

SITE KEYNOTES

- 1 ENCLOSED GARAGES WITH OVERHEAD DOORS
- 2 PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- 3 PROPOSED TRANSFORMER LOCATION
- 4 PROPOSED ELECTRIC METER LOCATIONS
- 5 PROPOSED CONDENSING UNIT LOCATIONS
- 6 5 FT. HIGH DUMPSTER ENCLOSURE
- 7 5 FT. HIGH POOL ENCLOSURE WITH SELF-CLOSING, SELF-LATCHING GATES
- 8 6 FT. HIGH MONUMENT SIGN WITH DEVELOPMENT NAME AND ADDRESS NUMBERS
- 9 BICYCLE PARKING (#) - NUMBER OF SPACES PROVIDED, (2) SPACES PER BREEZEWAY
- 10 COVERED MAILBOX KIOSKS TO COMPLY WITH CURRENT USPS REGULATIONS
- 11 CLEAR AREA FOR EMERGENCY FIRE APPARATUS ACCESS
- 12 ACCESSIBLE PATH

1 SITE PLAN (PHASE 2)
 SCALE: 1/64" = 1'-0"
 0 16' 32' 64' 128' 192'



819 S. WABASH AVENUE
 CHICAGO, ILLINOIS 60605
 312-913-1717 FAX 913-1727

OWNER / DEVELOPER:
JACKSON DEARBORN, LLC

404 S. WELLS STREET
 SUITE # 400
 CHICAGO, IL 60607
 CONTACT: DANE OLMSTEAD
 TEL: 734.216.2577

CIVIL ENGINEER:
KIMLEY HORN
 2 N NEVADA AVE., SUITE 308,
 COLORADO SPRINGS, CO 80903
 TEL: 720.636.8306

STRUCTURAL ENGINEER:
MARTINO & LUTH, INC
 999 18TH STREET
 SUITE 855 NORTH
 DENVER, CO 80202
 TEL: 303.260.7116

MEP ENGINEER:
SALAS O'BRIEN
 815 SOUTH WABASH AVENUE
 CHICAGO, IL 60605
 TEL: 312.786.4310

LANDSCAPE ARCHITECT:
KIMLEY HORN
 2 N NEVADA AVE., SUITE 308,
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 TEL: 720.636.8306

**SOLACE APARTMENTS, FILING NO. 2, LOT 1
 SITE DEVELOPMENT PLAN**

SUBMITTAL DATE:

REVISION DATE:

Job Number: 0614.0010

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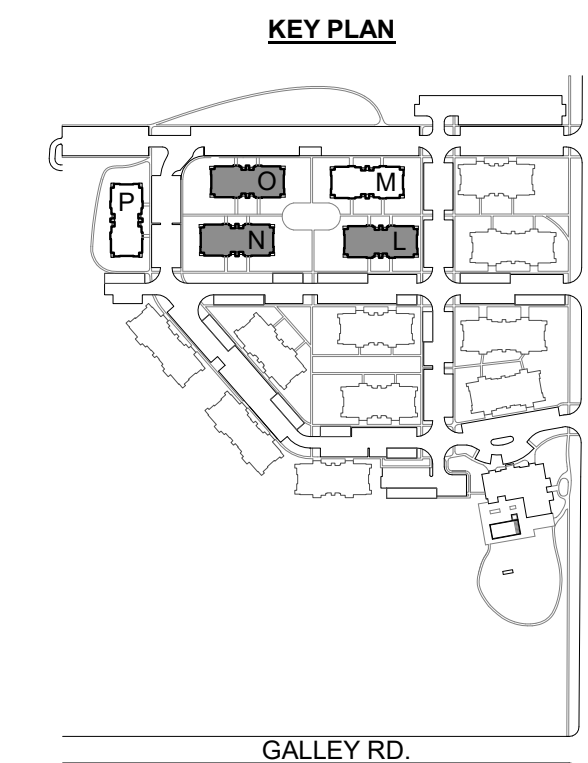


EXPIRES: 10/31/2023

Sheet Title:
**ARCHITECTURAL
 SITE PLAN**

Sheet Number:

A0.01



819 S. WABASH AVENUE
CHICAGO, ILLINOIS 60605
312-913-1717 FAX 913-1727

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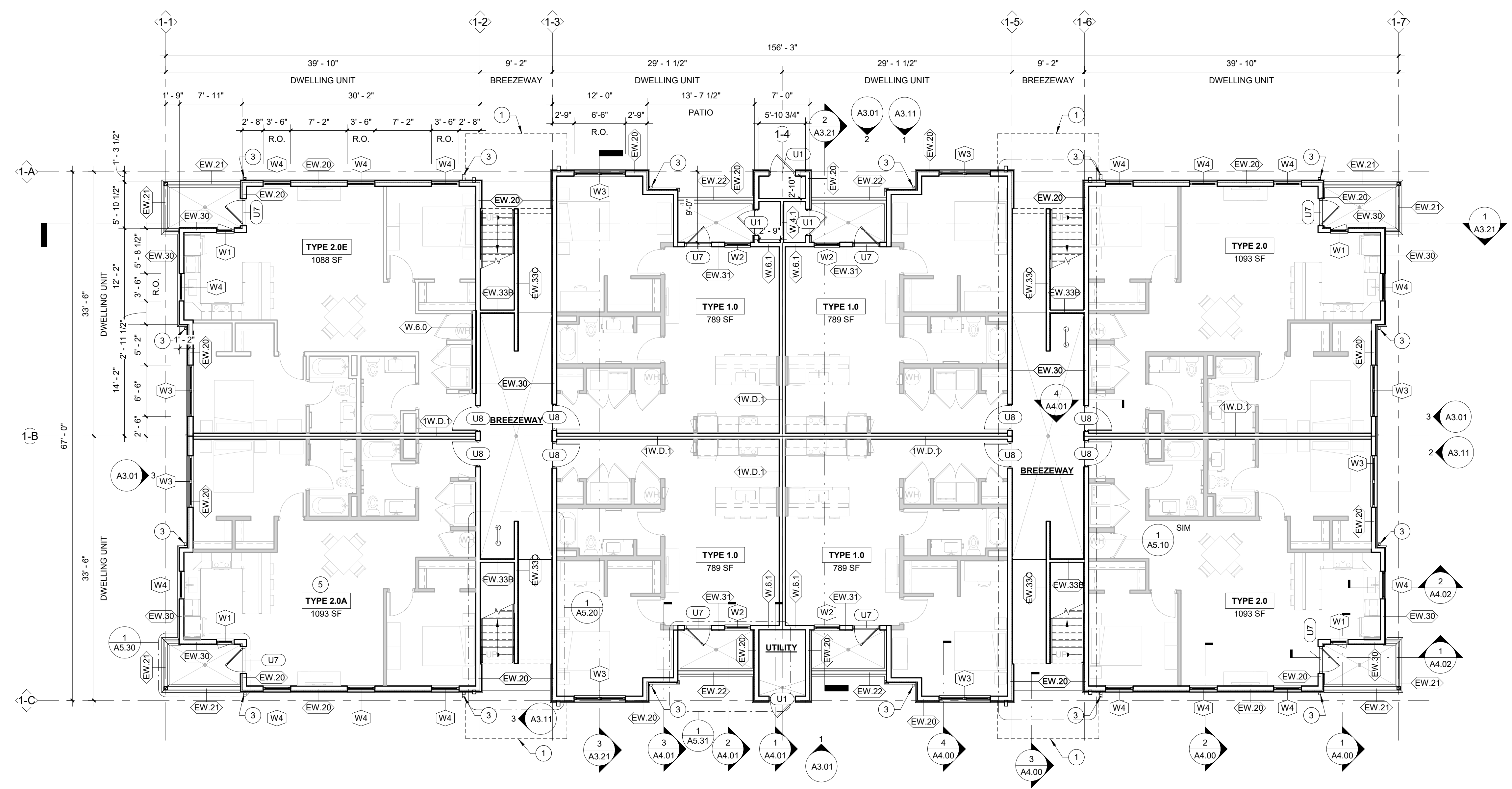
LANDSCAPE ARCHITECT:
KIMLEY HORN
2 N NEVADA AVE., SUITE 308,
COLORADO SPRINGS, CO 80903
TEL: 720.636.8306

GENERAL NOTES

- REFER TO KEY PLAN ON THIS SHEET FOR LOCATION OF BUILDING TYPES.
- EXTERIOR DIMS AND GRID LINES ARE TO EXTERIOR FACE OF WOOD SHEATHING OR CENTERLINE OF DEMISING WALL, U.N.O.
- ALL FLOOR / WALL PENETRATIONS TO BE FIRE STOPPED W/ AN APPROVED UL LISTED SYSTEM WHICH RATING IS EQUIVALENT OR HIGHER TO THAT OF THE FLOOR/WALL ASSEMBLY IT PASSES THROUGH.
- SEE A6 SERIES SHEETS FOR UNIT PLANS.
- SEE A7 SERIES SHEETS FOR DOOR & WINDOW INFORMATION.
- SEE A5 SERIES FOR ENLARGED BREEZEWAY, STAIR AND BALCONY PLANS.
- ALL BUILDING ELEMENTS, SECTION CUTS, DIMENSIONS, KEYNOTES AND CALLOUTS MIRROR ALONG GRIDS 1-4 & 1-B FOR BUILDING I, 2-4 & 2-B FOR BUILDING II AND 3-4 & 3-B FOR BUILDING III, U.N.O.
- REFER TO SITE PLAN FOR LOCATION & ORIENTATION OF BUILDING TYPES.

FLOOR PLAN KEYNOTES

- OUTLINE OF ROOF ABOVE.
- STANDING SEAM METAL ROOF CANOPY
- PRE-FINISHED MTL DOWNSPOUT
- PRE-FINISHED METAL GUTTER, ANGLED TO SHED ON BOTH SIDES OF AWNING.
- REFERENCE SITE PLAN FOR ACCESSIBLE UNIT LOCATION PER BUILDING



1 BUILDING TYPE I - LEVEL 1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

SOLACE APARTMENTS, FILING NO. 2, LOT 1
SITE DEVELOPMENT PLAN

SUBMITTAL DATE:

REVISION DATE:

18 07/21/2022 REVISION 18

Job Number: 0614.0010

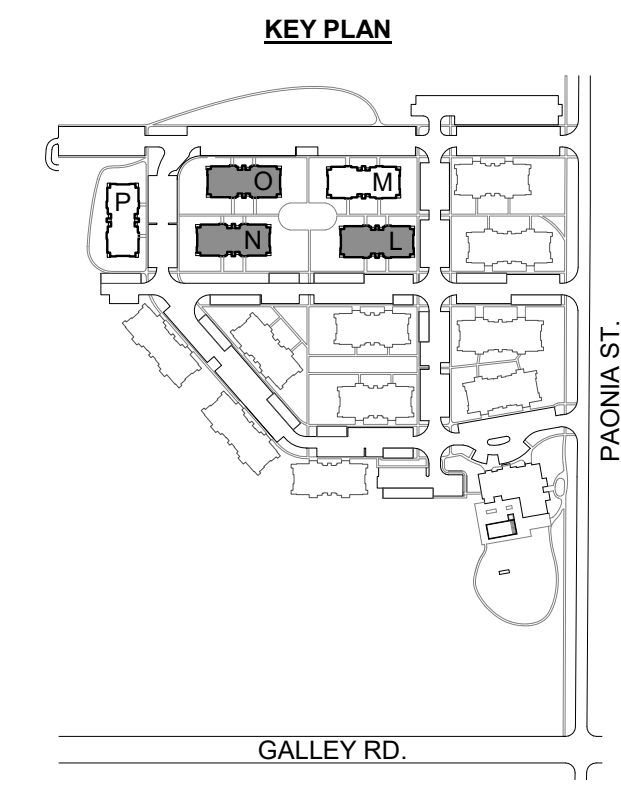
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TYPE I - LEVEL 1 FLOOR PLAN

Sheet Number:
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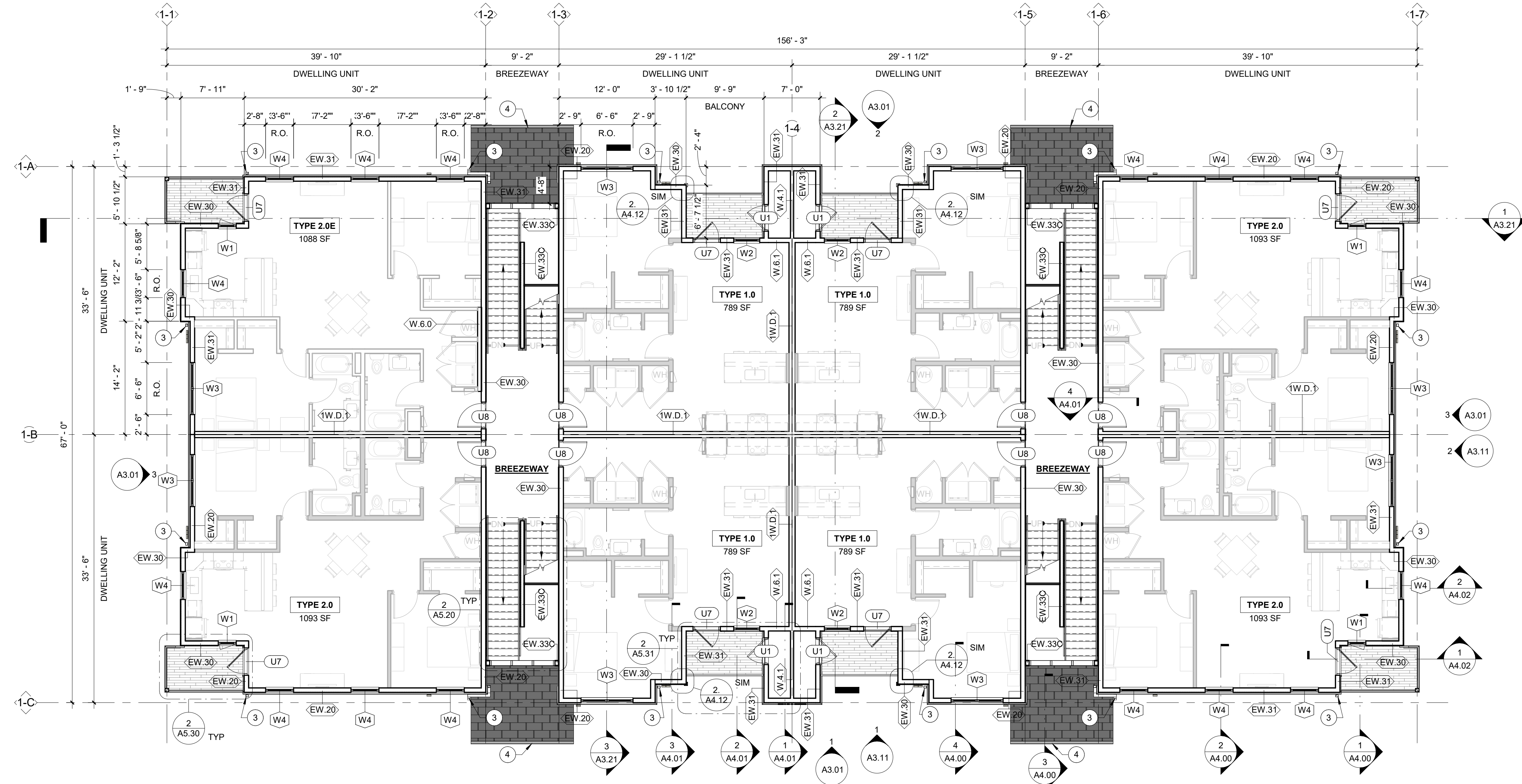


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FLOOR PLAN KEYNOTES

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- REFERENCE SITE PLAN FOR ACCESSIBLE UNIT LOCATION PER BUILDING



1 BUILDING TYPE I - LEVEL 2 FLOOR PLAN

SCALE: 1/8" = 1'-0"

Salas
at Cimarron Hills
GALLEY AND POWERS RD
COLORADO SPRINGS, CO 80915

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01/04/2022 IFC SET

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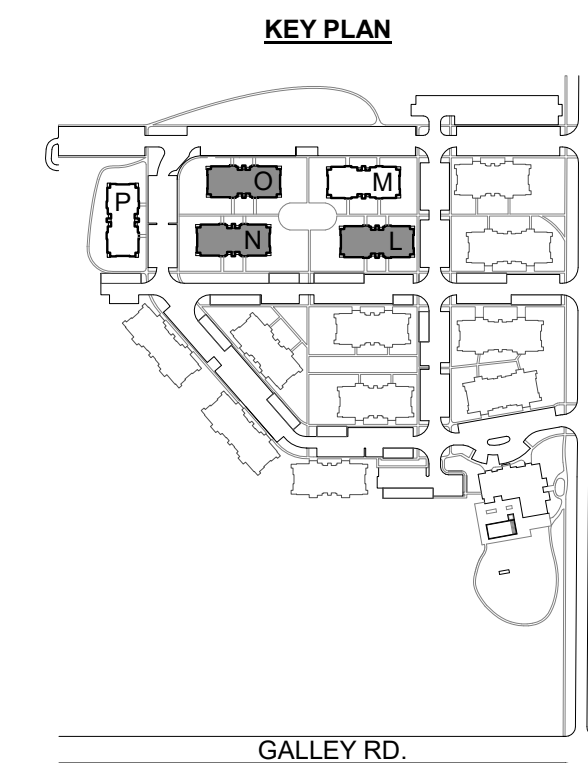
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Sheet Title:
TYPE I - LEVEL 2 FLOOR PLAN

Sheet Number:
A1.12



819 S. WABASH AVENUE
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312-913-1717 FAX 913-1727

OWNER / DEVELOPER:
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CIVIL ENGINEER:
JR ENGINEERING
5475 TECH CENTER DRIVE
SUITE # 235
COLORADO SPRINGS, CO 80919
CONTACT: MIKE BRAMBLETT
TEL: 303.267.6240

STRUCTURAL ENGINEER:
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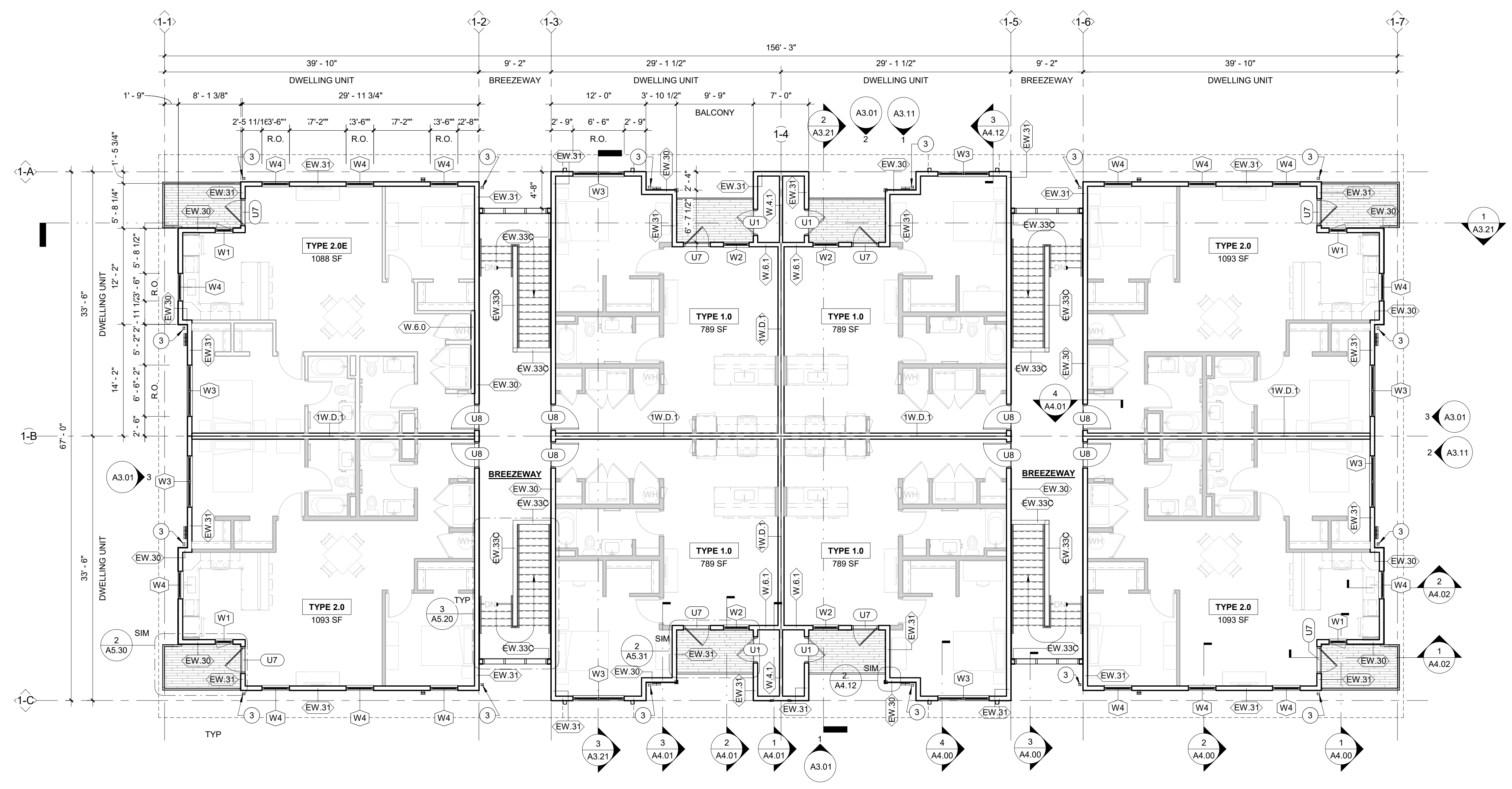
LANDSCAPE ARCHITECT:
Kimley-Horn
2 N NEVADA AVE., SUITE 308,
COLORADO SPRINGS, CO 80903
TEL: 720.636.8306

GENERAL NOTES

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- ALL BUILDING ELEMENTS, SECTION CUTS, DIMENSIONS, KEYNOTES AND CALLOUTS MIRROR ALONG GRIDS 1-4 & 1-B FOR BUILDING I, 2-4 & 2-B FOR BUILDING II AND 3-4 & 3-B FOR BUILDING III. U.N.O.
- REFER TO SITE PLAN FOR LOCATION & ORIENTATION OF BUILDING TYPES.

FLOOR PLAN KEYNOTES

- OUTLINE OF ROOF ABOVE.
- STANDING SEAM METAL ROOF CANOPY
- PRE-FINISHED MTL DOWNSPOUT
- PRE-FINISHED METAL GUTTER, ANGLED TO SHED ON BOTH SIDES OF AWNING.
- REFERENCE SITE PLAN FOR ACCESSIBLE UNIT LOCATION PER BUILDING



1 BUILDING TYPE I - LEVEL 3 FLOOR PLAN
SCALE: 1/8" = 1'-0"

Spencer
at Cimarron Hills
GALLEY AND POWERS RD
COLORADO SPRINGS, CO 80915

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TYPE I - LEVEL 3 FLOOR PLAN

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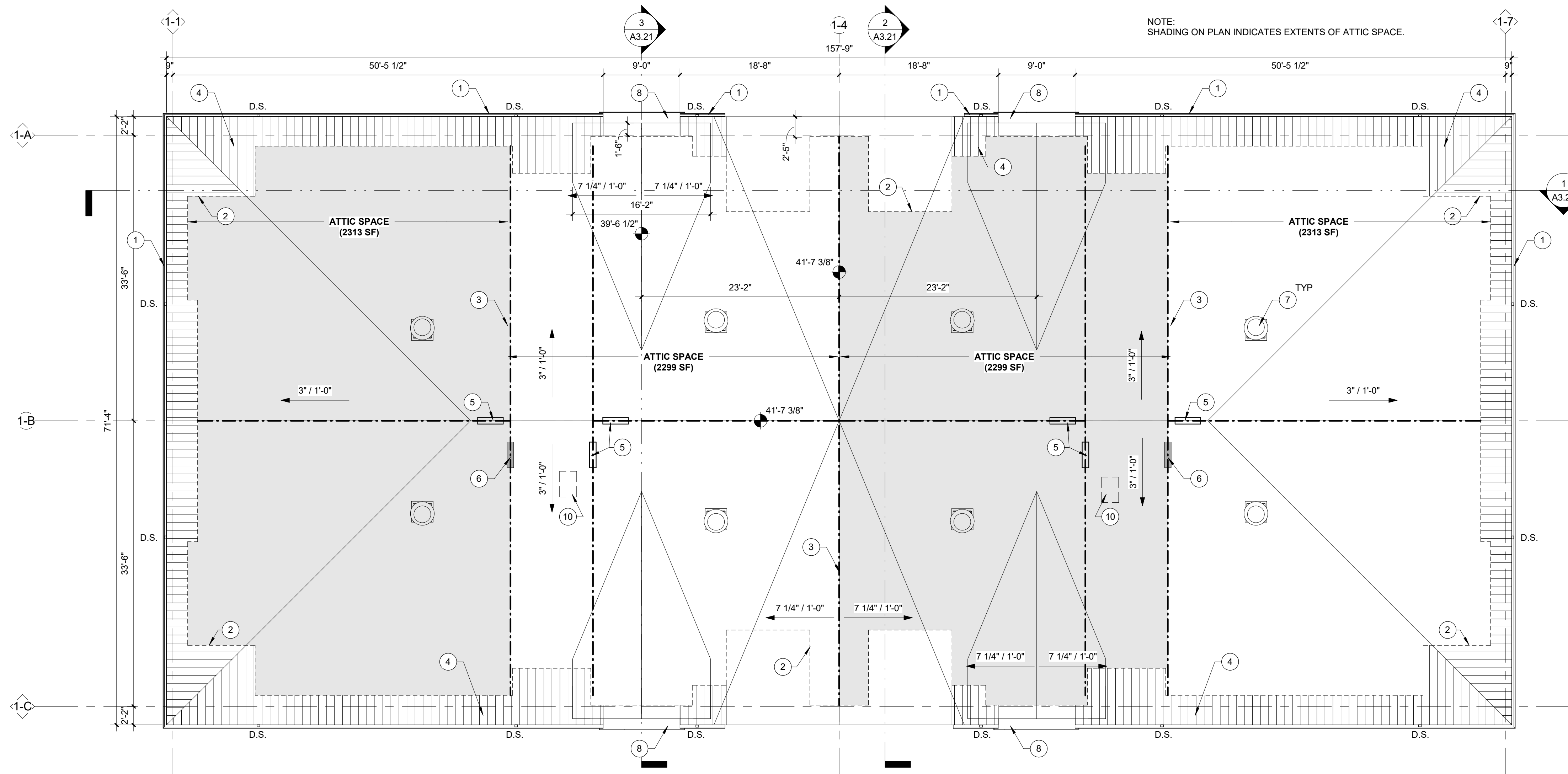
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ROOF PLAN KEYNOTES

- 1 PRE-FINISHED MTL GUTTER
- 2 LINE OF EXTERIOR WALL BELOW
- 3 DRAFTSTOPPING IN ATTIC - (1) LAYER MIN. 1/2" TYPE "X" GWB OR MIN. 3/8" PLYWOOD / PARTICLEBOARD WHICH EXTENDS TO UNDERSIDE OF ROOF SHEATHING, INSTALLED IN SUCH A WAY AS TO COMPLETELY SEPARATE ATTIC INTO DIFFERENT ZONES.
- 4 VENTED SOFFIT BELOW
- 5 2' X 3' OPENING IN SHEATHING, COORDINATE LOCATION WITH ROOF TRUSSES
- 6 NON-RATED ACCESS PANEL, REQ'D FOR DRAFTSTOPPING
- 7 MECHANICAL ATTIC EXHAUST
- 8 WINDOW CANOPY BELOW, SEE ENLARGED ELEVATIONS
- 9 - NOT USED -
- 10 2' X 3' 1HR-RATED ATTIC ACCESS HATCH, AT CEILING BELOW

ROOF PLAN GENERAL NOTES

1. ALL BUILDING ELEMENTS, SECTION CUTS, DIMENSIONS, KEYNOTES AND CALLOUTS MIRROR ALONG GRIDS 1-4 & 1-B FOR BUILDING 1-2-4 & 2-B FOR BUILDING II AND 3-4 & 3-B FOR BUILDING III. U.N.O.
2. FLASH ALL ROOF AND WALL INTERSECTIONS WITH 26 GA G.I. FLASHING.
3. VERIFY LOCATION OF ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS.
4. DRAFT STOPS TO BE LOCATED AS INDICATED PER SECTION 718.3 THROUGH 718.4.3 OF THE 2015 I.B.C.
 - A. DRAFTSTOPPING SHALL BE 1(ONE) LAYER OF TYPE "X" GWB ON ONE SIDE OF ROOF TRUSS.
 - B. DRAFTSTOPPING SHALL BE PROVIDED AT CENTER OF BLDG ALONG LINE -B, CONTINUOUS OVER THE BREEZEWAYS, TO ASSURE ATTIC COMPARTMENT IS LESS THAN 3,000 SF.
5. CONTRACTOR TO VERIFY THAT ALL OVERHANGS AND FASCIA BOARD ALIGN.
6. PROVIDE GABLE END TRUSSES AT ALL GABLE END CONDITIONS AND AT ALL VERTICAL DRAFTSTOP LOCATIONS PARALLEL TO PARTY WALLS.
7. ALL BUILDINGS SHALL HAVE GUTTERS AND DOWNSPOUTS. REFER TO CIVIL DRAWINGS FOR DISCHARGE INTO STORM SEWER WITH PIPE UNDERGROUND.
8. PROVIDE SCREENING AT ALL ROOF OPENINGS INTO THE ATTIC SPACE. OPENINGS IN SCREEN SHALL NOT EXCEED 1/4".
9. ASPHALT SHINGLES TO CONSIST OF MIN. 30 YEAR WARRANTED SHINGLES.
10. VALLEYS TO BE PROVIDED WITH 36" STRIP OF 60 MIL SELF ADHERING MEMBRANE FLASHING CENTERED IN THE VALLEYS AND INSTALLED DIRECTLY OVER THE WD. BLOCKING.
11. ROOF UNDERLAYMENT TO BE 30# ASPHALT IMPREGNATED FELT.
12. ROOF UNDERLAYMENT TO BE TERMINATED 6" VERTICALLY ONTO THE BASE OF ANY ADJACENT WALL ASSEMBLY, PRIOR TO INSTALLATION OF THE METAL "L" OR STEP FLASHING.
13. ROOF UNDERLAYMENT TO BE INSTALLED OVER THE EAVE DRIP EDGE AND BELOW THE EDGE FLASHING AT THE RAKES.
14. ROOFING CONTRACTOR TO PROVIDE ATTIC SPACE VENTILATION WITH RIDGE VENTS, OFF-RIDGE VENTS, AND CONTINUOUS VENT IN SOFFIT IN ACCORDANCE WITH LOCAL CODES AND JURISDICTIONS.



NOTE:
SHADING ON PLAN INDICATES EXTENTS OF ATTIC SPACE.

1 BUILDING TYPE I - ROOF PLAN
SCALE: 1/8" = 1'-0"



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312-913-1717 FAX 913-1727

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CONTACT: DANE OLMSTEAD
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CIVIL ENGINEER:
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STRUCTURAL ENGINEER:
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MEP ENGINEER:
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LANDSCAPE ARCHITECT:
Kimley-Horn

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TEL: 720.636.8306

Salas
at Cimarron Hills
GALLEY AND POWERS RD
COLORADO SPRINGS, CO 80915

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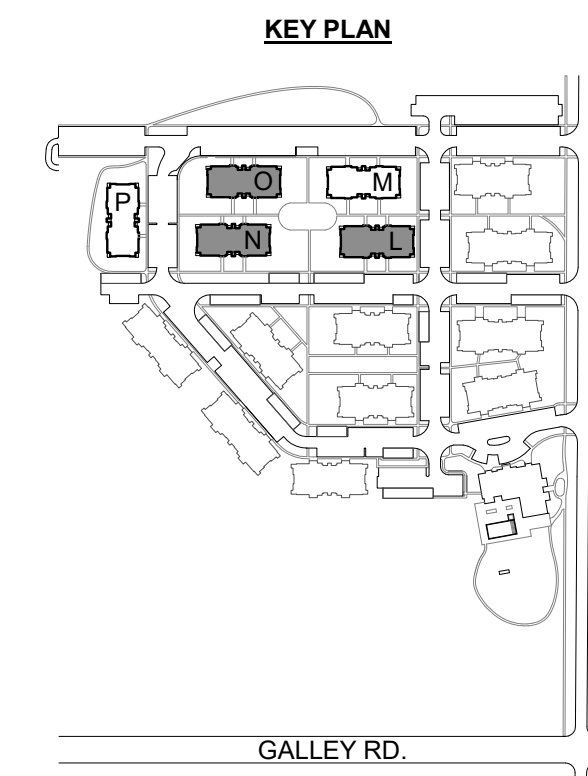


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Sheet Title:
TYPE I - ROOF PLAN

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A1.14



819 S. WABASH AVENUE
CHICAGO, ILLINOIS 60605
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GENERAL NOTES

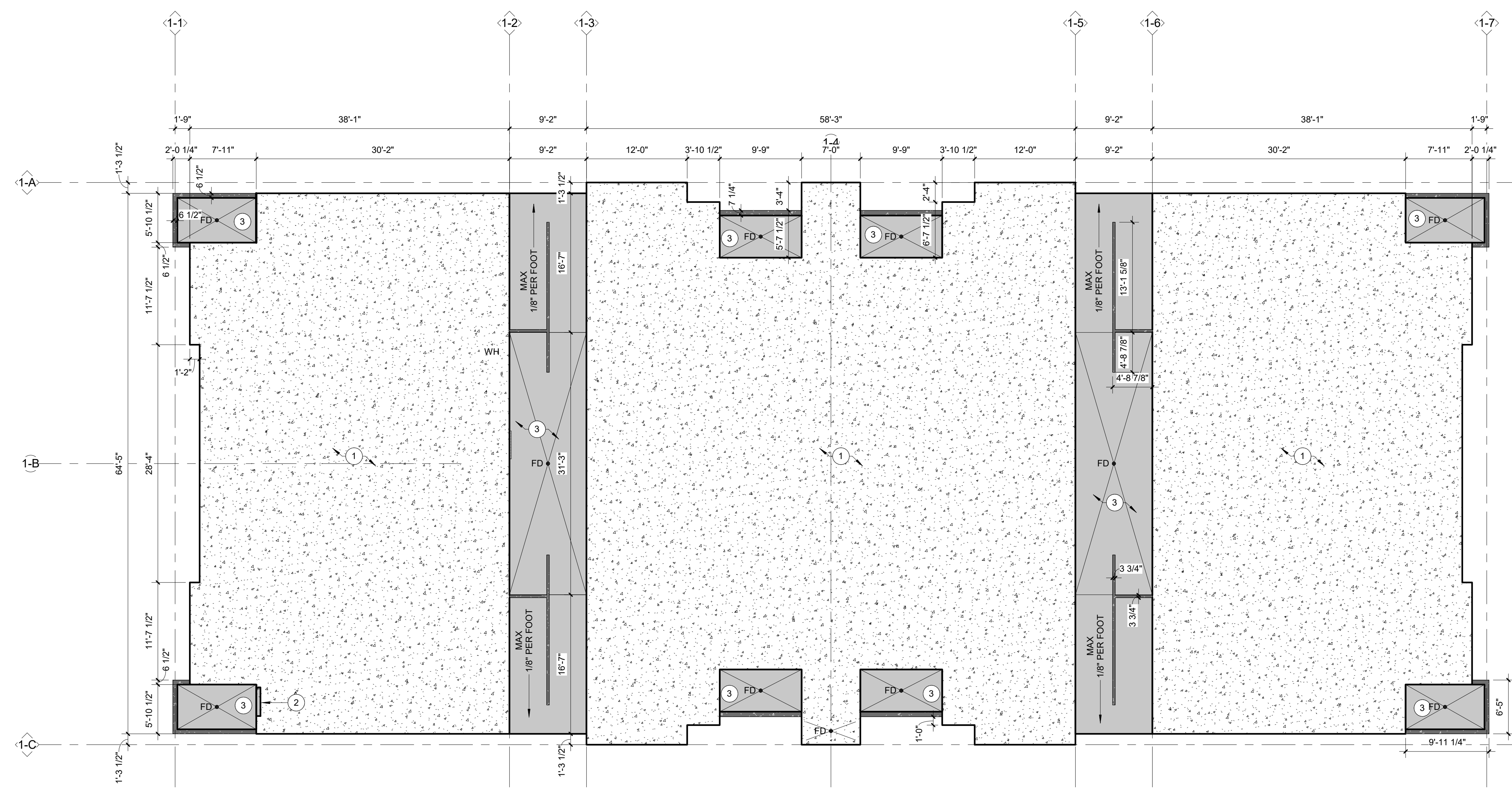
1. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
2. COORDINATE FLOOR SLOPE AND DRAINS IN BREEZEWAY WITH CIVIL.
3. COORDINATE ALL OTHER FLOOR DRAIN LOCATIONS WITH PLUMBING.
4. FLOOR SLOPES SHALL BE 1/8" PER FOOT, U.N.O.
5. CONCRETE CURBS HEIGHT VARIES, BUT TOP OF CURB WILL REMAIN LEVEL AT +4" ABOVE REFERENCE LEVEL.

SLAB PLAN KEYNOTES

- 1 4" PT SLAB ON GRADE WITH PT RIBS. REFER TO STRUCTURAL DWGS.
- 2 SLAB RECESSED 1/2" FOR PATIO DOOR THRESHOLD TO COMPLY WITH ACCESSIBILITY REQUIREMENTS AT TYPE 'A' DWELLING UNITS. REFER TO SITE PLAN FOR EXACT LOCATIONS OF TYPE 'A' DWELLING UNITS.
- 3 SLAB RECESSED 1/2" AND SLOPED.

LEGEND

- FD ● FLOOR DRAIN
- TD TRENCH DRAIN, OUTLET TO SIDEWALK, SEE CIVIL DWGS.
- [Symbol] SLOPED FINISH FLOOR
- [Symbol] RECESSED SLAB
- [Symbol] FOUNDATION CURB



1 BUILDING TYPE I - SLAB PLAN
SCALE: 1/8" = 1'-0"

Salas
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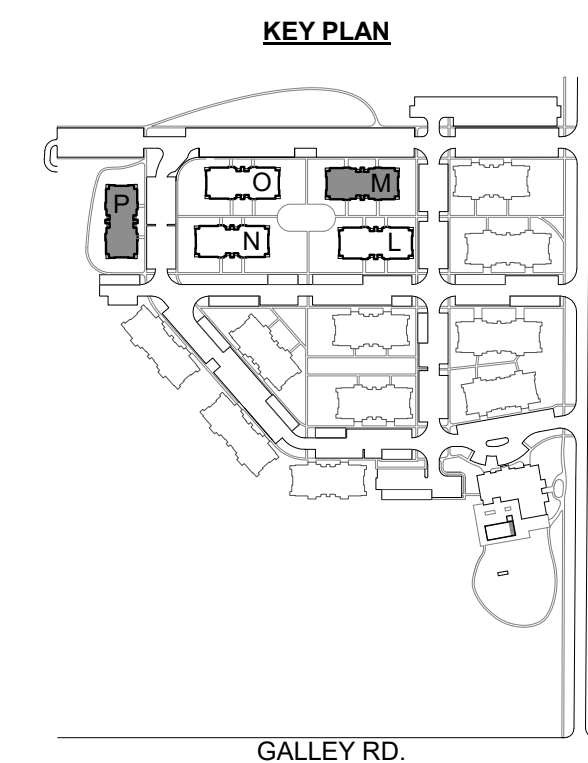
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A1.10



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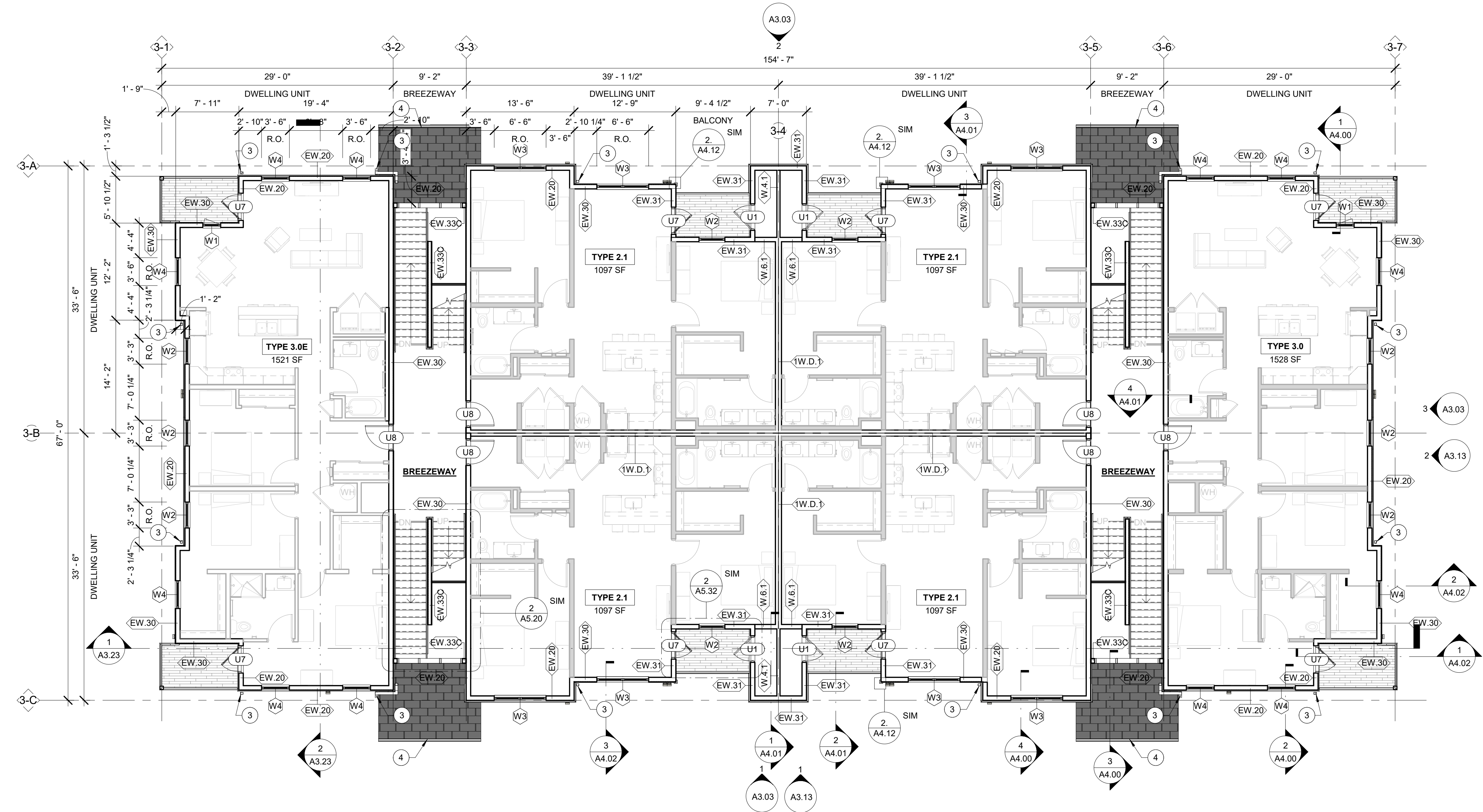
LANDSCAPE ARCHITECT:
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2 N NEVADA AVE., SUITE 308,
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FLOOR PLAN KEYNOTES

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1 BUILDING TYPE III - LEVEL 2 FLOOR PLAN

SCALE: 1/8" = 1'-0"

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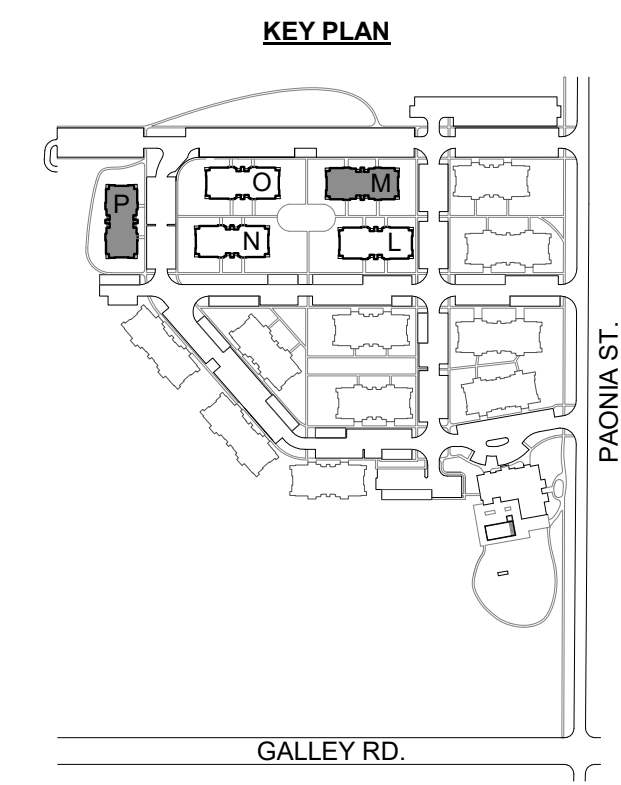


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Sheet Title:
TYPE III - LEVEL 2 FLOOR PLAN

Sheet Number:
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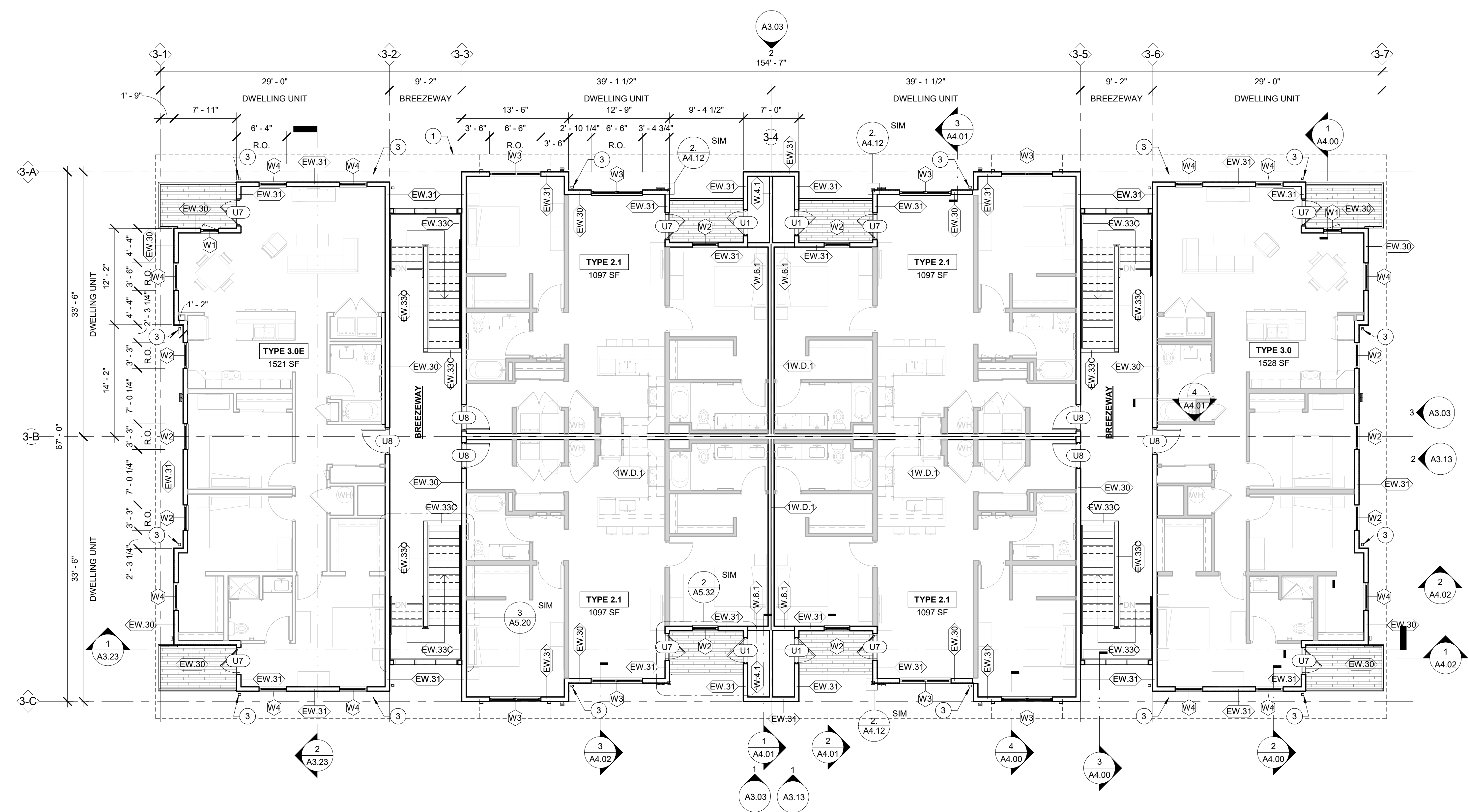


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1 BUILDING TYPE III - LEVEL 3 FLOOR PLAN

SCALE: 1/8" = 1'-0"

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TYPE III - LEVEL 3 FLOOR PLAN

Sheet Number:

A1.33

ROOF PLAN KEYNOTES

- 1 PRE-FINISHED MTL GUTTER
- 2 LINE OF EXTERIOR WALL BELOW
- 3 DRAFTSTOPPING IN ATTIC - (1) LAYER MIN. 1/2" TYPE "X" GWB OR MIN. 3/8" PLYWOOD / PARTICLEBOARD WHICH EXTENDS TO UNDERSIDE OF ROOF SHEATHING. INSTALLED IN SUCH A WAY AS TO COMPLETELY SEPARATE ATTIC INTO DIFFERENT ZONES.
- 4 VENTED SOFFIT BELOW
- 5 2' X 3' OPENING IN SHEATHING. COORDINATE LOCATION WITH ROOF TRUSSES
- 6 NON-RATED ACCESS PANEL, REQ'D FOR DRAFTSTOPPING
- 7 MECHANICAL ATTIC EXHAUST
- 8 WINDOW CANOPY BELOW. SEE ENLARGED ELEVATIONS
- 9 - NOT USED -
- 10 2' X 3' 1HR-RATED ATTIC ACCESS HATCH, AT CEILING BELOW

ROOF PLAN GENERAL NOTES

1. ALL BUILDING ELEMENTS, SECTION CUTS, DIMENSIONS, KEYNOTES AND CALLOUTS MIRROR ALONG GRIDS 1-4 & 1-B FOR BUILDING I, 2-4 & 2-B FOR BUILDING II AND 3-4 & 3-B FOR BUILDING III. U.N.O.
2. FLASH ALL ROOF AND WALL INTERSECTIONS WITH 26 GA G.I. FLASHING.
3. VERIFY LOCATION OF ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS.
4. DRAFT STOPS TO BE LOCATED AS INDICATED PER SECTION 718.3 THROUGH 718.4.3 OF THE 2015 I.B.C.
 - A. DRAFTSTOPPING SHALL BE 1(ONE) LAYER OF TYPE "X" GWB ON ONE SIDE OF ROOF TRUSS.
 - B. DRAFTSTOPPING SHALL BE PROVIDED AT CENTER OF BLDG ALONG LINE -B, CONTINUOUS OVER THE BREEZEWAYS, TO ASSURE ATTIC COMPARTMENT IS LESS THAN 3,000 SF.
5. CONTRACTOR TO VERIFY THAT ALL OVERHANGS AND FASCIA BOARD ALIGN.
6. PROVIDE GABLE END TRUSSES AT ALL GABLE END CONDITIONS AND AT ALL VERTICAL DRAFTSTOP LOCATIONS PARALLEL TO PARTY WALLS.
7. ALL BUILDINGS SHALL HAVE GUTTERS AND DOWNSPOUTS, REFER TO CIVIL DRAWINGS FOR DISCHARGE INTO STORM SEWER WITH PIPE UNDERGROUND.
8. PROVIDE SCREENING AT ALL ROOF OPENINGS INTO THE ATTIC SPACE. OPENINGS IN SCREEN SHALL NOT EXCEED 114".
9. ASPHALT SHINGLES TO CONSIST OF MIN. 30 YEAR WARRANTED SHINGLES.
10. VALLEYS TO BE PROVIDED WITH 36" STRIP OF 60 MIL SELF ADHERING MEMBRANE FLASHING CENTERED IN THE VALLEYS AND INSTALLED DIRECTLY OVER THE WD. BLOCKING.
11. ROOF UNDERLAYMENT TO BE 30# ASPHALT IMPREGNATED FELT.
12. ROOF UNDERLAYMENT TO BE TERMINATED 6" VERTICALLY ONTO THE BASE OF ANY ADJACENT WALL ASSEMBLY. PRIOR TO INSTALLATION OF THE METAL "L" OR STEP FLASHING.
13. ROOF UNDERLAYMENT TO BE INSTALLED OVER THE EAVE DRIP EDGE AND BELOW THE EDGE FLASHING AT THE RAKES.
14. ROOFING CONTRACTOR TO PROVIDE ATTIC SPACE VENTILATION WITH RIDGE VENTS, OFF-RIDGE VENTS, AND CONTINUOUS VENT IN SOFFIT IN ACCORDANCE WITH LOCAL CODES AND JURISDICTIONS.



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312-913-1717 FAX 913-1727

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CHICAGO, IL 60607
CONTACT: DANE OLMSTEAD
TEL: 734.216.2577

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STRUCTURAL ENGINEER:
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Salas
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COLORADO SPRINGS, CO 80915

SUBMITTAL DATE:
01/04/2022 IFC SET

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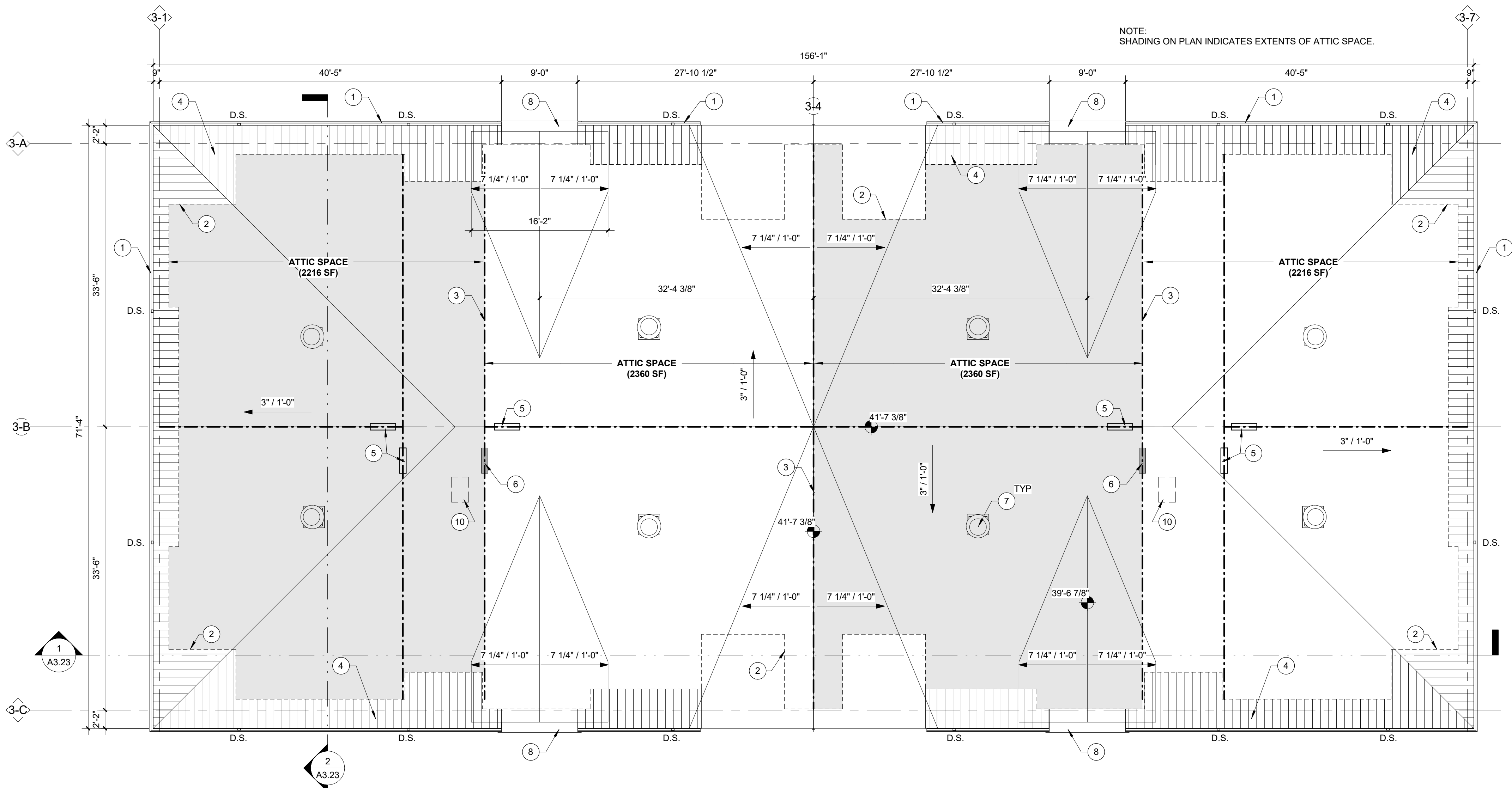
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TYPE III - ROOF PLAN

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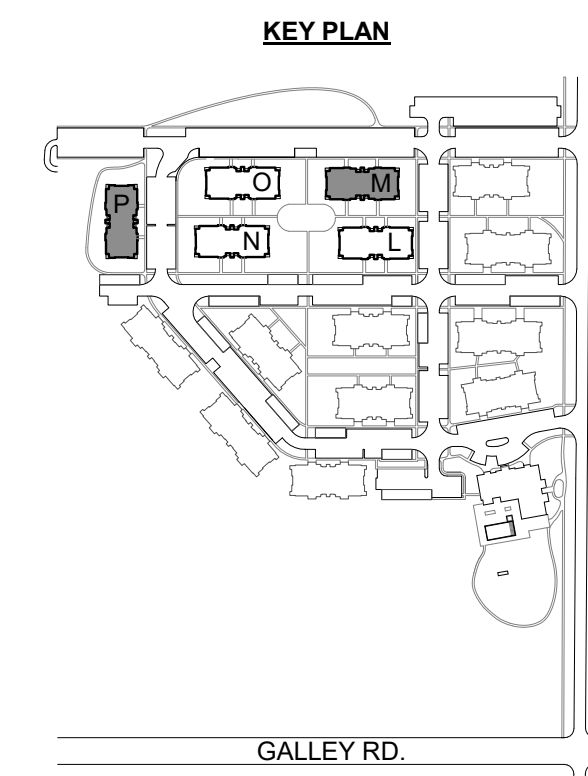
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NOTE:
SHADING ON PLAN INDICATES EXTENTS OF ATTIC SPACE.



1 BUILDING TYPE III - ROOF PLAN
SCALE: 1/8" = 1'-0"



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GENERAL NOTES

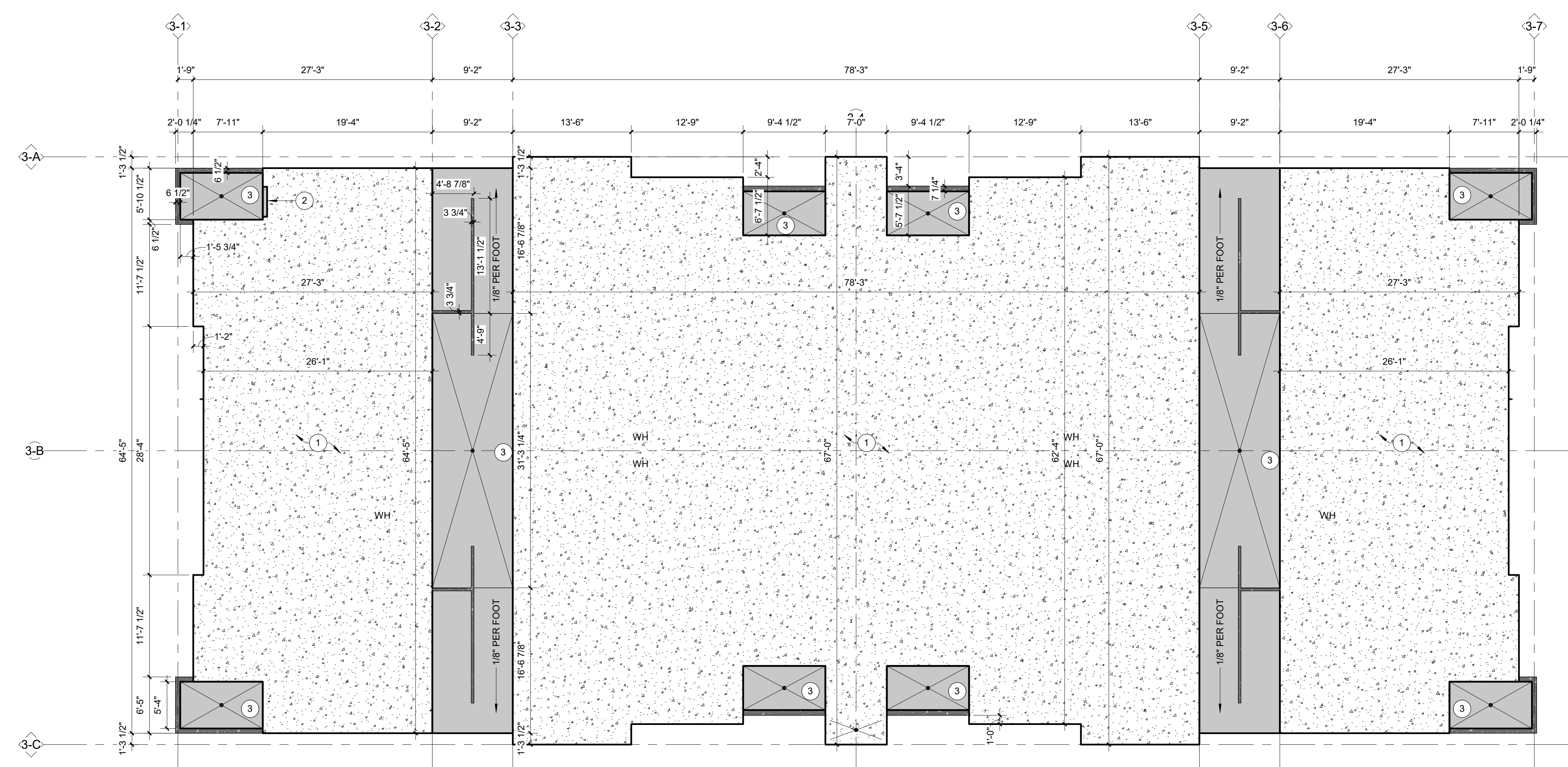
1. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
2. COORDINATE FLOOR SLOPE AND DRAINS IN BREEZEWAY WITH CIVIL.
3. COORDINATE ALL OTHER FLOOR DRAIN LOCATIONS WITH PLUMBING.
4. FLOOR SLOPES SHALL BE 1/8" PER FOOT, U.N.O.
5. CONCRETE CURBS HEIGHT VARIES, BUT TOP OF CURB WILL REMAIN LEVEL AT +4" ABOVE REFERENCE LEVEL.

SLAB PLAN KEYNOTES

- 1 4" PT SLAB ON GRADE WITH PT RIBS. REFER TO STRUCTURAL DWGS.
- 2 SLAB RECESSED 1/2" FOR PATIO DOOR THRESHOLD TO COMPLY WITH ACCESSIBILITY REQUIREMENTS AT TYPE 'A' DWELLING UNITS. REFER TO SITE PLAN FOR EXACT LOCATIONS OF TYPE 'A' DWELLING UNITS.
- 3 SLAB RECESSED 1/2" AND SLOPED.

LEGEND

- FD ● FLOOR DRAIN
- TD TRENCH DRAIN, OUTLET TO SIDEWALK, SEE CIVIL DWGS.
- [Symbol] SLOPED FINISH FLOOR
- [Symbol] RECESSED SLAB
- [Symbol] FOUNDATION CURB



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