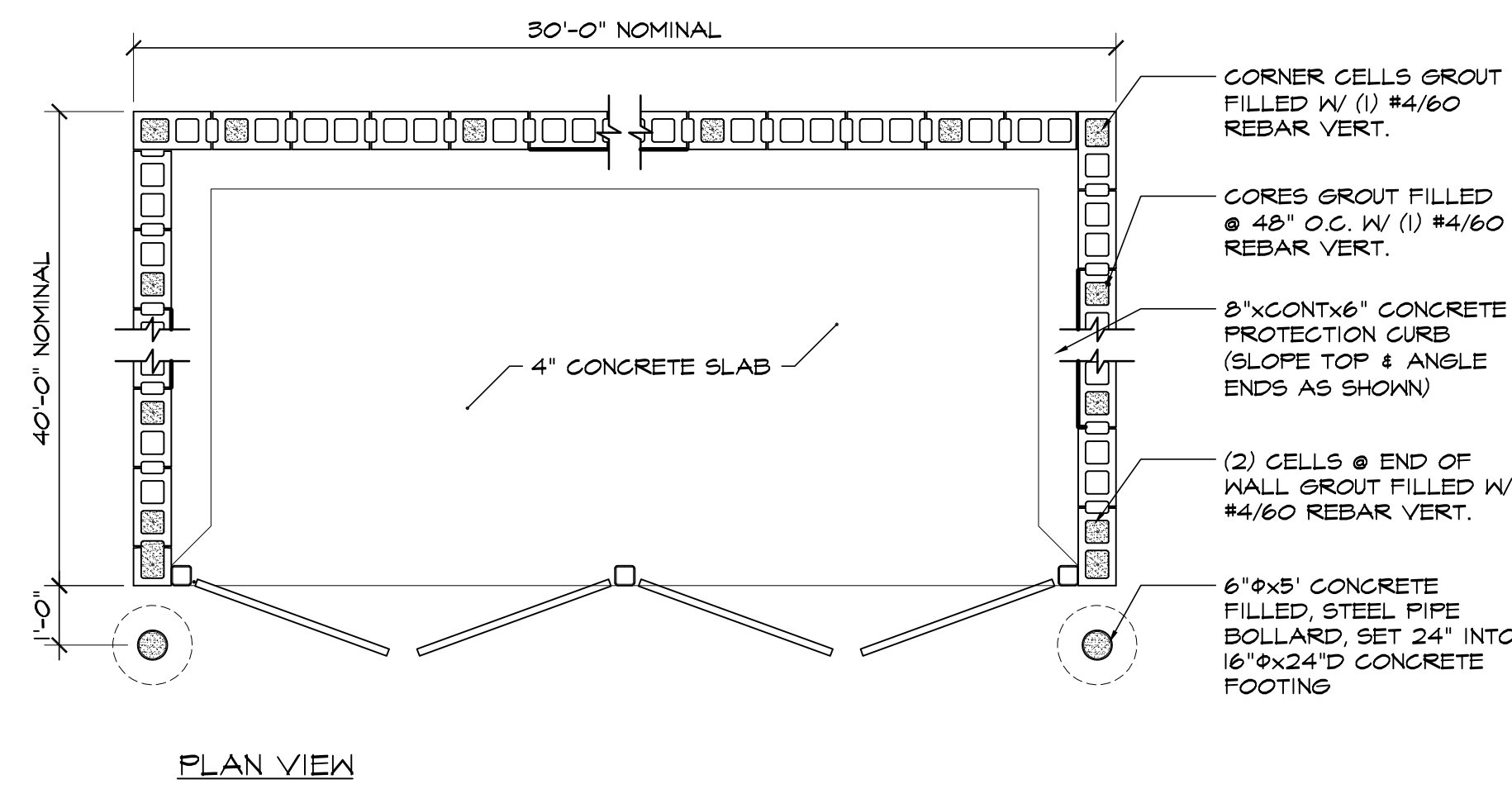
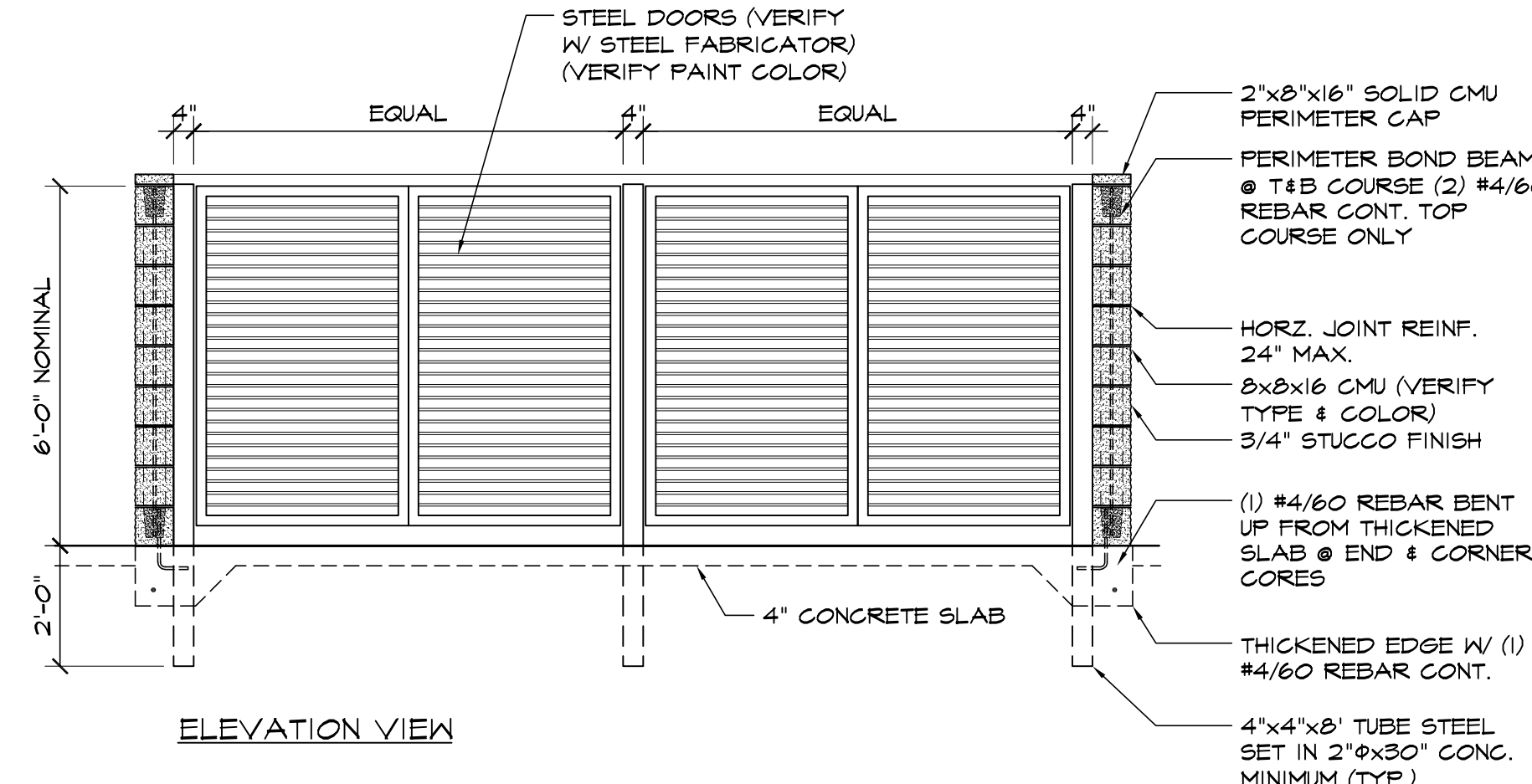


13 LIGHT POLE BASE DETAIL  
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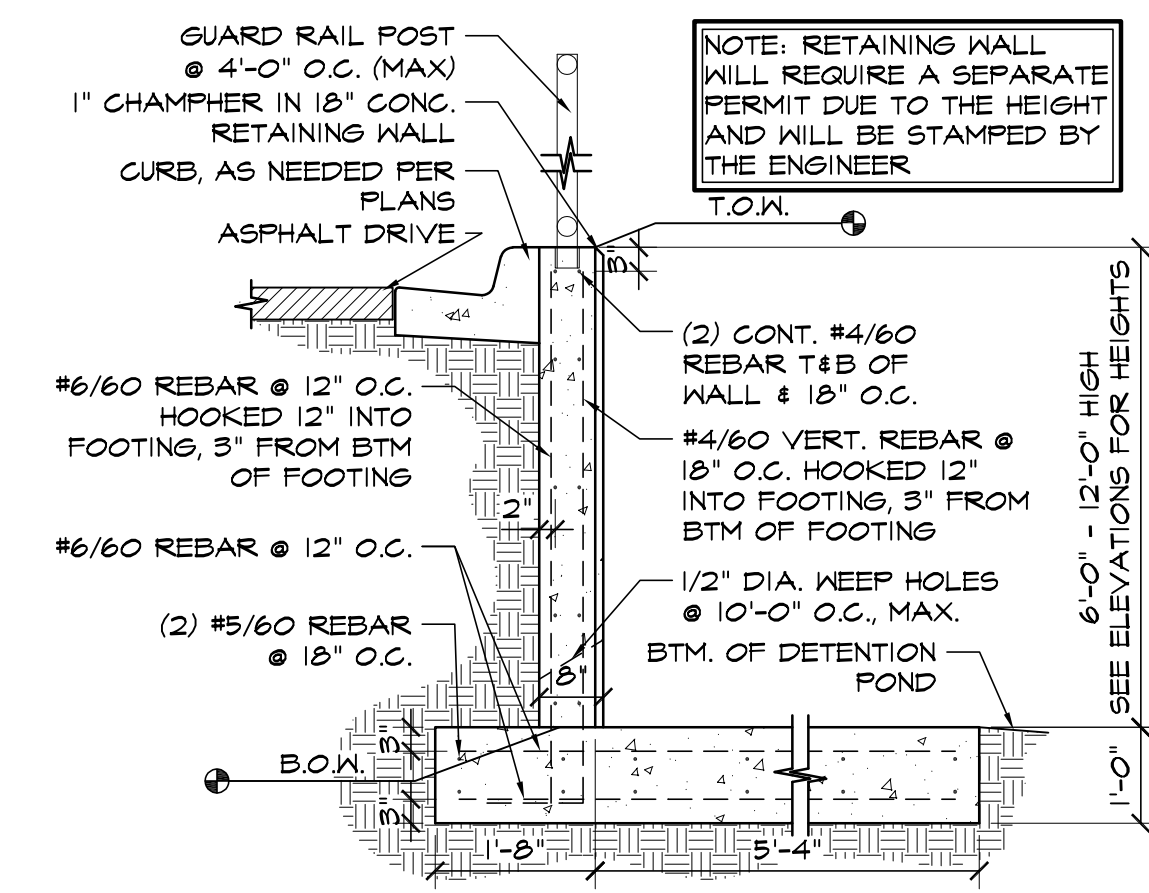


PLAN VIEW

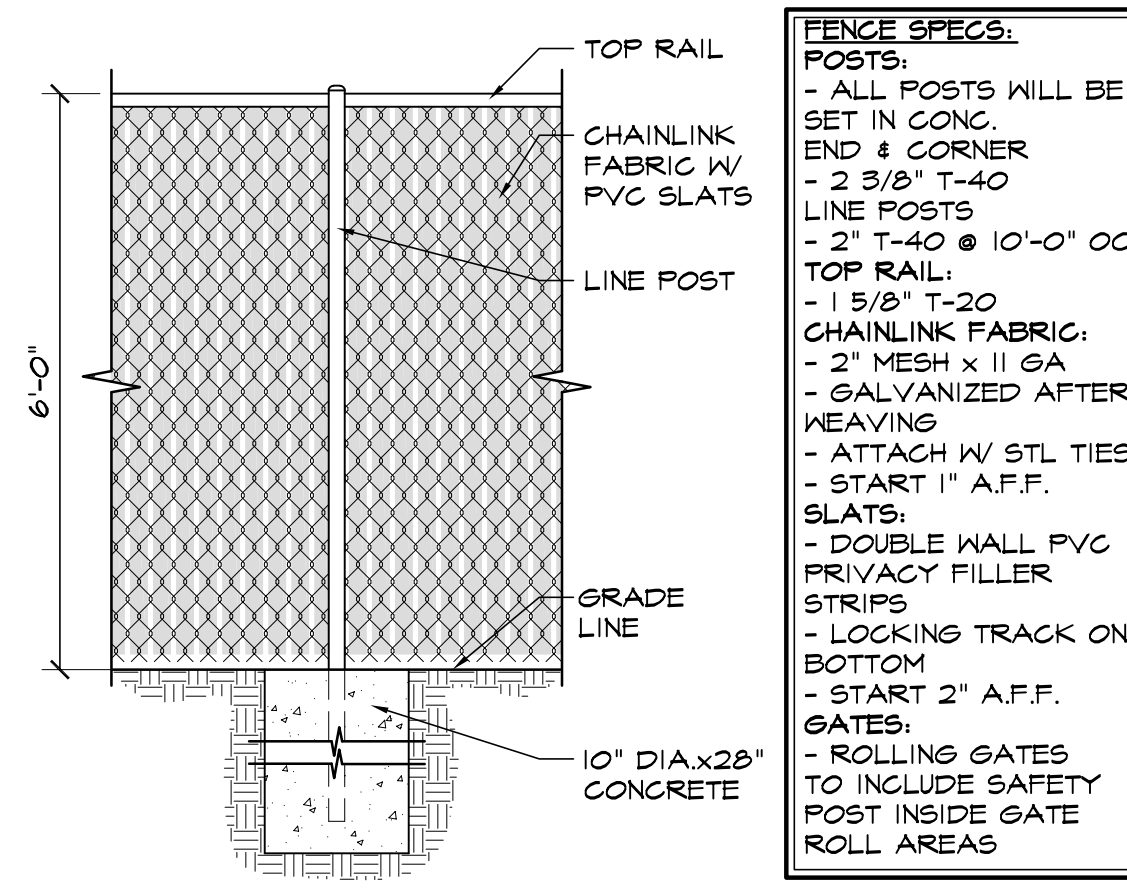


ELEVATION VIEW

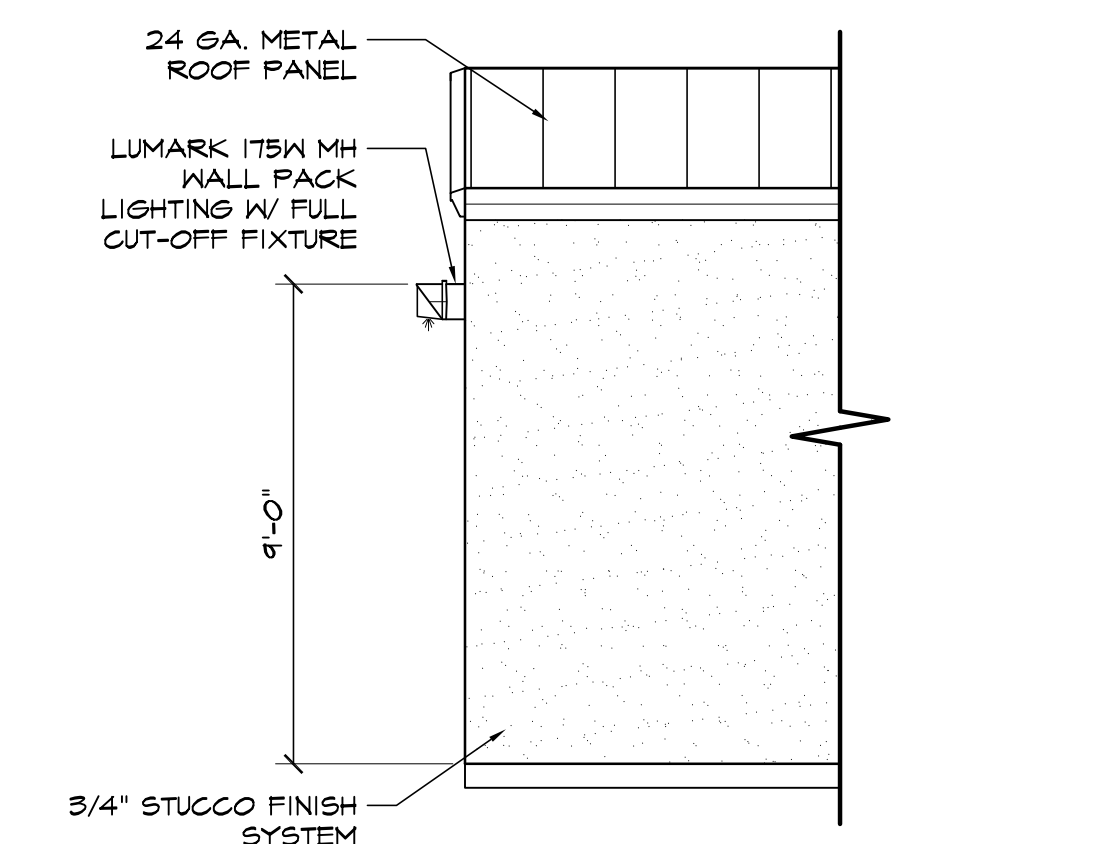
8 CMU TRASH ENCLOSURE DETAIL - 2 BAYS  
SCALE: 3/8"=1'-0"



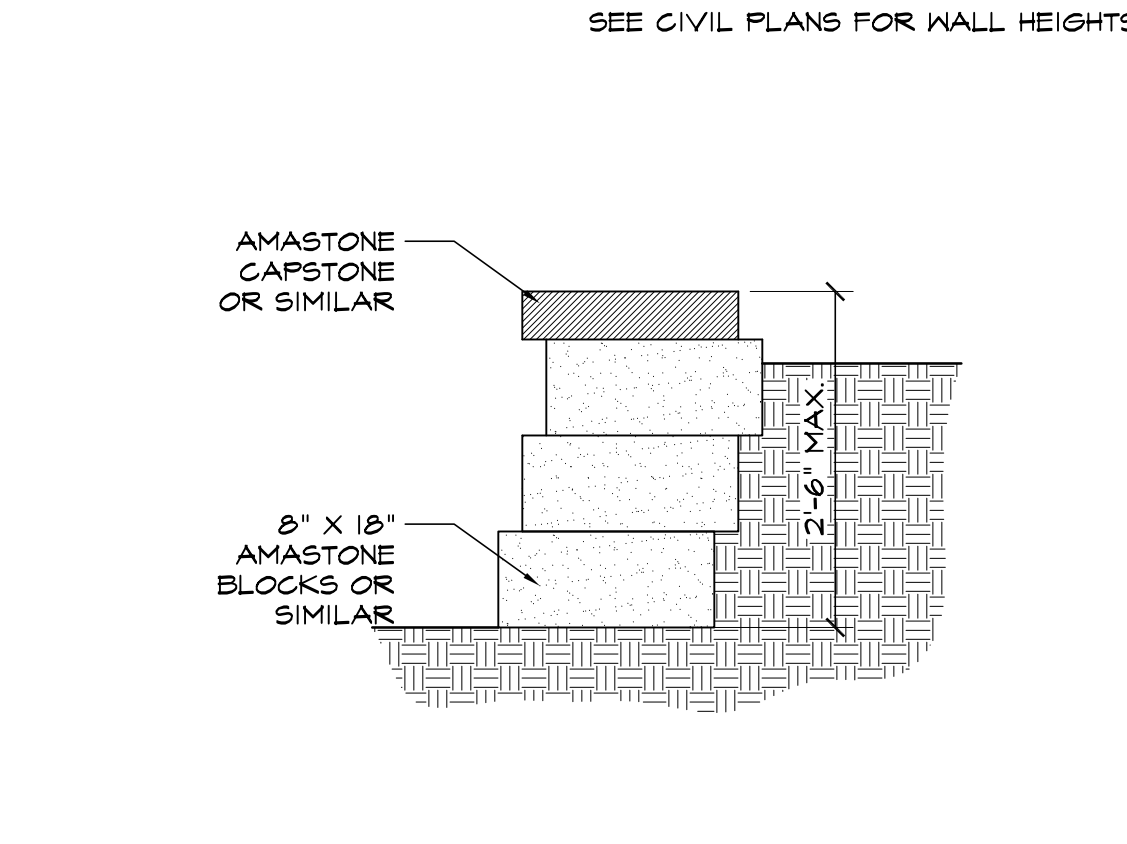
11 RETAINING WALL DTL (6'-0" TO 12'-0") HIGH  
SCALE: 1/2"=1'-0"



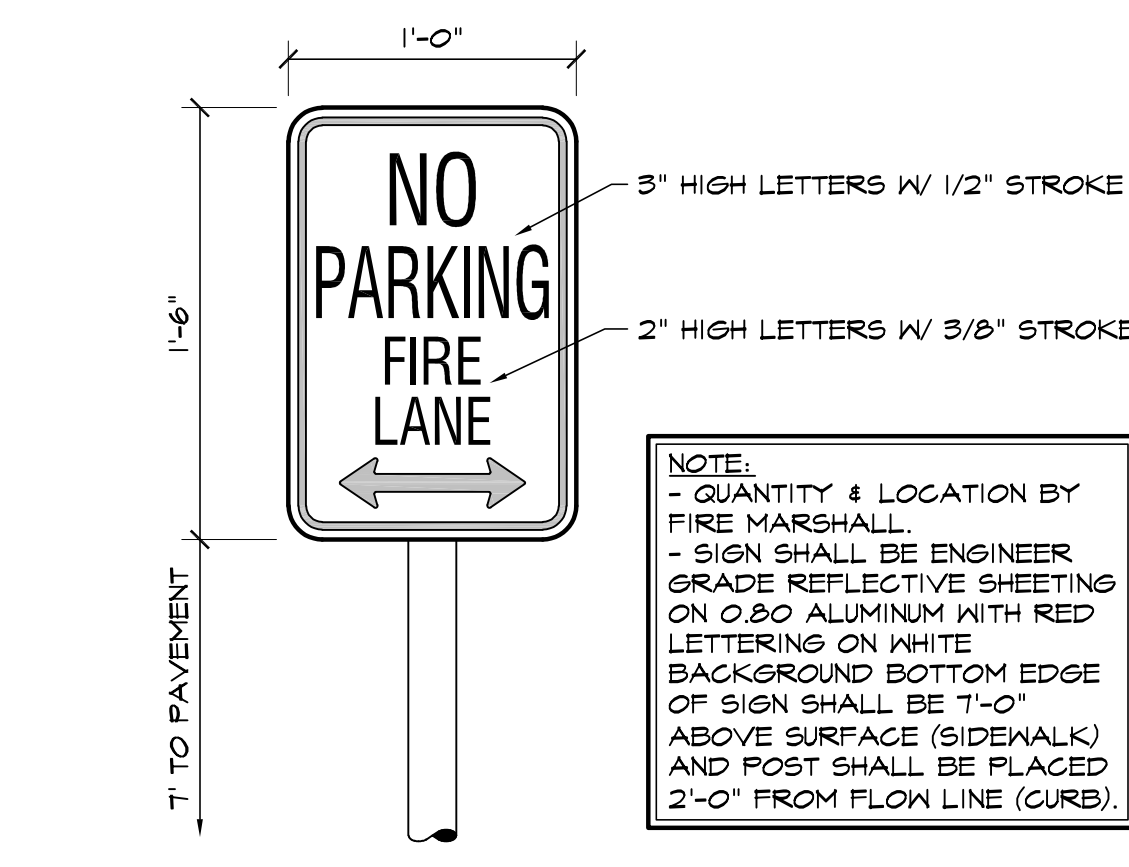
9 CHAINLINK FENCE DETAIL  
SCALE: 1/2"=1'-0"



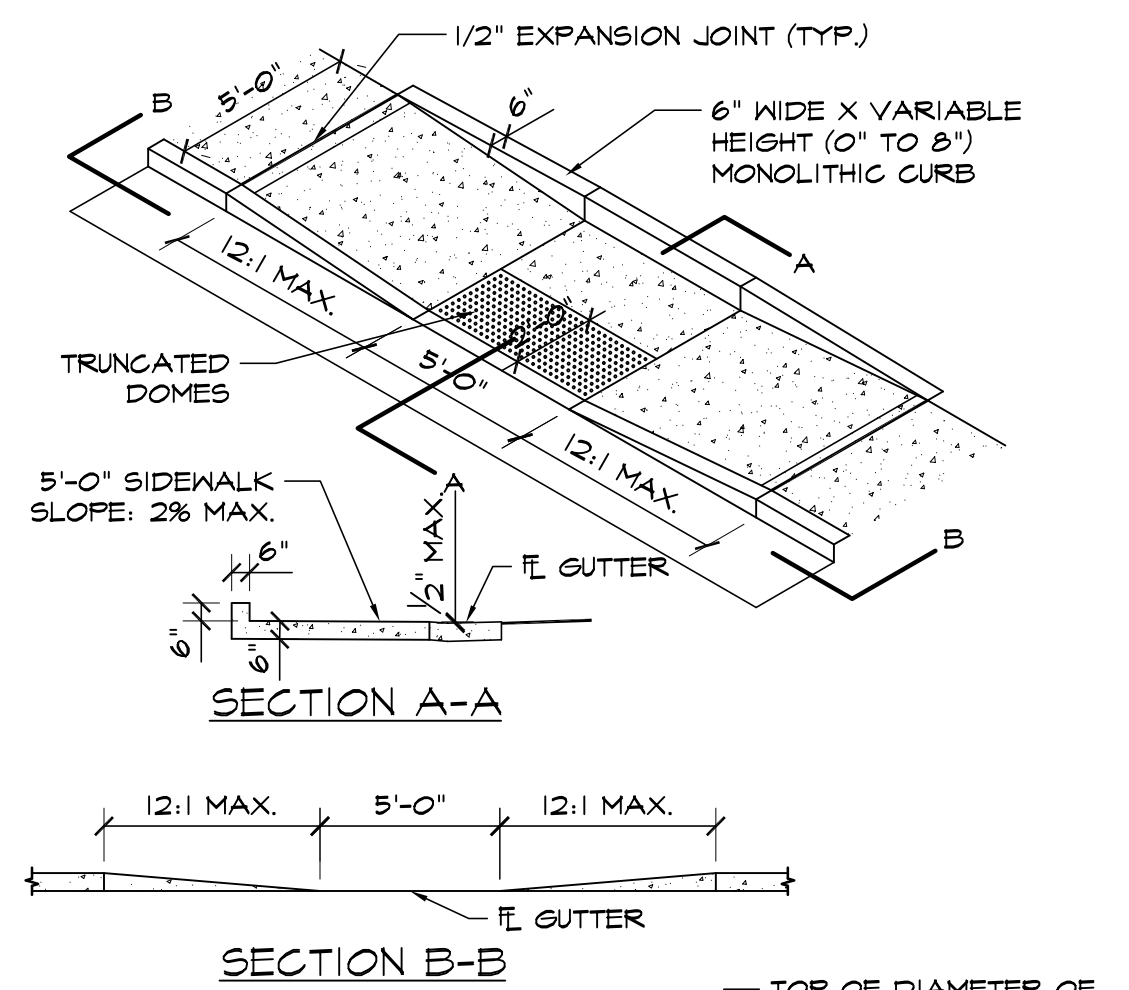
12 WALL PACK LIGHT DETAIL  
SCALE: 1/4"=1'-0"



10 RETAINING WALL DETAIL  
SCALE: 3/4"=1'-0"

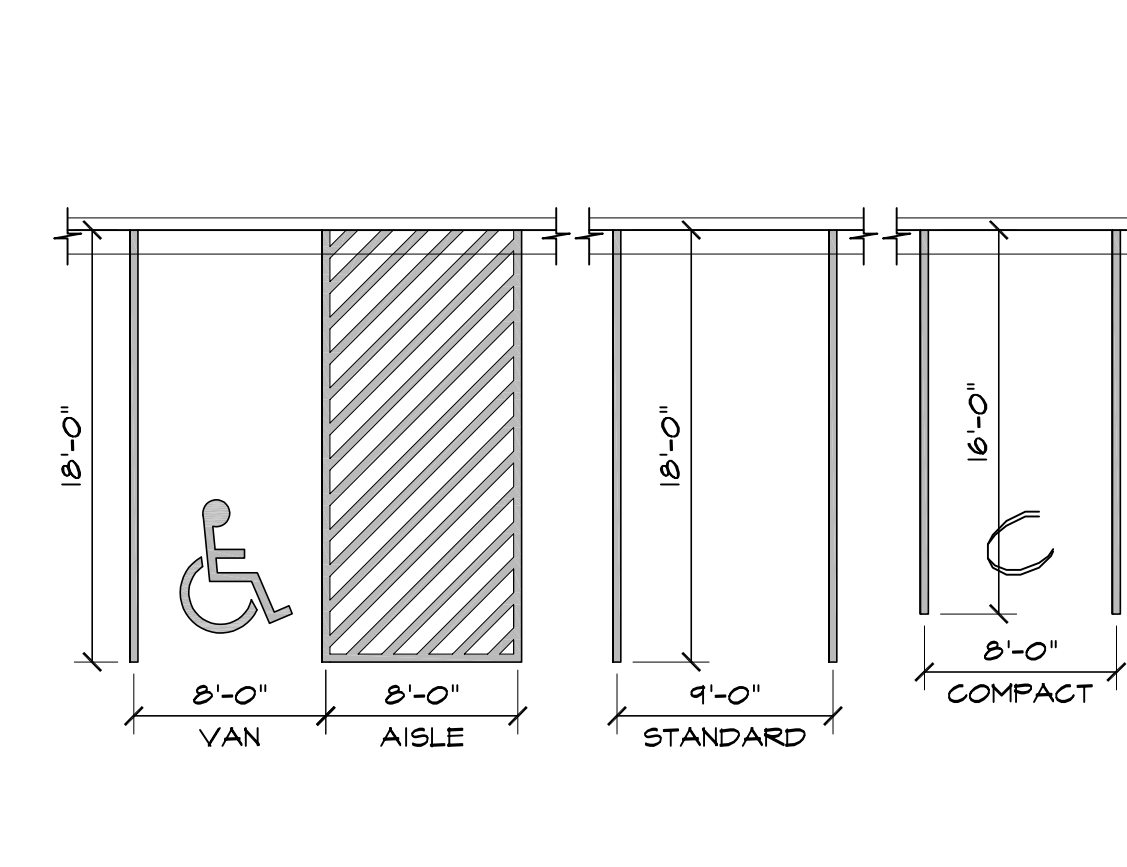


5 FIRE LANE SIGN  
SCALE: 1 1/2"=1'-0"

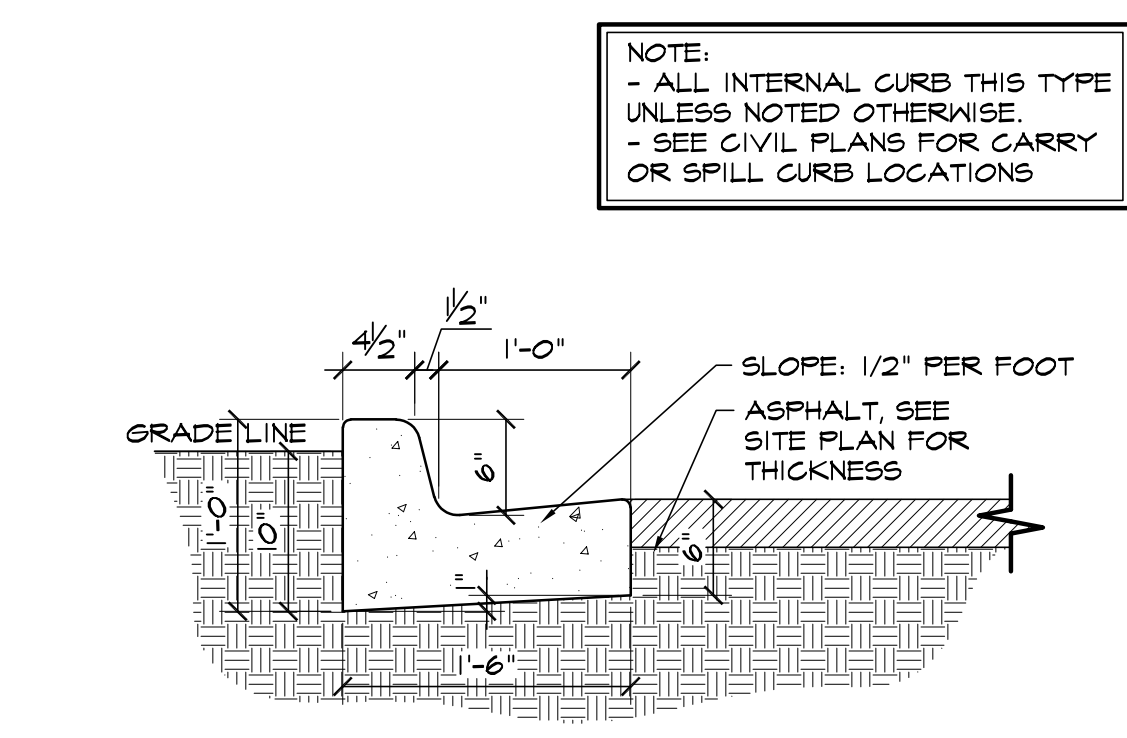


TRUNCATED DOME DETAILS  
GENERAL NOTES:  
1. ALL WORK TO BE DONE IN ACCORDANCE WITH CURRENT EL PASO COUNTY ENGINEERING DIVISION STANDARD SPECIFICATIONS.  
2. SIDEWALK CROSS-SLOPE: 1/4"/FT.  
3. CONTRACTOR TO OBTAIN REQUIRED CONCRETE PERMIT AND RAMP PERMIT AT ENGINEERING DIVISION INSPECTION OFFICE PRIOR TO CONSTRUCTION.  
4. CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION OFFICE AT LEAST 24 HOURS PRIOR TO PLACEMENT OF ANY CONCRETE.  
5. THE RAMP SURFACES SHALL BE FINISHED WITH A COARSE BROOM FINISH, PARALLEL WITH THE SCORING, IN ACCORDANCE WITH SECTION 509.05E OF THE STANDARD SPECIFICATIONS.  
6. CONTRACTOR SHALL STAMP THE COMPANY NAME AND CONSTRUCTION DATE WITHIN THE PEDESTRIAN RAMP AREA.  
7. PEDESTRIAN TRAVELWAY AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMPS ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMPS. NEW RAMPS SHALL ALIGN WITH EXISTING RAMPS AND PEDESTRIAN TRAVELWAY.  
8. SHADED AREA: 6" THICK CONCRETE

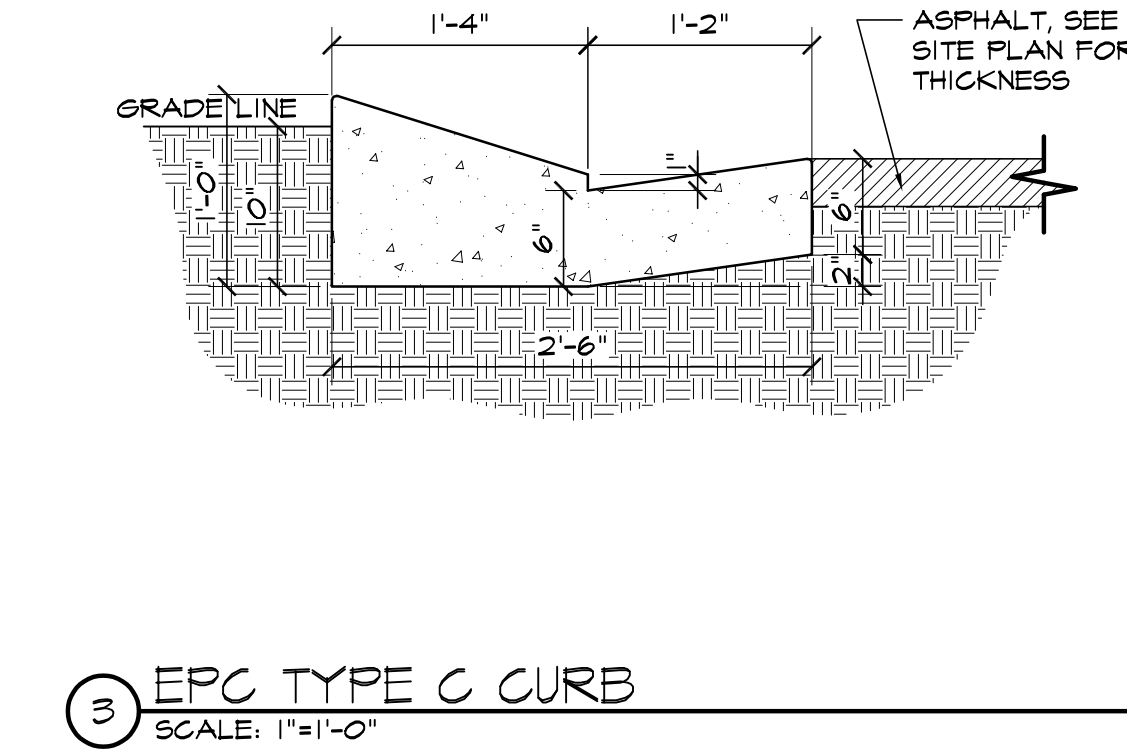
6 PEDESTRIAN RAMP DETAIL D-8J  
SCALE: 3/16"=1'-0"



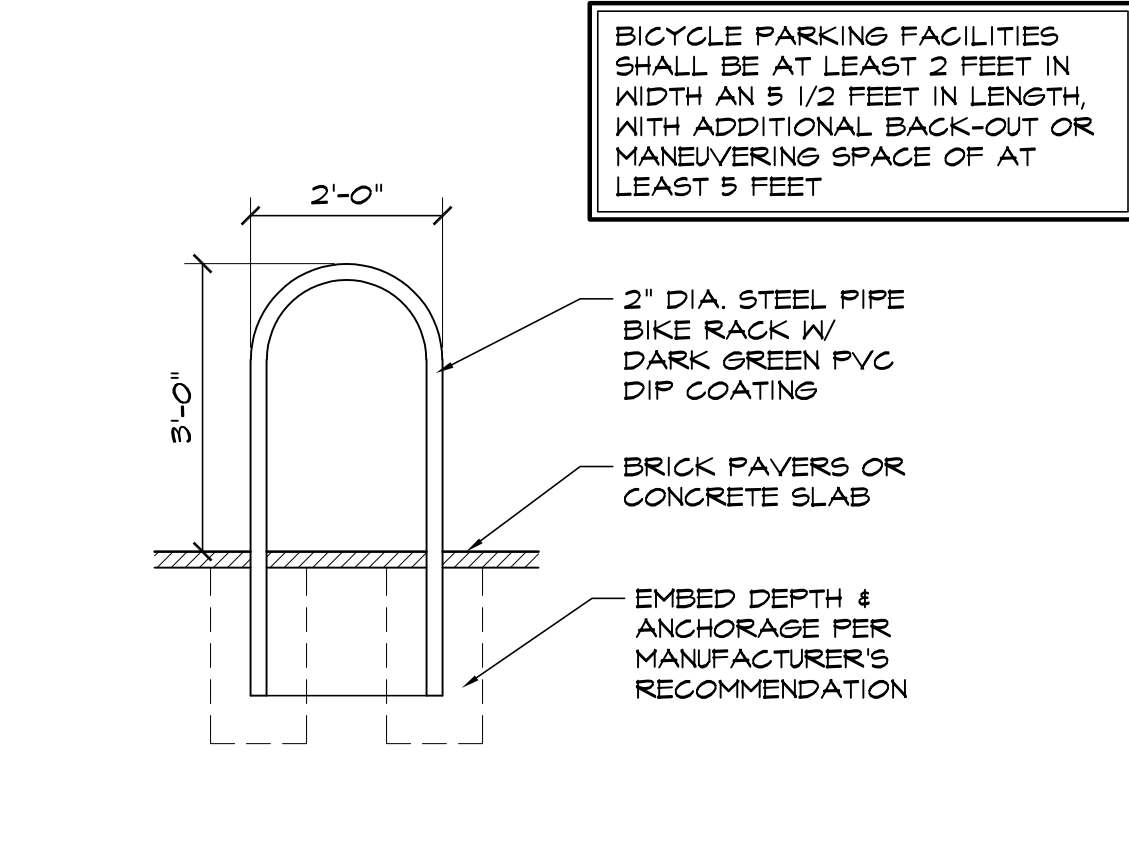
1 ADA / STANDARD PARKING  
SCALE: 1/8"=1'-0"



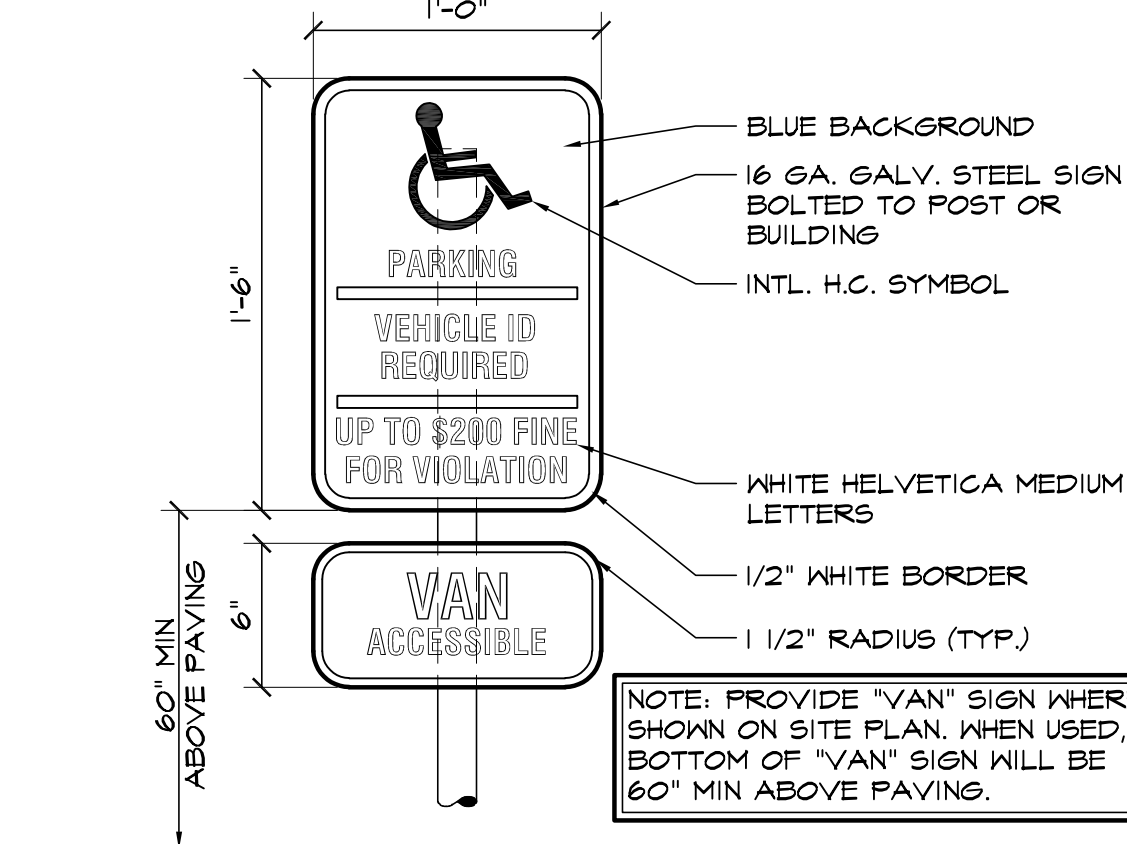
2 EPC TYPE B CURB  
SCALE: 1"=1'-0"



3 EPC TYPE C CURB  
SCALE: 1"=1'-0"



7 BIKE RACK DETAIL  
SCALE: 1/2"=1'-0"



4 HANDICAPPED PARKING SIGN  
SCALE: 1 1/2"=1'-0"

COUNTY FILE NO. PPR-22-048

**HAMMERS CONSTRUCTION INC.**  
COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD  
PRESIDENT: STEVE R. HAMMERS  
VICE PRES: DAVID J. HAMMERS  
1411 WOOLSEY HEIGHTS  
COLORADO SPRINGS, CO 80915  
(719) 570-1589 FAX (719) 570-7008  
www.hammersconstruction.com

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**STRUTHERS-POLARIS RMG**  
NEW BUILD  
847 STRUTHERS RANCH RD.  
COLORADO SPRINGS, CO 80921  
EL PASO COUNTY, COLORADO

DATE: DEC. 6, 2022  
DRAWN BY: A. MADALONE  
PROJ. MGR: R. MAXWELL  
SCALE: SEE PLAN  
APPROVED BY:  
JOB NO: 1293

REVISIONS:  
1. 11-22-22/COMMENTS 4-20-22

Item #	Location	Improvement	Timing
1	Struthers Ranch Road	Adjacent to the site	Schedule
2	Struthers Road/Struthers Ranch Road	Reverse half ROW or at least a "reservation" strip along the south side of Struthers Ranch Road to allow for potential future widening on the east right-of-way approach to accommodate potential left-turn lanes if these ever become necessary.	With the Site Development Plan

Source: LSC Transportation Consultants, Inc. (11-18-2022)

Show the ROW preservation line. Update site layout to accommodate for ROW preservation for future widening as identified in the Traffic Impact Study. Setbacks to be measured from the preservation line. Onsite improvements such as retaining wall, C&G and parking lot shall be located outside the ROW preservation.

If the project is required to vacate/replat then ROW dedication is required in lieu of ROW preservation. See item 2 above.

Unresolved, update label to identify the width of existing sidewalk. If existing is 6' wide then a transition taper may be required to go down to 5' wide proposed sidewalk.

Provide a typical section cut detail on either the site plan or the grading and erosion control plan

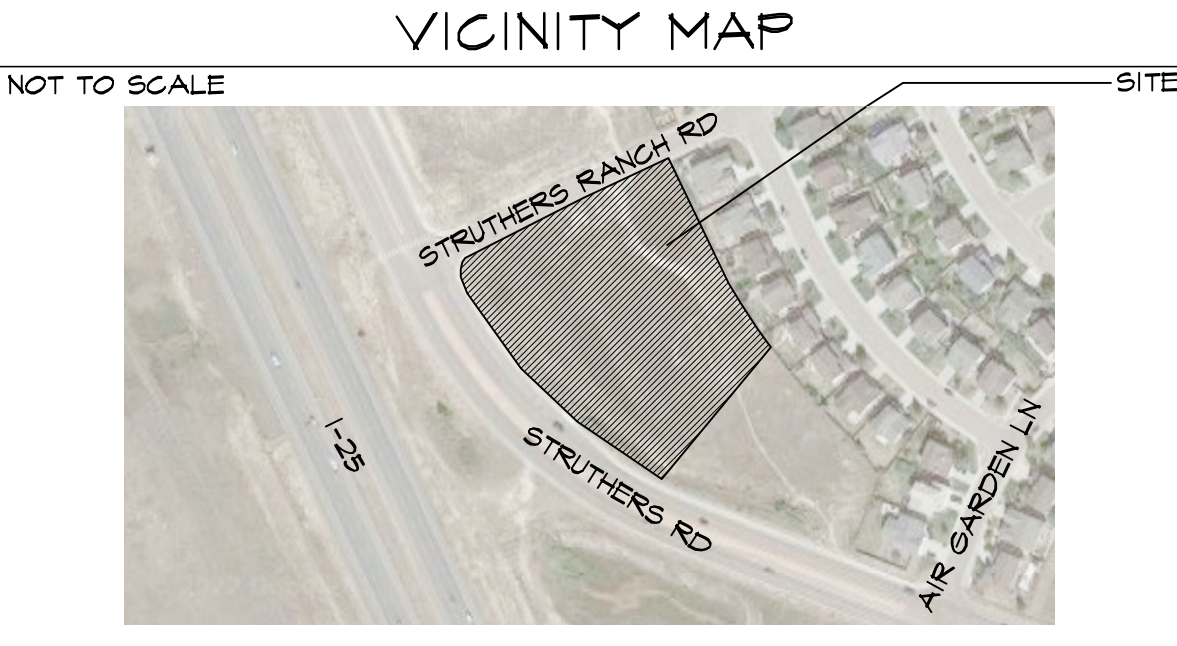
Unresolved. Show sight distance easements required on site plan per traffic study. Note: there shall be no obstructions that are taller than 30' above Struthers Road flowline per ECM 2.3.6.G.2. It appears parking lot retaining walls are already exceeding allowed heights per Struthers Road flowline elevation of 6757'. Revise development to meet the 30' height. Revise to lower retaining wall by 6 inches.

**ADA NOTES**

- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS

**DRAWING INDEX**

- 1 OF 15 - SITE PLAN
- 2 OF 15 - SITE DETAILS
- 3 OF 15 - GEG PLAN TITLE SHEET
- 4 OF 15 - GENERAL NOTES AND LEGEND
- 5 OF 15 - SITE GRADING AND EROSION CONTROL PLAN
- 6 OF 15 - DETENTION BASIN PLAN DETAILS
- 7 OF 15 - CIVIL & EROSION CONTROL DETAILS
- 8 OF 15 - EROSION CONTROL NOTES AND DETAILS
- 9 OF 15 - UTILITY PLAN
- 10 OF 15 - LANDSCAPE PLAN
- 11 OF 15 - PLANTING NOTES
- 12 OF 15 - LANDSCAPE PLAN DETAILS
- 13 OF 15 - PHOTOMETRIC SITE PLAN
- 14 OF 15 - LIGHT FIXTURE SPEC PLANS
- 15 OF 15 - BUILDING ELEVATIONS



**PROJECT INFORMATION**

<b>PROPERTY INFORMATION</b>	OWNER NAME: CLARK FAMILY TRUST 3505 HILL CIR. COLORADO SPRINGS, CO 80904
LEGAL DESCRIPTION: LOT 1 STRUTHERS RANCH SUB FIL. NO. 4	
PARCEL NUMBER: 71563-03-010	ZONING: FUD
LOT SIZE: 128,066 SF - 2.94 ACRES (COMBINED ACREAGE OF LOTS 1 & 2)	CURRENT USE: VACANT
FLOODPLAIN STATEMENT: ZONE X (MAP NO. 08041COT296, EFFECTIVE DATE DEC. 7, 2018)	
<b>BUILDING INFORMATION</b>	GROSS BUILDING AREA: 12,000 SF
BUILDING OCCUPANCY: M, S-1	TYPE OF CONSTRUCTION: I-B
FIRE SYSTEMS: SPRINKLED	AREA SEPARATION WALLS: NONE
<b>ZONING CODE STUDY</b>	PROPOSED PRINCIPAL USE: RETAIL/SHOWROOM/ATV REPAIR
STRUCTURAL COVERAGE: 9%	PAVEMENT COVERAGE: 58%
STREET COVERAGE: 0%	BUILDING STRUCTURAL HEIGHT: 24'-10" (45'-0" MAX)
FRONT YARD SETBACK: 25'-0"	SIDE YARD SETBACK: 25'-0"
REAR YARD SETBACK: 25'-0"	
<b>REQUIRED PARKING SPACES:</b>	ATV SALES - 1 SPACE / 1,000 SF
8,160 SF / 1,000 SF	8
ATV SALES OFFICE	1 SPACE / 450 SF
192 SF / 450 SF	2
REPAIR SHOP - 1 SPACE / PER BAY	4 BAYS / 1 SPACE
4	TOTAL PARKING SPACES REQUIRED: 14
TOTAL PARKING PROVIDED: 24	STANDARD SPACES PROVIDED: 27
HANDICAP: 2	(SEE DETAIL 1 OF 2 FOR DIMENSIONS)
<b>DEVELOPMENT SCHEDULE</b>	CONSTRUCTION: WINTER 2023
LANDSCAPING: SUMMER 2023	
<b>DEVELOPMENT APPLICANT</b>	COMPANY: HAMMERS CONSTRUCTION, INC. 1411 WOOLSEY HEIGHTS COLO. SPGS, CO 80915
PHONE NUMBER: (719)-570-1549	FAX NUMBER: (719)-570-1008
APPLICANT NAME: LISA PETERSON	APPLICANT E-MAIL: lpeterson@hammersconstruction.com

**SITE LEGEND**

---	PROPERTY LINE
---	BUILDING SETBACK
---	LANDSCAPE SETBACK/BUFFER
---	UTILITY/DRAINAGE EASEMENT
---	TELEPHONE EASEMENT
---	ACCESS EASEMENT
---	OPAQUE CHAINLINK FENCE
---	6" HIGH WROUGHT IRON FENCE
---	STORM SEWER LINE
---	RETAINING WALL
---	NEW SIDEWALK LOCATIONS
---	W CONTROL JOINTS @ 5'-0" O.C.
+	PROPERTY CORNER
+	TRAFFIC FLOW
+	WALL PACK LIGHTING
+	SIGN
+	MANHOLE
+	ELECTRICAL TRANSFORMER
+	EXISTING FIRE HYDRANT
+	PROPOSED FIRE HYDRANT

**PLANNING & COMMUNITY DEVELOPMENT**

DIRECTOR SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

COUNTY FILE NO. PPR-22-048

**HAMMERS CONSTRUCTION INC.**

COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD

PRESIDENT: STEVE R. HAMMERS  
VICE PRES: DAVID J. HAMMERS  
1411 WOOLSEY HEIGHTS  
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**STRUTHERS-POLARIS RMG**

NEW BUILD

847 STRUTHERS RANCH RD.  
COLORADO SPRINGS, CO 80921  
EL PASO COUNTY, COLORADO

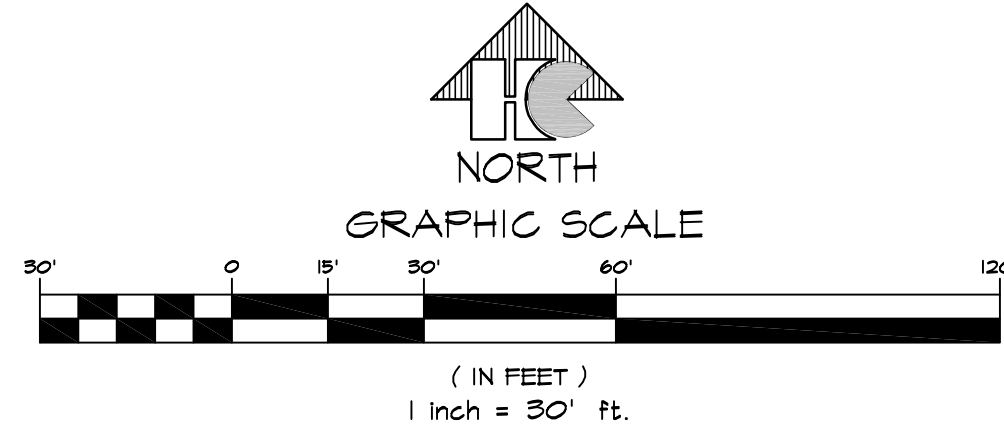
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PROJ. MGR: R. MAXWELL  
SCALE: SEE PLAN  
APPROVED BY:  
JOB NO: 1293

REVISIONS:

1. 11-22-22/COMMENTS 4-20-22

1 of 15

SITE PLAN

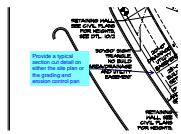


**SITE PLAN**

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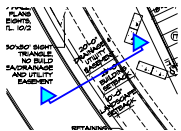
# Site Development Plan\_V2.pdf Markup Summary

dsdlaforce (7)



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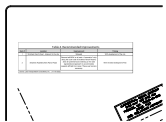
Provide a typical section cut detail on either the site plan or the grading and erosion control pan



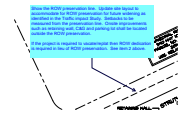
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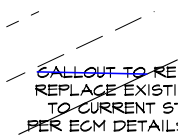
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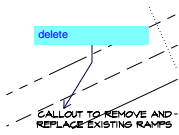
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Show the ROW preservation line. Update site layout to accommodate for ROW preservation for future widening as identified in the Traffic impact Study. Setbacks to be measured from the preservation line. Onsite improvements such as retaining wall, C&G and parking lot shall be located outside the ROW preservation.

If the project is required to vacate/replat then ROW dedication is required in lieu of ROW preservation. See item 2 above.



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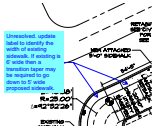
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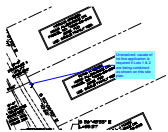
#### lpackman (4)

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Unresolved. update label to identify the width of existing sidewalk. If existing is 6' wide then a transition taper may be required to go down to 5' wide proposed sidewalk.



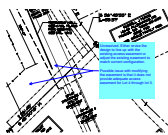
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Unresolved. vacate of lot line application is required if Lots 1 & 2 are being combined as shown on this site plan.



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**Author:** lpackman  
**Date:** 1/30/2023 1:35:29 PM  
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Unresolved. Show sight distance easements required on site plan per traffic study. Note: there shall be no obstructions that are taller than 30" above Struthers Road flowline per ECM 2.3.6.G.2. It appears parking lot retaining walls are already exceeding allowed heights per Struthers Road flowline elevation of 6757'. Revise development to meet the 30" height. Revise to lower retaining wall by 6 inches.



**Subject:** Callout  
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**Author:** lpackman  
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Unresolved. Either revise the design to line up with the existing access easement or adjust the existing easement to match current configuration.

Possible issue with modifying the easement is that it does not provide adequate access easement for Lot 4 through lot 3.