

Show on plan:
 Location of all existing and proposed utility lines and associated infrastructure
 Location of all no-build areas, floodplain, drainageways and facilities
 Location of existing and proposed water and wastewater infrastructure, including well and septic locations, if applicable
 Provide the layout and location of all off-street parking, loading and other vehicular use areas, unless otherwise depicted in detail on a separate parking plan. If depicted on a separate parking plan then depiction of the parking areas are required
 Any additional information required pursuant to any associated conditions of approval or plat notes.

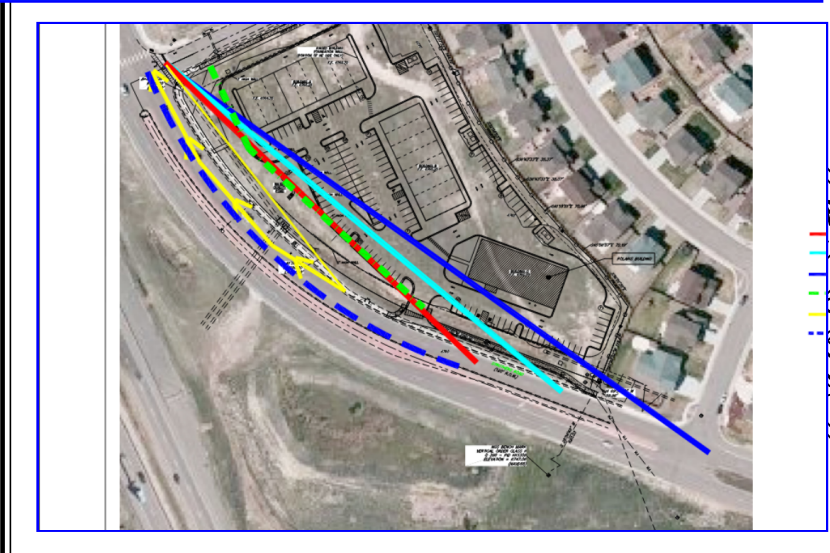
Show & label the existing crossspan
 Label access curb radius.
 Coordinate with traffic engineer to determine if stop sign at driveway entrance is needed.

Please add this note on the plan:
 The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

The Traffic Analysis noted that the right turn lane threshold is met. Provide the right turn lane or submit a deviation request for the ECM Administrator's consideration.

update label to identify the width of existing sidewalk. If existing is 6' wide then a transition taper may be required to go down to 5' wide proposed sidewalk.

Show sight distance easements required on site plan per traffic study. See snippet. Note: there shall be no obstructions that are taller than 30' above Struthers Road flowline per ECM 2.3.6.G.2. It appears parking lot retaining walls are already exceeding allowed heights per Struthers Road flowline elevation of 6757'.



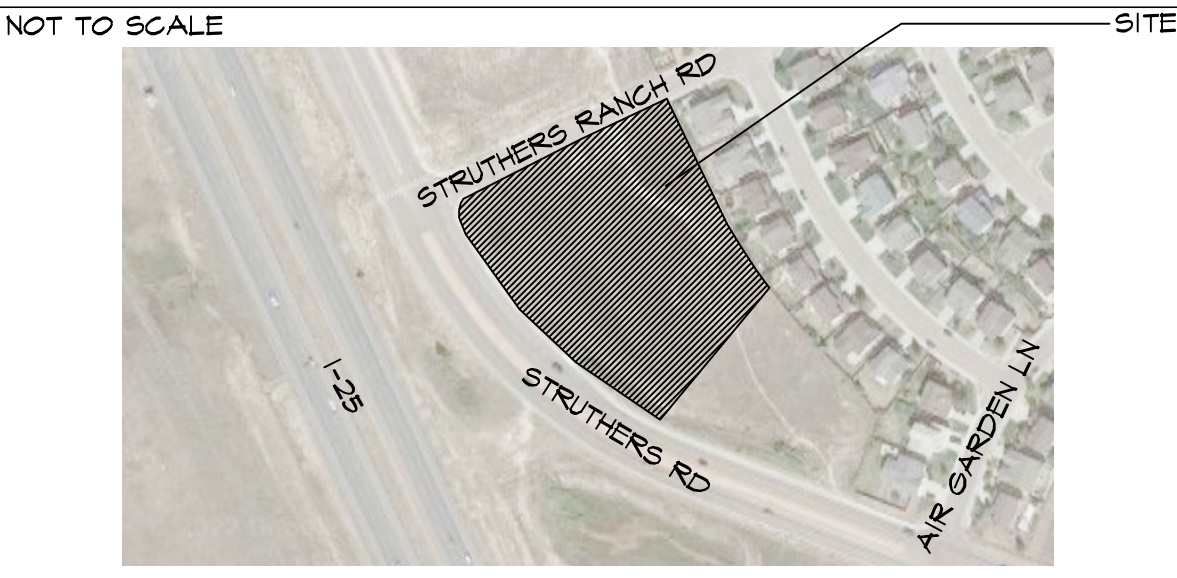
(IN FEET)
 1 inch = 30' ft.

SITE PLAN
 SCALE: 1"=30'-0"

DRAWING INDEX

- 1 OF 15 - SITE PLAN
- 2 OF 15 - SITE DETAILS
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- G2.4 OF 15 - GENERAL NOTES AND LEGEND
- C1.1 5 OF 15 - SITE GRADING AND EROSION CONTROL PLAN
- C3.1 6 OF 15 - DETENTION BASIN PLAN DETAILS
- C4.1 7 OF 15 - CIVIL & EROSION CONTROL DETAILS
- C4.2 8 OF 15 - EROSION CONTROL NOTES AND DETAILS
- U 4 OF 15 - UTILITY PLAN
- L1.1 10 OF 15 - LANDSCAPE PLAN
- L1.2 11 OF 15 - PLANTING NOTES
- L1.3 12 OF 15 - LANDSCAPE PLAN DETAILS
- O.01 13 OF 15 - PHOTOMETRIC SITE PLAN
- O.02 14 OF 15 - LIGHT FIXTURE SPEC PLANS
- 15 OF 15 - BUILDING ELEVATIONS

VICINITY MAP



PROJECT INFORMATION

PROPERTY INFORMATION	CLARK FAMILY TRUST 3585 HILL CIR. COLORADO SPRINGS, CO 80904
LEGAL DESCRIPTION:	LOT 1 STRUTHERS RANCH SUB FIL. NO. 4
PARCEL NUMBER:	71563-03-010
ZONING:	PUD
LOT SIZE:	127,843 SF (2.93 ACRES)
CURRENT USE:	VACANT
FLOODPLAIN STATEMENT:	ZONE X (MAP NO: 08041C07296, EFFECTIVE DATE DEC. 7, 2018)
BUILDING INFORMATION	GROSS BUILDING AREA: 12,000 SF BUILDING OCCUPANCY: M-5-1 TYPE OF CONSTRUCTION: II-B FIRE SYSTEMS: SPRINKLED AREA SEPARATION WALLS: NONE
ZONING CODE STUDY	PROPOSED PRINCIPAL USE: RETAIL/SHOWROOM/ATV REPAIR STRUCTURAL COVERAGE: 9% PAVEMENT COVERAGE: 58% STREET COVERAGE: 0% BUILDING STRUCTURAL HEIGHT: 24'-10" (45'-0" MAX) FRONT YARD SETBACK: 25'-0" SIDE YARD SETBACK: 25'-0" REAR YARD SETBACK: 0'-0" 25'
REQUIRED PARKING SPACES:	ATV SALES: 1 SPACE / 1,000 SF 8,160 SF / 1,000 SF ATV SALES OFFICE: 1 SPACE / 450 SF. 452 SF / 450 SF. REPAIR SHOP - 1 SPACE / PER BAY 4 BAYS / 1 SPACE TOTAL PARKING SPACES REQUIRED: 14 TOTAL PARKING PROVIDED: 27 STANDARD SPACES PROVIDED: 25 HANDICAP: 2 (SEE DETAIL 1 OF 2 FOR DIMENSIONS)
DEVELOPMENT SCHEDULE	CONSTRUCTION: WINTER 2023 LANDSCAPING: SUMMER 2023
DEVELOPMENT APPLICANT	COMPANY: HAMMERS CONSTRUCTION, INC. 1411 WOOLSEY HEIGHTS COLO. SPGS, CO 80915
PHONE NUMBER:	(719)-570-1549
FAX NUMBER:	(719)-570-1008
APPLICANT NAME:	LISA PETERSON
APPLICANT E-MAIL:	lpeterson@hammersconstruction.com

SITE LEGEND

---	PROPERTY LINE
---	BUILDING SETBACK
---	LANDSCAPE SETBACK/BUFFER
---	UTILITY/DRAINAGE EASEMENT
---	TELEPHONE EASEMENT
---	ACCESS EASEMENT
---	OPAQUE CHAINLINK FENCE
---	6' HIGH WROUGHT IRON FENCE
---	STORM SEWER LINE
---	RETAINING WALL
---	NEW SIDEWALK LOCATIONS
---	W CONTROL JOINTS @ 5'-0" O.C.
⊙	PROPERTY CORNER
⊙	SIGN
⊙	EXISTING FIRE HYDRANT
→	TRAFFIC FLOW
⊙	MANHOLE
⊙	PROPOSED FIRE HYDRANT
⊙	WALL PACK LIGHTING
⊙	ELECTRICAL TRANSFORMER

PLANNING & COMMUNITY DEVELOPMENT

DIRECTOR SIGNATURE _____ DATE _____

HAMMERS CONSTRUCTION INC.
 COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD
 PRESIDENT: STEVE R. HAMMERS
 VICE PRES: DAVID J. HAMMERS
 1411 WOOLSEY HEIGHTS
 COLORADO SPRINGS, CO 80915
 (719) 570-1589 FAX (719) 570-7008
 www.hammersconstruction.com

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STRUTHERS-POLARIS RMG
 NEW BUILD
 847 STRUTHERS RANCH RD.
 COLORADO SPRINGS, CO 80912
 EL PASO COUNTY, COLORADO

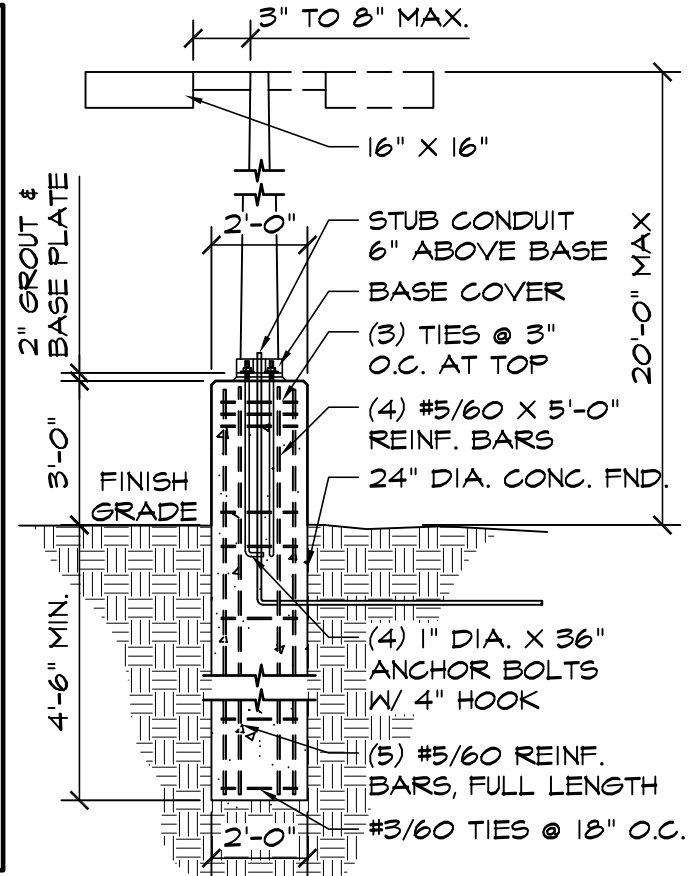
Total count is 29 with 27 standard stalls and 2 ADA stalls

Provide plan preparer name, telephone number, and email

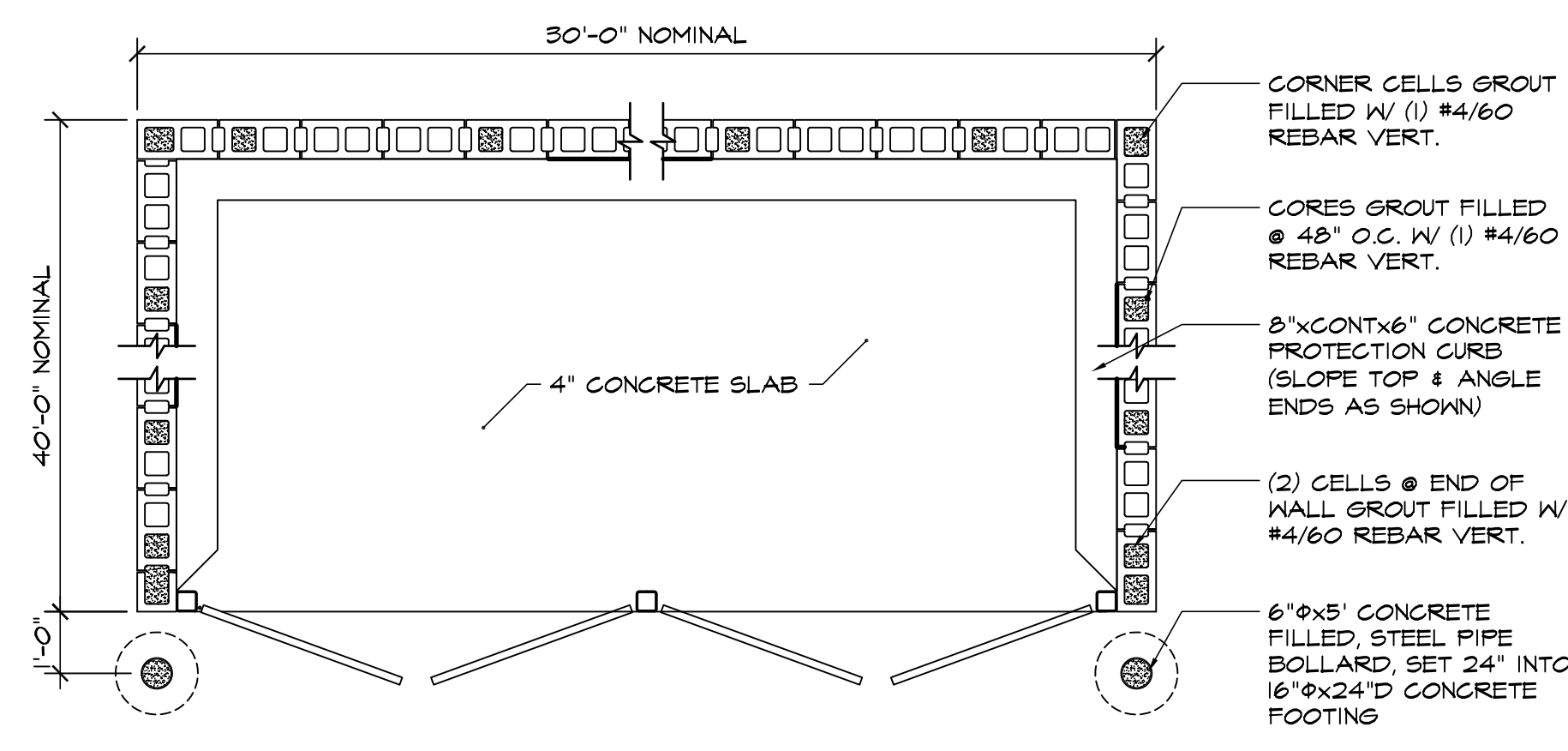
DATE: AUG. 18, 2022
 DRAWN BY: A. MADALONE
 PROJ. MGR: R. MAXWELL
 SCALE: SEE PLAN
 APPROVED BY:
 JOB NO: 1293

REVISIONS:

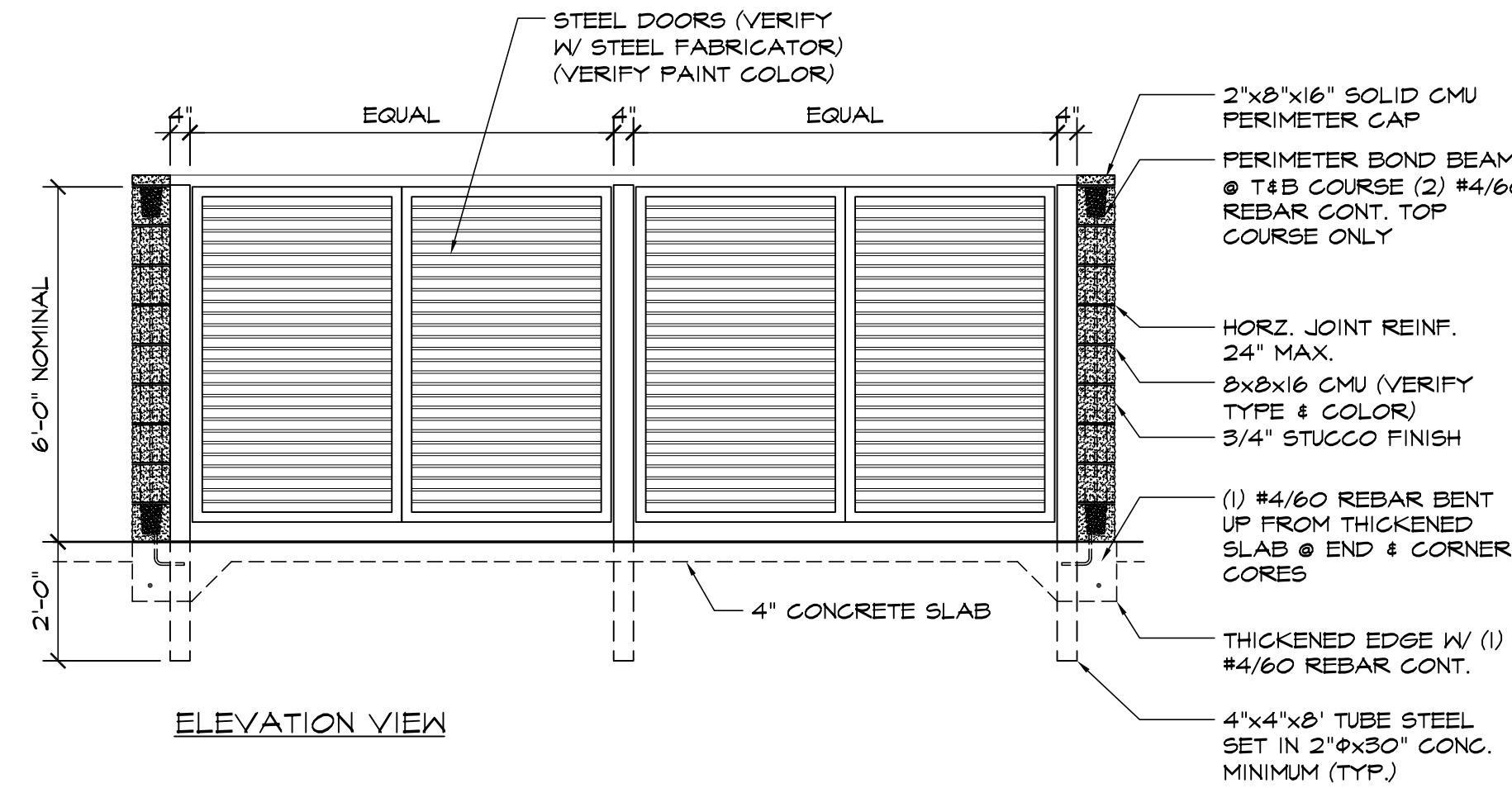
- NOTES:**
1. LIGHTING LEVELS SHALL NOT EXCEED 15 FOOTCANDLES WHEN MEASURED @ GROUND LEVEL.
 2. PROVIDE CONG. 36" ABOVE GRADE WITHIN 36" OF CURB OR DRIVE.
 3. LIGHTING WILL BE HIGH-PRESSURE SODIUM DOWNCAST ON ROUND TAPERED POLE W/ ROUND LIGHT HOUSING. (SEE SITE PLAN FOR LOCATIONS)
 4. ALL POLES, LIGHTS, & HOUSING TO BE PAINTED TO MATCH BLDG. STRENT. TYP. ON ALL POLE LIGHTS.
 5. NO LIGHTING WILL SHINE OFF SITE.
 6. IF LIGHT POLE BASE IS WITHIN 36" OF A DRIVE ISLE THEN THE BASE WILL STICK UP 36" ABOVE FIN. GRADE, OTHERWISE THE BASE WILL STICK UP 6" ABOVE GRADE.



13 LIGHT POLE BASE DETAIL
SCALE: 1/4"=1'-0"

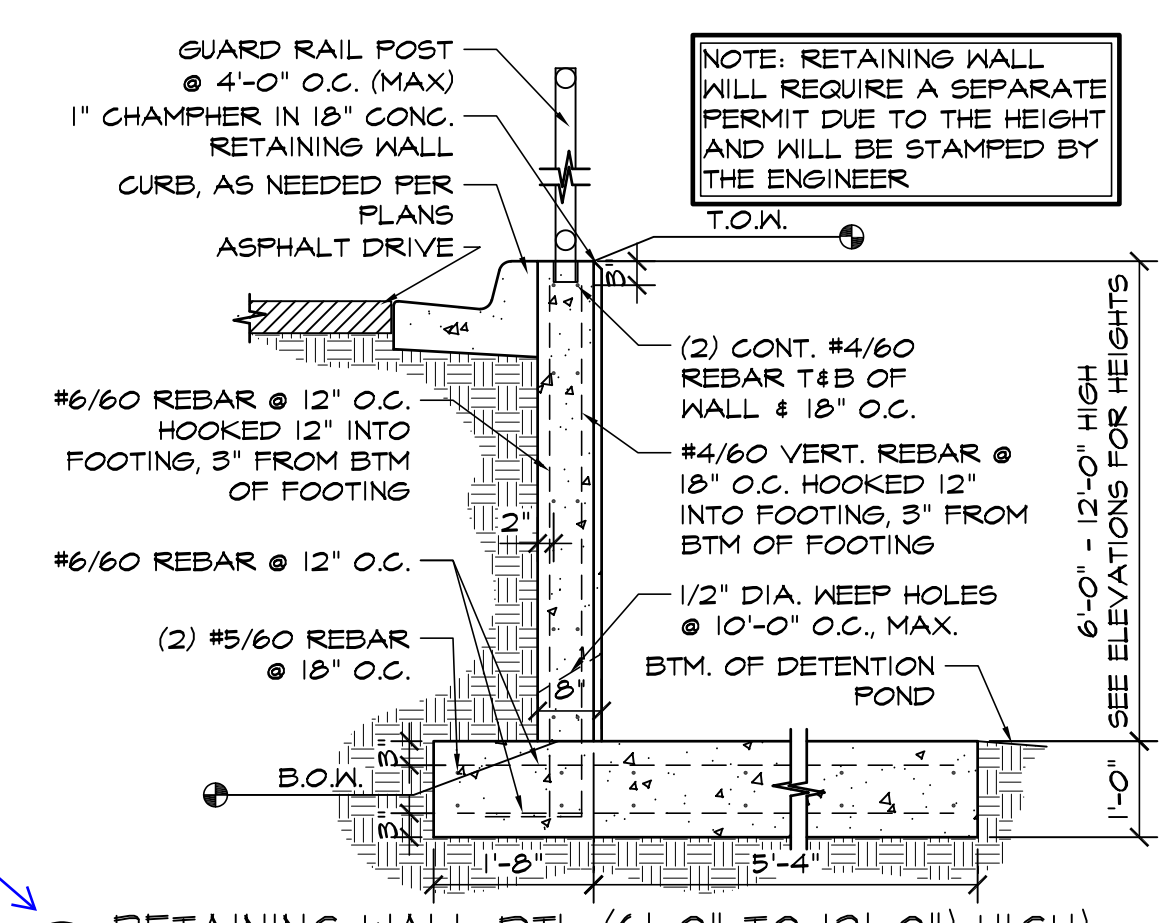


PLAN VIEW



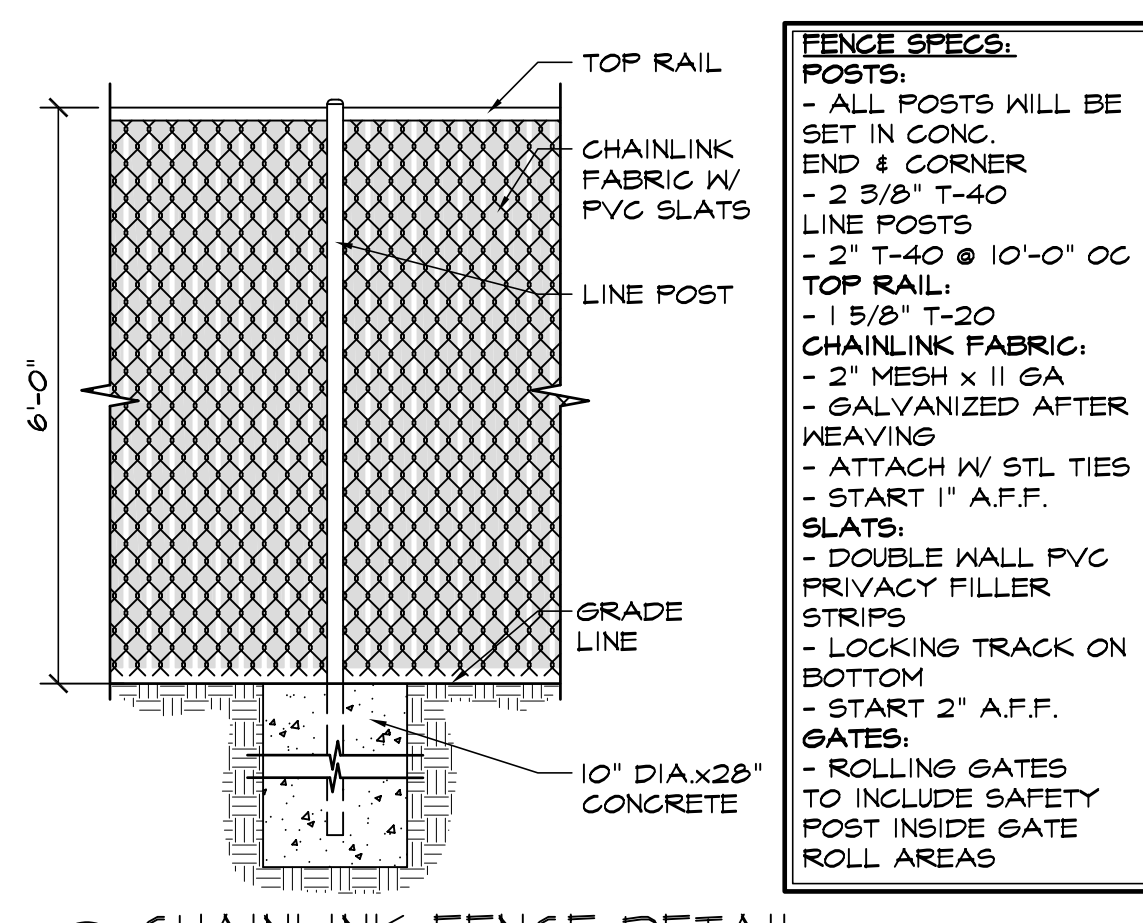
ELEVATION VIEW

8 CMU TRASH ENCLOSURE DETAIL - 2 BAYS
SCALE: 3/8"=1'-0"

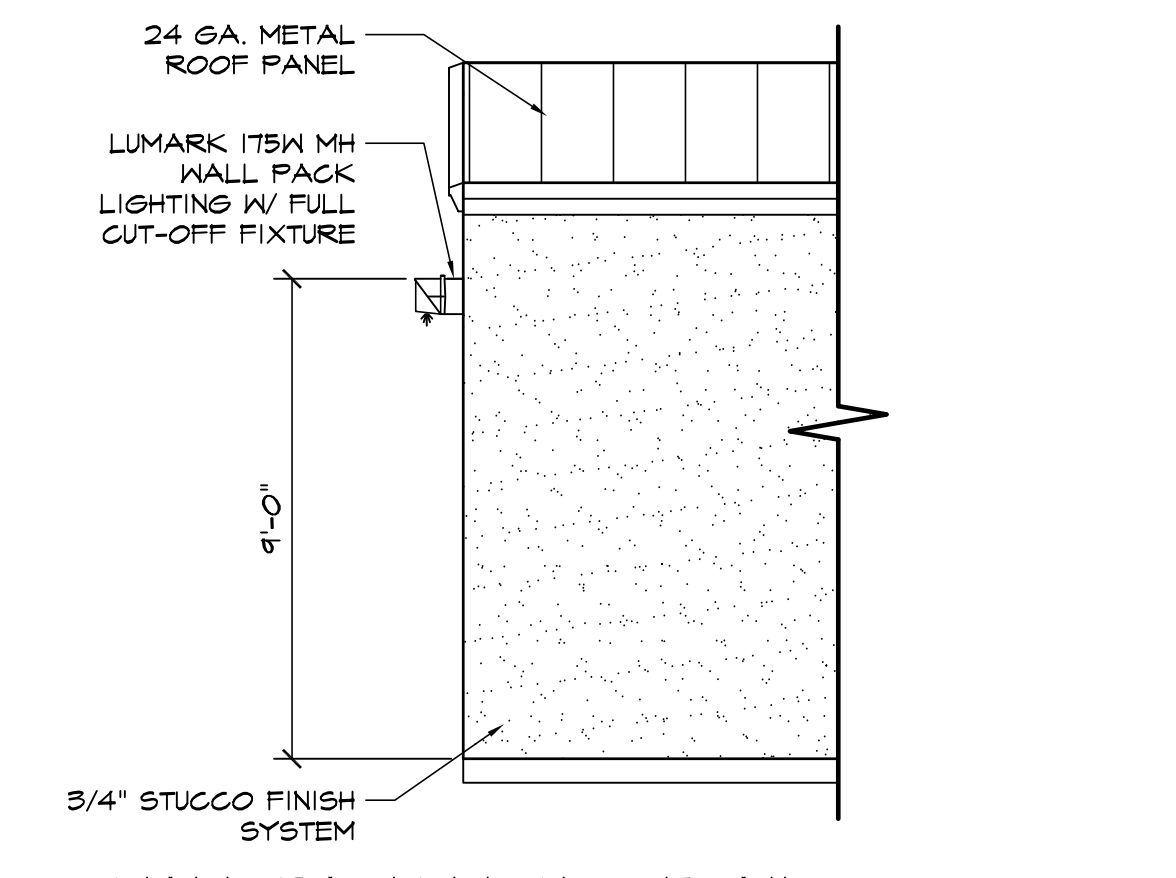


11 RETAINING WALL DTL (6'-0" TO 12'-0") HIGH
SCALE: 1/2"=1'-0"

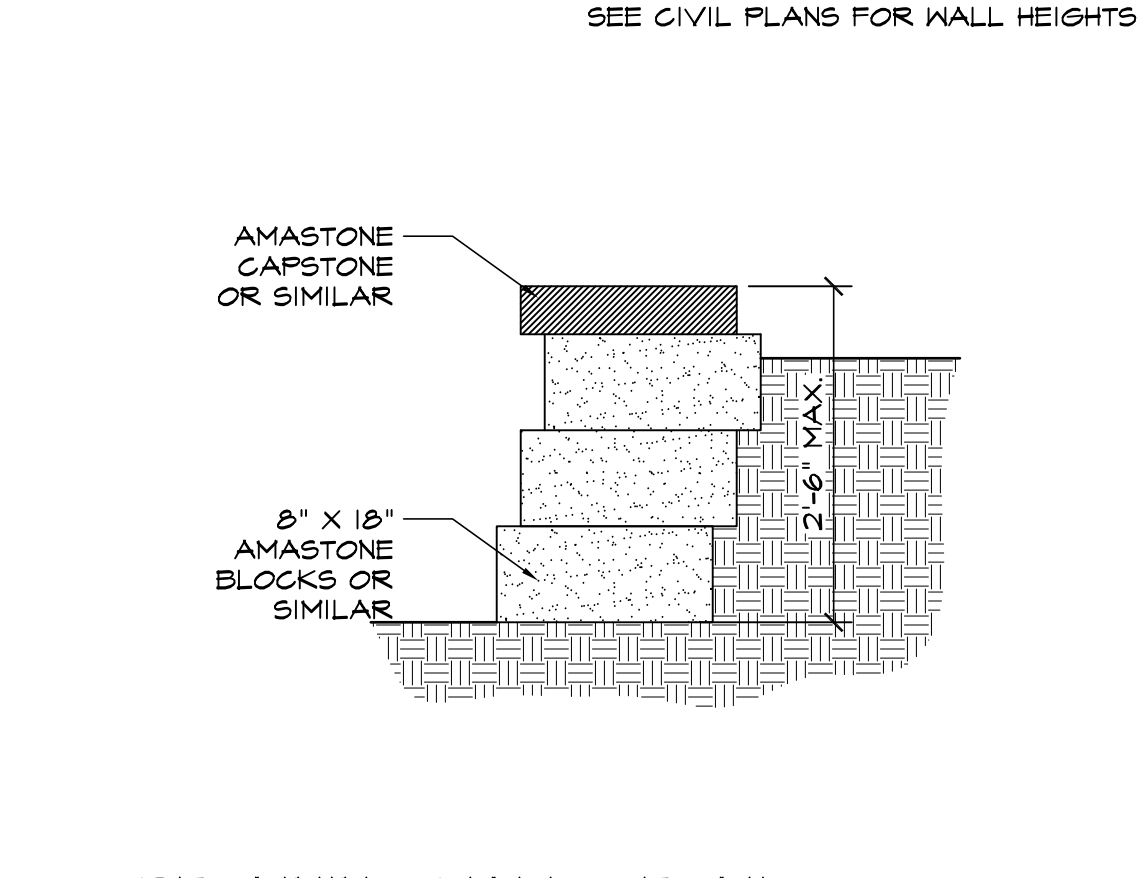
Note: a building permit is required for retaining walls that are 4' or taller.



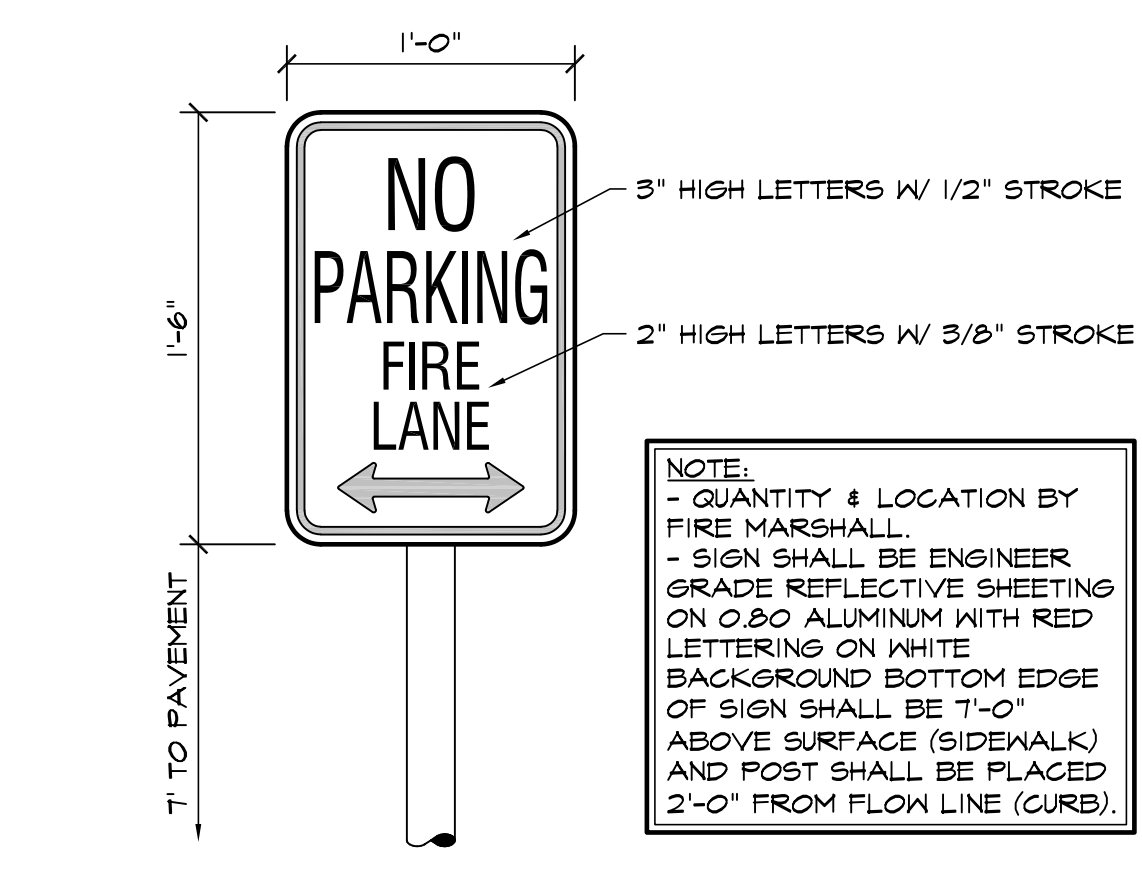
9 CHAINLINK FENCE DETAIL
SCALE: 1/2"=1'-0"



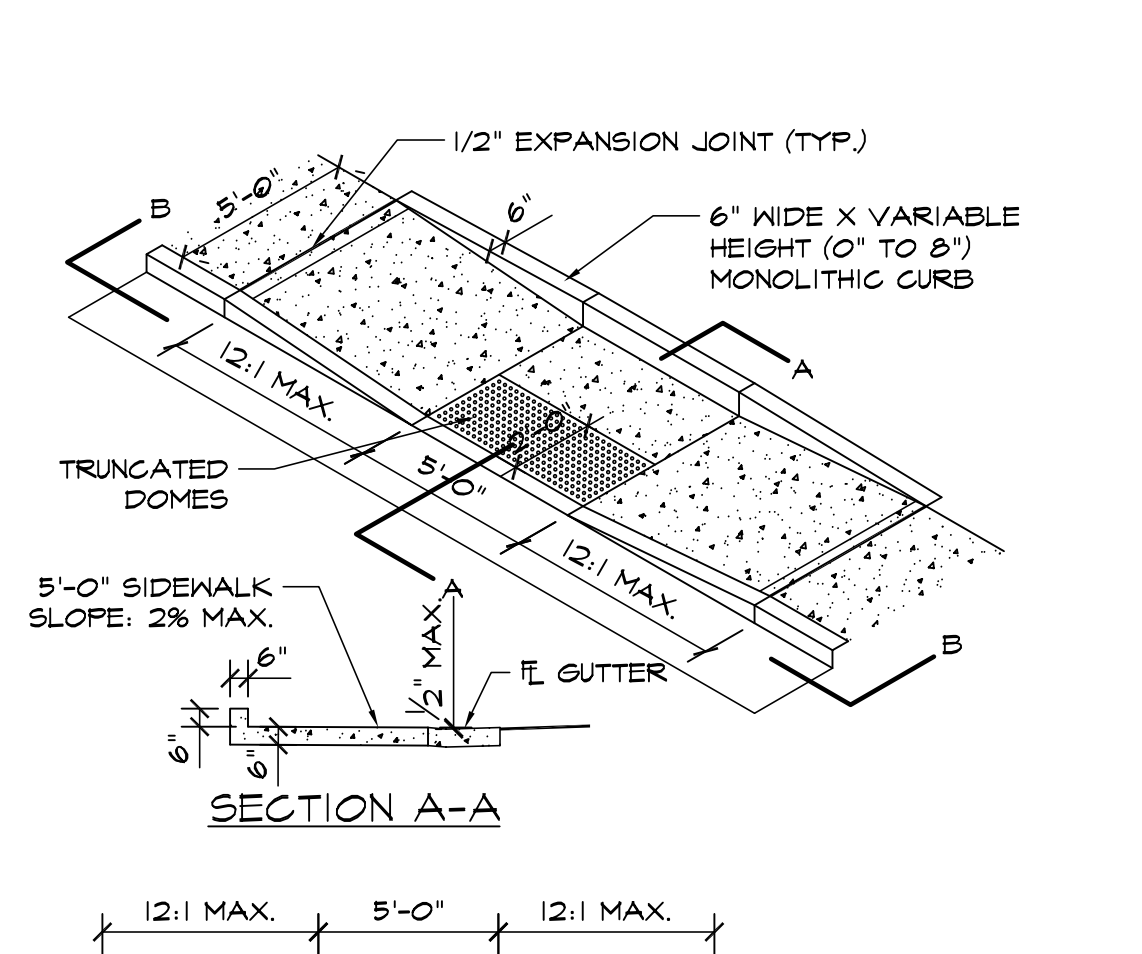
12 WALL PACK LIGHT DETAIL
SCALE: 1/4"=1'-0"



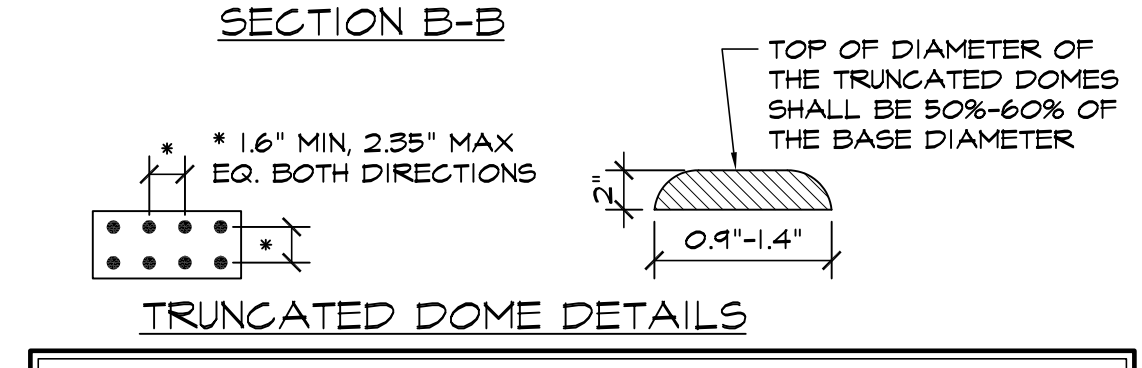
10 RETAINING WALL DETAIL
SCALE: 3/4"=1'-0"



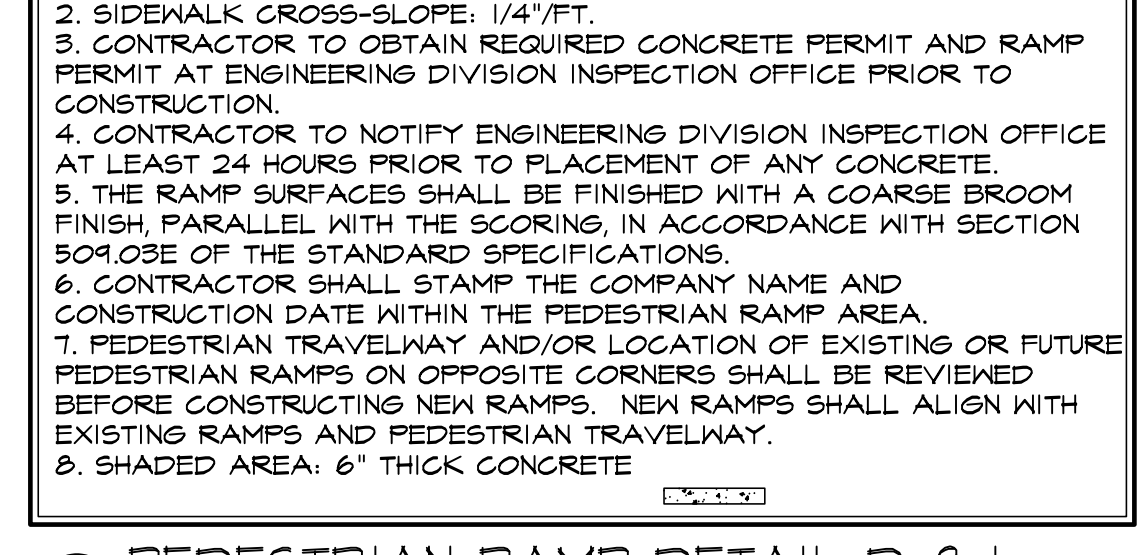
5 FIRE LANE SIGN
SCALE: 1 1/2"=1'-0"



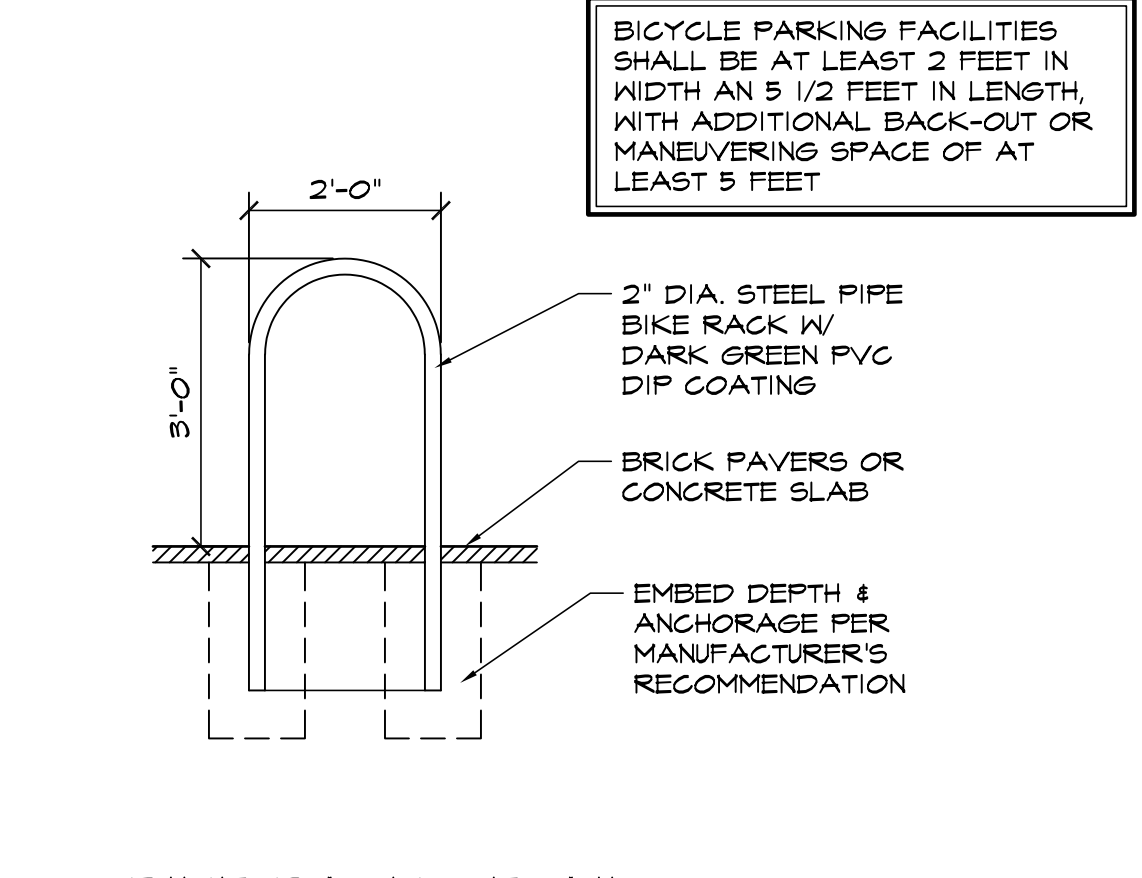
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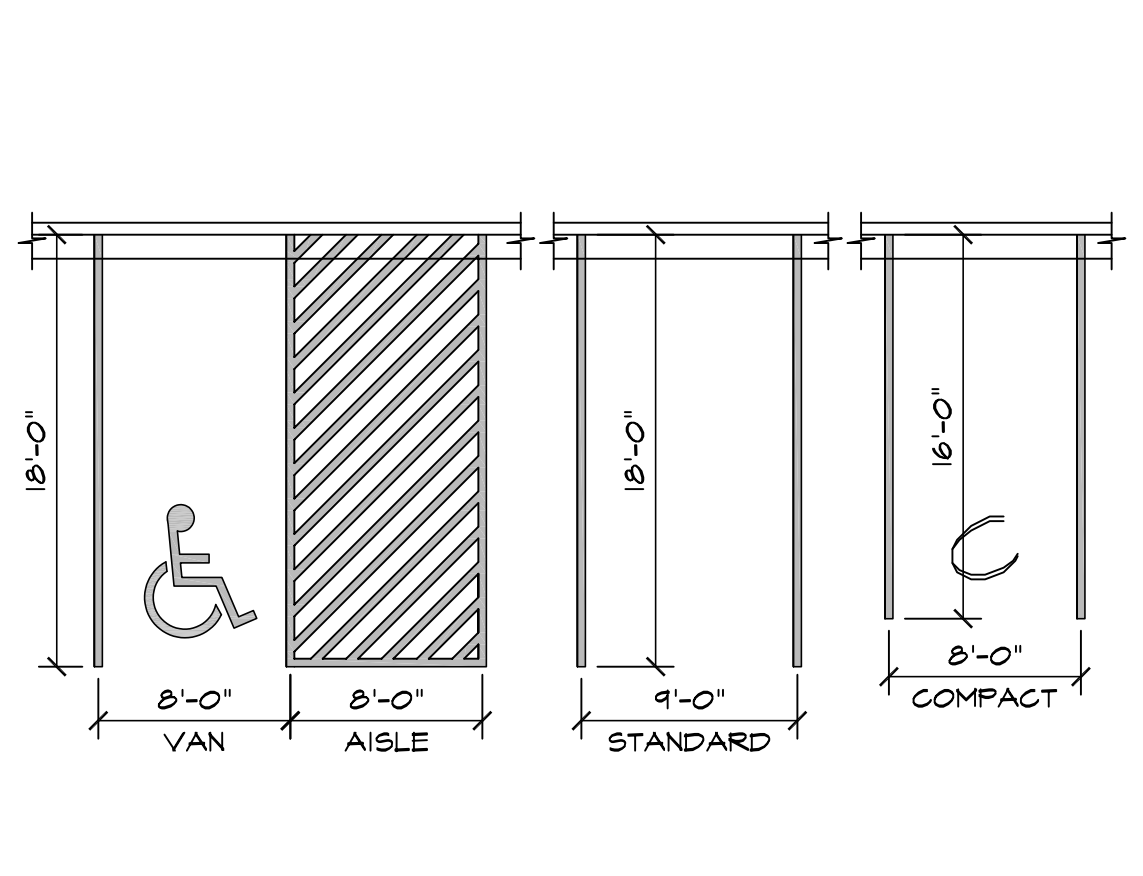
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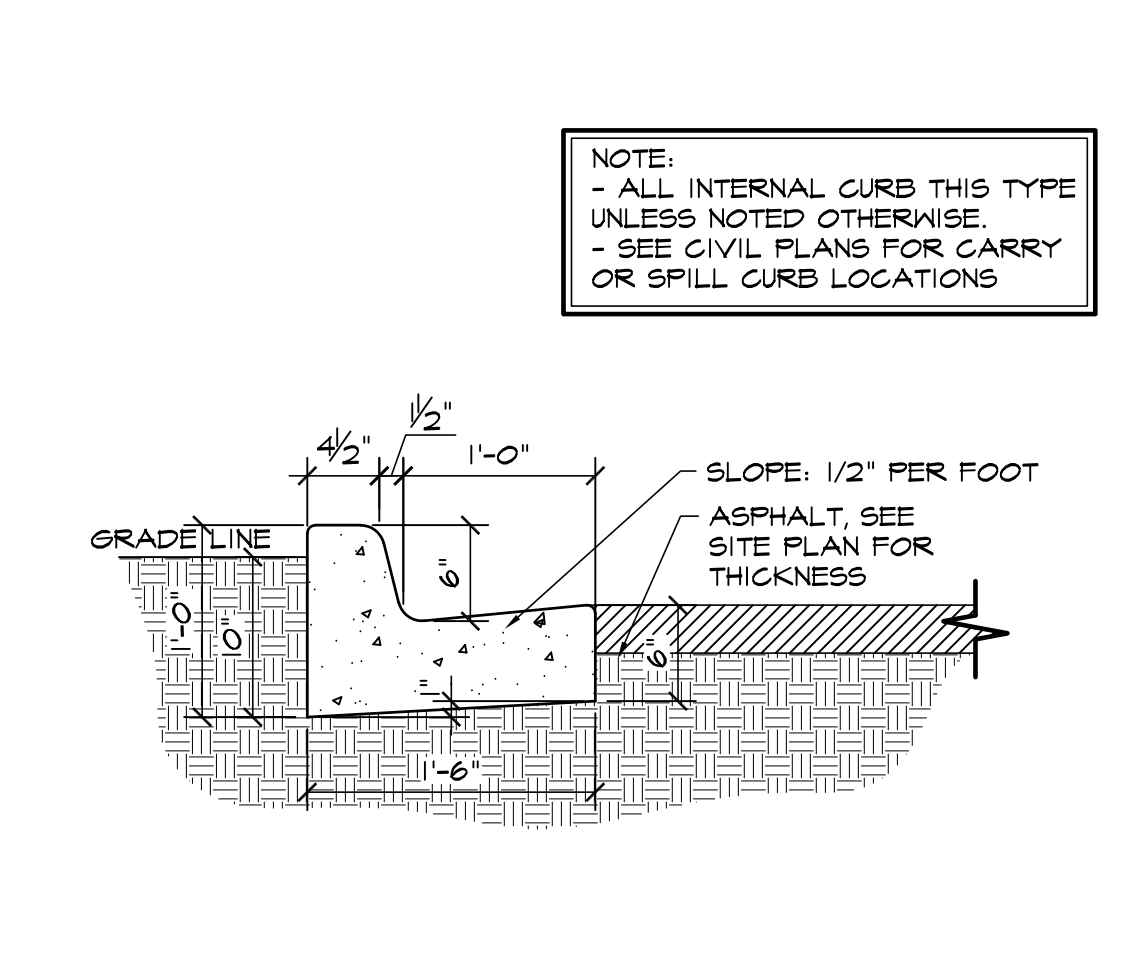
6 PEDESTRIAN RAMP DETAIL D-BJ
SCALE: 3/16"=1'-0"



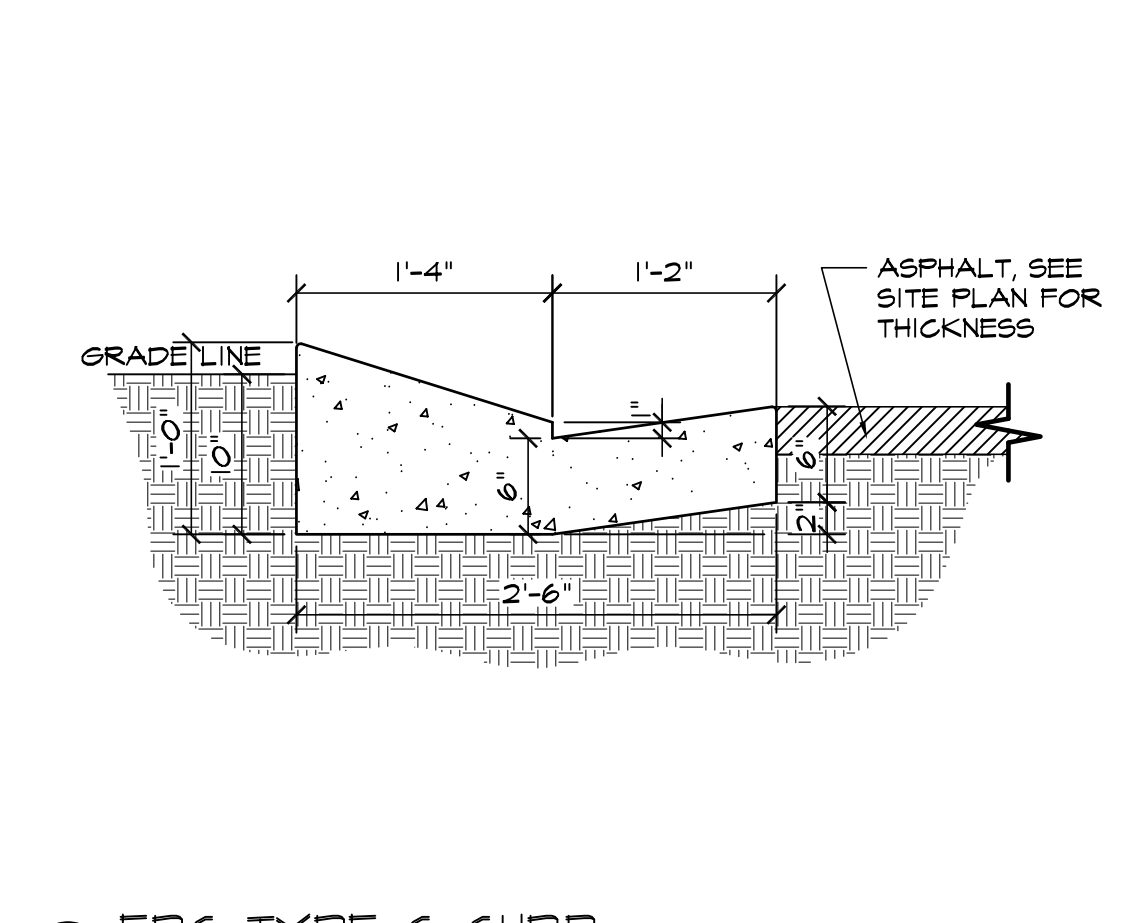
7 BIKE RACK DETAIL
SCALE: 1/2"=1'-0"



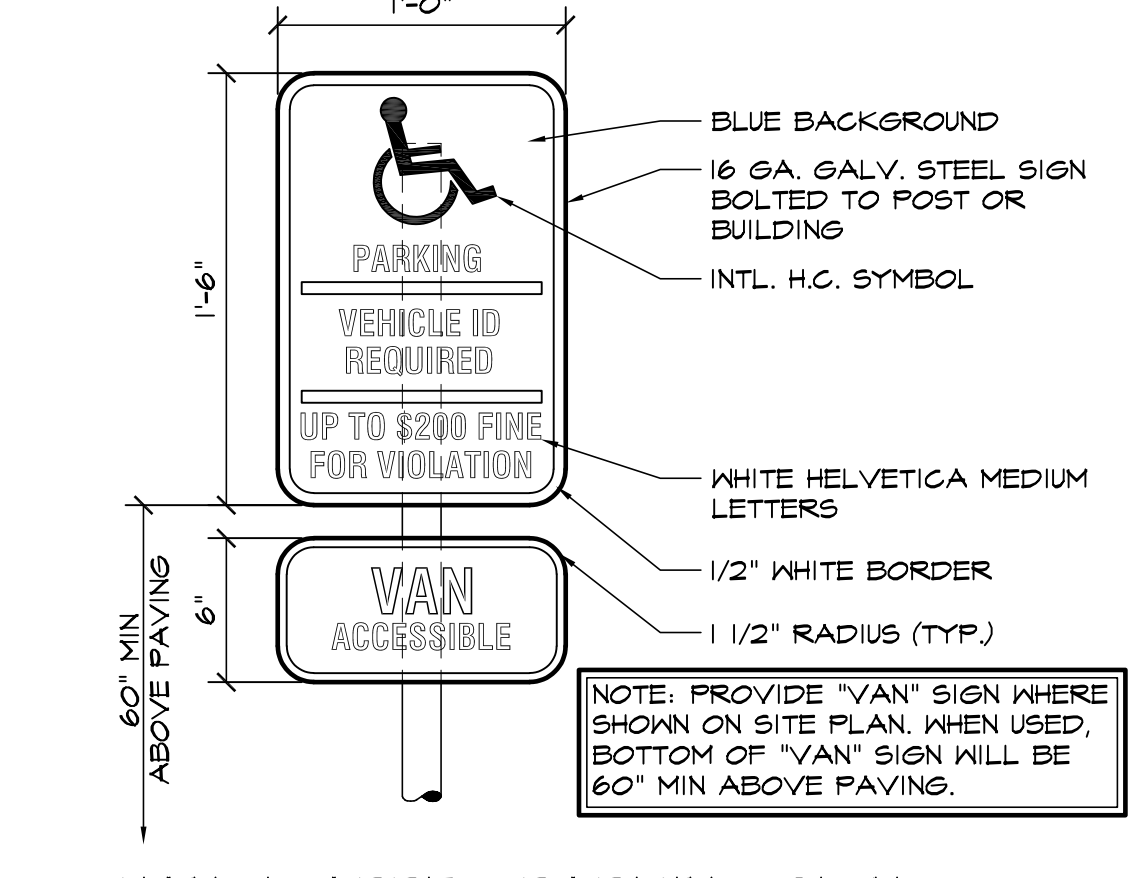
1 ADA / STANDARD PARKING
SCALE: 1/8"=1'-0"



2 EPC TYPE B CURB
SCALE: 1"=1'-0"



3 EPC TYPE C CURB
SCALE: 1"=1'-0"



4 HANDICAPPED PARKING SIGN
SCALE: 1 1/2"=1'-0"

HAMMERS CONSTRUCTION INC.
COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD
PRESIDENT: STEVE R. HAMMERS
VICE PRES: DAVID J. HAMMERS
1411 WOODLEY HEIGHTS
COLORADO SPRINGS, CO 80915
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STRUTHERS-POLARIS RMG
NEW BUILD
847 STRUTHERS RANCH RD.
COLORADO SPRINGS, CO 80921
EL PASO COUNTY, COLORADO

DATE: AUG. 18, 2022
DRAWN BY: A. MADALONE
PROJ. MGR: R. MAXWELL
SCALE: SEE PLAN
APPROVED BY:
JOB NO: 1293

REVISIONS:

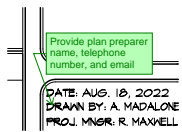
Site Development Plan_V1.pdf Markup Summary

9/13/2022 1:03:43 PM (1)

LOT 1 STRUTHERS RANCH SUB P
NO. 4
15669-09-010
RFD
127245 SF (2.95 ACRES)
VACANT
ZONE X MAP NO. 08041C0724
EFFECTIVE DATE DEC. 7, 2018
13000 SF
CITY

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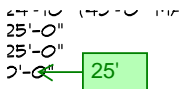


Provide plan preparer
name, telephone
number, and email
DATE: AUG. 18, 2022
DRAWN BY: A. MADALONE
PROJ. MNR. R. MAXWELL

Subject: Callout
Page Label: 1
Author: Linda.Nguyen
Date: 9/13/2022 5:44:39 PM
Status:
Color: ■
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Provide plan preparer name, telephone number, and email

9/13/2022 5:46:08 PM (1)



25'-0"
25'-0"
25'-0"
25'

Subject: Callout
Page Label: 1
Author: Linda.Nguyen
Date: 9/13/2022 5:46:08 PM
Status:
Color: ■
Layer:
Space:

25'

9/13/2022 6:34:45 PM (1)



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Author: Linda.Nguyen
Date: 9/13/2022 6:34:45 PM
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13

9/13/2022 6:35:22 PM (1)



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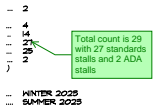
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9/13/2022 6:37:16 PM (1)

.. 27
... 25
... 2

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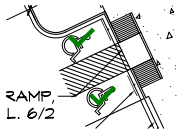
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Total count is 29 with 27 standards stalls and 2 ADA stalls

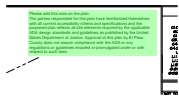
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9/13/2022 6:40:11 PM (1)



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Please add this note on the plan:
The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

9/13/2022 7:10:20 PM (1)



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Author: Linda.Nguyen
Date: 9/13/2022 7:10:20 PM
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Show on plan:

Location of all existing and proposed utility lines and associated infrastructure

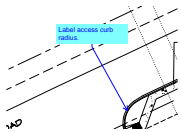
Location of all no-build areas, floodplain, drainageways and facilities

Location of existing and proposed water and wastewater infrastructure, including well and septic locations, if applicable

Provide the layout and location of all off-street parking, loading and other vehicular use areas, unless otherwise depicted in detail on a separate parking plan. If depicted on a separate parking plan then depiction of the parking areas are required

Any additional information required pursuant to any associated conditions of approval or plat notes.

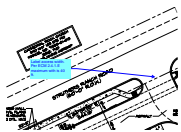
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Label access curb radius.

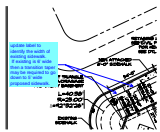
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Subject: Callout
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Date: 9/14/2022 1:54:58 PM
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Label access width. Per ECM 2.4.1.E maximum with is 40 ft.

9/14/2022 2:14:03 PM (1)

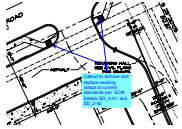


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Page Label: 1
Author: dsdlaforce
Date: 9/14/2022 2:14:03 PM
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update label to identify the width of existing sidewalk.

If existing is 6' wide then a transition taper may be required to go down to 5' wide proposed sidewalk.

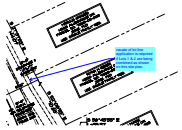
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Author: dsdlaforce
Date: 9/14/2022 2:16:02 PM
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Color: ■
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Space:

Callout to remove and replace existing ramps to current standards per ECM Details SD_2-41, and SD_2-42

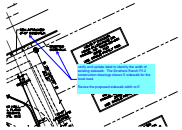
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Subject: Callout
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Author: dsdlaforce
Date: 9/14/2022 2:37:34 PM
Status:
Color: ■
Layer:
Space:

vacate of lot line application is required if Lots 1 & 2 are being combined as shown on this site plan.

9/14/2022 2:45:07 PM (1)



Subject: Callout
Page Label: 1
Author: dsdlaforce
Date: 9/14/2022 2:45:07 PM
Status:
Color: ■
Layer:
Space:

verify and update label to identify the width of existing sidewalk. The Struthers Ranch Fil 2 construction drawings shows 5' sidewalk for the local road.

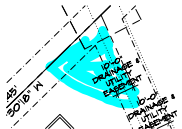
Revise the proposed sidewalk width to 5'

9/14/2022 2:50:25 PM (1)



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Author: dsdlaforce
Date: 9/14/2022 2:50:25 PM
Status:
Color: ■
Layer:
Space:

9/14/2022 2:55:28 PM (1)



Subject: Highlight
Page Label: 1
Author: dsdlaforce
Date: 9/14/2022 2:55:28 PM
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Space:

9/14/2022 2:55:48 PM (1)

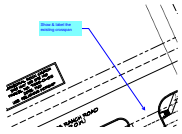


Subject: Callout
Page Label: 1
Author: dsdlaforce
Date: 9/14/2022 2:55:48 PM
Status:
Color: ■
Layer:
Space:

Either revise the design to line up with the existing access easement or adjust the existing easement to match current configuration.

Possible issue with modifying the easement is that it does not provide adequate access easement for Lot 4 through lot 3.

9/14/2022 3:02:48 PM (1)



Subject: Callout
Page Label: 1
Author: dsdlaforce
Date: 9/14/2022 3:02:48 PM
Status:
Color: ■
Layer:
Space:

Show & label the existing crosspan

9/14/2022 3:03:47 PM (1)



Subject: Callout
Page Label: 1
Author: dsdlaforce
Date: 9/14/2022 3:03:47 PM
Status:
Color: ■
Layer:
Space:

Coordinate with traffic engineer to determine if stop sign at driveway entrance is needed.

9/14/2022 6:03:15 PM (1)



Subject: Callout
Page Label: 1
Author: Linda.Nguyen
Date: 9/14/2022 6:03:15 PM
Status:
Color: ■
Layer:
Space:

Correct to 128,066.4sf
2.94 acres
(Combined acreage of Lot 1 & 2)

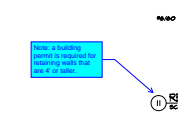
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Subject: Text Box
Page Label: 1
Author: Linda.Nguyen
Date: 9/14/2022 6:07:00 PM
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Layer:
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Add: Open space, landscaping,
and impermeable surface percentage

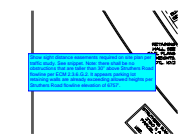
9/14/2022 9:18:52 AM (1)



Subject: Callout
Page Label: 2
Author: lpackman
Date: 9/14/2022 9:18:52 AM
Status:
Color: ■
Layer:
Space:

Note: a building permit is required for retaining walls that are 4' or taller.

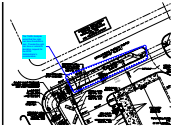
9/15/2022 10:02:42 AM (1)



Subject: Text Box
Page Label: 1
Author: lpackman
Date: 9/15/2022 10:02:42 AM
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Show sight distance easements required on site plan per traffic study. See snippet. Note: there shall be no obstructions that are taller than 30" above Struthers Road flowline per ECM 2.3.6.G.2. It appears parking lot retaining walls are already exceeding allowed heights per Struthers Road flowline elevation of 6757'.

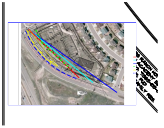
9/15/2022 10:30:21 AM (1)



Subject: Cloud+
Page Label: 1
Author: dsdlaforce
Date: 9/15/2022 10:30:21 AM
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The Traffic Analysis noted that the right turn lane threshold is met. Provide the right turn lane or submit a deviation request for the ECM Administrator's consideration.

9/15/2022 9:13:39 AM (1)



Subject: Image
Page Label: 1
Author: lpackman
Date: 9/15/2022 9:13:39 AM
Status:
Color: ■
Layer:
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