

COMMUNITY SERVICES DEPARTMENT

PARK OPERATIONS ~ ENVIRONMENTAL SERVICES ~ RECREATION/CULTURAL SERVICES

October 19, 2022

Ryan Howser
El Paso County Planning and Community Development
Project Manager

Subject: Solace at Cimarron Hills Filing No.2 Final Plat Review (PPR2252)

Ryan,

The Community Services Department has reviewed the Solace at Cimarron Hills Filing No.2 Site Development Plan and has the following administrative comments on behalf of El Paso County Parks. A concurrent Solace at Cimarron Hills Final Plat Filing No.2 application will be presented to the Park Advisory Board on November 9th, 2022 and the recommendation provided after the meeting.

This is a request by Kimley-Horn on behalf of CS Powers & Galley, LLC for approval of the Solace at Cimarron Hills Filing No.2 Site Development Plan.

Solace at Cimarron Hills Filing No.2 is located at the northwest corner of the Galley Road and Paonia Street. The project site is 7.680 acres. The applicant proposes to build a 108-unit multifamily development. The development will include five (5) – three (3) story buildings, and uncovered surface parking, indoor/outdoor recreation amenities, and open spaces.

The zone of the site is RM-12, a multi-family, 12 dwelling units per acre zoning designation. The RM-12 zone includes landscape buffer and screening. The building setback from the front is 15 feet while the setback from the rear is 20 feet. The setback from the side yard is 10 feet. The development as proposed is showing 57% open space and landscaping which exceeds the requirement.

The application shows recreation amenities which include a covered pavilion, fire pit, nature play area, a court games area, and a fenced dog run in the middle of the development. A network of sidewalks will connect the buildings. There is a proposed area for field games on the west side of the site. Residents of the development will also have access to the pool and clubhouse as shown in Filing No.1.

The El Paso County Parks Master Plan (2022) shows no impact to regional trails, parks, or open space. Parks staff does note that this project is within the boundaries of the City of Colorado Springs Parks, Recreation, Trail and Open Space Master Plan. Staff suggests the applicant coordinate with City Parks to ensure there are no impacts to planned trails along the Powers Blvd corridor.

As no County park land or trail easements dedications are necessary for this application, Parks staff recommends regional and urban park fees in lieu of land dedication as shown below.

Recommended Motion (Filing No.2 Site Development Plan):

The Park Advisory Board recommends that the Planning Commission and the Board of County Commissioners include the following conditions when considering and/or approving the Solace at Cimarron Hills Filing No. 2 Final Plat: require fees in lieu of land dedication for regional park purposes in the amount of \$49,680, and urban park fees in the amount of \$31,320 will be due at recording of the final plat.

Sincerely,

Greg Stachon
Landscape Architect
Community Services Department
GregStachon@elpasoco.com



**Development
Application
Permit
Review**



COMMUNITY SERVICES DEPARTMENT
 Park Operations - Community Outreach - Environmental Services
 Veterans Services - Recreation / Cultural Services

October 19, 2022

Subdivision requirements referenced in Section 8.5.2 of the El Paso County Land Development Code. Fees are based on average land values within designated areas. See El Paso County Board of County Commissioners (BoCC) Resolution for fees established on an annual basis. The Park Advisory Board meets the second Wednesday of each month, 1:30 p.m., BoCC Auditorium, second floor of Centennial Hall, 200 South Cascade Avenue, Colorado Springs.

Name:	Solace at Cimarron Hills Filing No.2	Application Type:	Site Development Plan
PCD Reference #:	PPR2252	Total Acreage:	7.68
		Total # of Dwelling Units:	108
Applicant / Owner:	Owner's Representative:	Dwelling Units Per 2.5 Acres:	35.16
Powers and Galley, LLC	Kimley-Horn & Associates	Regional Park Area:	2
Dane Olmstead	Eric Gunderson	Urban Park Area:	5
510 S. Neil Street	2 North Nevada Ave, Suite 300	Existing Zoning Code:	RM-12
Champaign, Il 61820	Colorado Springs, CO 80903	Proposed Zoning Code:	RM-12

REGIONAL AND URBAN PARK DEDICATION AND FEE REQUIREMENTS

Regional Park land dedication shall be 7.76 acres of park land per 1,000 projected residents, while Urban Park land dedication shall be 4 acres of park land per 1,000 projected residents. The number of projected residents shall be based on 2.5 residents per dwelling unit.

The EPC Land Development Code defines urban density as land development of higher density and intensity which is characteristically provided with services of an urban nature. This category of development includes residential uses with densities of more than one dwelling unit per 2.5 acres.

LAND REQUIREMENTS

Regional Park Area: 2

0.0194 Acres x 108 Dwelling Units = 2.095
Total Regional Park Acres: 2.095

Urban Density (>= 1 Dwelling Unit Per 2.5 Acres): **YES**

Urban Park Area: 5

Neighborhood:	0.00375 Acres x 108 Dwelling Units =	0.41
Community:	0.00625 Acres x 108 Dwelling Units =	0.68
	Total Urban Park Acres:	1.08

FEE REQUIREMENTS

Regional Park Area: 2

\$460 / Dwelling Unit x 108 Dwelling Units = \$49,680
Total Regional Park Fees: \$49,680

Urban Park Area: 5

Neighborhood:	\$114 / Dwelling Unit x 108 Dwelling Units =	\$12,312
Community:	\$176 / Dwelling Unit x 108 Dwelling Units =	\$19,008
	Total Urban Park Fees:	\$31,320

ADDITIONAL RECOMMENDATIONS

Staff Recommendation:

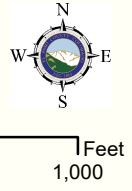
The Park Advisory Board recommends that the Planning Commission and the Board of County Commissioners include the following conditions when considering and/or approving the Solace at Cimarron Hills Filing No. 2 Final Plat: require fees in lieu of land dedication for regional park purposes in the amount of \$49,680, and urban park fees in the amount of \$31,320.

Park Advisory Board Recommendation:



Solace at Cimarron Hills Filing No.2 Site Development Plan

- Subject Property
- Colorado Springs Trail, Proposed
- Major Roads
- Streets & Roads
- Parcels
- Streams



0 250 500 1,000 Feet

Solace
Filing No.2

Solace
Filing No.1