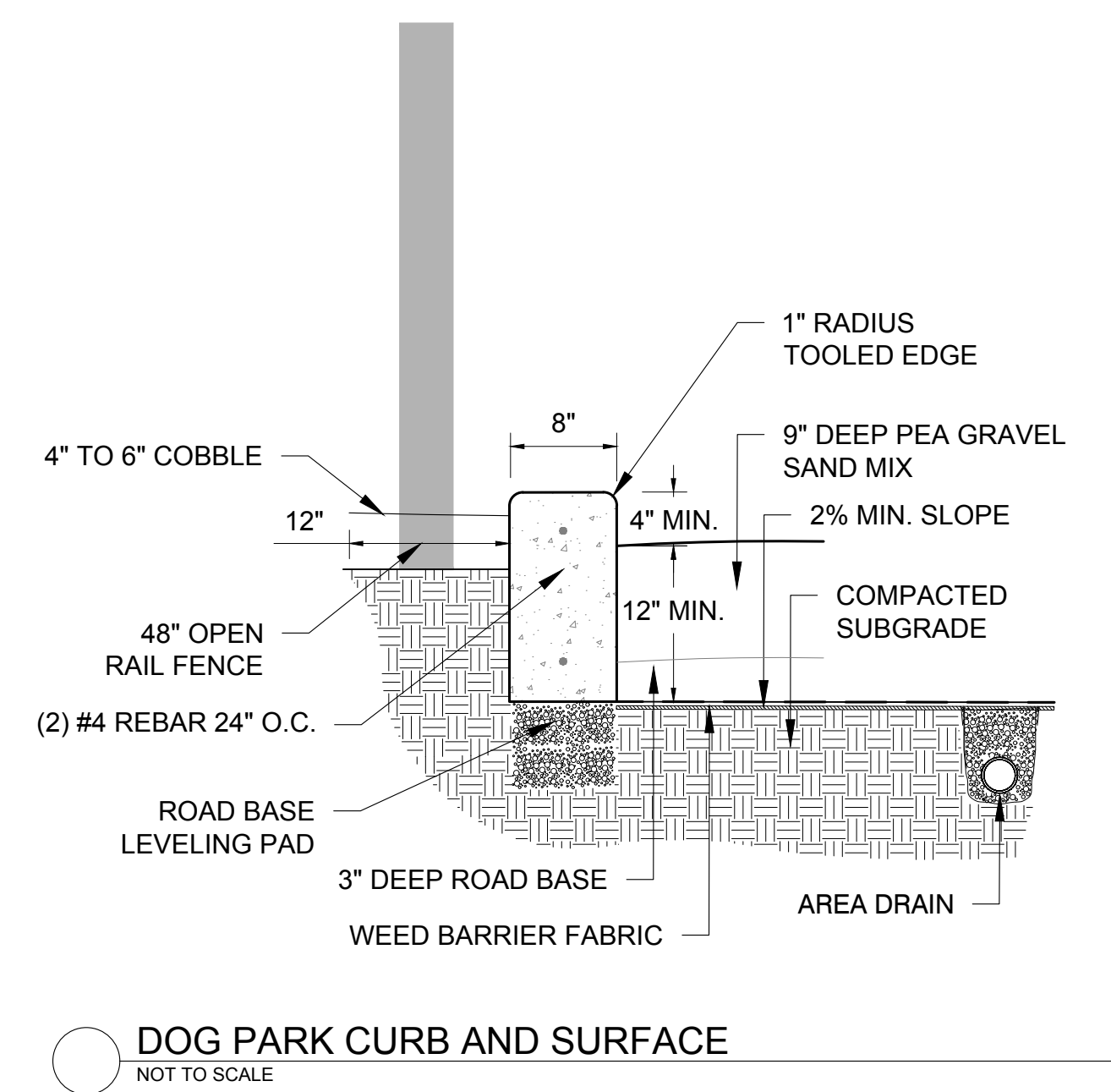
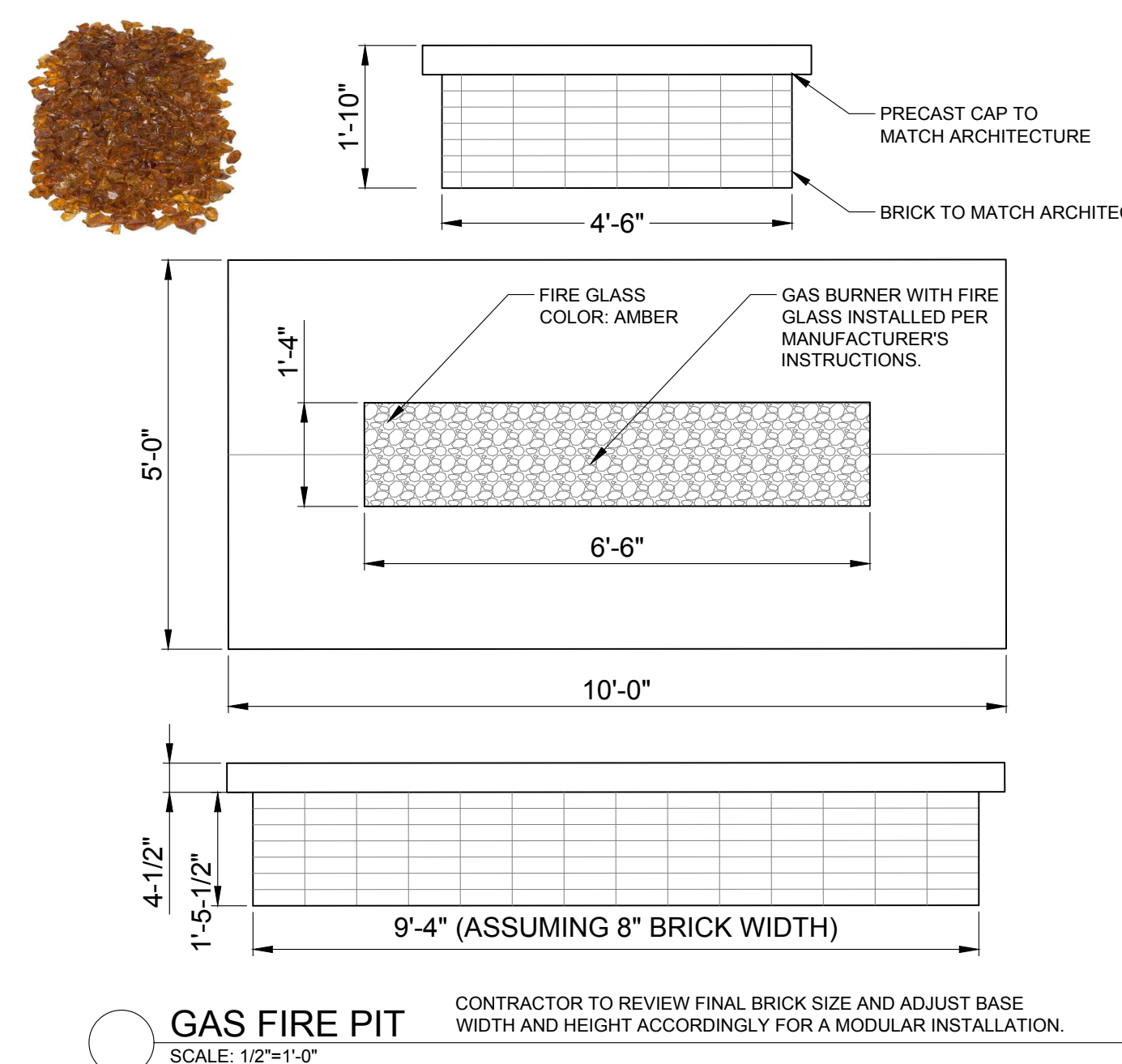
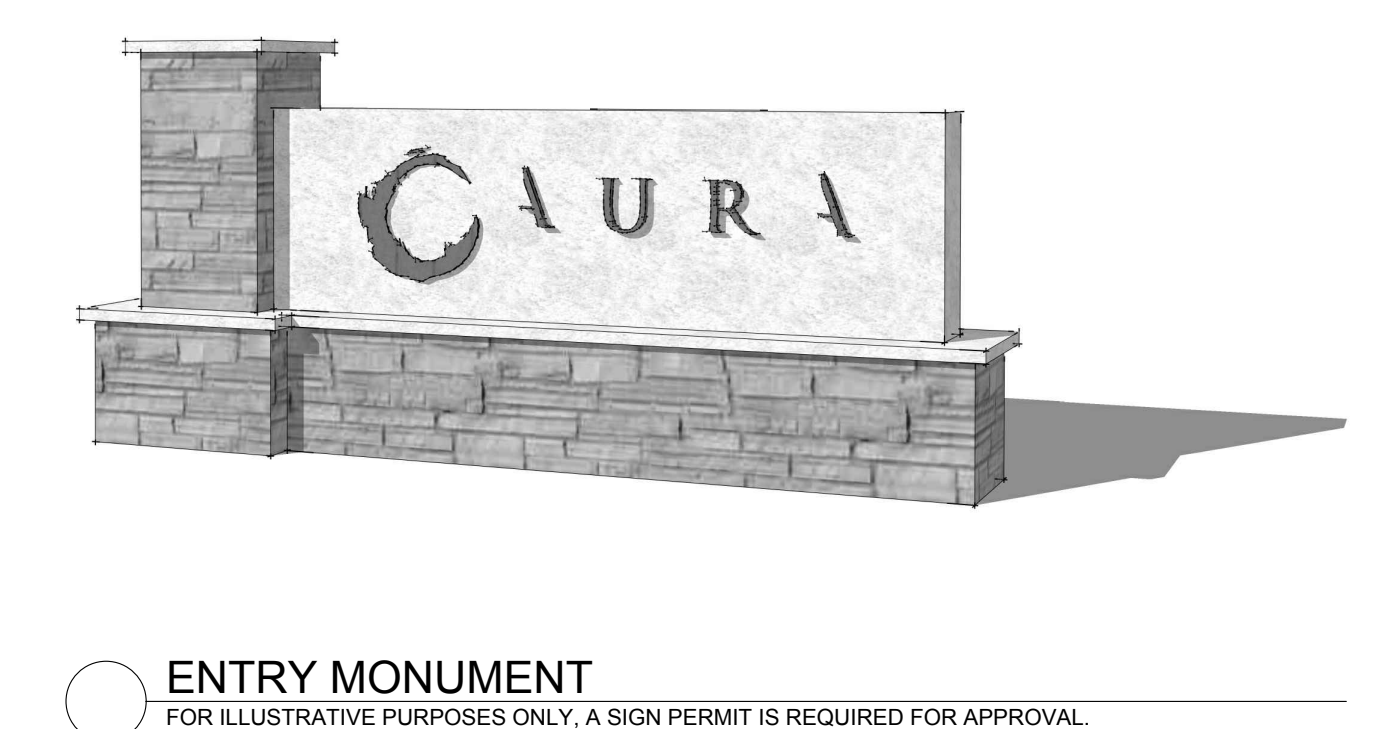
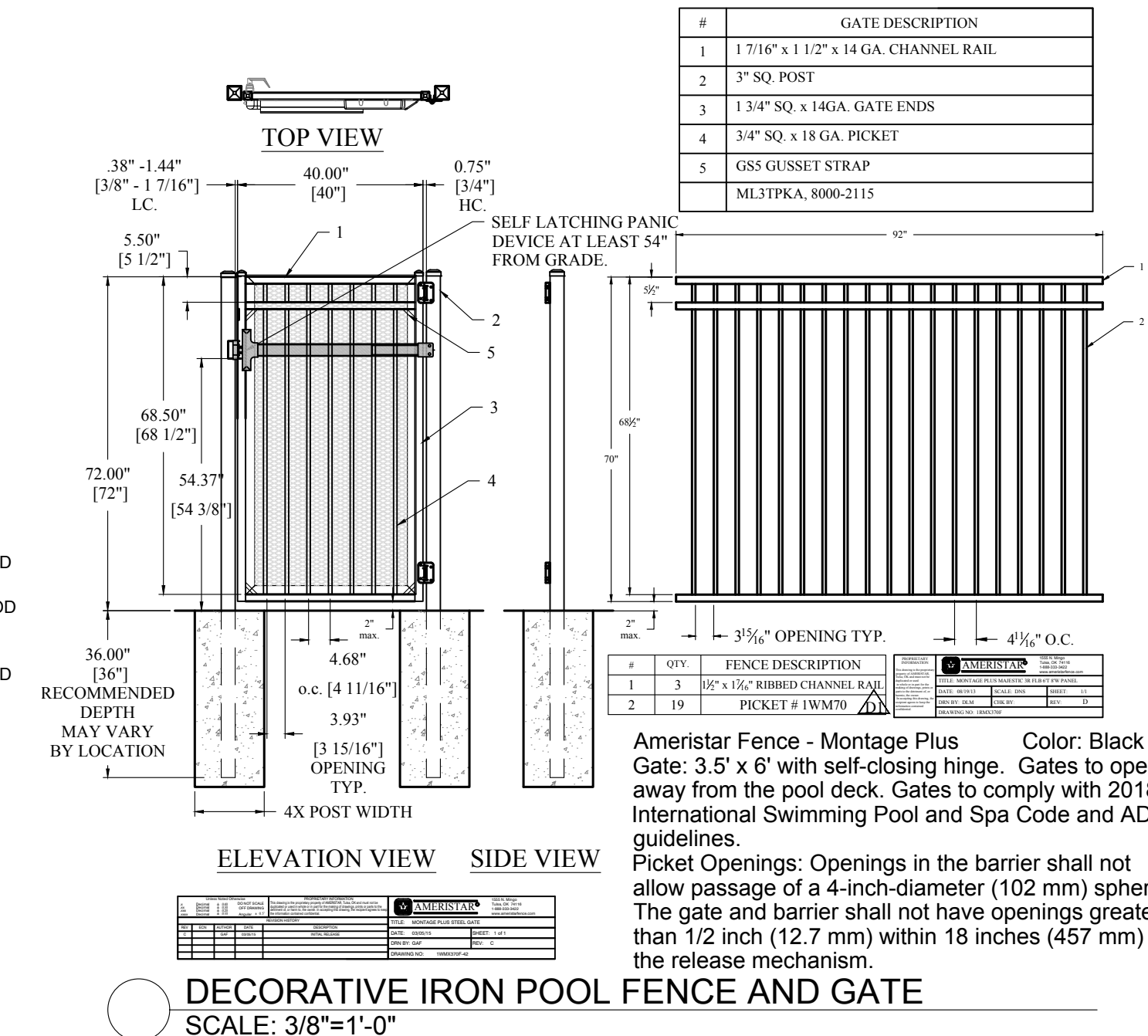
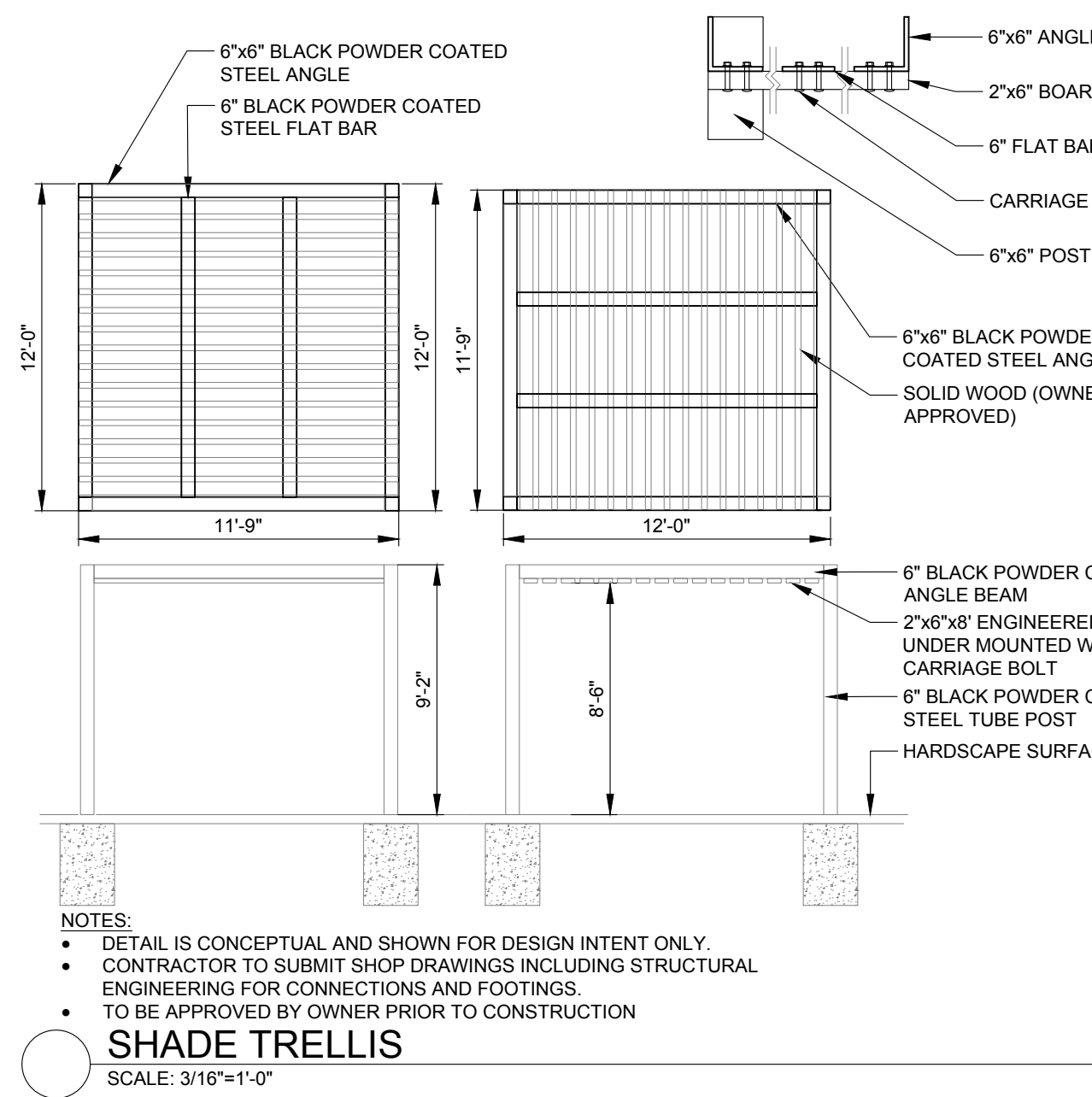
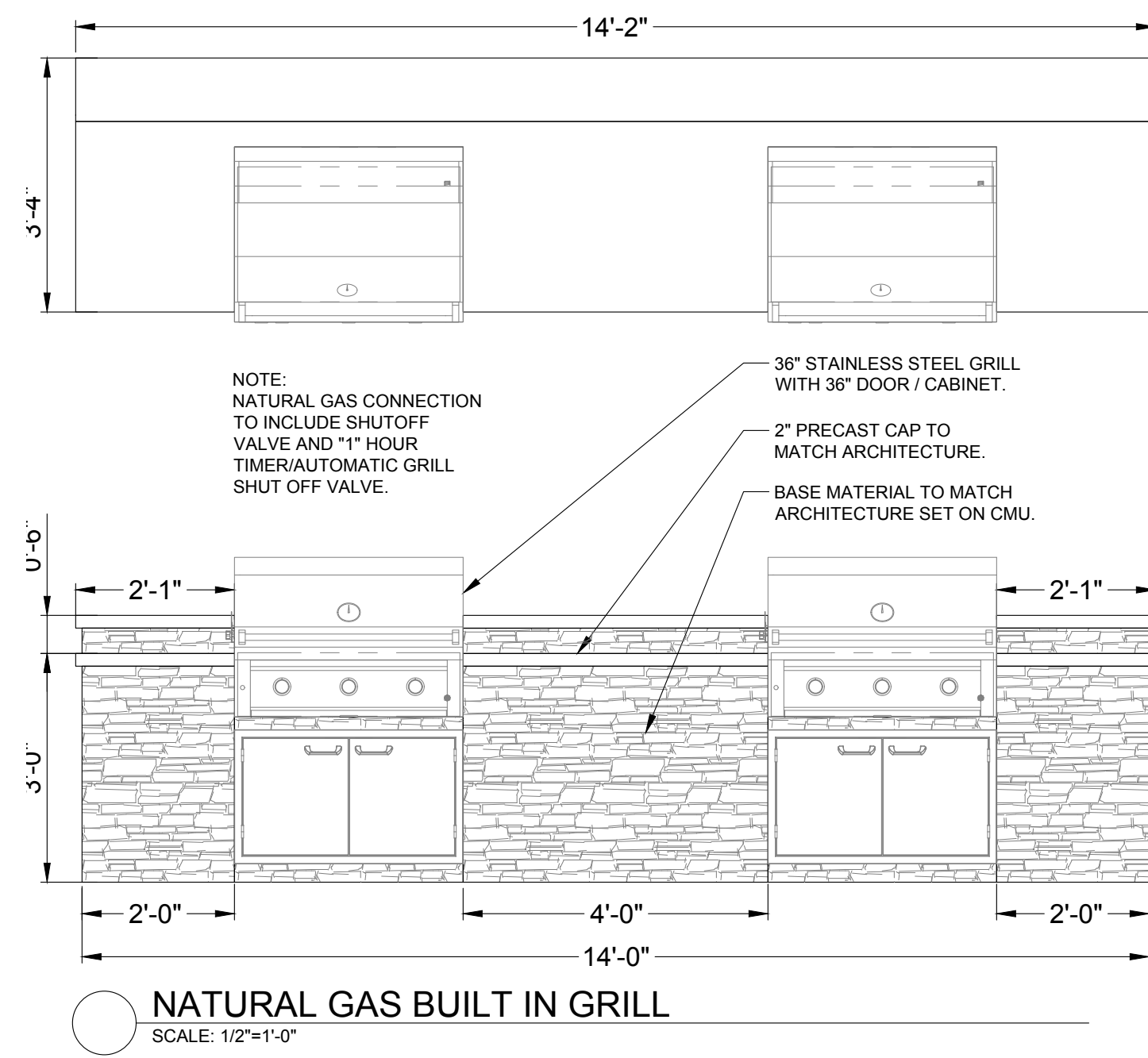
AURA AT CROSSROADS  
LANDSCAPE DETAILS  
SHEET 24 OF 29  
PCD FILE NO. PPR-21-041

PROJECT #200823



# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



ISSUE DATE: 08-06-2021	PROJECT #: 200823
DATE	REVISION COMMENTS
10-29-2021	PER COUNTY COMMENTS

**henry design group**  
Landscape Architecture • Planning • Entitlements  
1501 Wazee Street Suite 1-C, Denver, Colorado 80202  
303.446.2368 • henrydesigngroup.com

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8235 DOUGLAS AVENUE, SUITE 950  
DALLAS, TX 75225  
P: 970.819.9968

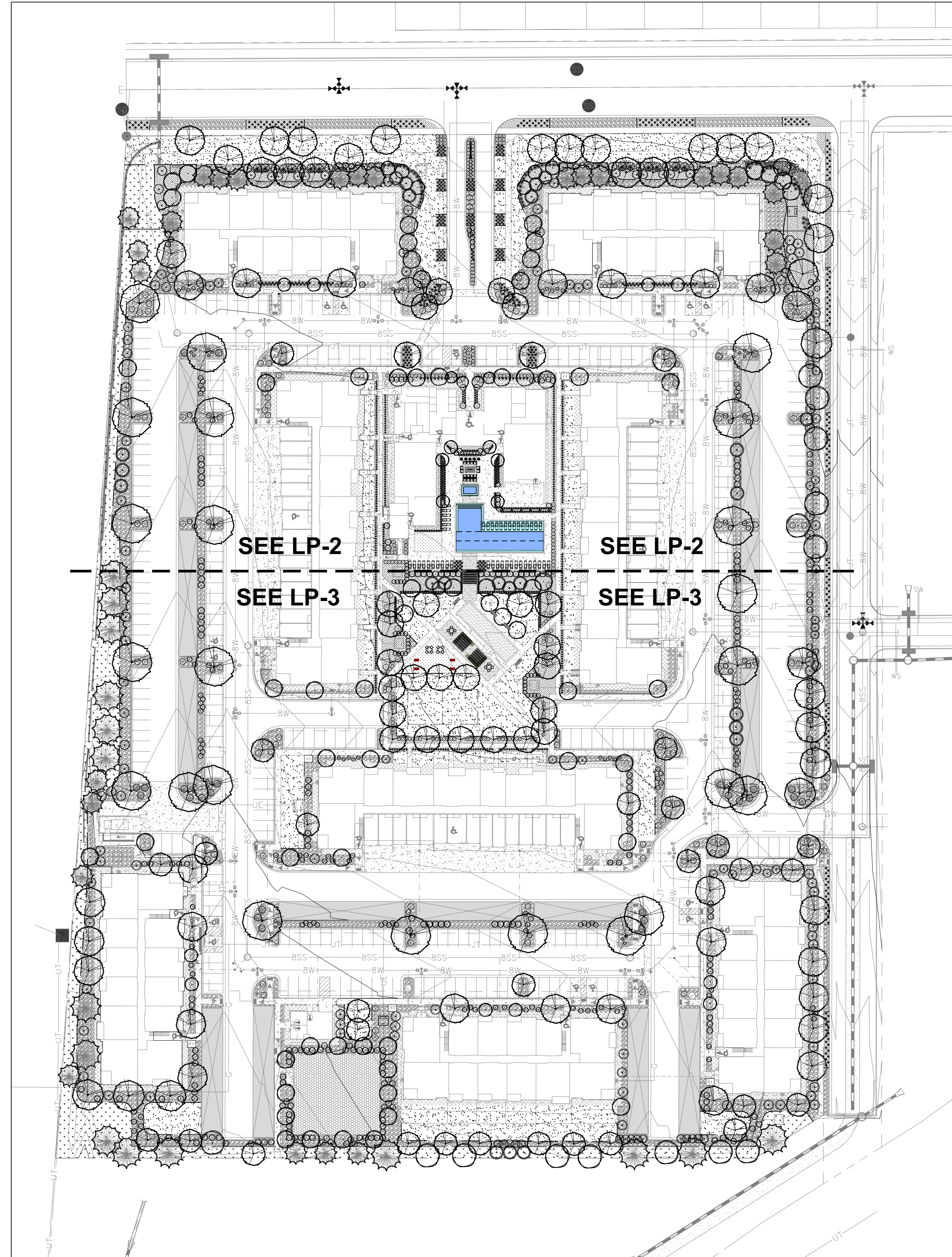
**AURA AT CROSSROADS  
LANDSCAPE DETAILS**  
SHEET 25 OF 29  
PCD FILE NO. PPR-21-041

PROJECT #201823



# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



### Landscape Code Requirements

INTERNAL LANDSCAPING			
Lot Area	15% of Lot Area	1 tree per 500 sf	Trees Provided
553058.31	82958.75	165.92	166
ROADWAY LANDSCAPING			
Linear Feet of Non-Arterial	1 tree per 30 lf	Trees Provided	
1176.36	39.21	40	
BUFFER LANDSCAPING			
Linear Feet of Buffer	1 tree per 25 lf	Trees Provided	
1628.28	65.13	65	
PARKING LOT LANDSCAPING			
Number of Parking Spaces	1 tree per 15 ps	Trees Provided	
496	33.07	33	
<b>Total Trees Required</b>		<b>303.33</b>	<b>304</b>

### Hydrozones Legend

Symbols	Square Footage	Abbreviations	Hydrozones	Inches per year	Landscape Coverage	Irrigation	
[Symbol]	5258	NA	Dog Park	0	Pea Gravel / Sand Mix	No	
[Symbol]	1474		Artificial Turf	0	Artificial Turf	No	
[Symbol]	19100	NON-IRR	Non Irrigated	0	4" Rock Mulch	No	
[Symbol]	25409	V	Very Low	0 to 7	Native Seed	Yes	
[Symbol]	74656	L	Low	7 to 15	1.5" Rock Mulch	Yes	
[Symbol]	24988	M	Moderate	15 to 25	Bark Mulch	Yes	
[Symbol]	44847	H	High	more than 25	Drought Tolerant Sod	Yes	
	195732	Total Landscape Area					

### Bicycle Parking Requirements

Number of Vehicular Parking Spaces	1 Bike p.s. per 5% of Vehicular p.s.	Bike Spaces Provided
583	29.15	32

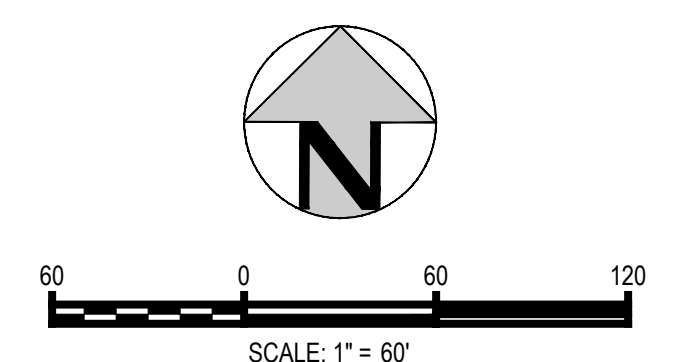
This plan does not provide a discussion of buffer widths and does not indicate whether the required buffer widths are adhered to. Please include the required buffer widths and explain what has been provided. Note that 15 ft landscape buffer is required between residential and nonresidential use. 10 ft buffer for non-arterial.

Response by Steve Allen, Henry Design Group

Minimum landscape buffer widths have been dimensioned on the plan. Additional dimensions have been provided to show the actual building setback from the property line. A landscape buffer chart has also been added for clarity.

### Sheet Index

Page Number	Sheet Name
20	Landscape Cover
21	Landscape Plan 'A'
22	Landscape Plan 'B'
23	Landscape Notes
24	Landscape Details
25	Landscape Details



ISSUE DATE:	PROJECT #:
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**CROSSROADS  
LANDSCAPE COVER SHEET**  
SHEET 20 OF 29

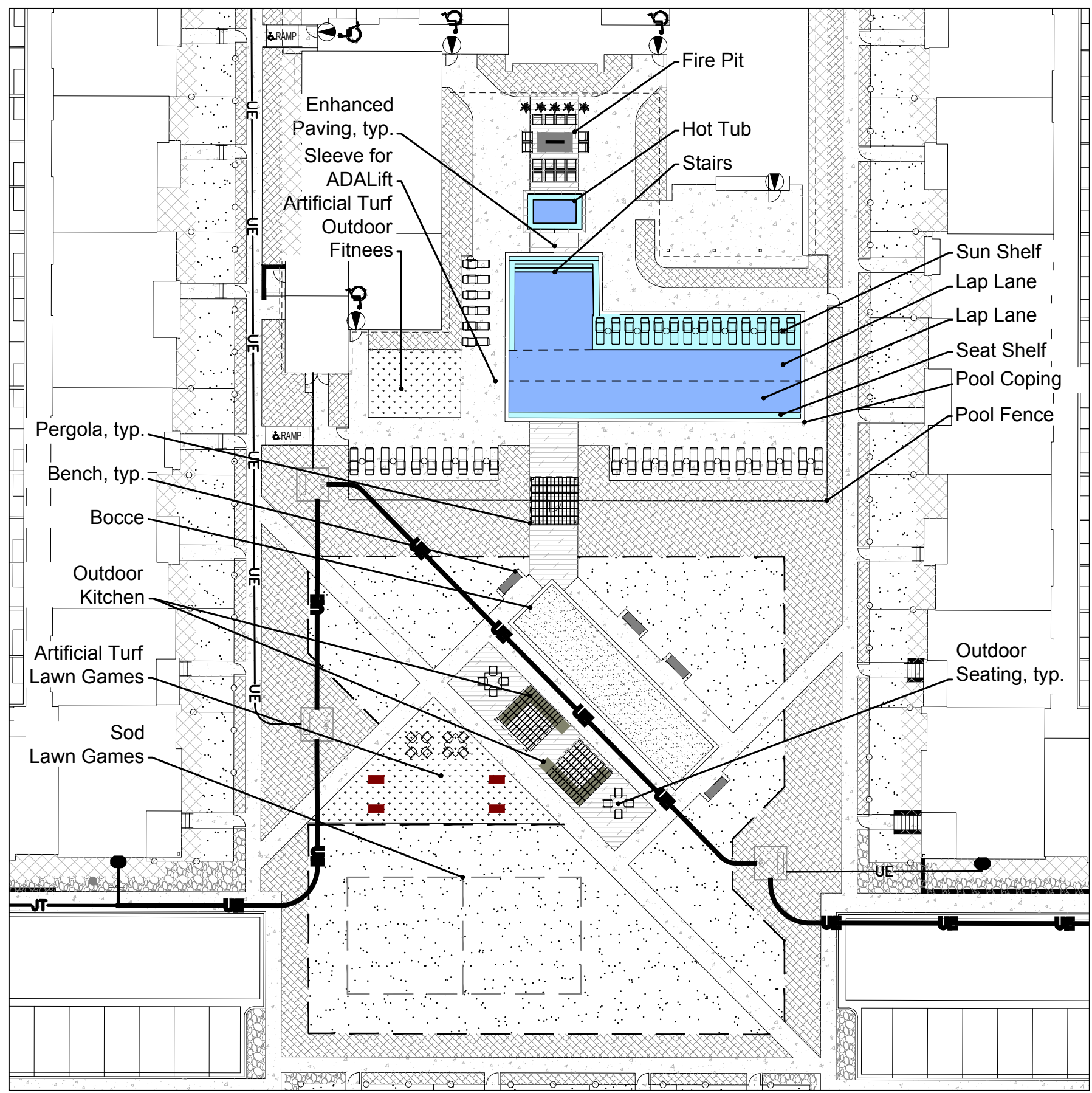
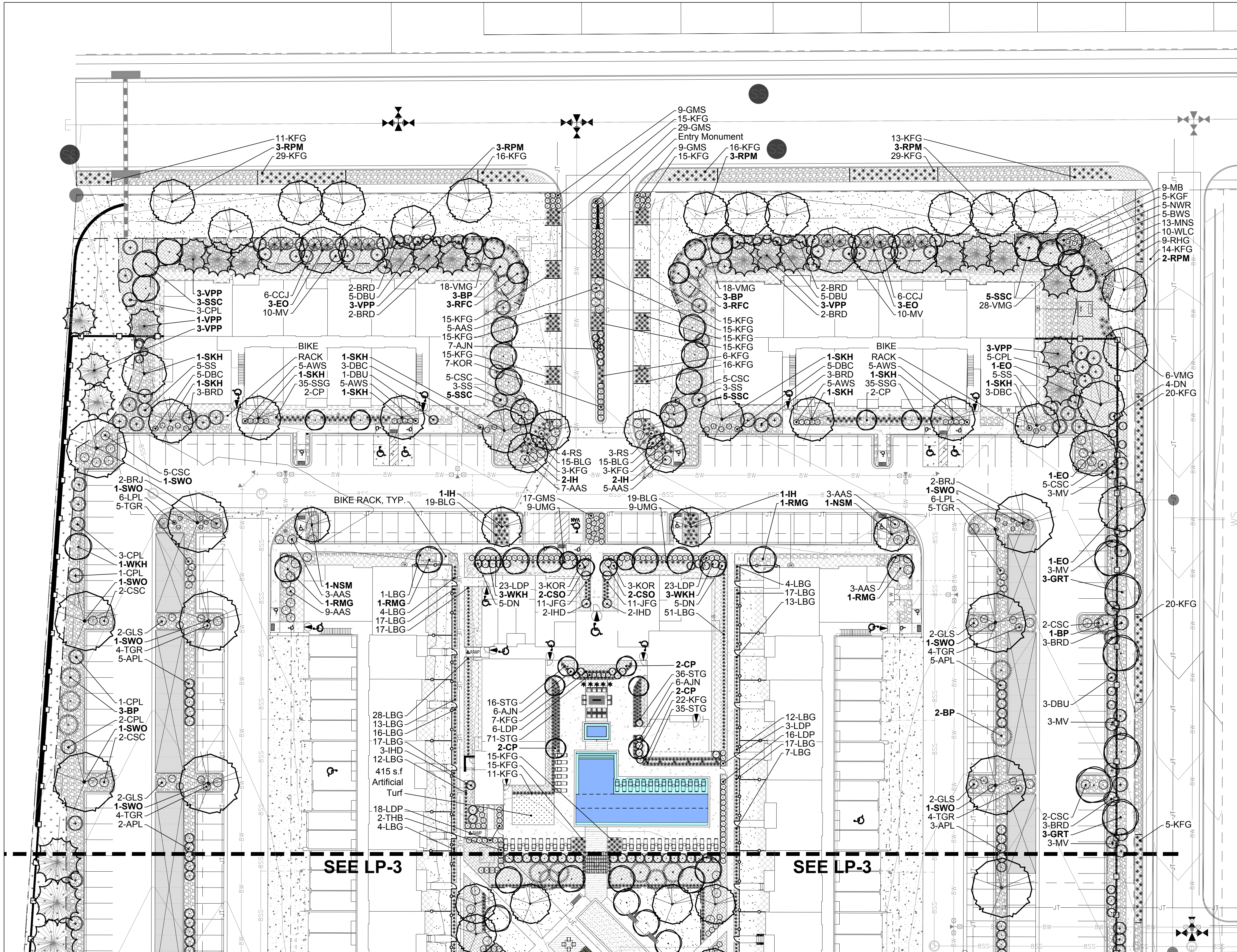


# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

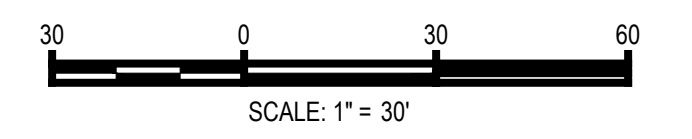
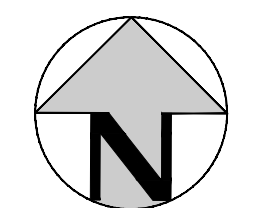
SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO

### LEGEND

- Shade Tree
- Ornamental Tree
- Evergreen Tree
- Shrubs
- Sod
- Native Seed Mix
- Rock Cobble Mulch
- Wood Mulch
- Artificial Turf
- Crusher Fines
- Pea Gravel / Sand Mix
- Edger
- Pool / Perimeter Fence
- Interior Yard Fence



Amenity Plan



Landscape Plan 'A'

ISSUE DATE: 08-06-2021	PROJECT #: 200823
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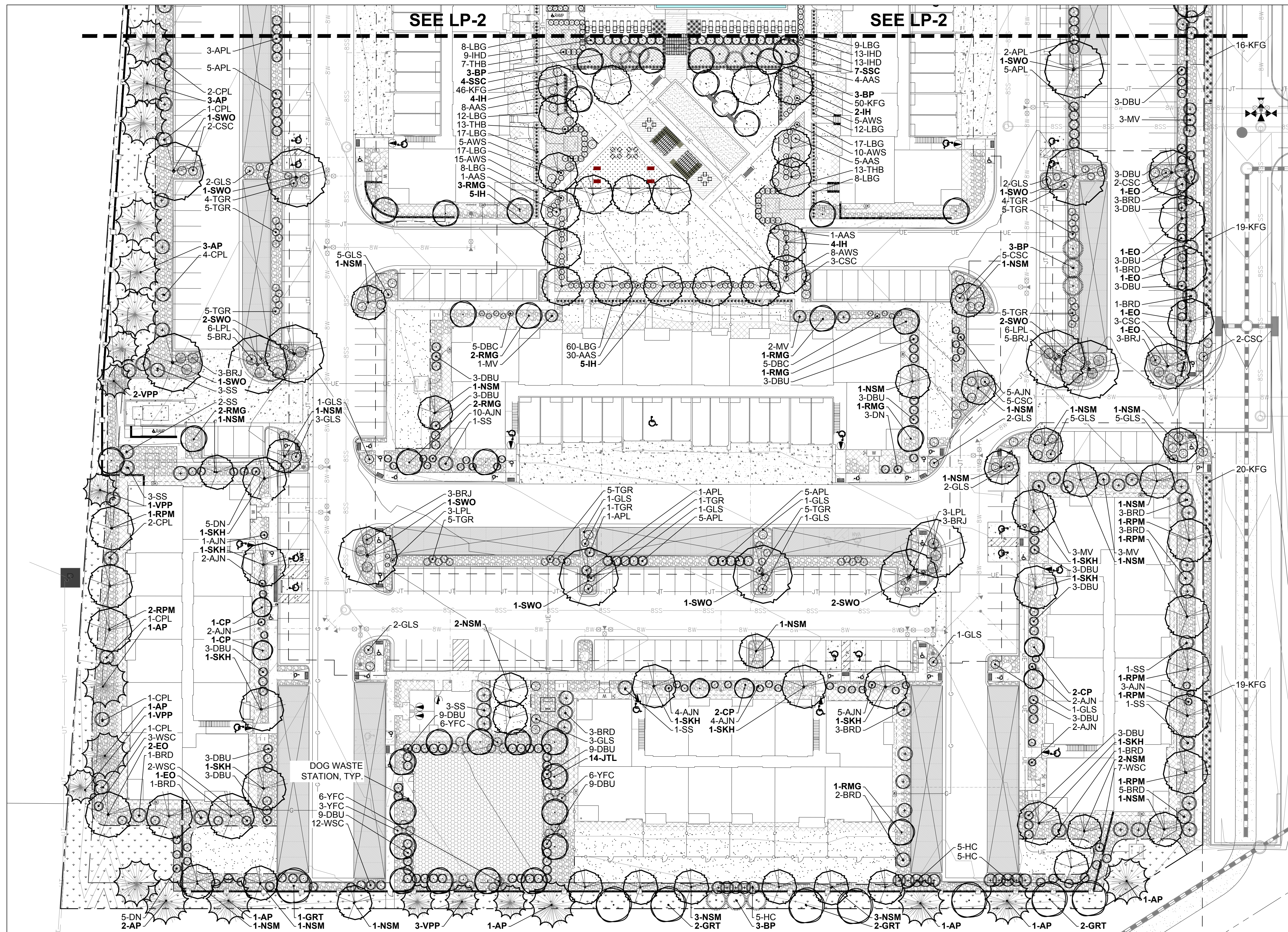
**henry design group**  
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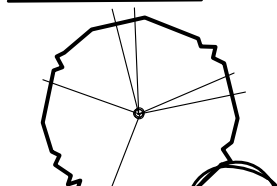
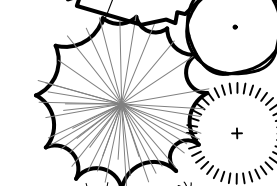
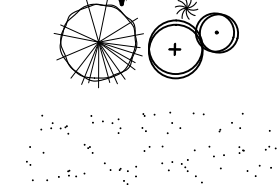
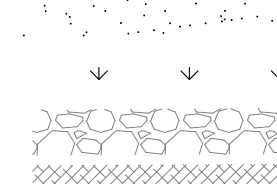
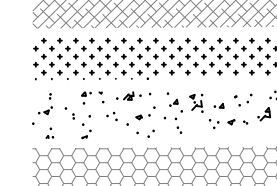
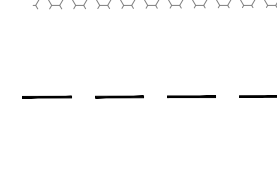
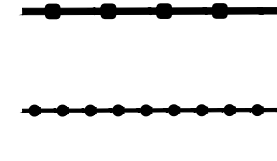









# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



### LEGEND

-  Shade Tree
-  Ornamental Tree
-  Evergreen Tree
-  Shrubs
-  Sod
-  Native Seed Mix
-  Rock Cobble Mulch
-  Wood Mulch
-  Artificial Turf
-  Crusher Fines
-  Pea Gravel / Sand Mix
-  Edger
-  Pool / Perimeter Fence
-  Interior Yard Fence

## Landscape Plan 'B'

ISSUE DATE: 08-06-2021	PROJECT # 200823
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SCALE: 1" = 30'

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 DALLAS, TX 75225  
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**CROSSROADS**  
**LANDSCAPE PLAN 'A'**  
 SHEET 22 OF 29



# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO

## PLANT LIST

SHADE TREES					
Qty.	Sym.	Scientific Name	Common Name	Size	Water Use
17	EO	Quercus robur	English Oak	2" cal. B&B	Xeric
26	IH	Gleditsia triacanthos var. inermis 'Imperial'	Imperial Honeylocust	2" cal. B&B	Low Hydro
28	NSM	Acer truncatum x platanoides 'Keithsform'	Norwegian Sunset Maple	2" cal. B&B	Low Hydro
22	RPM	Acer rubrum 'Frank Jr.' PP #16,769	Redpointe Maple	2" cal. B&B	Low Hydro
19	SKH	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honeylocust	2" cal. B&B	Low Hydro
23	SWO	Quercus bicolor	Swamp White Oak	2" cal. B&B	Low Hydro
135					
ORNAMENTAL TREES					
16	CP	Pyrus calleryana 'Glen's Form'	Chanticleer Pear	1.5" cal. B&B	Low Hydro
4	CSO	Quercus robur x Q. alba 'Crimschmidt'	Crimson Spire Oak	1.5" cal. B&B	Low Hydro
14	GRT	Koelreuteria paniculata	Golden Rain Tree	1.5" cal. B&B	Low Hydro
14	JTL	Syringa reticulata 'Ivory Silk'	Japanese Tree Lilac	1.5" cal. B&B	Low Hydro
6	RFC	Malus x 'Prairifire'	Radiant Flowering Crabapple	1.5" cal. B&B	Low Hydro
18	RMG	Acer grandidentatum 'Schmidt'	Rocky Mountain Glow Maple	1.5" cal. B&B	Low Hydro
25	SSC	Malus x 'Spring Snow'	Spring Snow Crabapple	1.5" cal. B&B	Low Hydro
7	WKH	Crataegus viridis 'Winter King'	Winter King Hawthorn	1.5" cal. B&B	Low Hydro
104					
EVERGREEN TREES					
15	AP	Pinus nigra	Austrian Pine	6' B&B	Low Hydro
24	BP	Pinus heldreichii	Bosnian Pine	6' B&B	Low Hydro
26	VPP	Pinus flexilis 'Vanderwolf's Pyramid'	Vanderwolf's Pyramidal Pine	6' B&B	Low Hydro
65					
DECIDUOUS SHRUBS					
Qty.	Sym.	Scientific Name	Common Name	Size	
54	AAS	Rhus trilobata 'Autumn Amber'	Autumn Amber Sumac	5 Gallon	Low Hydro
61	AJN	Physocarpus opulifolius 'Jefam'	Autumn Jubilee Ninebark	5 Gallon	Low Hydro
42	APL	Fallugia paradoxa	Apache Plume	5 Gallon	Xeric
93	AWS	Spirea japonica 'Anthony Waterer'	Anthony Waterer Spirea	5 Gallon	Low Hydro
47	BRD	Cornus stolonifera 'Baileyi'	Bailey Redtwig Dogwood	5 Gallon	Low Hydro
50	CSC	Prunus besseyi 'Pawnee Buttes'	Creeping Sand Cherry	5 Gallon	Xeric
27	CPL	Syringa vulgaris	Common Purple Lilac	5 Gallon	Low Hydro
26	DBC	Aronia melanocarpa 'Morton'	Dwarf Black Chokeberry	5 Gallon	Low Hydro
98	DBU	Euonymus alatus 'Compactus'	Dwarf Burning Bush	5 Gallon	Low Hydro
28	DN	Physocarpus opulifolius 'Nana'	Dwarf Ninebark	5 Gallon	Low Hydro
46	GLS	Rhus aromatica 'Gro-Low'	Dwarf Fragrant Sumac	5 Gallon	Xeric
64	GMS	Spiraea x bumalda 'Goldflame'	Gold Flame Spirea	5 Gallon	Low Hydro
15	HC	Cotoneaster lucidus	Hedge Cotoneaster	5 Gallon	Low Hydro
29	IHD	Cornus alba 'Bailhalo'	Ivory Halo Dogwood	5 Gallon	Low Hydro
13	KOR	Rosa x 'Radrazz'	Knock Out Rose	5 Gallon	Low Hydro
85	LDP	Ligustrum vulgare 'Lodense'	Lodense Privet	5 Gallon	Xeric
30	LPL	Amorpha canescens	Leadplant	5 Gallon	Xeric
44	MV	Viburnum lantana 'Mohican'	Mohican Viburnum	5 Gallon	Low Hydro
5	NWR	Rosa 'Nearly Wild'	Nearly Wild Rose	5 Gallon	Low Hydro
7	RS	Perovskia atriplicifolia	Russian Sage	5 Gallon	Low Hydro
28	SS	Amelanchier alnifolia	Saskatoon Serviceberry	5 Gallon	Low Hydro
35	THB	Rhamnus frangula 'Columnaris'	Tall Hedge Buckthorn	5 Gallon	Low Hydro
76	TGR	Chrysothamnus nauseosus graveolens	Tall Green Rabbitbrush	5 Gallon	Xeric
24	WSC	Prunus besseyi	Western Sand Cherry	5 Gallon	Low Hydro
21	YFC	Ribes aureum	Yellow Flowering Currant	5 Gallon	Low Hydro
1048					

EVERGREEN SHRUBS					
26	BRJ	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	5 Gallon	Xeric
12	CCJ	Juniperus sabina 'Monna'	Calgary Carpet Juniper	5 Gallon	Xeric
38					
ORNAMENTAL GRASSES					
68	BLG	Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Grass	1 Gallon	Low Hydro
22	JFG	Hakonechloa macra 'Aureola'	Japanese Forest Grass	1 Gallon	Low Hydro
545	KFG	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	1 Gallon	Low Hydro
400	LBG	Schizachyrium scoparium	Little Bluestem Grass	1 Gallon	Xeric
70	SSG	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1 Gallon	Low Hydro
158	STG	Nassella tenuissima	Silky Thread Grass	1 Gallon	Low Hydro
18	UMG	Muhlenbergia reverchonii 'PUND01S'	Undaunted Ruby Muhly Grass	1 Gallon	Low Hydro
70	VMG	Miscanthus sinensis 'Variegatus'	Variegated Maiden Grass	1 Gallon	Low Hydro
1351					
PERENNIALS					
5	BWS	Veronica pectinata	Blue Woolly Veronica	1 Gallon	Low Hydro
5	KGF	Liatris spicata 'Kobold'	Kobold Gayfeather	1 Gallon	Low Hydro
9	MB	Liatris spicata	Morning Blazing Star	1 Gallon	Low Hydro
13	MNS	Salvia sylvestris 'May Night'	May Night Salvia	1 Gallon	Low Hydro
9	RHG	Geranium 'Rozanne' PP12175	Rozanne Hardy Geranium	1 Gallon	Low Hydro
10	WLC	Nepeta x faassenii 'Walker's Low'	Walkers Low Catmint	1 Gallon	Low Hydro
51					

## LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH AAN (AMERICAN ASSOCIATION OF NURSERYMAN) SPECIFICATIONS FOR NUMBER ONE GRADE.
- ALL TURF AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. ALL SHRUB BEDS AND TREES TO BE IRRIGATED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM, OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE WATER REQUIREMENTS OF THE INDIVIDUAL PLANT MATERIAL.
- ALL SHRUB BEDS TO BE MULCHED WITH ROCK MULCH CONSISTING OF 1-1/2" DIAMETER ROCK TO A DEPTH OF 4" AND SHALL BE PLACED OVER A WEED BARRIER FILTER FABRIC.
- ALL 5' BUILDING OFFSET BEDS TO BE MULCHED WITH ROCK MULCH CONSISTING OF 2" TO 3" DIAMETER ROCK TO A DEPTH OF 4" AND SHALL BE PLACED OVER A WEED BARRIER FILTER FABRIC.
- ALL PLANTING BEDS ADJACENT TO DRYLAND SEEDED AREAS OR SOD AREAS SHALL BE SEPARATED WITH 1/8" X 4" ROLLED TOP STEEL EDGER.
- OWNER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS BY OTHER CONSULTANTS SO THE PROPOSED GRADING, STORM DRAINAGE OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION AS REQUIRED BY SITE CONDITIONS OR AVAILABILITY OF MATERIAL. OVERALL QUALITY AND DESIGN CONCEPT SHALL BE CONSISTENT WITH APPROVED LANDSCAPE PLANS. ANY CHANGES WILL BE PROVIDED TO THE OWNER FOR REVIEW AND APPROVAL.
- PRIOR TO INSTALLATION OF PLANT MATERIAL & SOD, CONTRACTOR SHALL THOROUGHLY LOOSEN ALL AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION. CONTRACTOR TO THOROUGHLY INCORPORATE SIX CUBIC YARDS OF COMPOST OR COMPOSTED WEED FREE MANURE PER 1,000 SQUARE FEET TO BED AND SOD AREAS. AREAS TO BE NATIVE SEEDED TO RECEIVE FOUR CUBIC YARDS OF AMENDMENT. ORGANIC MATERIAL TO HAVE THE FOLLOWING CHARACTERISTICS:
  - ORGANIC MATTER: 25% OR GREATER
  - SALT CONTENT: 3.0 MMHOS/CM MAX.
  - pH: 8.5 MAXIMUM
  - CARBON TO NITROGEN RATIO 10:1 TO 25:1
 CONTRACTOR WILL PROVIDE A NUTRIENT TEST FROM THE LAST 3 MONTHS PRIOR TO SPREADING. MOUNTAIN PEAT, ASPEN HUMUS, GYPSUM AND SAND WILL NOT BE ACCEPTED.
- TURF GRASS WILL BE SODDED WITH DROUGHT TOLERANT ENVIROTURF.
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- NO LANDSCAPING OR IRRIGATION SHALL OCCUR WITHIN 5' FEET OF ALL BUILDING FOUNDATIONS.

ISSUE DATE: 08-06-2021	PROJECT #: 200823
DATE	REVISION COMMENTS

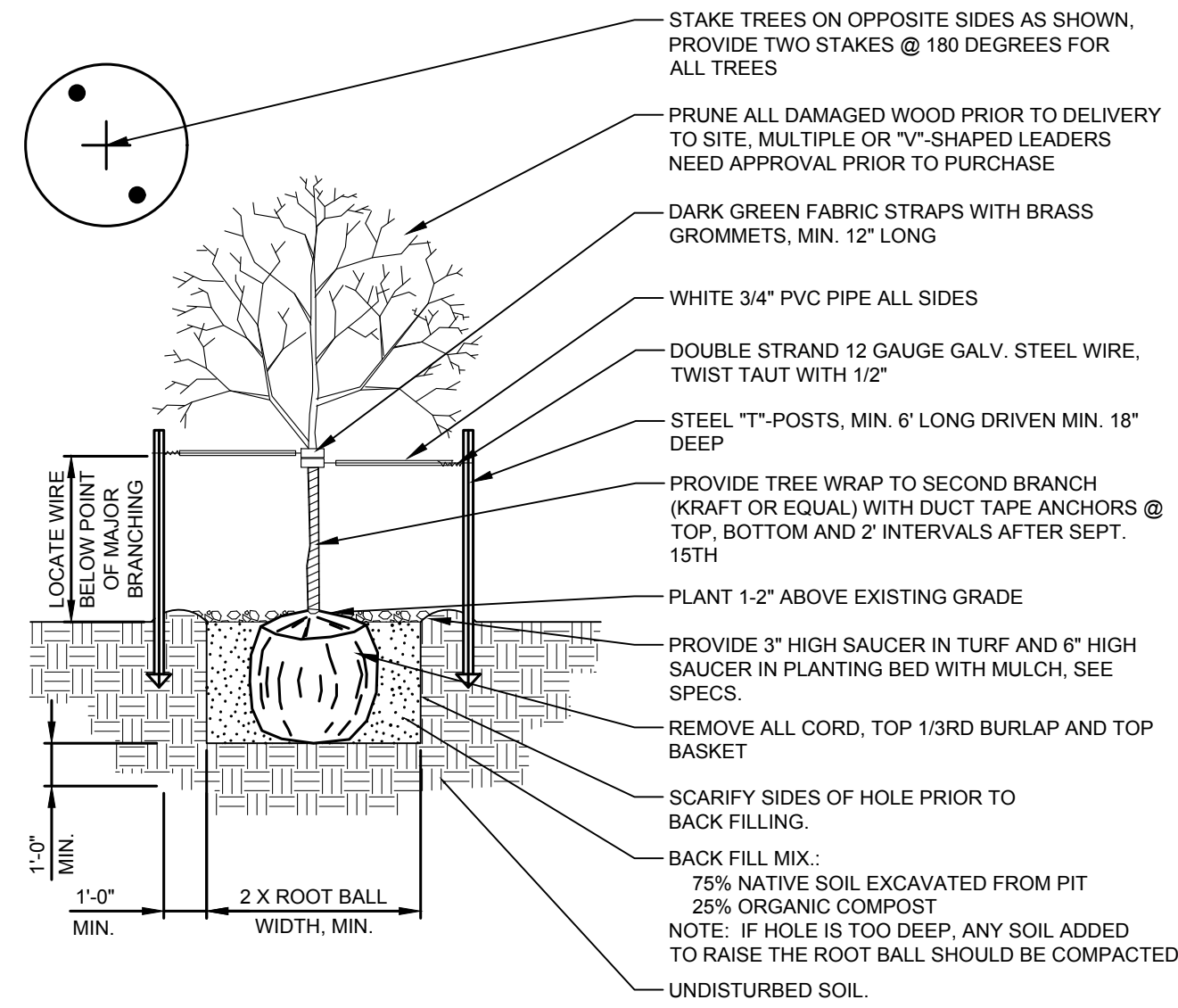


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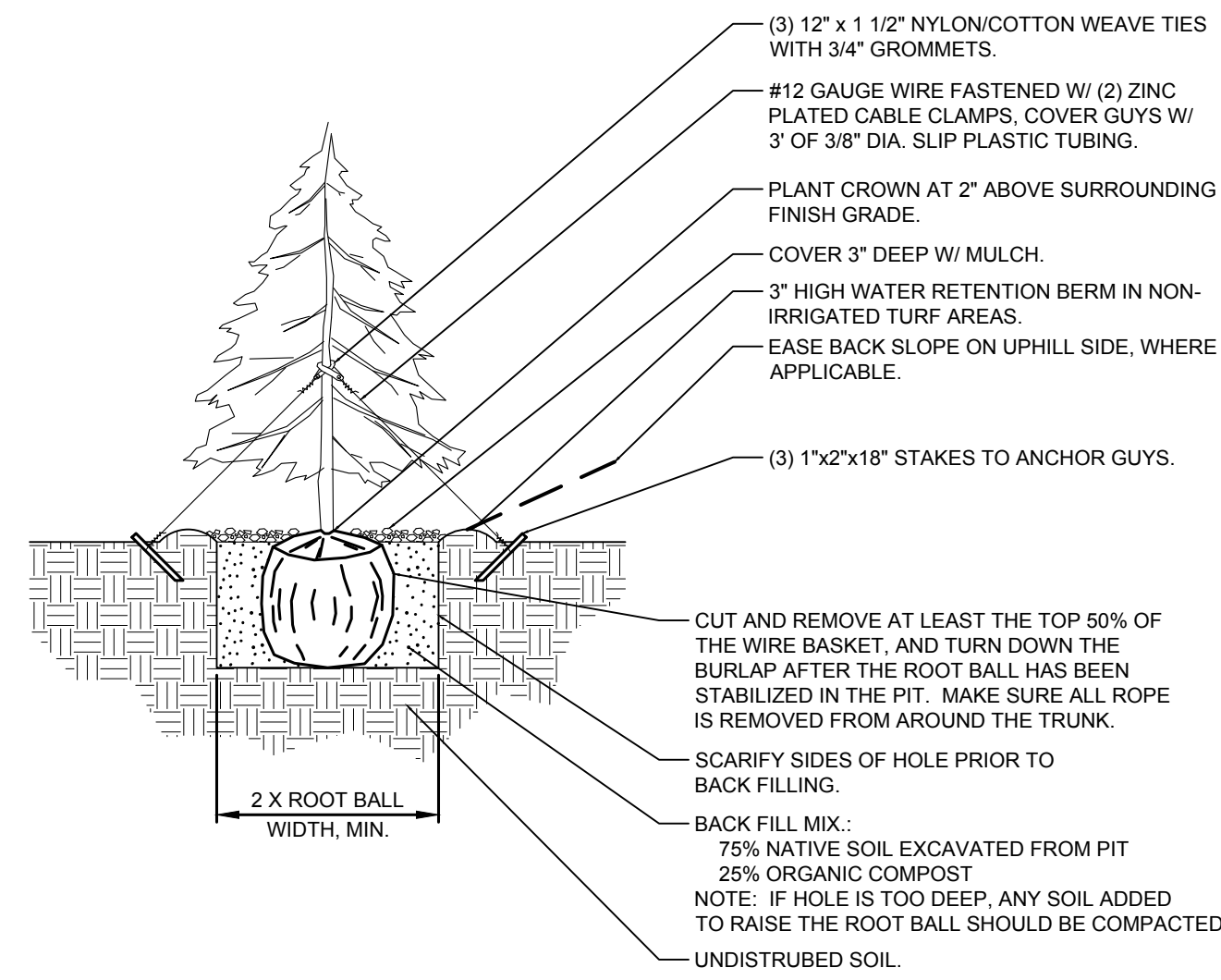


# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

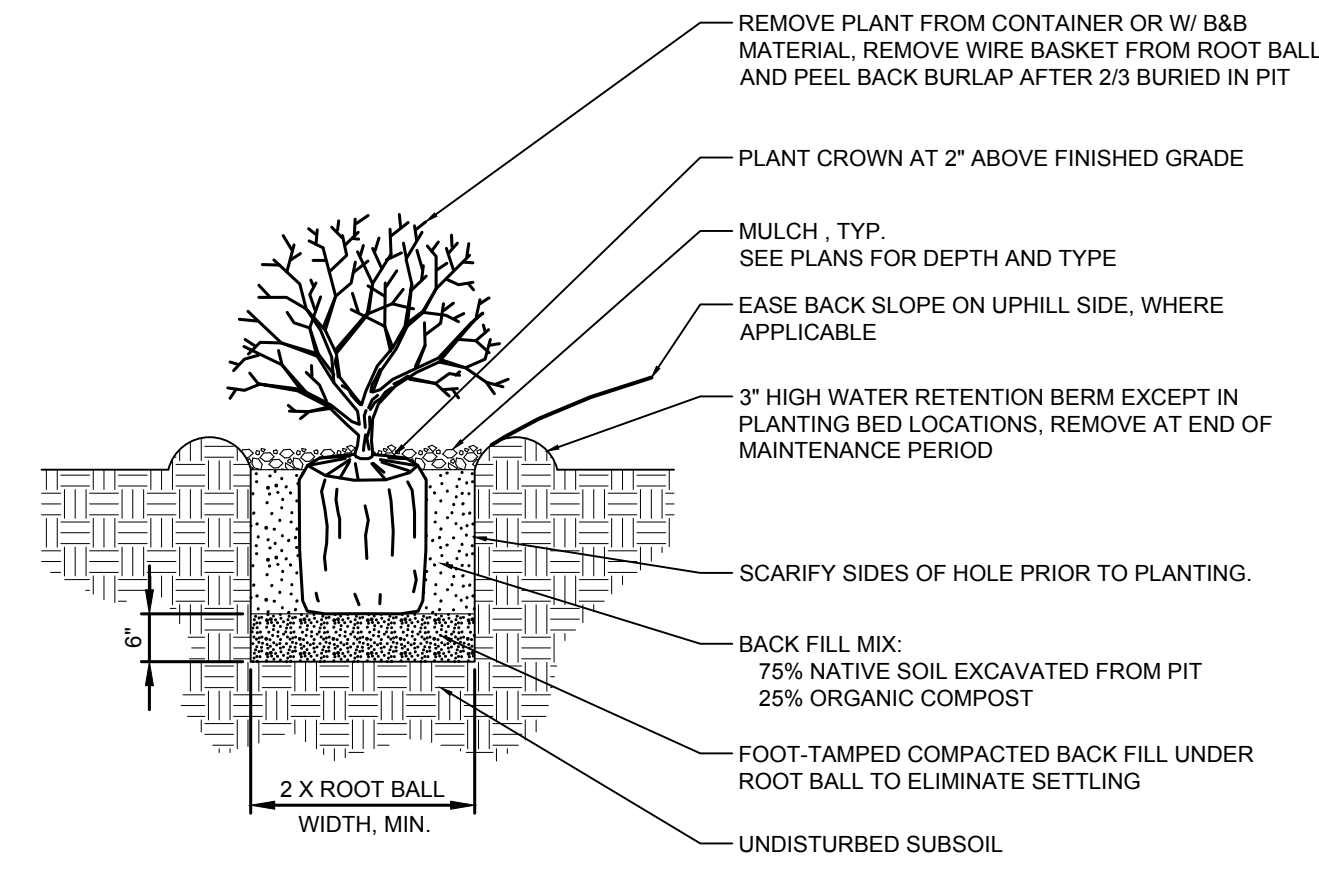
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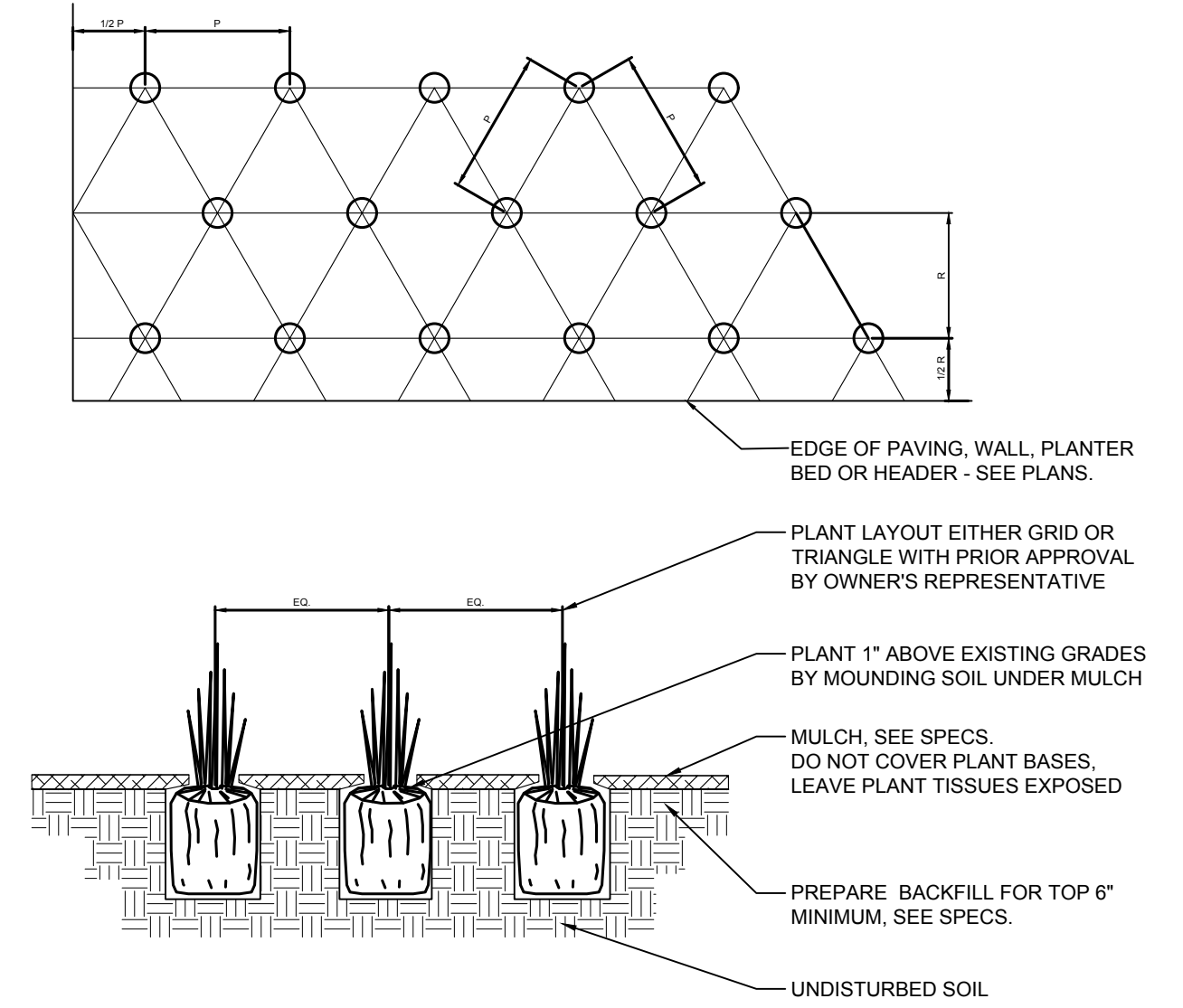
**DECIDUOUS TREE PLANTING & STAKING**  
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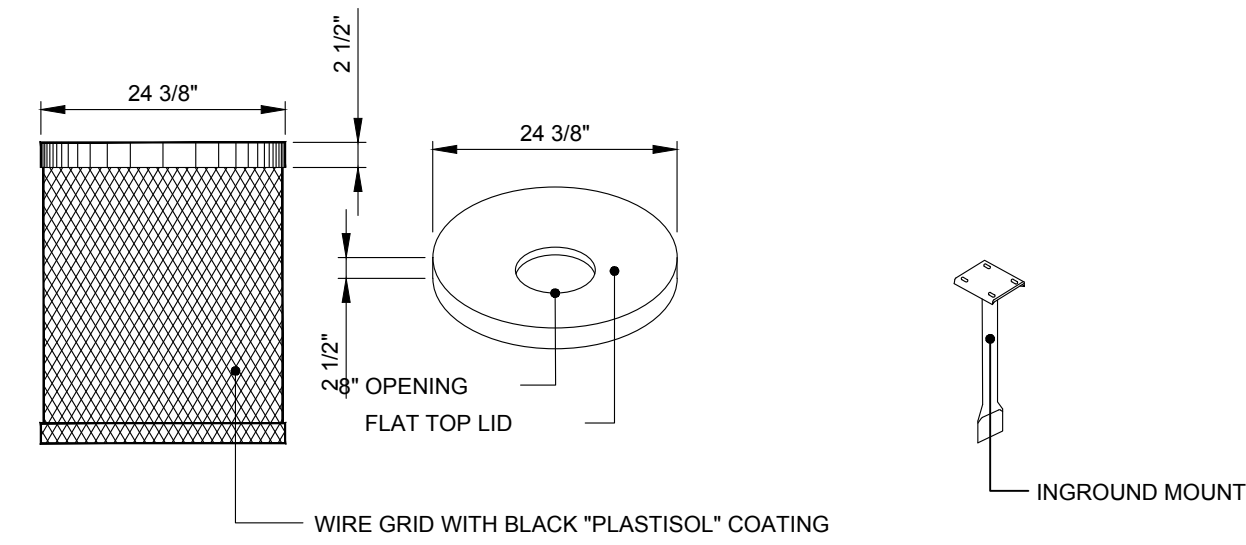
**EVERGREEN TREE PLANTING & STAKING**  
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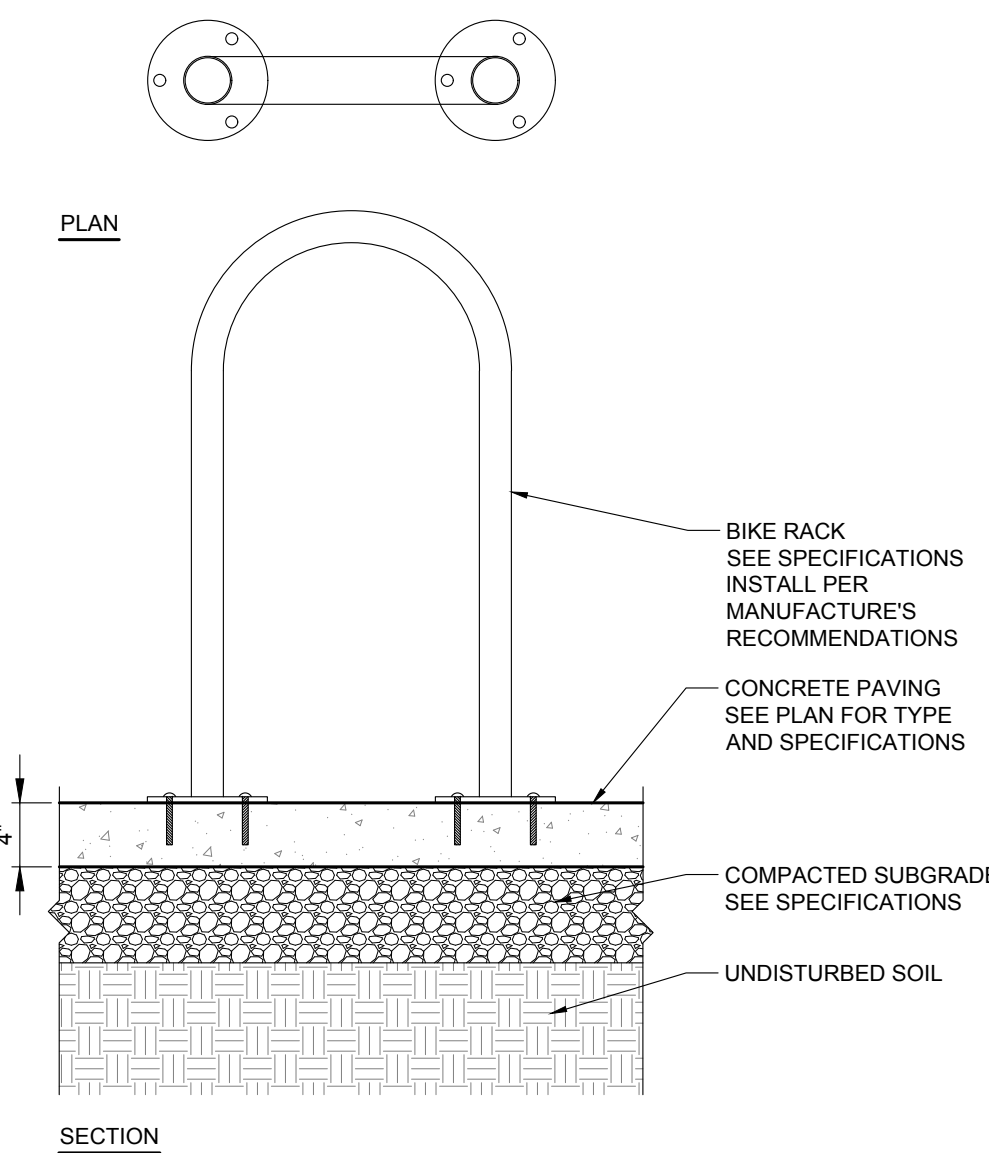
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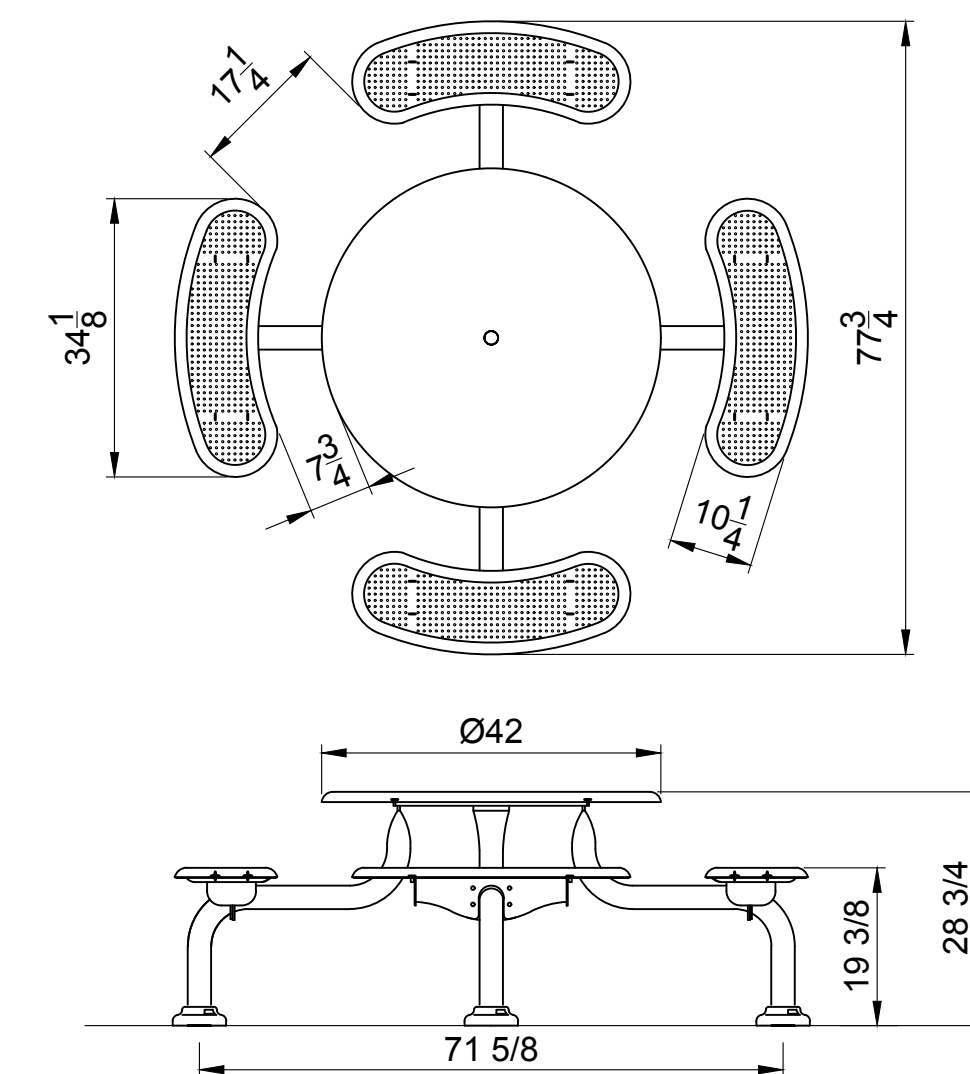
**TYPICAL PERENNIAL PLANTING DETAIL**  
SCALE: 1/2"=1'-0"



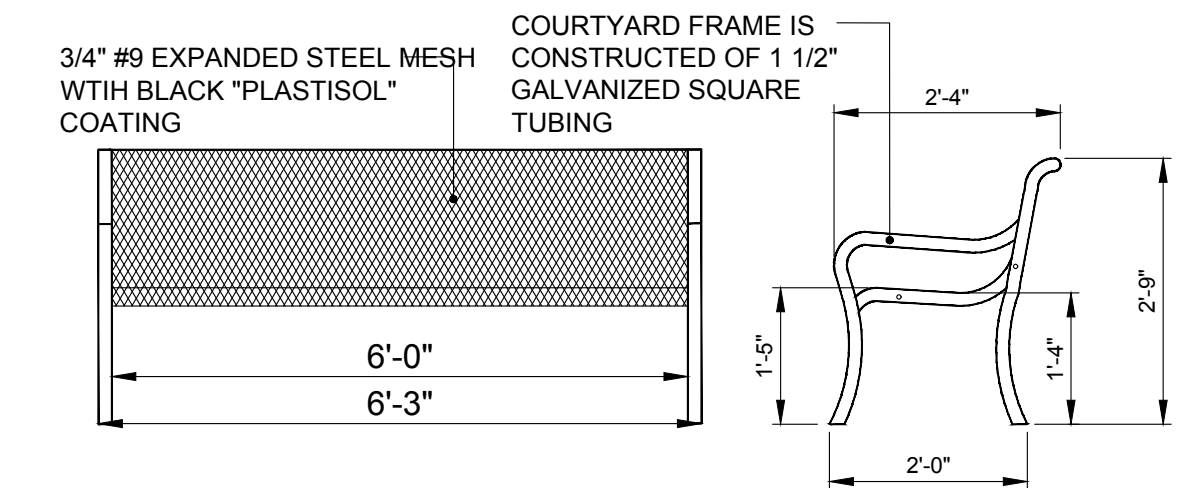
Wabash Valley model No. LRD32 with lid  
No. FTL32 and inground leg model 10056.  
**TRASH RECEPTACLE**  
SCALE: 1/2"=1'-0"



**BIKE RACK ON CONCRETE PAVING**  
SCALE: 1"=1'-0"



Wabash Valley - Round Perforation Pattern - Model no. CA2Q50C, Color: Silver  
**PICNIC TABLE**  
SCALE: 1/2"=1'-0"



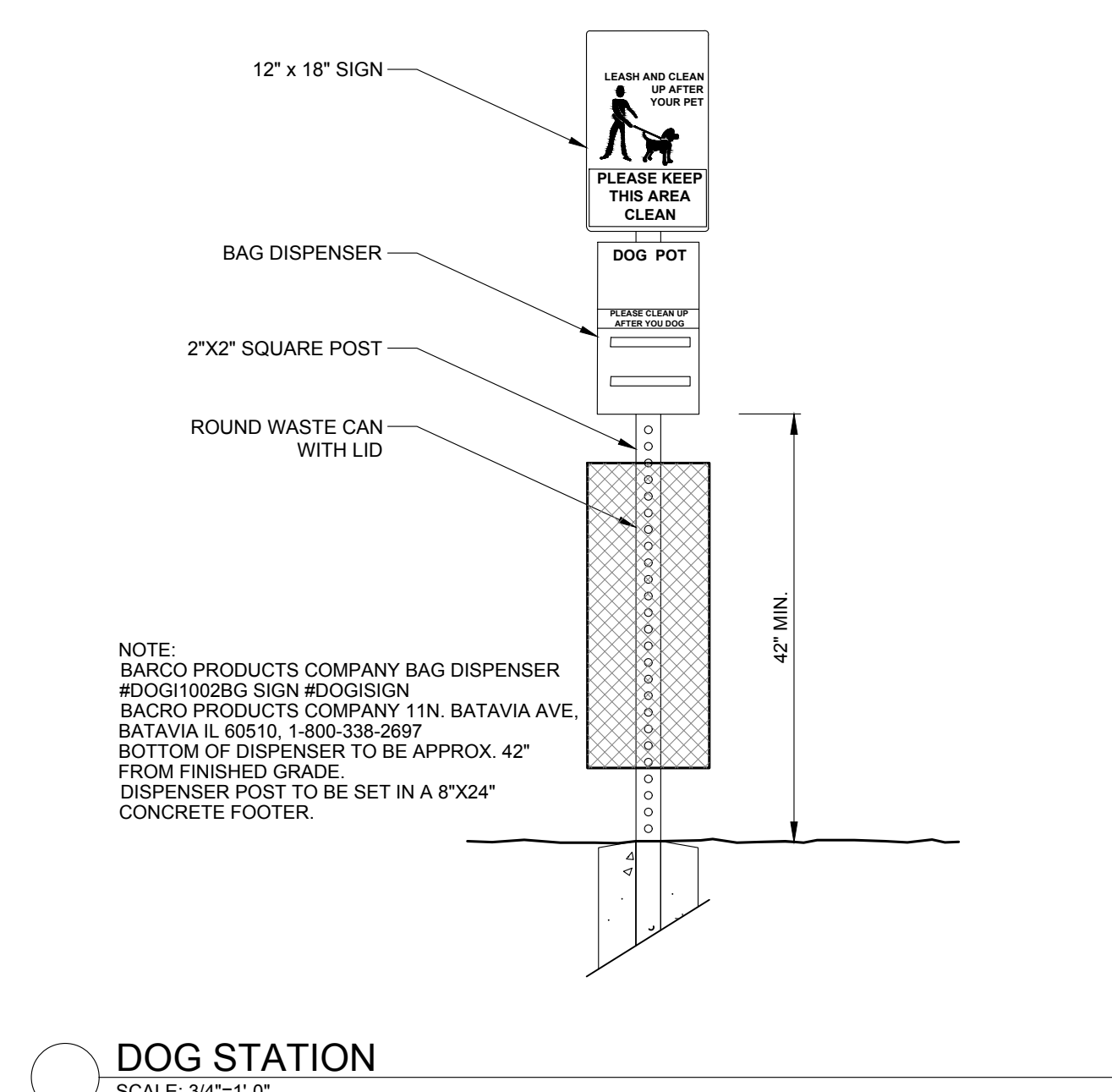
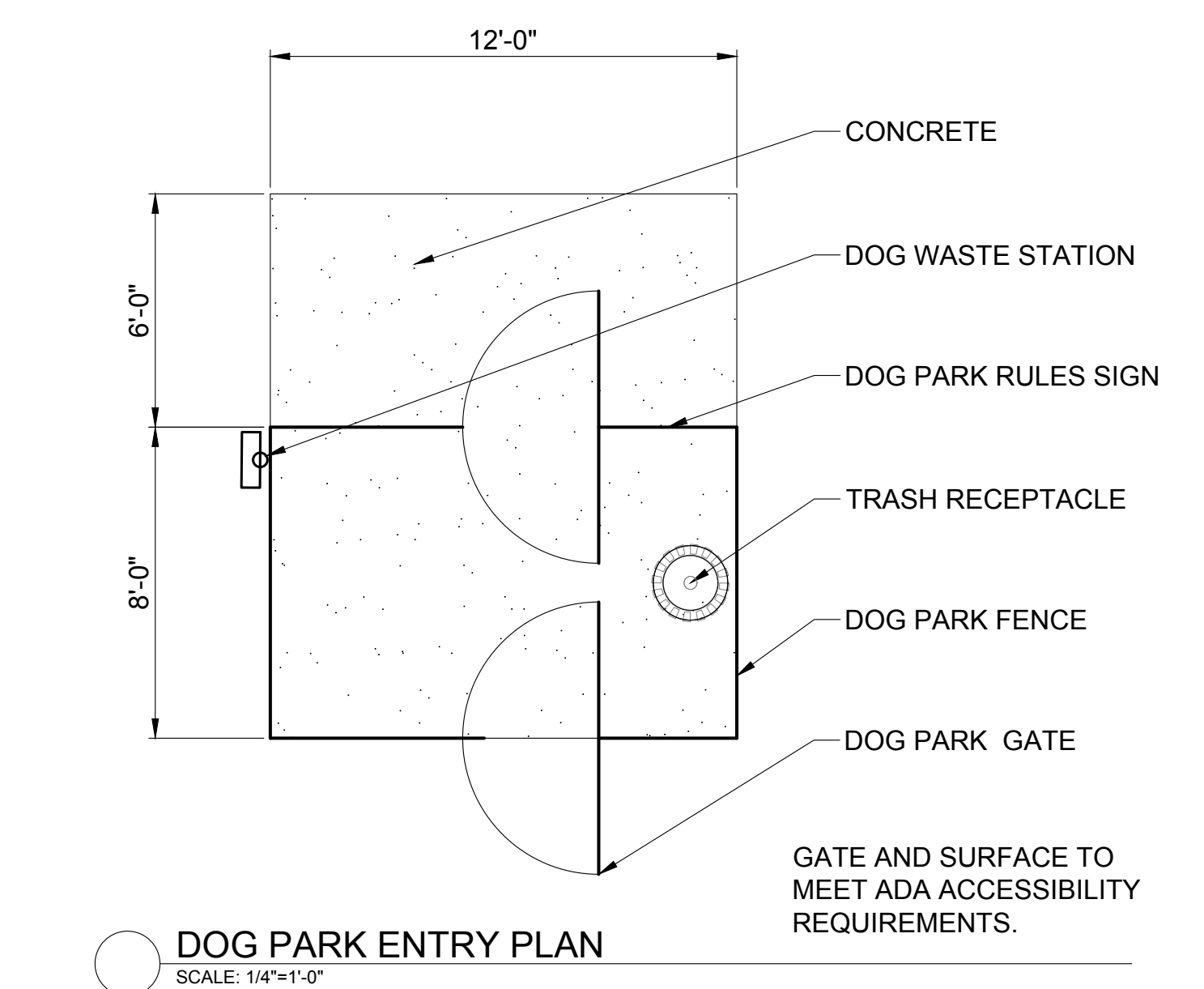
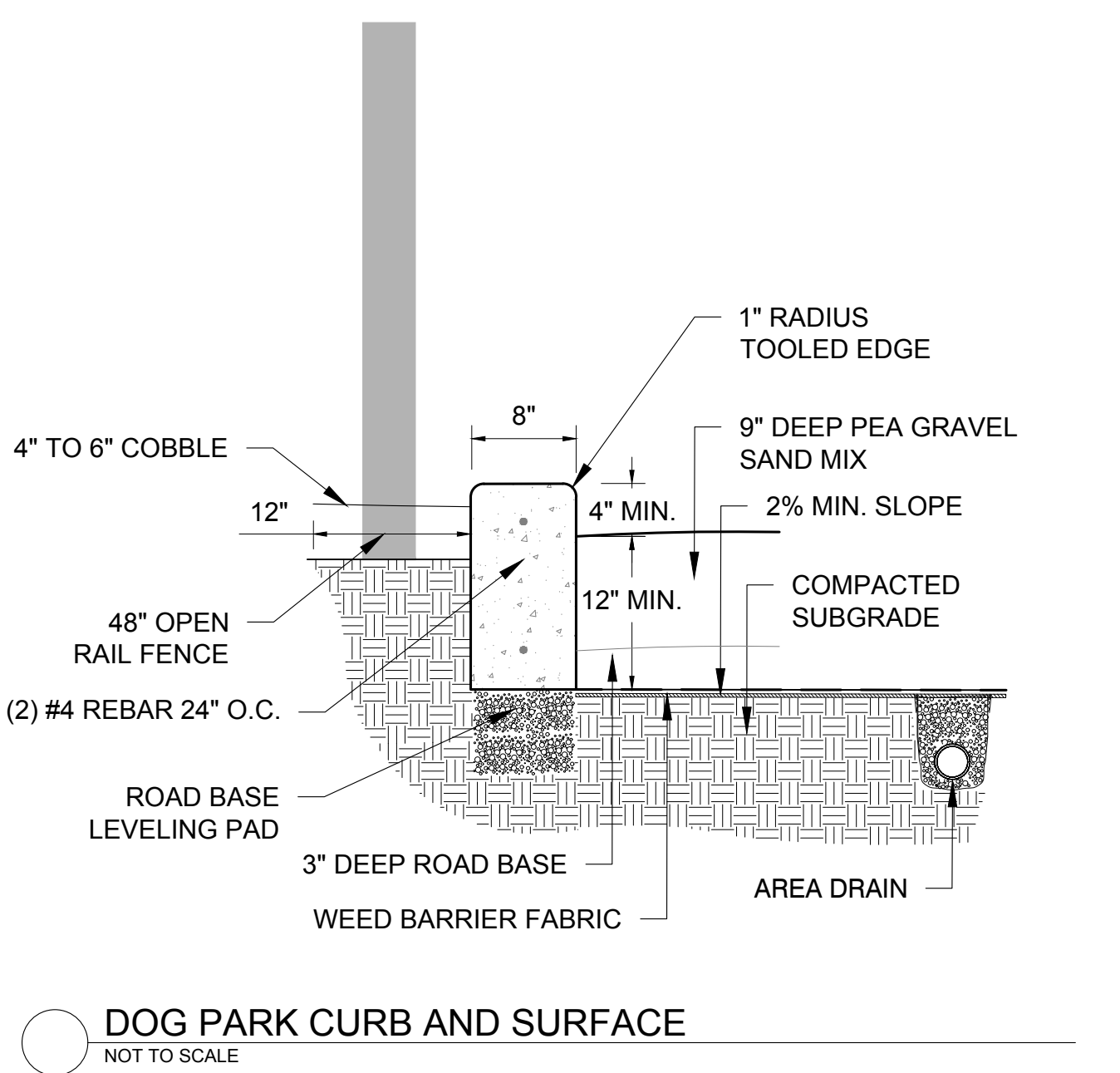
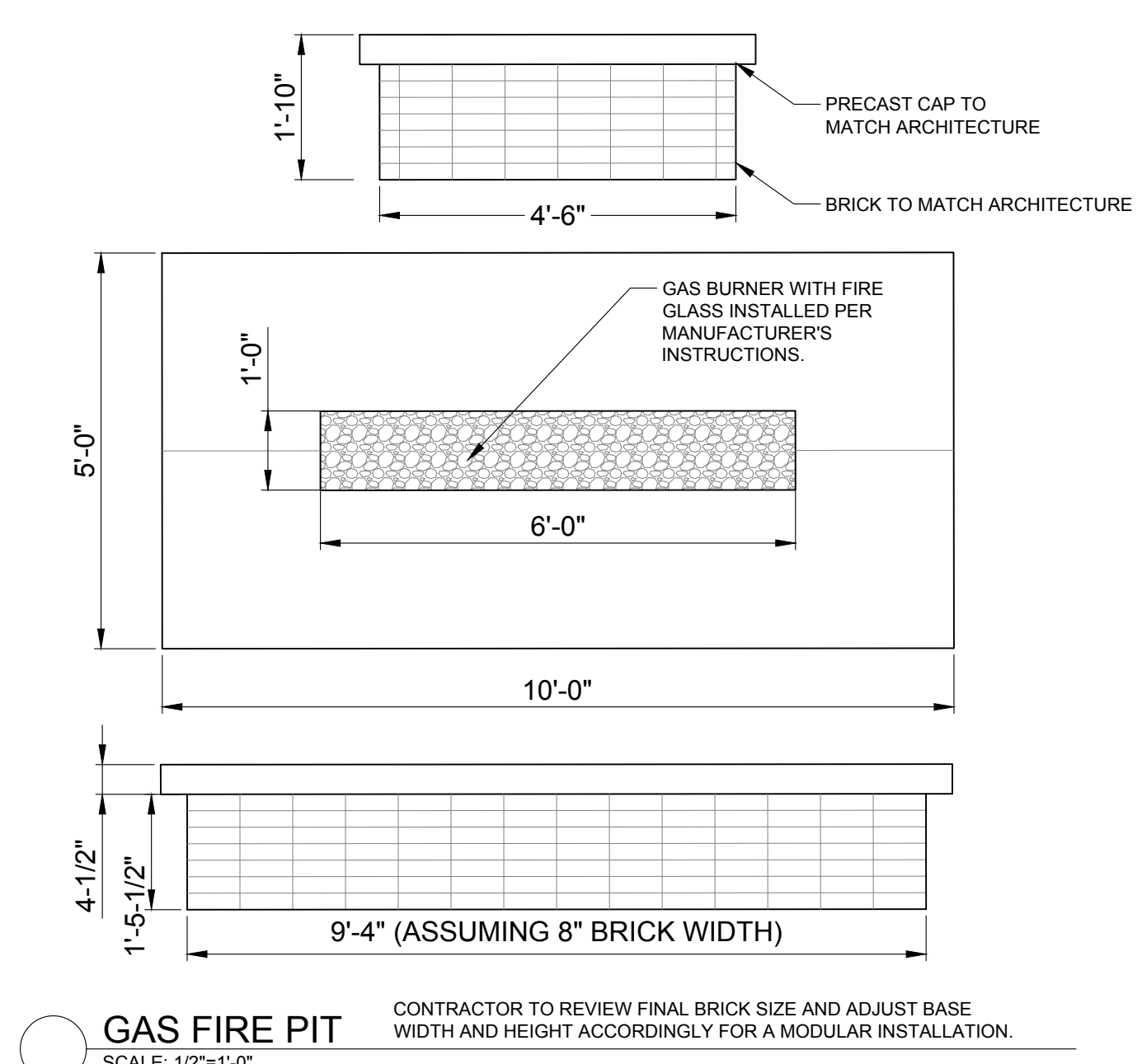
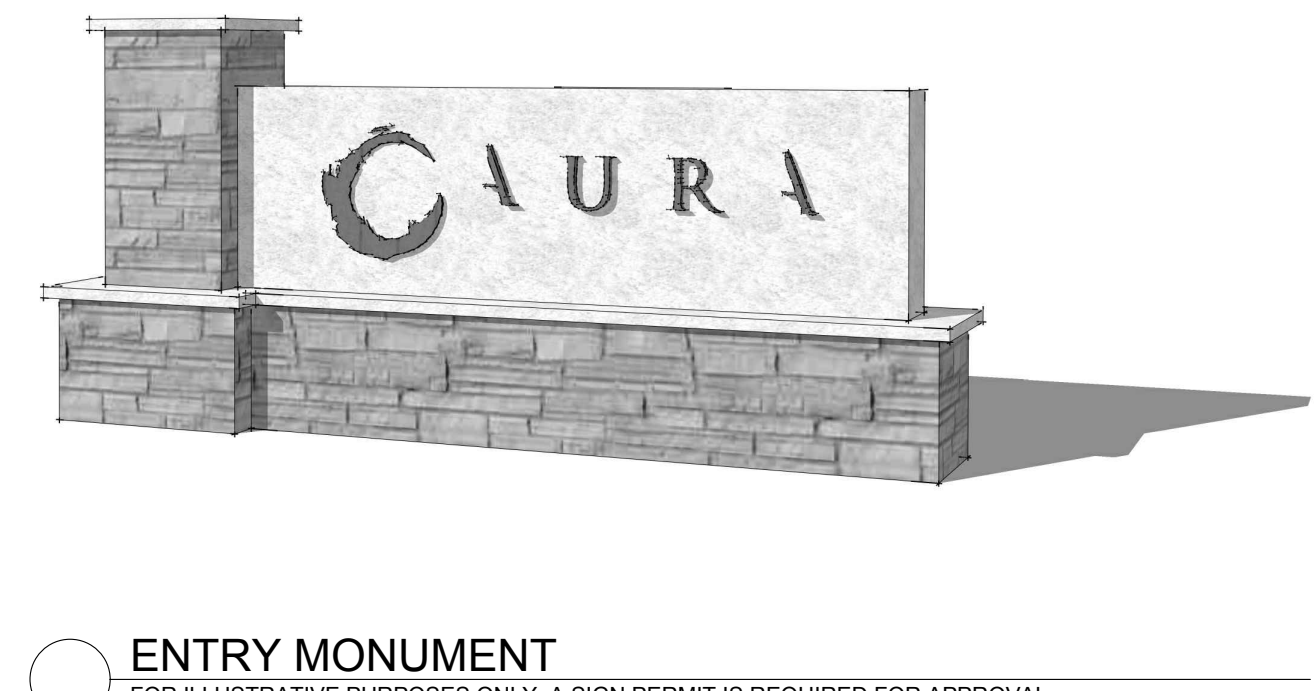
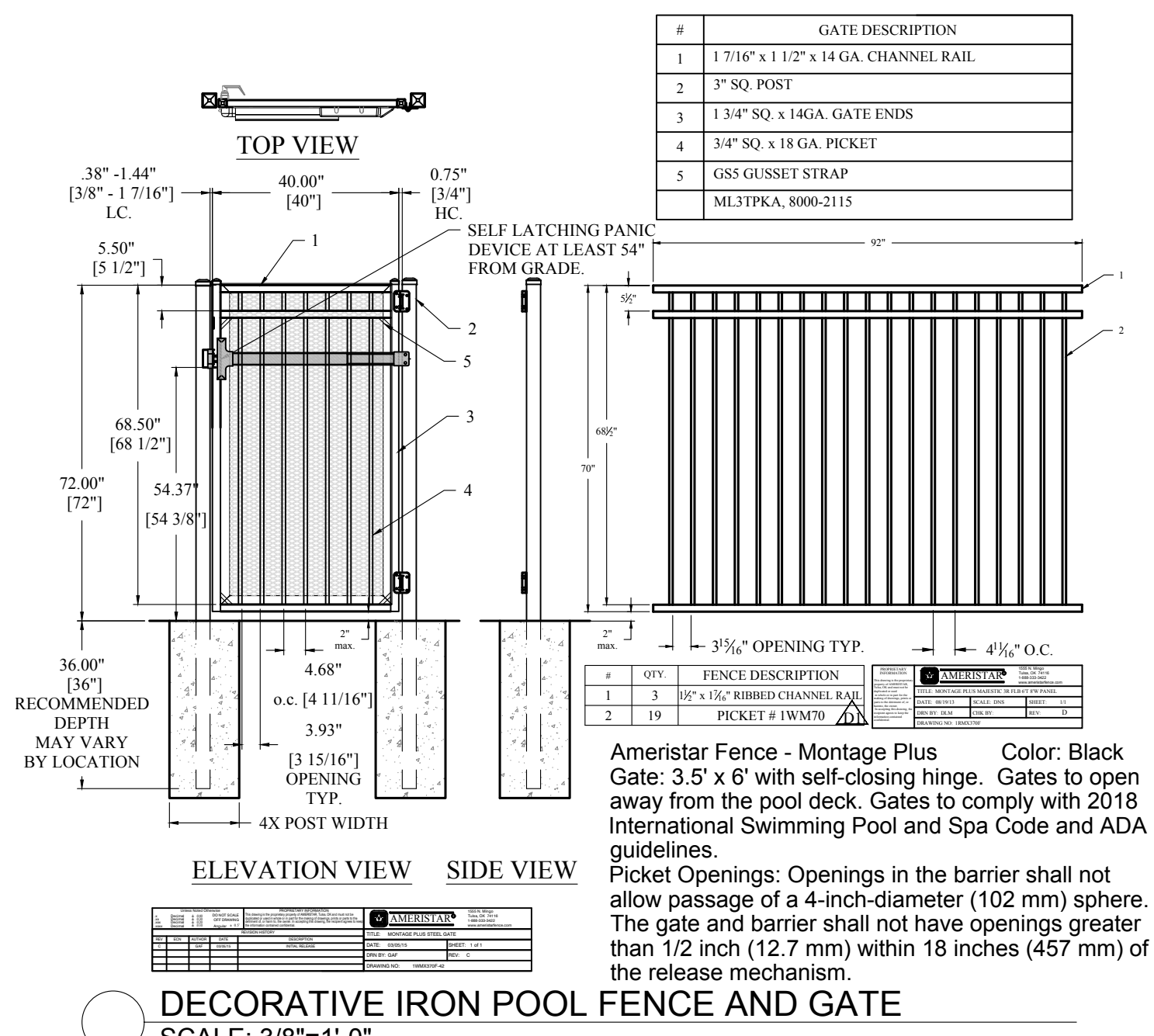
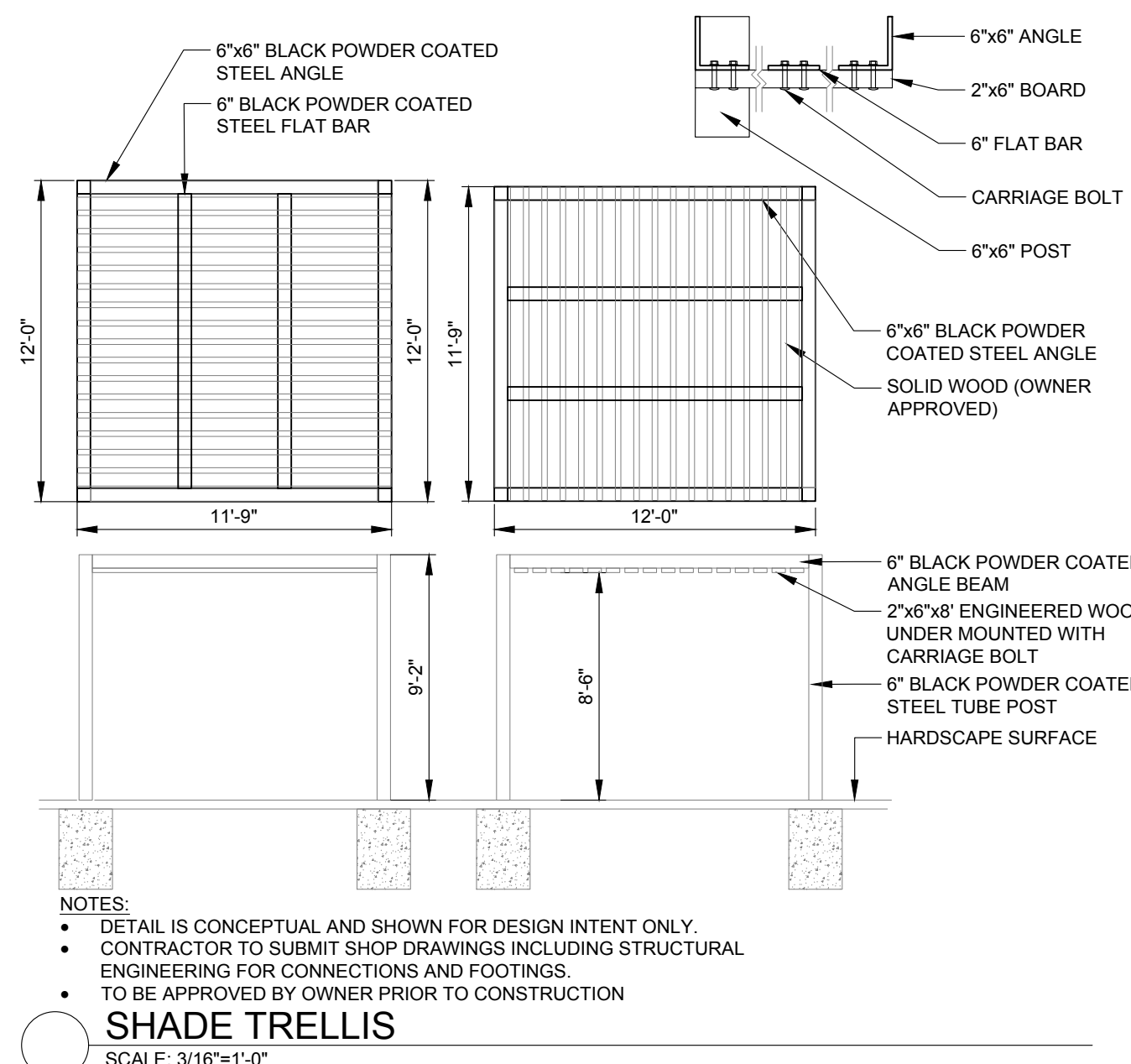
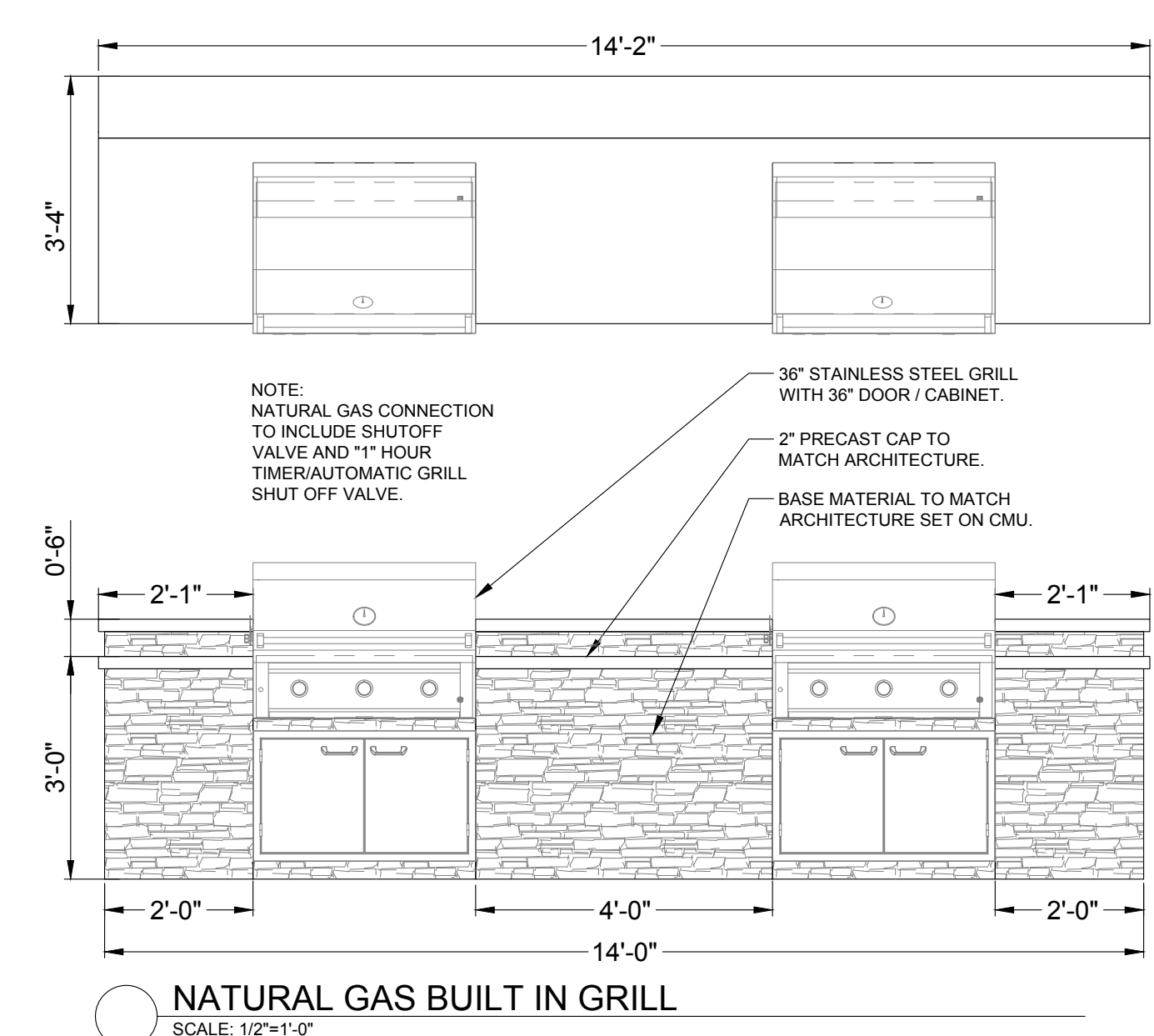
Wabash Valley Diamond Pattern Bench no. CYD4110, Color: black  
**COURTYARD BENCH**  
SCALE: 1/2"=1'-0"

ISSUE DATE: 08-06-2021	PROJECT #: 200823
DATE	REVISION COMMENTS



# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



ISSUE DATE:	PROJECT #:
08-06-2021	200823
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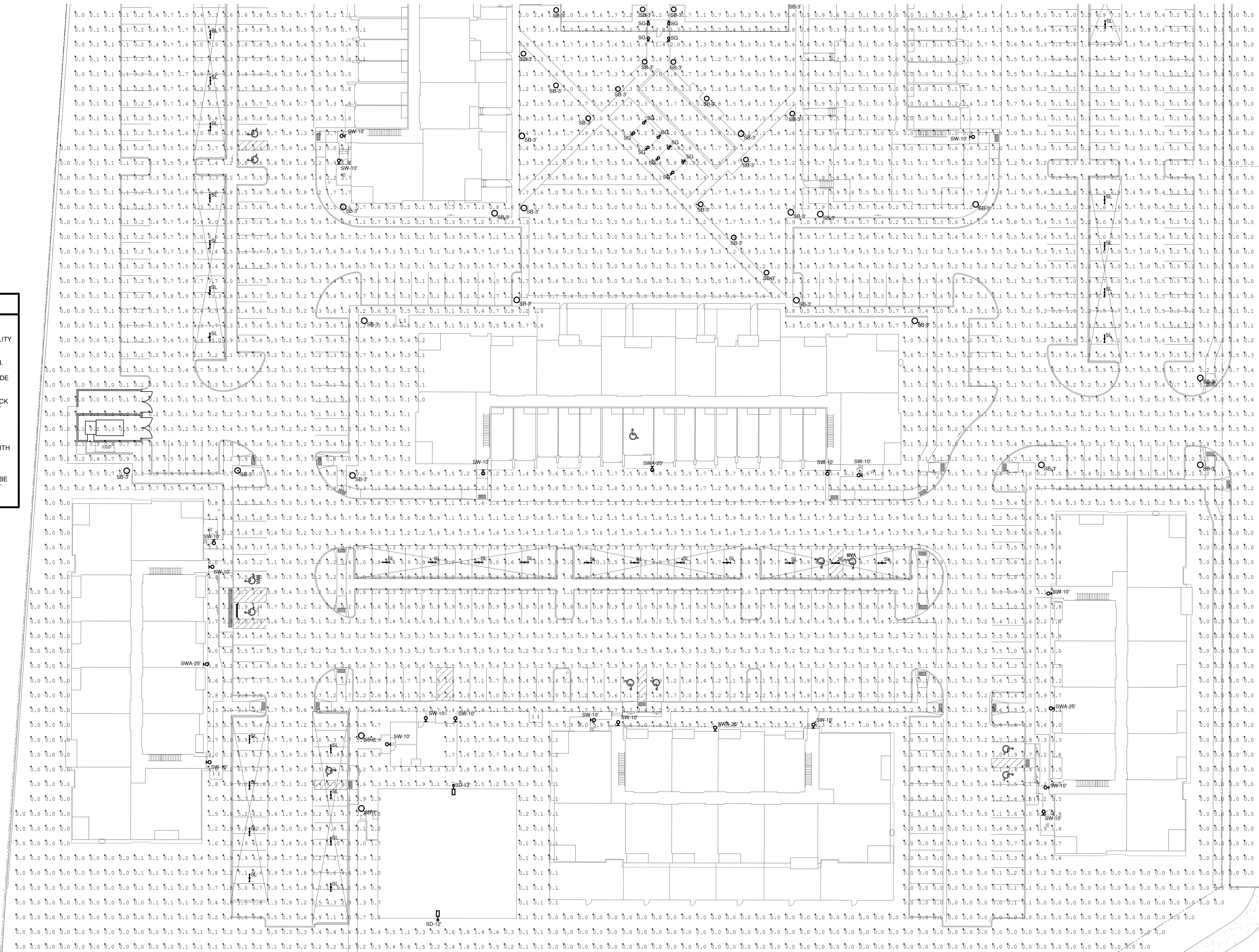
**henry design group**  
Landscape Architecture • Planning • Entitlements  
1501 Wazee Street Suite 1-C, Denver, Colorado 80202  
303.446.2368 • henrydesigngroup.com

TRINIS ACQUISITION COMPANY, LLC  
8235 DOUGLAS AVENUE, SUITE 950  
DALLAS, TX 75225  
P: 970.819.9968



# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

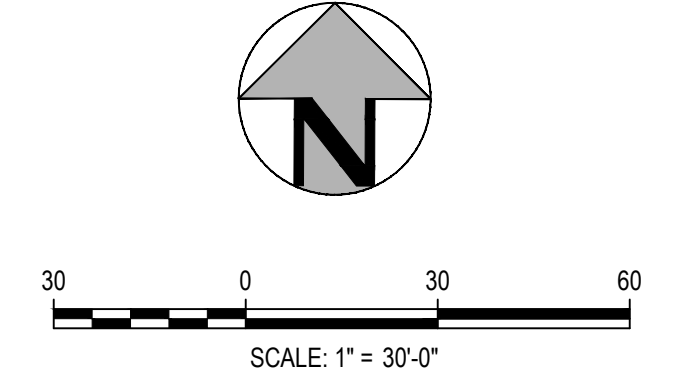
SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



- NOTES:**
- ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY ADJACENT TO PUBLIC ROW, SHALL BE ORIENTED OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL IES LIGHTING STANDARDS FOR DISABILITY GLARE.
  - ALL FIXTURES TO BE FULL CUTOFF. REFER TO SPEC SHEETS FOR MORE INFORMATION.
  - NO TYPE IV FORWARD THROW FIXTURES, POLE MOUNTED LIGHTS AIMED AT THE FACADE OR UNSHIELDED WALLPACKS TO BE USED.
  - FIXTURES TO BE OPERATED DUSK TO DAWN ONLY USING A PHOTOCELL AND TIMELOCK TO CONTROL FIXTURES. SITE FIXTURES TO HAVE DIMMING CAPABILITY TO HAVE LIGHT REDUCED BY 50% DURING POST CURFEW HOURS.
  - SITE LIGHTING OBJECTIVES FOR ALL RESIDENTIAL BUILDING AND PARKING AREAS TO PRIORITIZE SAFETY AND SECURITY, WITH ADDITIONAL FIXTURES AT ENTRIES FOR WAYFINDING; CLUBHOUSE LIGHTING TO BE PRIMARILY FOR SAFETY AND SECURITY, WITH ADDITIONAL DOWNLIGHTS AT ENTRY COLUMNS TO ENHANCE WAYFINDING AND ARCHITECTURAL DETAILS.
  - MITIGATION OF LIGHT ONTO ADJACENT PROPERTIES/NEIGHBORHOODS: FIXTURES TO BE MOUNTED AND ORIENTED IN A MANNER TO REDUCE GLARE, FOOTCANDLES AND LIGHT LEAK.

Label	CalcType	Units	Avg	Max	Min
Site Area	Illuminance	Fc	0.99	12.5	0.0

ISSUE DATE:	08-06-2021	PROJECT #:	200823
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01-13-2022	PER COUNTY COMMENTS		



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DALLAS, TX 75225  
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PHOTOMETRIC PLAN  
SHEET 26 OF 29  
PCD FILE NO. PPR-21-041

AURA AT CROSSROADS

PROJECT # 200823

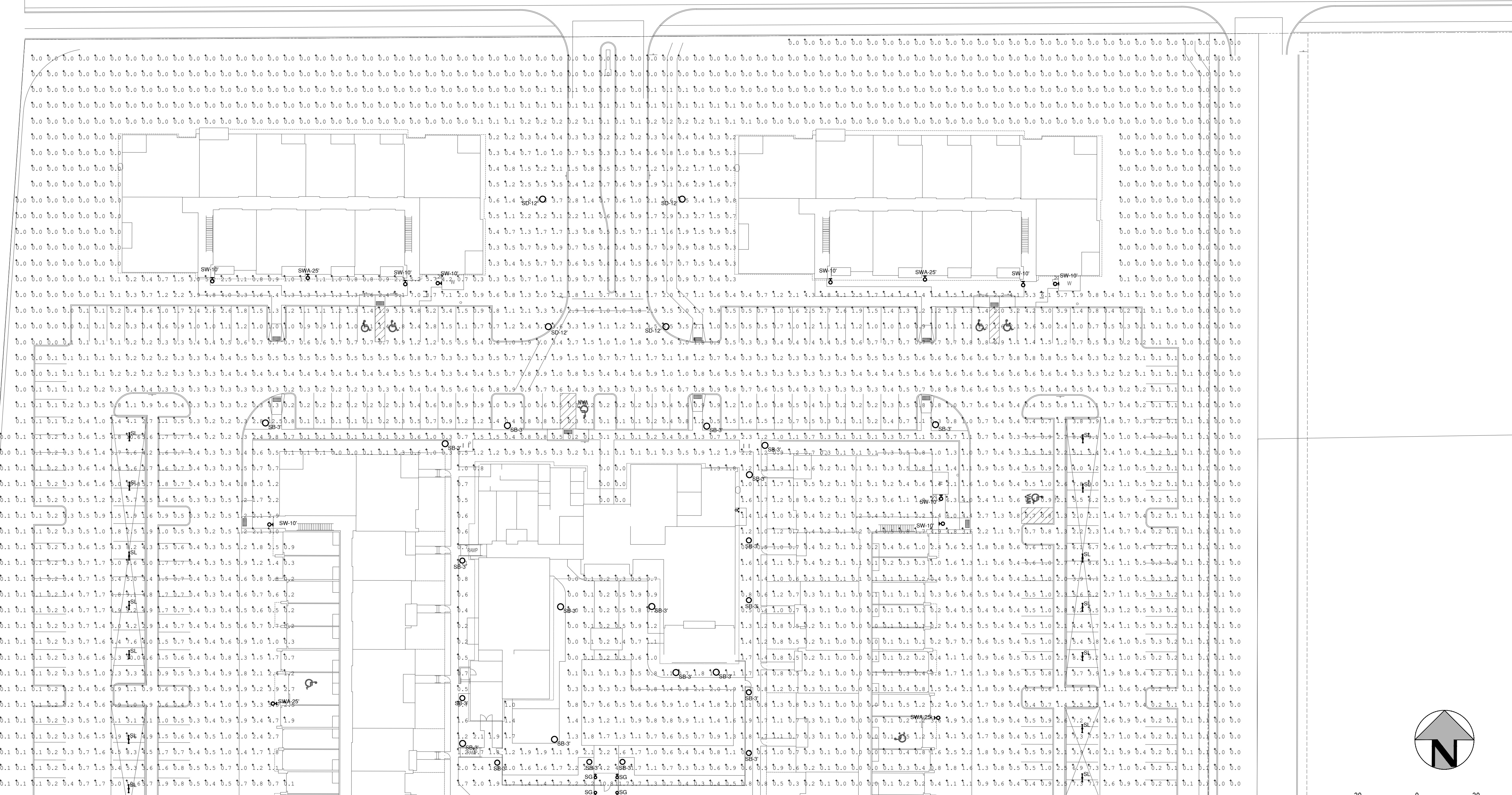
# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
Site Area	Illuminance	Fc	0.99	12.5	0.0

**NOTES:**

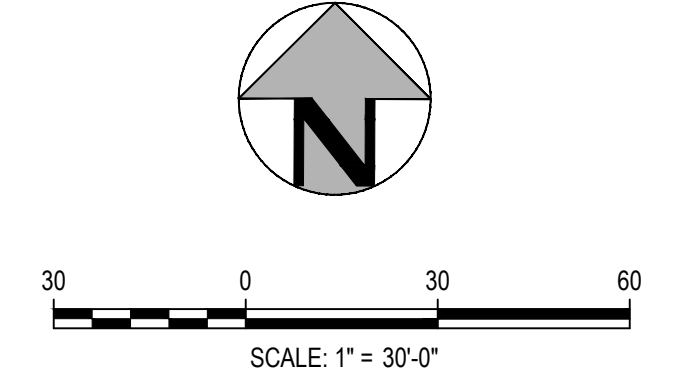
1. ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY ADJACENT TO PUBLIC ROW, SHALL BE ORIENTED OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL IES LIGHTING STANDARDS FOR DISABILITY GLARE.
2. ALL FIXTURES TO BE FULL CUTOFF. REFER TO SPEC SHEETS FOR MORE INFORMATION.
3. NO TYPE IV FORWARD THROW FIXTURES, POLE MOUNTED LIGHTS AIMED AT THE FACADE OR UNSHIELDED WALLPACKS TO BE USED.
4. FIXTURES TO BE OPERATED DUSK TO DAWN ONLY USING A PHOTOCELL AND TIMELOCK TO CONTROL FIXTURES. SITE FIXTURES TO HAVE DIMMING CAPABILITY TO HAVE LIGHT REDUCED BY 50% DURING POST CURFEW HOURS.
5. SITE LIGHTING OBJECTIVES FOR ALL RESIDENTIAL BUILDING AND PARKING AREAS TO PRIORITIZE SAFETY AND SECURITY, WITH ADDITIONAL FIXTURES AT ENTRIES FOR WAYFINDING. CLUBHOUSE LIGHTING TO BE PRIMARILY FOR SAFETY AND SECURITY, WITH ADDITIONAL DOWNLIGHTS AT ENTRY COLUMNS TO ENHANCE WAYFINDING AND ARCHITECTURAL DETAILS.
6. MITIGATION OF LIGHT ONTO ADJACENT PROPERTIES/NEIGHBORHOODS: FIXTURES TO BE MOUNTED AND ORIENTED IN A MANNER TO REDUCE GLARE, FOOTCANDLES AND LIGHT LEAK.



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PHOTOMETRIC PLAN  
SHEET 27 OF 29  
PCD FILE NO. PPR-21-041







# AURA AT CROSSROADS SITE DEVELOPMENT PLAN

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 14 SOUTH, RANGE 65  
WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO



## FEATURES & SPECIFICATIONS

**INTENDED USE** — Ideal for damp/wet locations such as outdoor venues, canopies and locker rooms. Not for use or installation in direct outdoor sunlight. Must be installed under canopy or covered ceiling. For direct sunlight installations, please refer to the FE3 product family. **Certain airborne contaminants can diminish integrity of acrylic and/or polycarbonate.** Click here for Acrylic/Polycarbonate Compatibility table for suitable uses.

Certain airborne contaminants may adversely affect the functioning of LEDs and other electronic components, depending on various factors such as concentrations of the contaminants, ventilation, and temperature at the end-user location. Click here for a list of substances that may not be suitable for interaction with LEDs and other electronic components.

### CONSTRUCTION

- Light Gray Polycarbonate housing
- Frosted Polycarbonate lens
- Powder to clear polycarbonate gasket
- Polycarbonate latches, optional stainless steel latches available
- Standard 1/2" wet location fitting

### ELECTRICAL

- High Efficiency LEDs meet DLC Standard
- MVOLT (208-277V) & 347V
- 0-10V dimming standard

Luminaire Surge Protection Level: Designed to withstand up to 2.5kV/10.75kA per ANSI C82.77-5-2015. For applications requiring higher level of protection additional surge protection must be provided.

### INSTALLATION

- Surface wall, ceiling using standard B brackets
- Suspended (fish, cables using standard brackets)

### LISTINGS

- CSA certified to UL & CUL Standards for wet location
- IP65, IP66 rated per IEC60529
- FCC Title 47, Part 15 Subpart B compliant
- 2.5kV/10.75kA Surge Rating per ANSI C82.77-5-2015
- CSA Ambient Listing on Page 3
- Lumens Maintenance Listed on Page 3

Design Lights Consortium (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL), to confirm which versions are qualified.

**WARRANTY** — 5-year limited warranty. Complete warranty terms located at: [www.lithonia.com/support/warranty-terms-and-conditions](http://www.lithonia.com/support/warranty-terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



## D-Series Size 1 LED Wall Luminaire

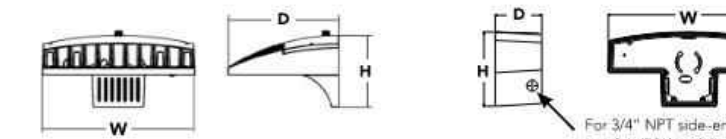


### d'series

#### Specifications Luminaire

**Width:** 13-3/4" (34.9 cm)  
**Depth:** 10" (25.4 cm)  
**Height:** 6-3/8" (16.2 cm)

**Weight:** 12 lbs (5.4 kg)  
**Back Box (BBW, ELCW):**  
**Width:** 13-3/4" (34.9 cm)  
**Depth:** 4" (10.2 cm)  
**Height:** 6-3/8" (16.2 cm)



### Introduction

The D-Series Wall Luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

### Ordering Information

EXAMPLE: DSKW1 LED 20C 1000 40K T3M MVOLT DDBTXD

Series	LEDs	Drive Current	Color Temperature	Distribution	Voltage	Mounting	Control Options	
DSKW1 LED	10K 10 LEDs (line engine)	350 350 mA	30K 3000 K	T25 Type II Short	MVOLT 120*	Shipped included (Black) Surface mounting bracket	Shipped installed FE Photocell; cell, button type <sup>1</sup>	
		500 500 mA	40K 4000 K	T3M Type II Medium	208*			
	20C 20 LEDs (line engine) <sup>2</sup>	700 700 mA	50K 5000 K	T35 Type II Short	240*	BBW Surface-mounted back box (for conduct entry) <sup>3</sup>	PBR 180° motion/ambient light sensor; <15° mag <sup>10,11</sup> PBRHCW Motion/ambient sensor; 15-30° mounting height, ambient sensor enabled at 15° <sup>11</sup>	
		1000 1000 mA (1 A) <sup>1</sup>	AMBPC Amber photophosphor converted	T3M Type IV Medium	277*			
	30C 30 LEDs (line engine)	1000 1000 mA (1 A)	AMBPC Amber photophosphor converted	T3M Type IV Medium	277*	EELCW Emergency battery backup (includes external component required, CA, IEC, 20, 20mm x 10mm)		
				T3TM Forward Throw Medium	480 V <sup>12</sup>			

Other Options		Finish <small>(see page 3)</small>	
<b>Shipped installed</b>	<b>Shipped separately<sup>13</sup></b>	<b>DRBKD</b> Dark bronze	<b>DSDD</b> Sandstone
SF Single face (120, 277 or 347V) <sup>14</sup>	BBW Back-dimmer option	DBLKO Black	DSDBD Textured dark bronze
DF Double face (208, 240 or 480V) <sup>15</sup>	VG Variable guard	DNXAD Natural aluminum	DBLKO Textured black
HS House-side shield <sup>16</sup>	DOL Diffused drop lens	DWHKD White	DNATD Textured natural aluminum
SPO Separate surge protection <sup>17</sup>			

Accessories		NOTES	
DSKMS E House side shield (see page 3)	DSKMS W Back-dimmer option	1. 20C, 1000 is not available with PBR, PBRHCW or PBRHCV.	
DSKMS V Back-dimmer option	DSKMS G Guard	2. MVOLT driver operates on any line voltage from 120-277V (DSKMS).	
DSKMS G Guard		3. Single face (SF) requires 120, 277 or 347 voltage option. Double face (DF) requires 208, 240 or 480 voltage option.	
		4. Only available with 20C, 30C or 40C. Not available with PBR or PBRHCW.	
		5. Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.	
		6. Photocell (FE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PBR or PBRHCW).	
		7. Reference Motion Sensor table on page 3.	
		8. Cell number (20C) note: Not compatible with outdoor emergency applications. Not available with BBW mounting option. Not available with fishing. Not available with 347 or 480V voltage options. Emergency components located in back box housing. Emergency mode (ES) fits inside or product page #.	
		9. Not available with SF.	
		10. Not available with EELCW.	
		11. Also available as a separate accessory; see Accessories information.	
		12. Not available with EELCW.	

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## D-Series Size 2 LED Wall Luminaire

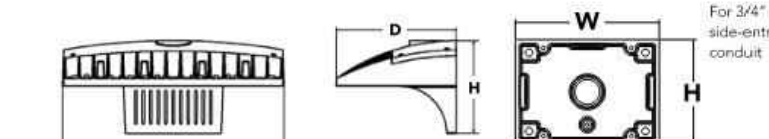


### d'series

#### Specifications Luminaire

**Width:** 18-1/2" (46.7 cm)  
**Depth:** 10" (25.4 cm)  
**Height:** 7-5/8" (19.4 cm)

**Weight:** 21 lbs (9.5 kg)  
**Back Box (BBW):**  
**Width:** 5-1/2" (14.0 cm)  
**Depth:** 1-1/2" (3.8 cm)  
**Height:** 4" (10.2 cm)



### Introduction

The D-Series Wall Luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

### Ordering Information

EXAMPLE: DSKW2 LED 30C 700 40K T3M MVOLT DDBTXD

Series	LEDs	Drive Current	Color Temperature	Distribution	Voltage	Mounting	Control Options	
DSKW2 LED	20C 20 LEDs (line engine)	350 350 mA	30K 3000 K	T25 Type II Short	MVOLT 120*	Shipped included (Black) Surface mounting bracket	Shipped installed FE Photocell; cell, button type <sup>1</sup>	
		500 500 mA	40K 4000 K	T3M Type II Medium	208*			
	30C 30 LEDs (line engine) <sup>2</sup>	700 700 mA	50K 5000 K	T35 Type II Short	240*	BBW Surface-mounted back box (for conduct entry) <sup>3</sup>	PBR 180° motion/ambient light sensor; <15° mag <sup>10,11</sup> PBRHCW Motion/ambient sensor; 15-30° mounting height, ambient sensor enabled at 15° <sup>11</sup>	
		1000 1000 mA (1 A) <sup>1</sup>	AMBPC Amber photophosphor converted	T3M Type IV Medium	277*			
	40C 40 LEDs (line engine)	1000 1000 mA (1 A)	AMBPC Amber photophosphor converted	T3M Type IV Medium	277*	EELCW Emergency battery backup (includes external component required, CA, IEC, 20, 20mm x 10mm)		
				T3TM Forward Throw Medium	480 V <sup>12</sup>			

Other Options		Finish <small>(see page 3)</small>	
<b>Shipped installed</b>	<b>Shipped separately<sup>13</sup></b>	<b>DRBKD</b> Dark bronze	<b>DSDD</b> Sandstone
SF Single face (120, 277, 347V) <sup>14</sup>	BBW Back-dimmer option	DBLKO Black	DSDBD Textured dark bronze
DF Double face (208, 240, 480V) <sup>15</sup>	VG Variable guard	DNXAD Natural aluminum	DBLKO Textured black
HS House-side shield <sup>16</sup>	DOL Diffused drop lens	DWHKD White	DNATD Textured natural aluminum
SPO Separate surge protection <sup>17</sup>			

Accessories		NOTES	
DSKMS E House side shield (see page 3)	DSKMS W Back-dimmer option	1. 20C, 1000 is not available with PBR, PBRHCW or PBRHCV.	
DSKMS V Back-dimmer option	DSKMS G Guard	2. MVOLT driver operates on any line voltage from 120-277V (DSKMS).	
DSKMS G Guard		3. Single face (SF) requires 120, 277 or 347 voltage option. Double face (DF) requires 208, 240 or 480 voltage option.	
		4. Only available with 20C, 30C or 40C. Not available with PBR or PBRHCW.	
		5. Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.	
		6. Photocell (FE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PBR or PBRHCW).	
		7. Reference Motion Sensor table on page 3.	
		8. Cell number (20C) note: Not compatible with outdoor emergency applications. Not available with BBW mounting option. Not available with fishing. Not available with 347 or 480V voltage options. Emergency components located in back box housing. Emergency mode (ES) fits inside or product page #.	
		9. Not available with SF.	
		10. Not available with EELCW.	
		11. Also available as a separate accessory; see Accessories information.	
		12. Not available with EELCW.	

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INDUSTRIAL  
Page 1 of 3

TYPE SL

TYPE SW

TYPE SWA

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BOX 914  
GOLDEN, CO. 80402  
Phone: 720-399-2410  
KG@KLOKGROUP.COM

TRINIS ACQUISITION COMPANY, LLC  
8235 DOUGLAS AVENUE, SUITE 950  
DALLAS, TX 75225  
P: 970.819.9968

LIGHTING CUTSHEETS  
SHEET 29 OF 29  
PCD FILE NO. PPR-21-041

AURA AT CROSSROADS

PROJECT # 200823