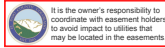


SFD241005



APPROVED
BESQCP
10/24/2024 2:10:44 PM
dsdyounger
EPC Planning & Community
Development Department

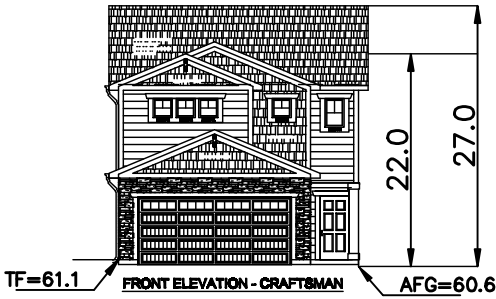
APPROVED
Plan Review
10/24/2024 2:10:47 PM
dsdyounger
EPC Planning & Community
Development Department



ANY APPROVAL GIVEN BY EL PASO COUNTY IS NOT TO BE USED TO COMPLY WITH APPLICABLE FEDERAL, STATE OR LOCAL LAWS AND/OR REGULATION.
Planning & Community Development Department approval is contingent upon compliance with all applicable rules on the record plan.
An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road.
Disposition of discharge of any drainage water is not permitted without approval of the Planning & Community Development Department.

Released for Permit

10/23/2024 10:59:08 AM



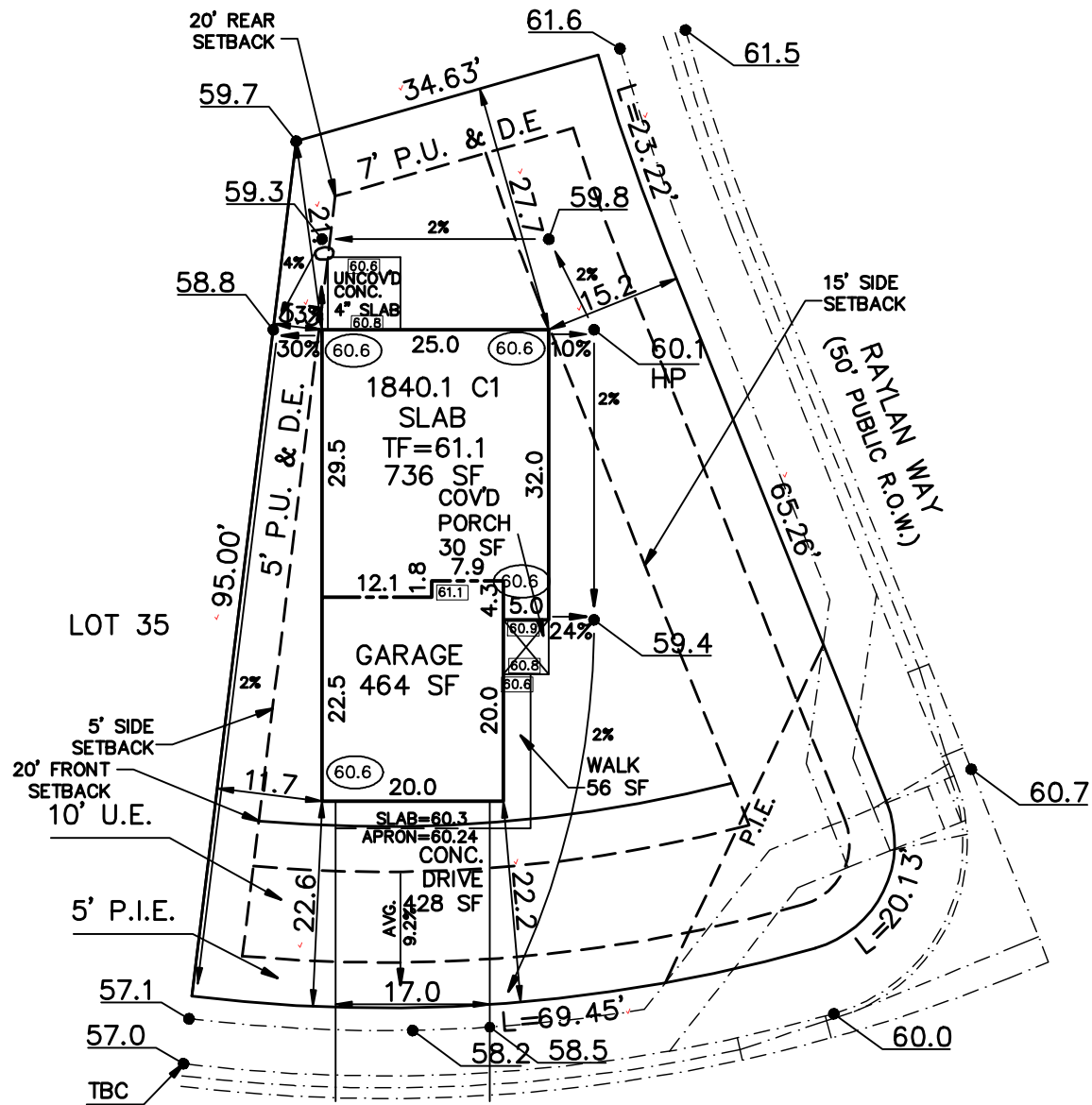
1840.1 C1 ELEVATION

AVERAGE FINISH GRADE = (AFG)

$$AFG = \frac{(60.6)(4)}{(4)} = 60.6$$

$$BUILDING HEIGHT = 21.5 + (SLAB - AFG) =$$

$$BUILDING HEIGHT = 21.5 + (61.1 - 60.6) = 22.0$$



PLAT 15087

ZONING PUD

SCHEDULE No. 5301212005

ISABEL PLACE
(50' PUBLIC R.O.W.)

WARNING!

1. LOCATE UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
2. THIS PLOT PLAN SHOWS IMPROVEMENTS AT GRADE ONLY. SEE FOUNDATION PLANS FOR STRUCTURAL INFORMATION

SITE DATA

LOT SQ. FT.= 5711
HOUSE SQ. FT.= 1230
COVERAGE = 21.5%
BLDG. HEIGHT = 22.0

SCALE: ...1"=20'
DRAWN BY: TAP

ASPEN LAND CONSULTANTS, LLC
4883 JAMESPORT DRIVE
COLORADO SPRINGS, COLORADO 80918

(IN FEET)
1 inch = 20 ft.



PLOT PLAN

LEGAL DESCRIPTION

LOT 34
FALCON MEADOWS AT BENT GRASS FILING NO.2
EL PASO COUNTY, COLORADO

ADDRESS

8164 ISABEL PLACE

PREPARED FOR
CHALLENGER
HOMES

TITLE CO. FILE NO.

DRAWING NAME

FMBG2-034

DATE

10-10-24

PROJECT NO.

Woodmen Road Metropolitan District
614 N. Tejon St
Colorado Springs, CO 80903
7194471777

INVOICE



Invoice #:	90219
Invoice Date:	10/15/24
Amount Due:	\$2,750.00

Challenger Homes
Challenger Colorado LLC
8605 Explorer Drive Ste 250
Colorado Springs, CO 80920
UNITED STATES

Item	Description	Price	Amount
Fees	LOT 5 -8232 ISABEL PL- FALCON MEADOWS AT BENT GRASS FIL NO 2	\$550.00	\$550.00
Fees	LOT 35 -8160 ISABEL PL- FALCON MEADOWS AT BENT GRASS FIL NO 2	\$550.00	\$550.00
Fees	LOT 36 - 8152 ISABEL PL- FALCON MEADOWS AT BENT GRASS FIL NO 2	\$550.00	\$550.00
Fees	LOT 37 - 8148 ISABEL PL- FALCON MEADOWS AT BENT GRASS FIL NO 2	\$550.00	\$550.00
Fees	Lot 34- 8164 ISABEL PL FALCON MEADOWS AT BENT GRASS FIL NO 2	\$550.00	\$550.00
		Total:	\$2,750.00
		Payments:	\$0.00
		Amount Due:	\$2,750.00

Thank you! If you have questions please call 719-447-1777.

To pay online, go to <https://app02.us.bill.com/p/woodmenroadmetrodistrict>


SITE



2023 PPRBC
2021 IECC Amended

Parcel: 5301212005

Address: 8164 ISABEL PL, PEYTON

Plan Track #: 195440 

Received: 23-Oct-2024 (BRENT)

Description:

RESIDENCE

Type of Unit:

Garage	431	
Main Level	739	
Upper Level 1	1101	
	2271	Total Square Feet

Required PPRBD Departments (2)

<p>Enumeration</p> <p>APPROVED</p> <p>BRENT</p> <p>10/23/2024 10:59:47 AM</p>	<p>Floodplain</p> <p>(N/A) RBD GIS</p>
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Required Outside Departments (1)

<p>County Zoning</p> <p>APPROVED</p> <p>Plan Review</p> <p><i>10/24/2024 2:13:26 PM</i></p> <p><i>dsdyounger</i></p> <p>EPC Planning & Community Development Department</p>

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.