

SOLACE APARTMENTS FILING NO. 2

A PORTION OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 SEST OF THE P.M.
EL PASO COUNTY, COLORADO
DEVELOPMENT PLAN

LEGAL DESCRIPTION

TRACT A, SOLACE APARTMENTS FILING No. 1, COUNTY OF EL PASO, STATE OF COLORADO.

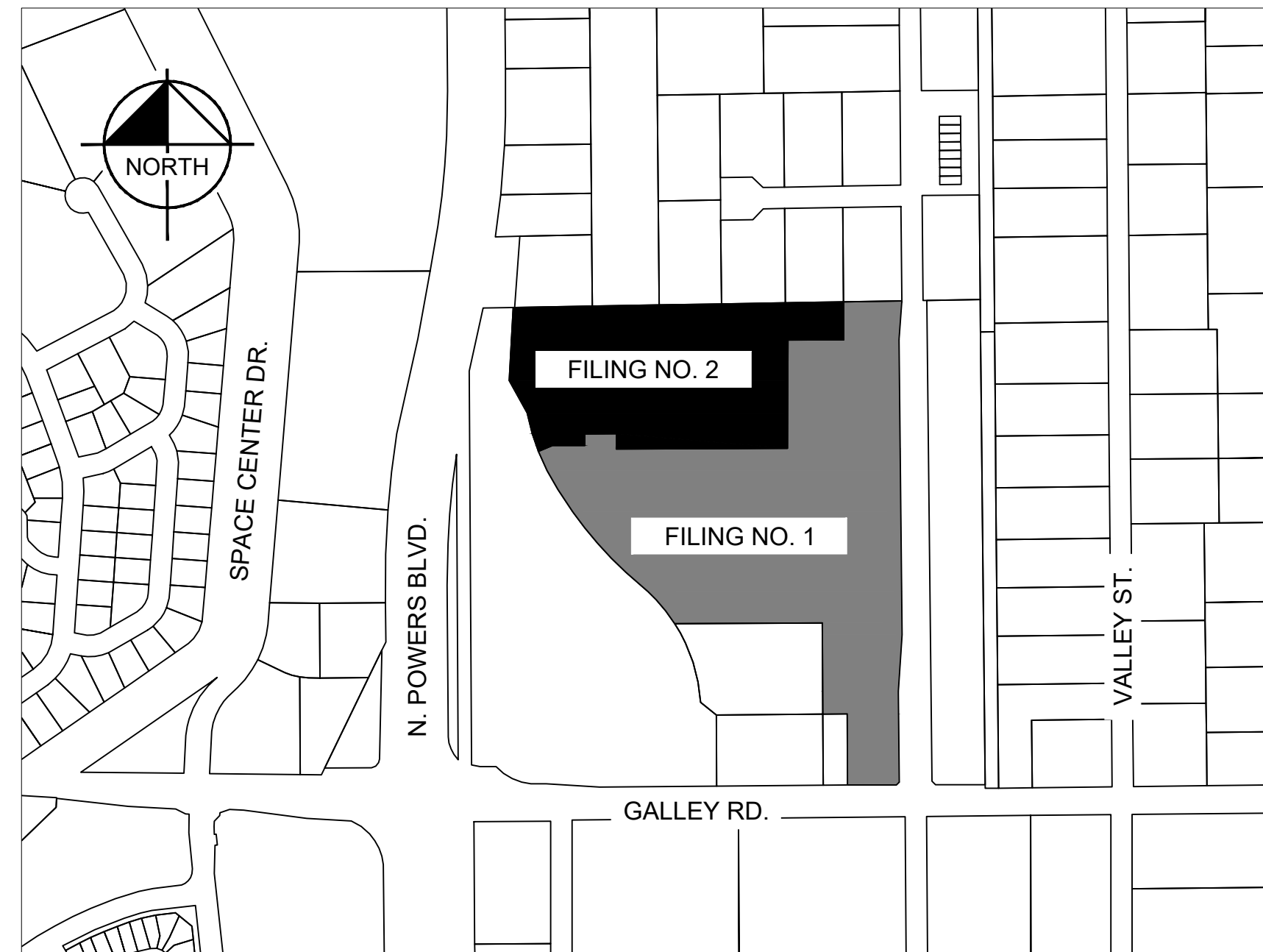
COUNTY OF EL PASO,
STATE OF COLORADO.

(PER TITLE COMMITMENT ORDER NO. SC55107784 AS PROVIDED BY LAND TITLE GUARANTEE COMPANY.)

GENERAL NOTES

1. BASED ON ELEVATION DATA, THE APPLICANT WILL NEED TO FILE FEDERAL AVIATION ADMINISTRATION (FAA) FORM 7460-1 "NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION" FOR ANY NEW VERTICAL DEVELOPMENT AT THIS SITE, INCLUDING TEMPORARY CONSTRUCTION EQUIPMENT, AND PROVIDE FAA DOCUMENTATION TO THE AIRPORT BEFORE THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES; FAA'S WEBSITE (HTTPS://OEAAA.FAA.GOV/OEAAA/EXTERNAL/PORTAL.ISP).
2. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

OWNER/APPLICANT:	CS POWERS & GALLEY, LLC
CONTACT INFORMATION:	
ZONING CLASSIFICATION:	RESIDENTIAL, MULTI-DWELLING (RM-12)
LAND USE:	RESIDENTIAL, MULTI-FAMILY
PARCEL SIZE:	7.685 ACRES±
JURISDICTION:	EL PASO COUNTY
SITE ADDRESS:	5995 TRANQUIL GLEN GROVE
TAX SCHEDULE NO.:	5407205047
BUILDING SETBACKS:	15' FRONT SETBACK 10' SIDE SETBACK 20' REAR SETBACK
GROSS BUILDING SF:	46,298 SF
DWELLING UNIT COUNT:	108
MAXIMUM LOT COVERAGE:	70%
PROPOSED EASEMENTS:	NONE
LANDSCAPE:	15% OF INTERIOR LOT (NOT INCLUDING LANDSCAPE BUFFER)



VICINITY MAP
1" = 500'

LAND AREA:

TOTAL PROPERTY AREA: +/- 7.685 ACRES

BENCHMARK:

ELEVATIONS ARE BASED UPON CITY OF COLORADO SPRINGS FIMS BENCHMARK "BLT104"
(ELEVATION=6452.43 NGVD29)

SOIL TYPE:

THE SOIL ON SITE IS USGS HYDROLOGIC SOIL GROUP A/B.

FEMA CLASSIFICATION

FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, MAP NUMBER 08041C0756G, EFFECTIVE DATE DECEMBER 7, 2018, INDICATES THIS PARCEL OF LAND TO BE LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

OWNER/DEVELOPER STATEMENT

I, THE OWNER/DEVELOPER ACCEPT THE CONDITIONS AND RESTRICTIONS AS SET FORTH ON THE FINAL DEVELOPMENT PLAN.

CS POWERS & GALLEY, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS SUCCESSORS AND/OR ASSIGNS

BY: _____

TITLE: _____

ADDRESS: _____

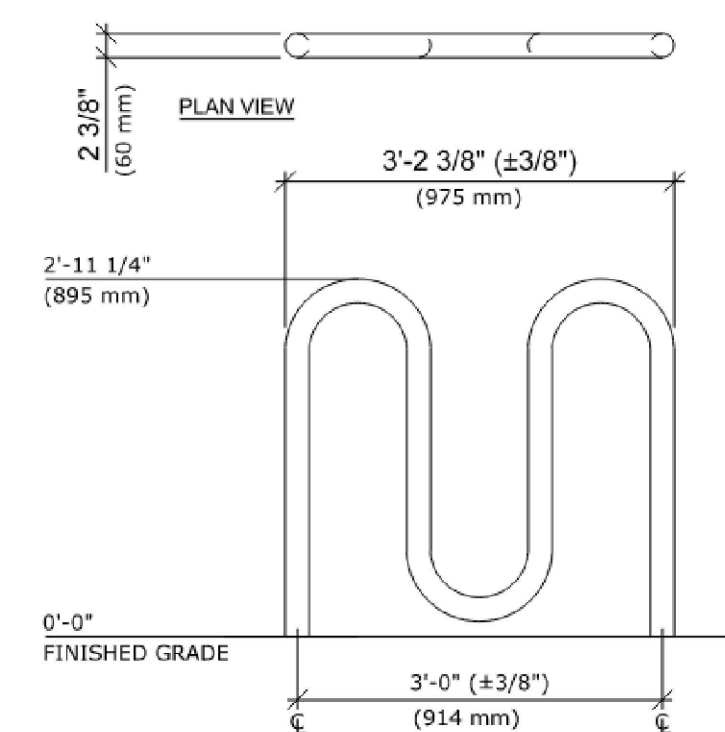
BUILDING DATA

BUILDING HEIGHT:	
PROPOSED:	37.0'*
MAXIMUM BY CODE:	40.0
PROPOSED LOT COVERAGE:	26%±
PROPOSED BUILDING GROSS SF:	±46,280 SF
NO BUILD AREAS:	N/A

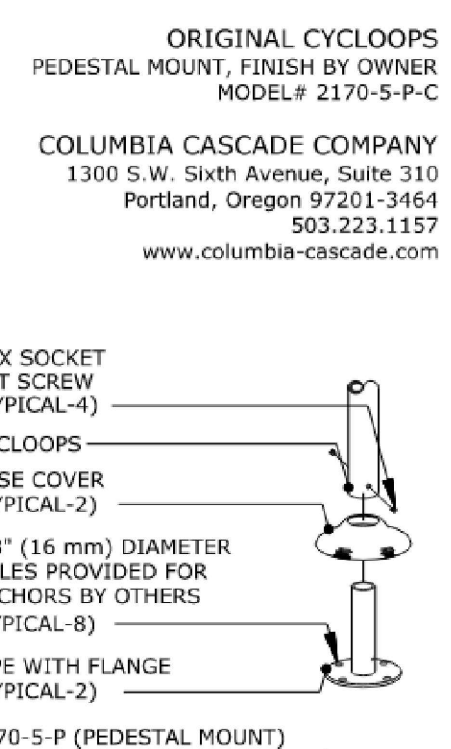
- * PROPOSED HEIGHT IS THE AVERAGE MID POINT BASED ON ELEVATION SHEETS, BOTTOM AND TOP OF PITCHED ROOF

PARKING COUNTS

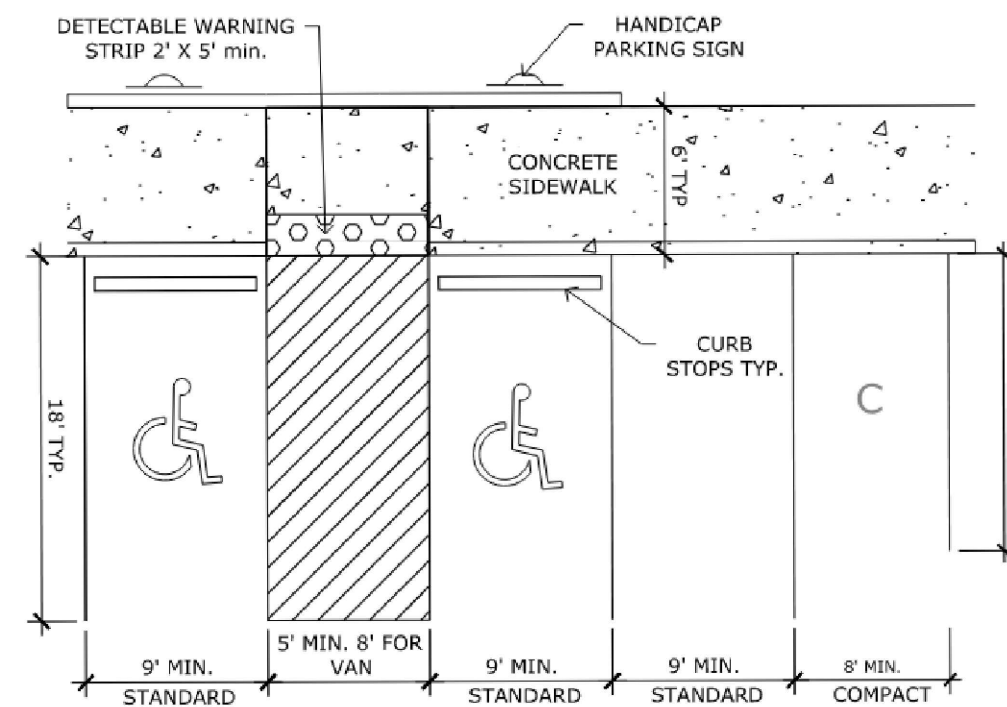
PARKING REQUIRED	PARKING PROVIDED
1 BEDROOM (36U): 1.5/DU = 54	206 (REGULAR) 5 (GARAGE) 7 (ADA) TOTAL = 218
2 BEDROOM (50U): 1.7/DU = 85	
3 BEDROOM(12U): 2.0/DU = 24	
GUEST: 1/3 DU = 55	
200-300 SPACES = 7 ADA SPACES	7 ADA SPACES
5% OF REQUIRED STALLS = 11 BICYCLE PARKING	23 BICYCLE PARKING



1 4 BICYCLE RACK
N.T.S.



2 ADA & STANDARD PARKING STALL LAYOUT
SCALE: NOT TO SCALE



2 ADA & STANDARD PARKING STALL LAYOUT
SCALE: NOT TO SCALE

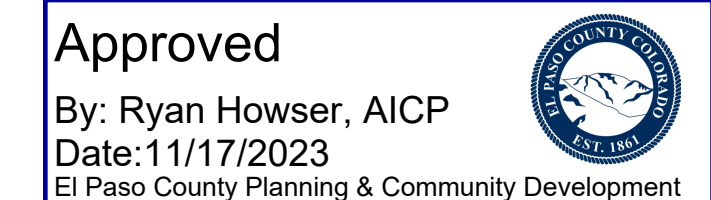
CONTACTS

OWNER:
CS POWERS & GALLEY LLC
510 S NEIL ST
CHAMPAIGN, IL 61820
PHONE: (719) 216-2577
CONTACT:

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES
2 N. NEVADA AVENUE SUITE 300
COLORADO SPRINGS, CO 80903
CONTACT: ERIC GUNDERSON
PHONE: (719) 453-0182

SURVEYOR:
BARRON LAND, LLC
2790 N. ACADEMY BLVD #311
COLORADO SPRINGS, CO 80917
PHONE: (719) 360-6827
CONTACT: SPENCER BARON

EL PASO COUNTY:
EL PASO COUNTY
PCD DEPARTMENT
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
PHONE: (719) 520-6300



PCD FILE NO. PPR-2252



NO.	REVISION	BY	DATE	APPR

Kimley»Horn
2023 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, Colorado 80903 (719) 453-0180

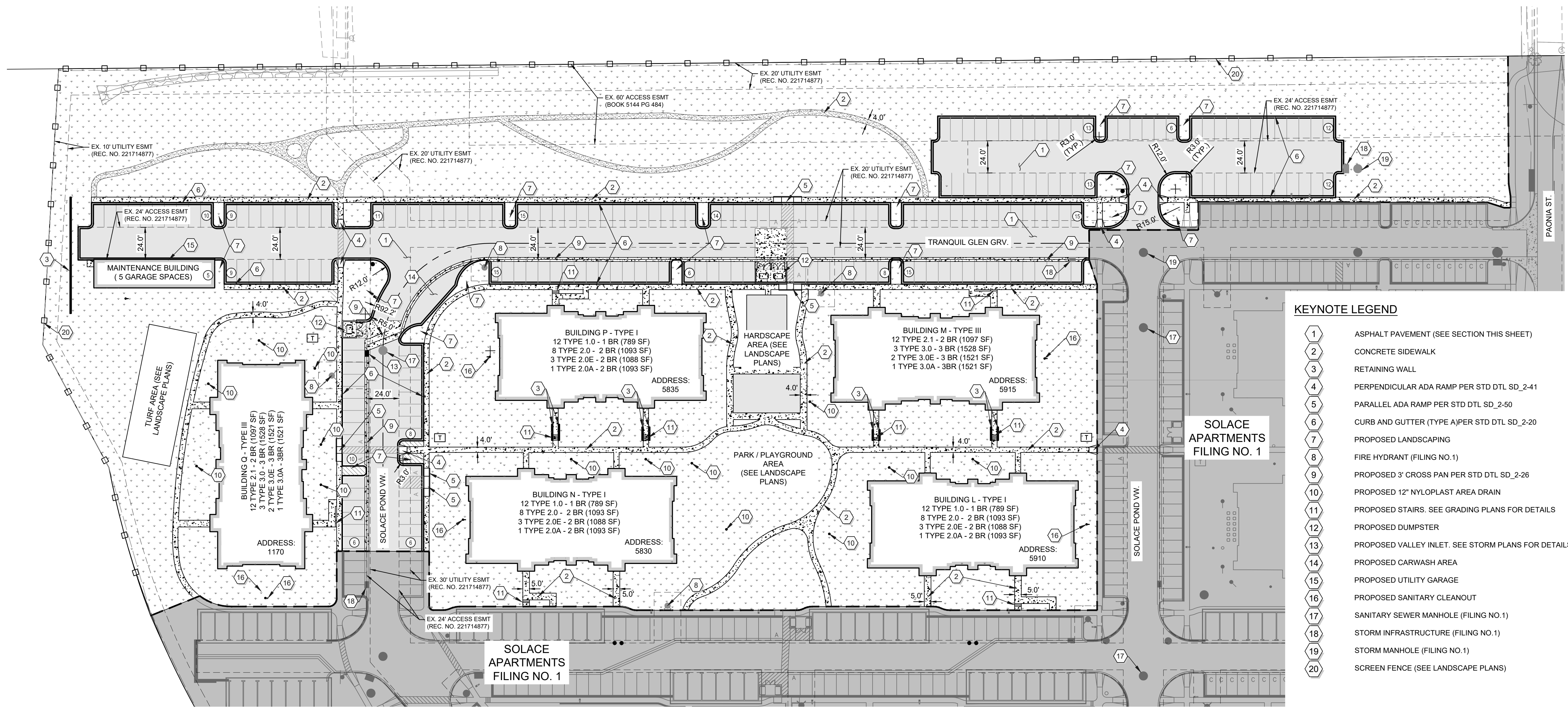
DESIGNED BY: MVZ
DRAWN BY: MVZ
CHECKED BY: EJJ
DATE: 05/25/2023

SOLACE APARTMENTS, FILING NO. 2, LOT 1
SITE DEVELOPMENT PLAN
COVER SHEET

PROJECT NO.
196140002

SHEET
C-001

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KEYNOTE LEGEND

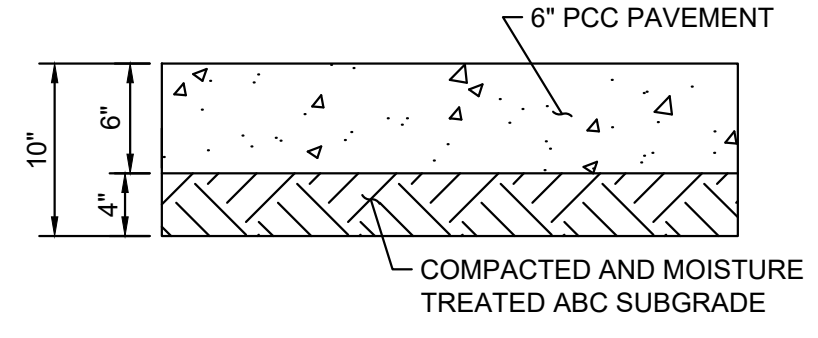
1	ASPHALT PAVEMENT (SEE SECTION THIS SHEET)
2	CONCRETE SIDEWALK
3	RETAINING WALL
4	PERPENDICULAR ADA RAMP PER STD DTL SD_2-41
5	PARALLEL ADA RAMP PER STD DTL SD_2-50
6	CURB AND GUTTER (TYPE A) PER STD DTL SD_2-20
7	PROPOSED LANDSCAPING
8	FIRE HYDRANT (FILING NO.1)
9	PROPOSED 3" CROSS PAN PER STD DTL SD_2-26
10	PROPOSED 12" NYLOPLAST AREA DRAIN
11	PROPOSED STAIRS. SEE GRADING PLANS FOR DETAILS
12	PROPOSED DUMPSTER
13	PROPOSED VALLEY INLET. SEE STORM PLANS FOR DETAILS
14	PROPOSED CARWASH AREA
15	PROPOSED UTILITY GARAGE
16	PROPOSED SANITARY CLEANOUT
17	SANITARY SEWER MANHOLE (FILING NO.1)
18	STORM INFRASTRUCTURE (FILING NO.1)
19	STORM MANHOLE (FILING NO.1)
20	SCREEN FENCE (SEE LANDSCAPE PLANS)

SOLACE APARTMENTS FILING NO. 1

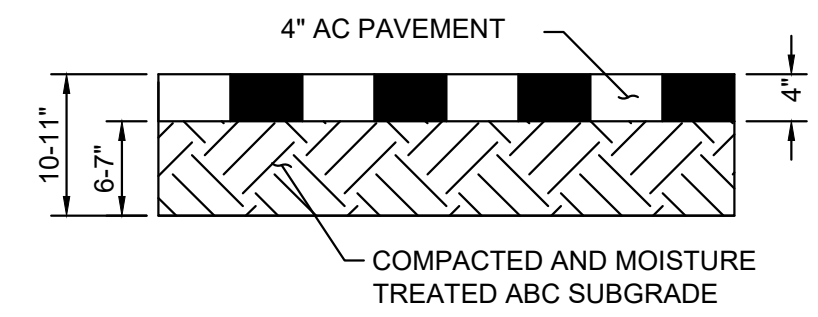
SOLACE APARTMENTS FILING NO. 1

LEGEND

---	PROPERTY LINE
- - -	PHASING LINE
□	SCREEN FENCE (SEE LANDSCAPE PLANS)
■	STANDARD DUTY ASPHALT PAVING
■	CONCRETE PAVING
■	LANDSCAPE AREA
■	PHASE ONE (FILING NO 1)
Ⓢ	PARKING COUNT

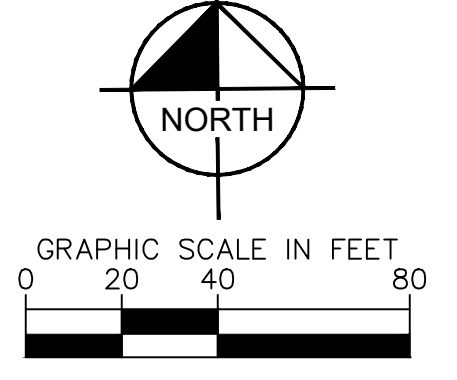


STANDARD DUTY CONCRETE
(SIDEWALKS AND DUMPSTERS)



STANDARD DUTY ASPHALT
N.T.S.

THESE PLAN AND GENERAL NOTES REFER TO:
GEOTECHNICAL ENGINEERING REPORT
 FIRM: CL THOMPSON
 PROJECT #: CS19163-195
 DATE: DECEMBER 19, 2019
 INCLUDING ALL REVISIONS AND ADDENDA TO THIS REPORT THAT MAY HAVE BEEN RELEASED AFTER THE NOTED DATE.



Kimley»Horn
 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 2 North Nevada Avenue, Suite 300
 Colorado Springs, Colorado 80903 (719) 453-0180

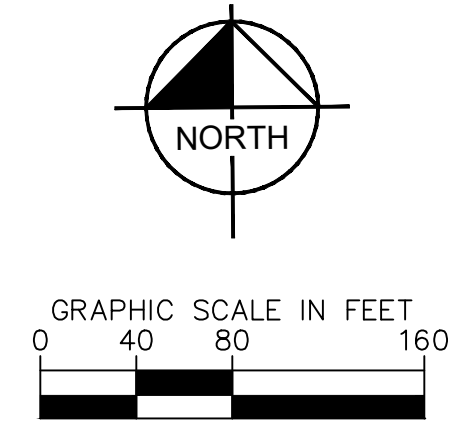
DESIGNED BY: MVZ
 DRAWN BY: MVZ
 CHECKED BY: EJJ
 DATE: 05/25/2023

SOLACE APARTMENTS, FILING NO. 2, LOT 1
 SITE DEVELOPMENT PLAN
 OVERALL SITE PLAN

PROJECT NO.
196140002
 SHEET
C-002

NO.	REVISION	BY	DATE	APPR.

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PARKING CALCULATIONS			
PHASE ONE			
TYPE	# OF UNITS	REQ PARKING RATIO	REQ PARKING
1 BEDROOM	60	1.5	90
2 BEDROOM	168	1.7	286
3 BEDROOM	6	2	12
VISITOR	234	0.33	78
PHASE ONE SUBTOTAL REQUIRED PARKING:			466
PHASE ONE SUBTOTAL PROVIDED PARKING:			466
PHASE ONE SUBTOTAL ADA PARKING REQUIRED:			9
PHASE ONE SUBTOTAL ADA PROVIDED:			16
PHASE ONE SUBTOTAL GARAGE PROVIDED:			78
PHASE TWO			
TYPE	# OF UNITS	REQ PARKING RATIO	REQ PARKING
1 BEDROOM	36	1.5	54
2 BEDROOM	50	1.7	85
3 BEDROOM	12	2	24
VISITOR	234	0.33	55
PHASE TWO SUBTOTAL REQUIRED PARKING:			218
PHASE TWO SUBTOTAL PROVIDED PARKING:			218
PHASE TWO SUBTOTAL ADA PARKING REQUIRED:			7
PHASE TWO SUBTOTAL ADA PROVIDED:			7
PHASE TWO SUBTOTAL GARAGE PROVIDED:			5
TOTAL REQUIRED PARKING:			684
TOTAL PROVIDED PARKING:			684

Kimley»Horn

2023 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, Colorado 80903 (719) 453-0180

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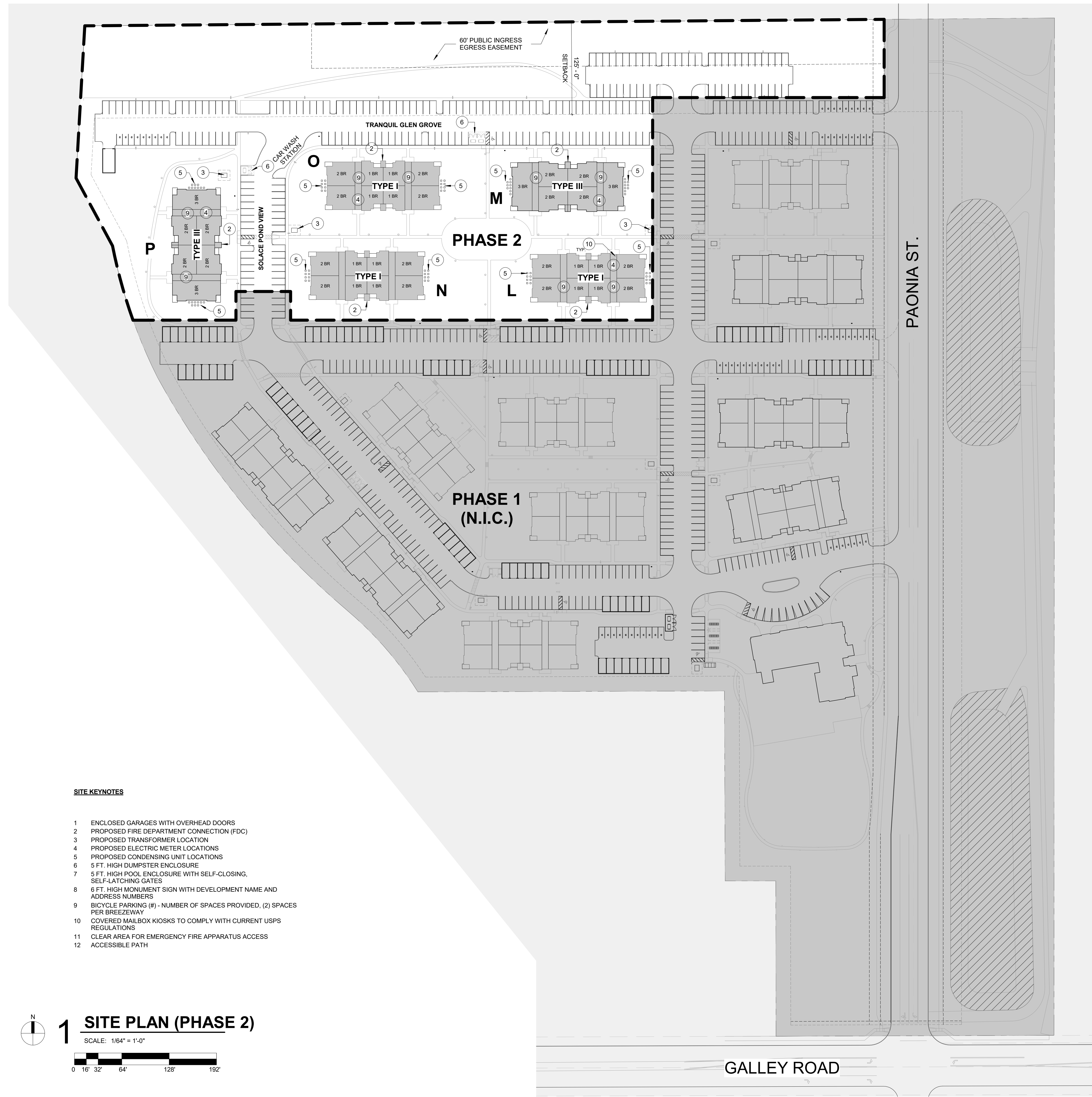
SOLACE APARTMENTS, FILING NO. 2, LOT 1
SITE DEVELOPMENT PLAN
OVERALL PARKING PLAN

PROJECT NO.
196140002

SHEET
C-003



NO.	REVISION	BY	DATE	APPR



SITE KEYNOTES

- 1 ENCLOSED GARAGES WITH OVERHEAD DOORS
- 2 PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- 3 PROPOSED TRANSFORMER LOCATION
- 4 PROPOSED ELECTRIC METER LOCATIONS
- 5 PROPOSED CONDENSING UNIT LOCATIONS
- 6 5 FT. HIGH DUMPSTER ENCLOSURE
- 7 5 FT. HIGH POOL ENCLOSURE WITH SELF-CLOSING, SELF-LATCHING GATES
- 8 6 FT. HIGH MONUMENT SIGN WITH DEVELOPMENT NAME AND ADDRESS NUMBERS
- 9 BICYCLE PARKING (#) - NUMBER OF SPACES PROVIDED, (2) SPACES PER BREEZEWAY
- 10 COVERED MAILBOX KIOSKS TO COMPLY WITH CURRENT USPS REGULATIONS
- 11 CLEAR AREA FOR EMERGENCY FIRE APPARATUS ACCESS
- 12 ACCESSIBLE PATH

1 SITE PLAN (PHASE 2)
 SCALE: 1/64" = 1'-0"



819 S. WABASH AVENUE
CHICAGO, ILLINOIS 60605
312-913-1717 FAX 913-1727

OWNER / DEVELOPER:
JACKSON DEARBORN, LLC

404 S. WELLS STREET
SUITE # 400
CHICAGO, IL 60607
CONTACT: DANE OLMSTEAD
TEL: 734.216.2577

CIVIL ENGINEER:
KIMLEY HORN
2 N NEVADA AVE., SUITE 308,
COLORADO SPRINGS, CO 80903
TEL: 720.636.8306

STRUCTURAL ENGINEER:
MARTINO & LUTH, INC
999 18TH STREET
SUITE 855 NORTH
DENVER, CO 80202
TEL: 303.260.7116

MEP ENGINEER:
SALAS O'BRIEN
815 SOUTH WABASH AVENUE
CHICAGO, IL 60605
TEL: 312.786.4310

LANDSCAPE ARCHITECT:
KIMLEY HORN
2 N NEVADA AVE., SUITE 308,
COLORADO SPRINGS, CO 80903
TEL: 720.636.8306

**SOLACE APARTMENTS, FILING NO. 2, LOT 1
SITE DEVELOPMENT PLAN**

SUBMITTAL DATE:

REVISION DATE:

Job Number: 0614.0010

STAMP:

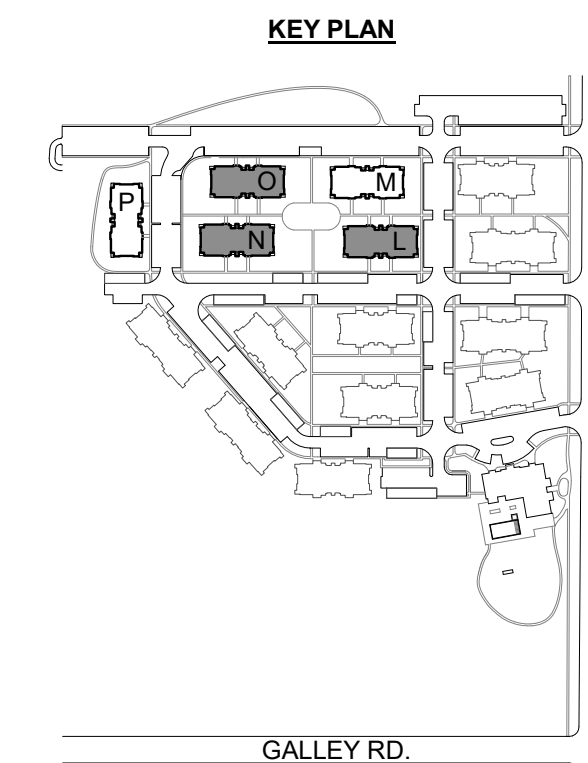


EXPIRES: 10/31/2023

Sheet Title:
**ARCHITECTURAL
SITE PLAN**

Sheet Number:

A0.01

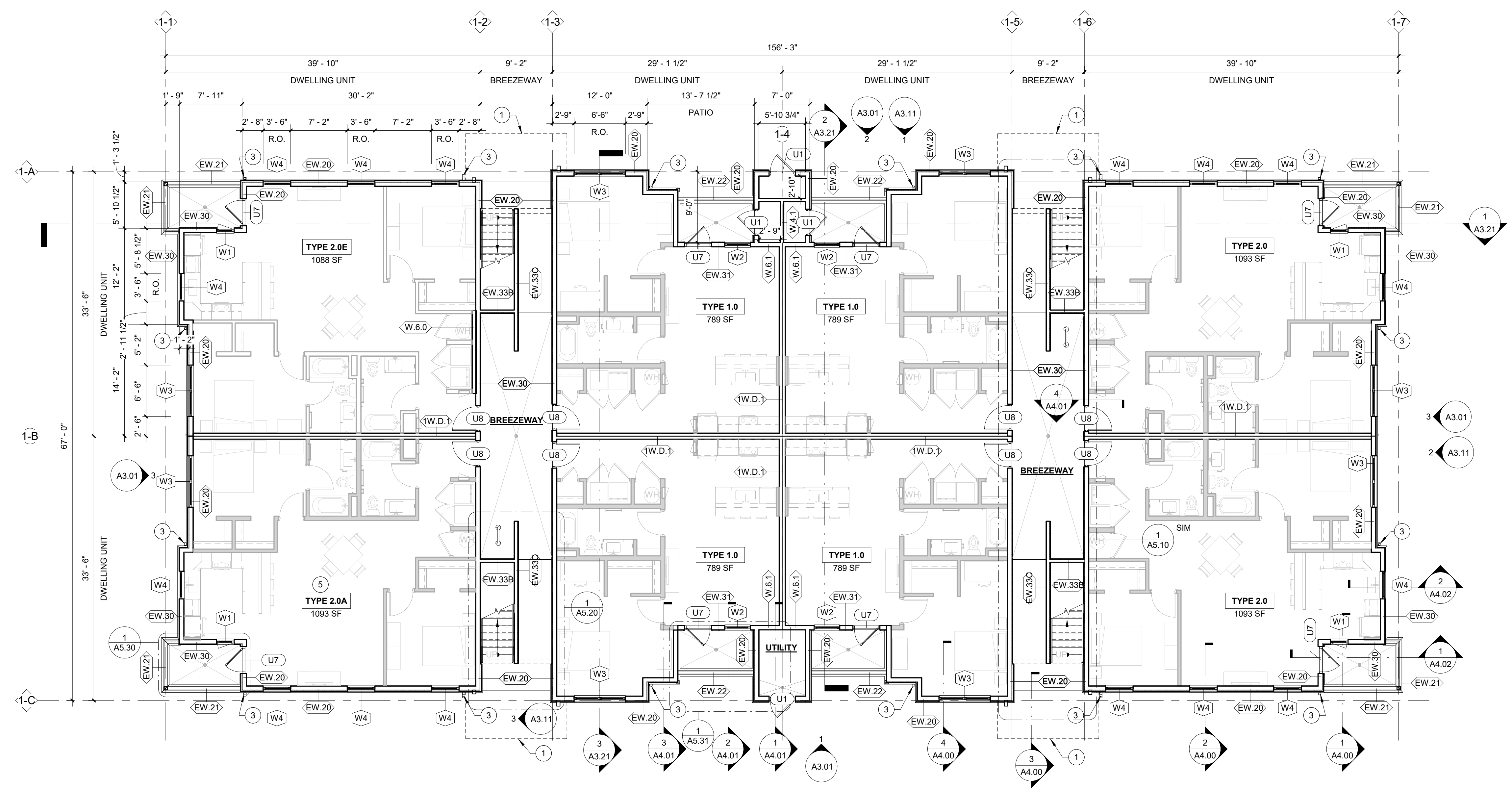


GENERAL NOTES

- REFER TO KEY PLAN ON THIS SHEET FOR LOCATION OF BUILDING TYPES.
- EXTERIOR DIMS AND GRID LINES ARE TO EXTERIOR FACE OF WOOD SHEATHING OR CENTERLINE OF DEMISING WALL, U.N.O.
- ALL FLOOR / WALL PENETRATIONS TO BE FIRE STOPPED W/ AN APPROVED UL LISTED SYSTEM WHICH RATING IS EQUIVALENT OR HIGHER TO THAT OF THE FLOOR/WALL ASSEMBLY IT PASSES THROUGH.
- SEE A6 SERIES SHEETS FOR UNIT PLANS.
- SEE A7 SERIES SHEETS FOR DOOR & WINDOW INFORMATION.
- SEE A5 SERIES FOR ENLARGED BREEZEWAY, STAIR AND BALCONY PLANS.
- ALL BUILDING ELEMENTS, SECTION CUTS, DIMENSIONS, KEYNOTES AND CALLOUTS MIRROR ALONG GRIDS 1-4 & 1-B FOR BUILDING I, 2-4 & 2-B FOR BUILDING II AND 3-4 & 3-B FOR BUILDING III, U.N.O.
- REFER TO SITE PLAN FOR LOCATION & ORIENTATION OF BUILDING TYPES.

FLOOR PLAN KEYNOTES

- OUTLINE OF ROOF ABOVE.
- STANDING SEAM METAL ROOF CANOPY
- PRE-FINISHED MTL DOWNSPOUT
- PRE-FINISHED METAL GUTTER, ANGLED TO SHED ON BOTH SIDES OF AWNING.
- REFERENCE SITE PLAN FOR ACCESSIBLE UNIT LOCATION PER BUILDING



1 BUILDING TYPE I - LEVEL 1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



819 S. WABASH AVENUE
CHICAGO, ILLINOIS 60605
312-913-1717 FAX 913-1727

OWNER / DEVELOPER:
JACKSON DEARBORN, LLC

404 S. WELLS STREET
SUITE # 400
CHICAGO, IL 60607
CONTACT: DANE OLMSTED
TEL: 734.216.2577

CIVIL ENGINEER:
KIMLEY HORN
2 N NEVADA AVE., SUITE 308,
COLORADO SPRINGS, CO 80903
TEL: 720.636.8306

STRUCTURAL ENGINEER:
MARTINO & LUTH, INC
999 18TH STREET
SUITE 855 NORTH
DENVER, CO 80202
TEL: 303.260.7118

MEP ENGINEER:
SALAS O'BRIEN
815 SOUTH WABASH AVENUE
CHICAGO, IL 60605
TEL: 312.786.4310

LANDSCAPE ARCHITECT:
KIMLEY HORN
2 N NEVADA AVE., SUITE 308,
COLORADO SPRINGS, CO 80903
TEL: 720.636.8306

**SOLACE APARTMENTS, FILING NO. 2, LOT 1
SITE DEVELOPMENT PLAN**

SUBMITTAL DATE:

REVISION DATE:
18 07/21/2022 REVISION 18

Job Number: 0614.0010

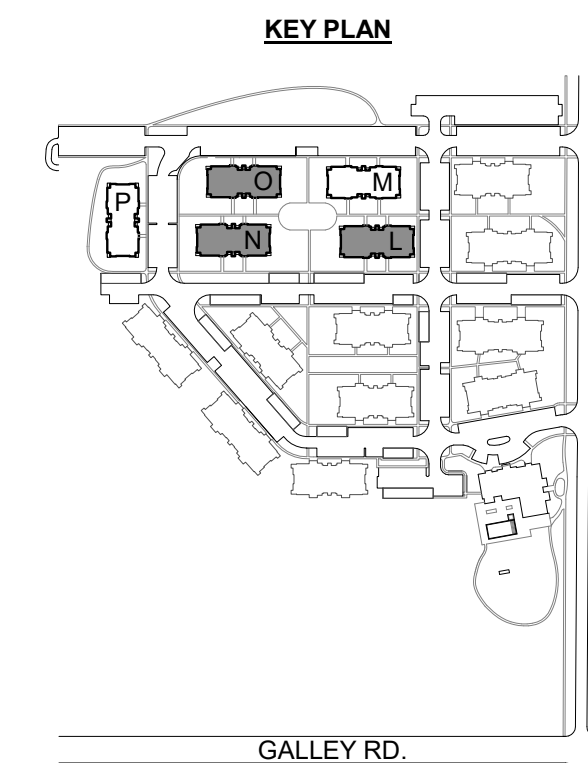
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EXPIRES: 10/31/2023

Sheet Title:
**TYPE I - LEVEL 1
FLOOR PLAN**

Sheet Number:
A1.11



819 S. WABASH AVENUE
CHICAGO, ILLINOIS 60605
312-913-1717 FAX 913-1727

OWNER / DEVELOPER:
JACKSON DEARBORN, LLC

404 S. WELLS STREET
SUITE # 400
CHICAGO, IL 60607
CONTACT: DANE OLMSTEAD
TEL: 734.216.2577

CIVIL ENGINEER:
JR ENGINEERING
5475 TECH CENTER DRIVE
SUITE # 235
COLORADO SPRINGS, CO 80919
CONTACT: MIKE BRAMBLETT
TEL: 303.267.6240

STRUCTURAL ENGINEER:
MARTINO & LUTH, INC
999 18TH STREET
SUITE 855 NORTH
DENVER, CO 80202
TEL: 303.260.7118

MEP ENGINEER:
SALAS O'BRIEN
815 SOUTH WABASH AVENUE
CHICAGO, IL 60605
TEL: 312.786.4310

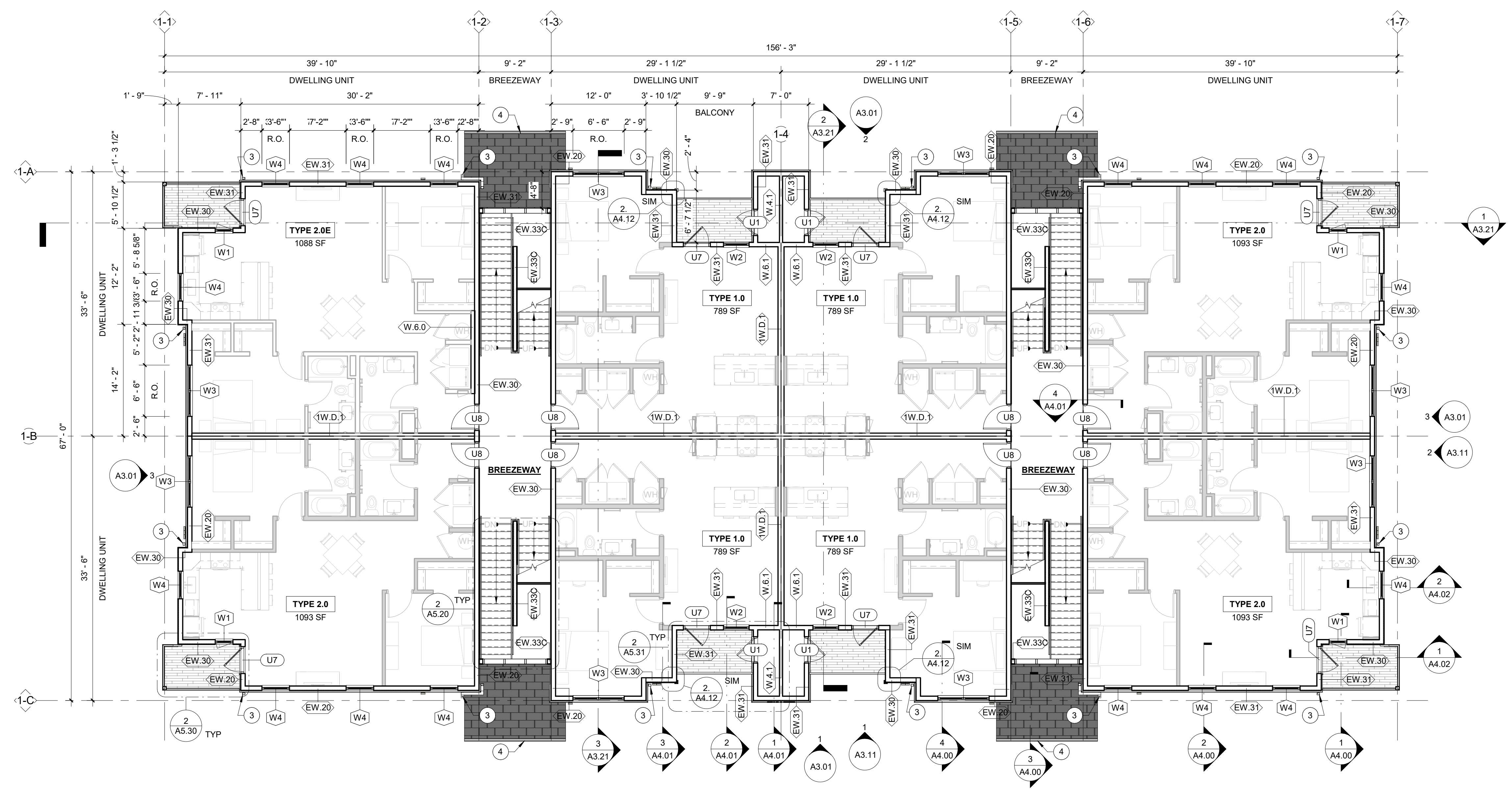
LANDSCAPE ARCHITECT:
Kimley-Horn
2 N NEVADA AVE., SUITE 308,
COLORADO SPRINGS, CO 80903
TEL: 720.636.8306

GENERAL NOTES

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- REFER TO SITE PLAN FOR LOCATION & ORIENTATION OF BUILDING TYPES.

FLOOR PLAN KEYNOTES

- OUTLINE OF ROOF ABOVE.
- STANDING SEAM METAL ROOF CANOPY
- PRE-FINISHED MTL DOWNSPOUT
- PRE-FINISHED METAL GUTTER, ANGLED TO SHED ON BOTH SIDES OF AWNING.
- REFERENCE SITE PLAN FOR ACCESSIBLE UNIT LOCATION PER BUILDING



1 BUILDING TYPE I - LEVEL 2 FLOOR PLAN
SCALE: 1/8" = 1'-0"

Salas
at Cimarron Hills
GALLEY AND POWERS RD
COLORADO SPRINGS, CO 80915

SUBMITTAL DATE:
01/04/2022 IFC SET

REVISION DATE:
07/01/2022 REVISION 14

Job Number: 0614.0010

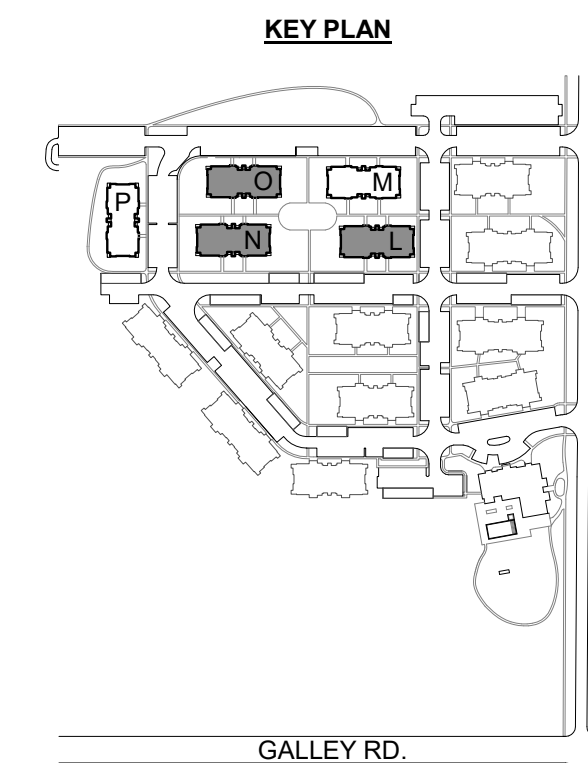
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EXPIRES: 10/31/2023

Sheet Title:
TYPE I - LEVEL 2 FLOOR PLAN

Sheet Number:
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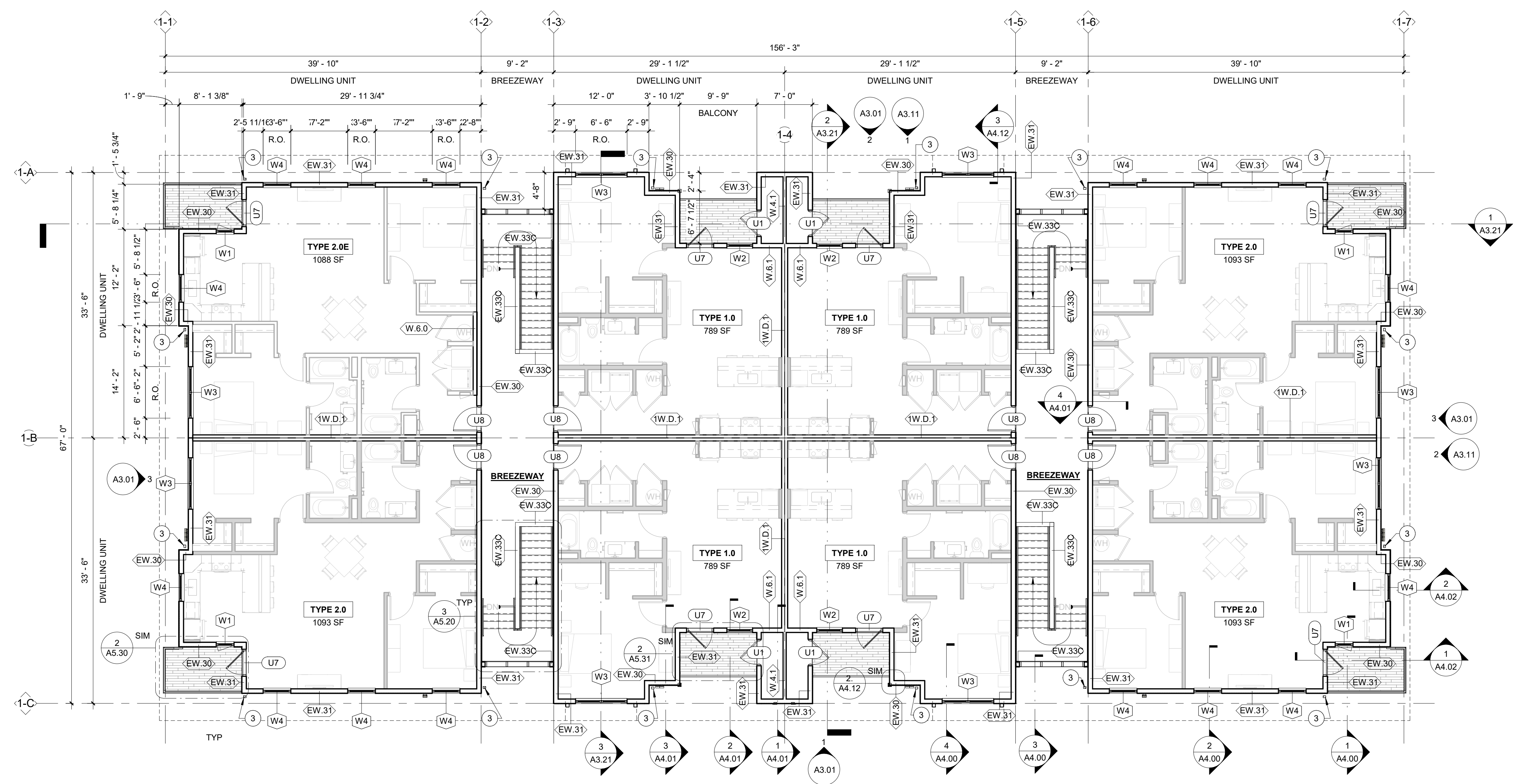


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FLOOR PLAN KEYNOTES

- 1 OUTLINE OF ROOF ABOVE.
- 2 STANDING SEAM METAL ROOF CANOPY
- 3 PRE-FINISHED MTL DOWNSPOUT
- 4 PRE-FINISHED METAL GUTTER ANGLED TO SHED ON BOTH SIDES OF AWNING.
- 5 REFERENCE SITE PLAN FOR ACCESSIBLE UNIT LOCATION PER BUILDING



1 BUILDING TYPE I - LEVEL 3 FLOOR PLAN
SCALE: 1/8" = 1'-0"

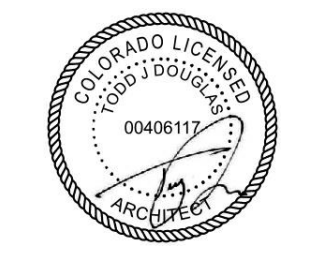
Space
at Cimarron Hills
GALLEY AND POWERS RD
COLORADO SPRINGS, CO 80915

SUBMITTAL DATE:
01/04/2022 IFC SET

REVISION DATE:
07/01/2022 REVISION 14

Job Number: 0614.0010

STAMP:



EXPIRES: 10/31/2023

Sheet Title:
TYPE I - LEVEL 3 FLOOR PLAN

Sheet Number:

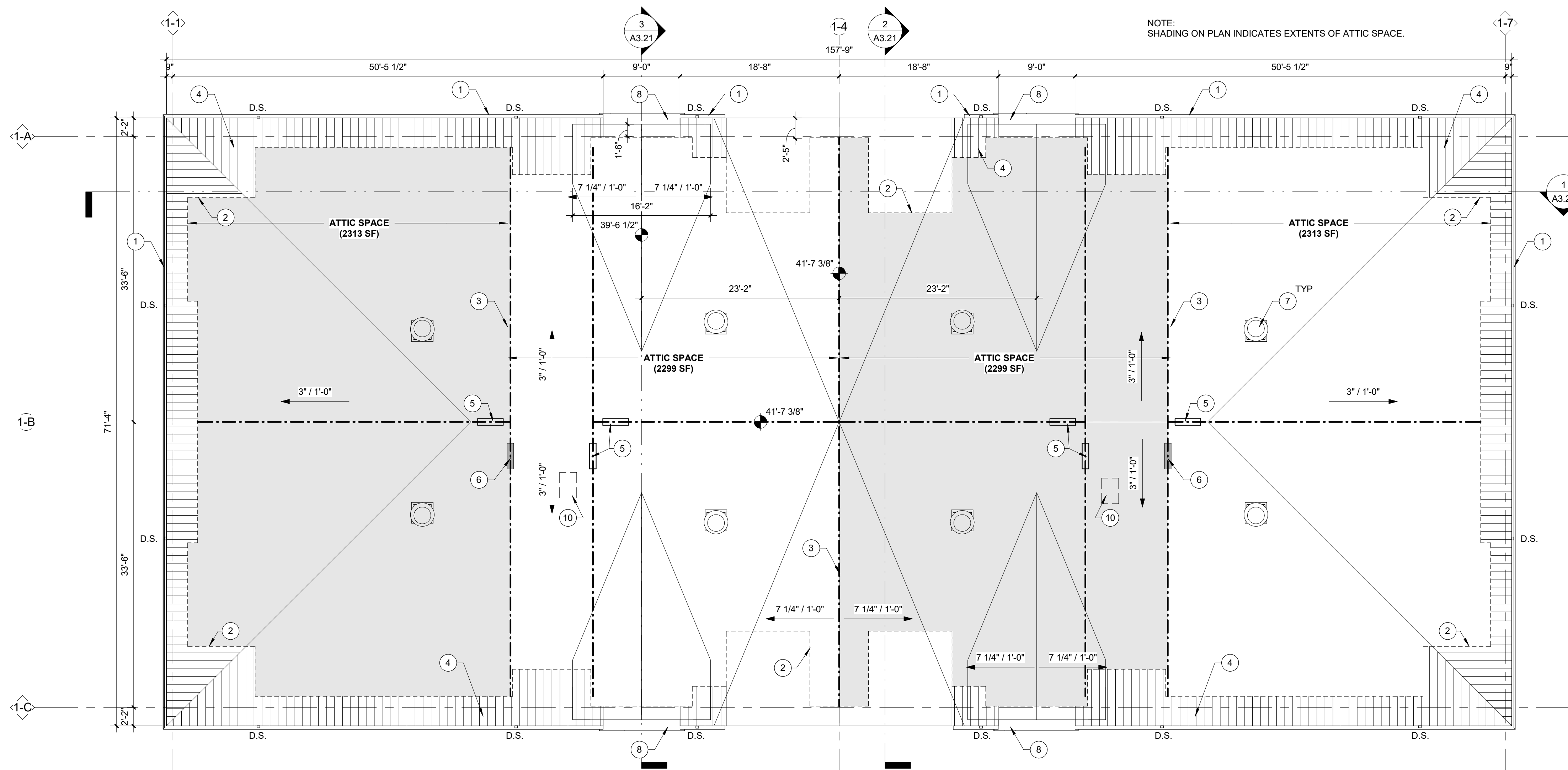
A1.13

ROOF PLAN KEYNOTES

- 1 PRE-FINISHED MTL GUTTER
- 2 LINE OF EXTERIOR WALL BELOW
- 3 DRAFTSTOPPING IN ATTIC - (1) LAYER MIN. 1/2" TYPE "X" GWB OR MIN. 3/8" PLYWOOD / PARTICLEBOARD WHICH EXTENDS TO UNDERSIDE OF ROOF SHEATHING, INSTALLED IN SUCH A WAY AS TO COMPLETELY SEPARATE ATTIC INTO DIFFERENT ZONES.
- 4 VENTED SOFFIT BELOW
- 5 2' X 3' OPENING IN SHEATHING, COORDINATE LOCATION WITH ROOF TRUSSES
- 6 NON-RATED ACCESS PANEL, REQ'D FOR DRAFTSTOPPING
- 7 MECHANICAL ATTIC EXHAUST
- 8 WINDOW CANOPY BELOW, SEE ENLARGED ELEVATIONS
- 9 - NOT USED -
- 10 2' X 3' 1HR-RATED ATTIC ACCESS HATCH, AT CEILING BELOW

ROOF PLAN GENERAL NOTES

1. ALL BUILDING ELEMENTS, SECTION CUTS, DIMENSIONS, KEYNOTES AND CALLOUTS MIRROR ALONG GRIDS 1-4 & 1-B FOR BUILDING 1-2-4 & 2-B FOR BUILDING II AND 3-4 & 3-B FOR BUILDING III. U.N.O.
2. FLASH ALL ROOF AND WALL INTERSECTIONS WITH 26 GA G.I. FLASHING.
3. VERIFY LOCATION OF ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS.
4. DRAFT STOPS TO BE LOCATED AS INDICATED PER SECTION 718.3 THROUGH 718.4.3 OF THE 2015 I.B.C.
 - A. DRAFTSTOPPING SHALL BE 1(ONE) LAYER OF TYPE "X" GWB ON ONE SIDE OF ROOF TRUSS.
 - B. DRAFTSTOPPING SHALL BE PROVIDED AT CENTER OF BLDG ALONG LINE -B, CONTINUOUS OVER THE BREEZEWAYS, TO ASSURE ATTIC COMPARTMENT IS LESS THAN 3,000 SF.
5. CONTRACTOR TO VERIFY THAT ALL OVERHANGS AND FASCIA BOARD ALIGN.
6. PROVIDE GABLE END TRUSSES AT ALL GABLE END CONDITIONS AND AT ALL VERTICAL DRAFTSTOP LOCATIONS PARALLEL TO PARTY WALLS.
7. ALL BUILDINGS SHALL HAVE GUTTERS AND DOWNSPOUTS. REFER TO CIVIL DRAWINGS FOR DISCHARGE INTO STORM SEWER WITH PIPE UNDERGROUND.
8. PROVIDE SCREENING AT ALL ROOF OPENINGS INTO THE ATTIC SPACE. OPENINGS IN SCREEN SHALL NOT EXCEED 1/4".
9. ASPHALT SHINGLES TO CONSIST OF MIN. 30 YEAR WARRANTED SHINGLES.
10. VALLEYS TO BE PROVIDED WITH 36" STRIP OF 60 MIL SELF ADHERING MEMBRANE FLASHING CENTERED IN THE VALLEYS AND INSTALLED DIRECTLY OVER THE WD. BLOCKING.
11. ROOF UNDERLAYMENT TO BE 30# ASPHALT IMPREGNATED FELT.
12. ROOF UNDERLAYMENT TO BE TERMINATED 6" VERTICALLY ONTO THE BASE OF ANY ADJACENT WALL ASSEMBLY, PRIOR TO INSTALLATION OF THE METAL "L" OR STEP FLASHING.
13. ROOF UNDERLAYMENT TO BE INSTALLED OVER THE EAVE DRIP EDGE AND BELOW THE EDGE FLASHING AT THE RAKES.
14. ROOFING CONTRACTOR TO PROVIDE ATTIC SPACE VENTILATION WITH RIDGE VENTS, OFF-RIDGE VENTS, AND CONTINUOUS VENT IN SOFFIT IN ACCORDANCE WITH LOCAL CODES AND JURISDICTIONS.



NOTE: SHADING ON PLAN INDICATES EXTENTS OF ATTIC SPACE.

1 BUILDING TYPE I - ROOF PLAN
SCALE: 1/8" = 1'-0"



819 S. WABASH AVENUE
CHICAGO, ILLINOIS 60605
312-913-1717 FAX 913-1727

OWNER / DEVELOPER:
JACKSON DEARBORN, LLC

404 S. WELLS STREET
SUITE # 400
CHICAGO, IL 60607
CONTACT: DANE OLMSTEAD
TEL: 734.216.2577

CIVIL ENGINEER:
JR ENGINEERING
5475 TECH CENTER DRIVE
SUITE # 235
COLORADO SPRINGS, CO 80919
CONTACT: MIKE BRAMBLETT
TEL: 303.267.6240

STRUCTURAL ENGINEER:
MARTINO & LUTH, INC
999 18TH STREET
SUITE 855 NORTH
DENVER, CO 80202
TEL: 303.260.7118

MEP ENGINEER:
SALAS O'BRIEN
815 SOUTH WABASH AVENUE
CHICAGO, IL 60605
TEL: 312.786.4310

LANDSCAPE ARCHITECT:
Kimley-Horn
2 N NEVADA AVE., SUITE 308,
COLORADO SPRINGS, CO 80903
TEL: 720.636.8306

Salas
at Cimarron Hills
GALLEY AND POWERS RD
COLORADO SPRINGS, CO 80915

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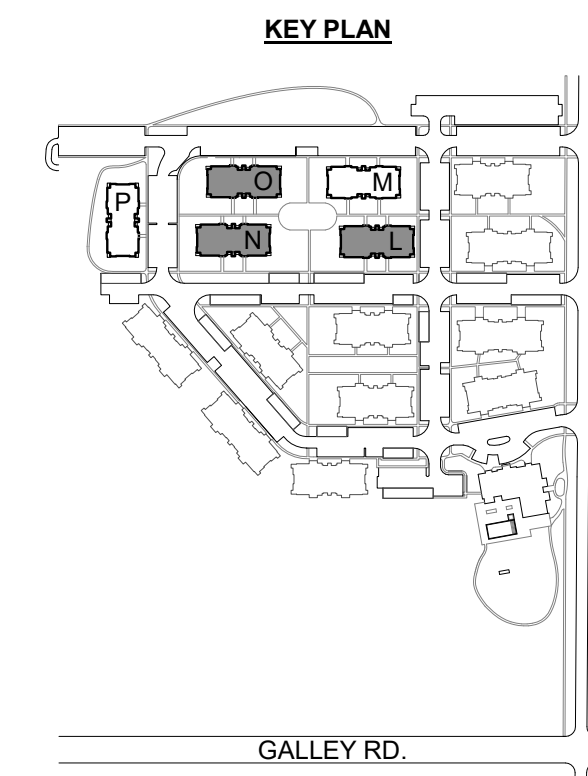


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TYPE I - ROOF PLAN

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LANDSCAPE ARCHITECT:
Kimley-Horn
2 N NEVADA AVE., SUITE 308,
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TEL: 720.636.8306

GENERAL NOTES

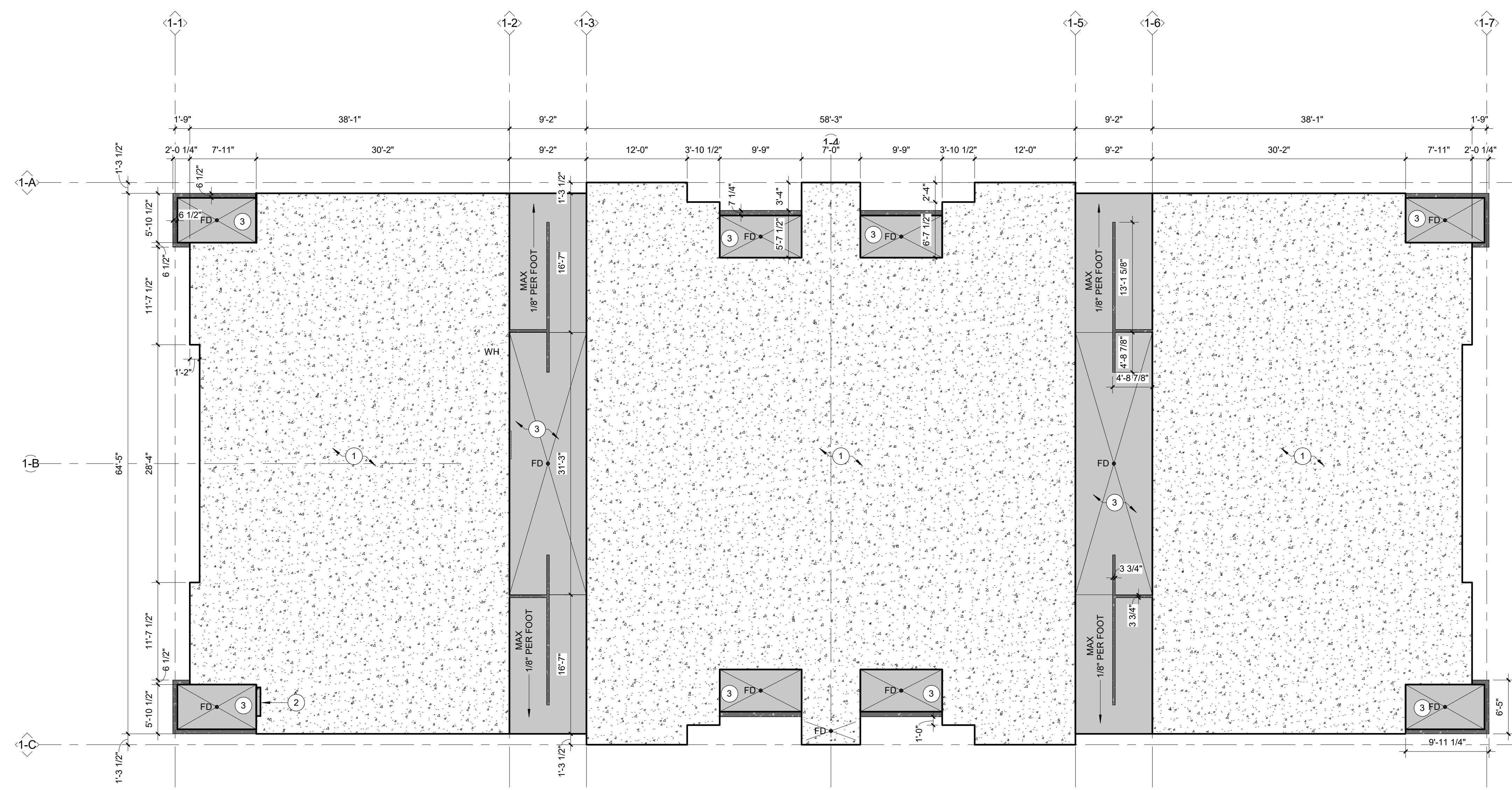
1. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
2. COORDINATE FLOOR SLOPE AND DRAINS IN BREEZEWAY WITH CIVIL.
3. COORDINATE ALL OTHER FLOOR DRAIN LOCATIONS WITH PLUMBING.
4. FLOOR SLOPES SHALL BE 1/8" PER FOOT, U.N.O.
5. CONCRETE CURBS HEIGHT VARIES, BUT TOP OF CURB WILL REMAIN LEVEL AT +4" ABOVE REFERENCE LEVEL.

SLAB PLAN KEYNOTES

- 1 4" PT SLAB ON GRADE WITH PT RIBS. REFER TO STRUCTURAL DWGS.
- 2 SLAB RECESSED 1/2" FOR PATIO DOOR THRESHOLD TO COMPLY WITH ACCESSIBILITY REQUIREMENTS AT TYPE 'A' DWELLING UNITS. REFER TO SITE PLAN FOR EXACT LOCATIONS OF TYPE 'A' DWELLING UNITS.
- 3 SLAB RECESSED 1/2" AND SLOPED.

LEGEND

- FD ● FLOOR DRAIN
- TD TRENCH DRAIN, OUTLET TO SIDEWALK, SEE CIVIL DWGS.
- [Symbol] SLOPED FINISH FLOOR
- [Symbol] RECESSED SLAB
- [Symbol] FOUNDATION CURB



1 BUILDING TYPE I - SLAB PLAN
SCALE: 1/8" = 1'-0"

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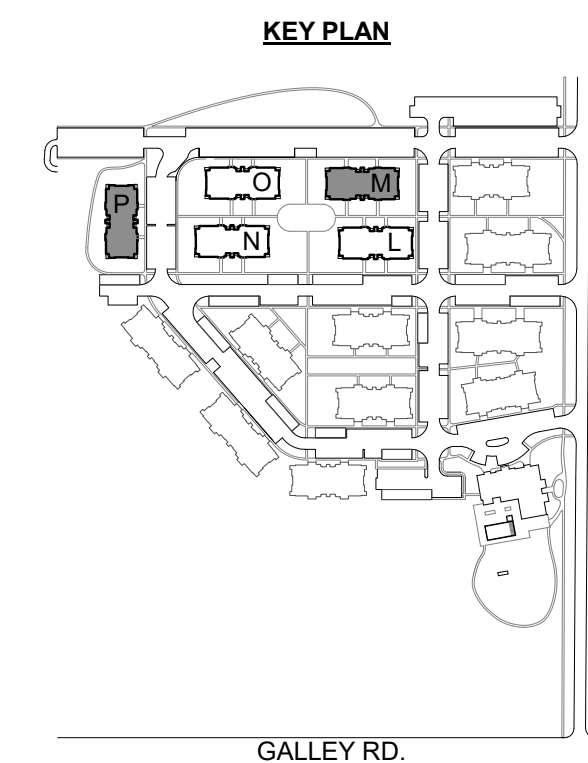
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TYPE I - SLAB PLAN

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OWNER / DEVELOPER:
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MEP ENGINEER:
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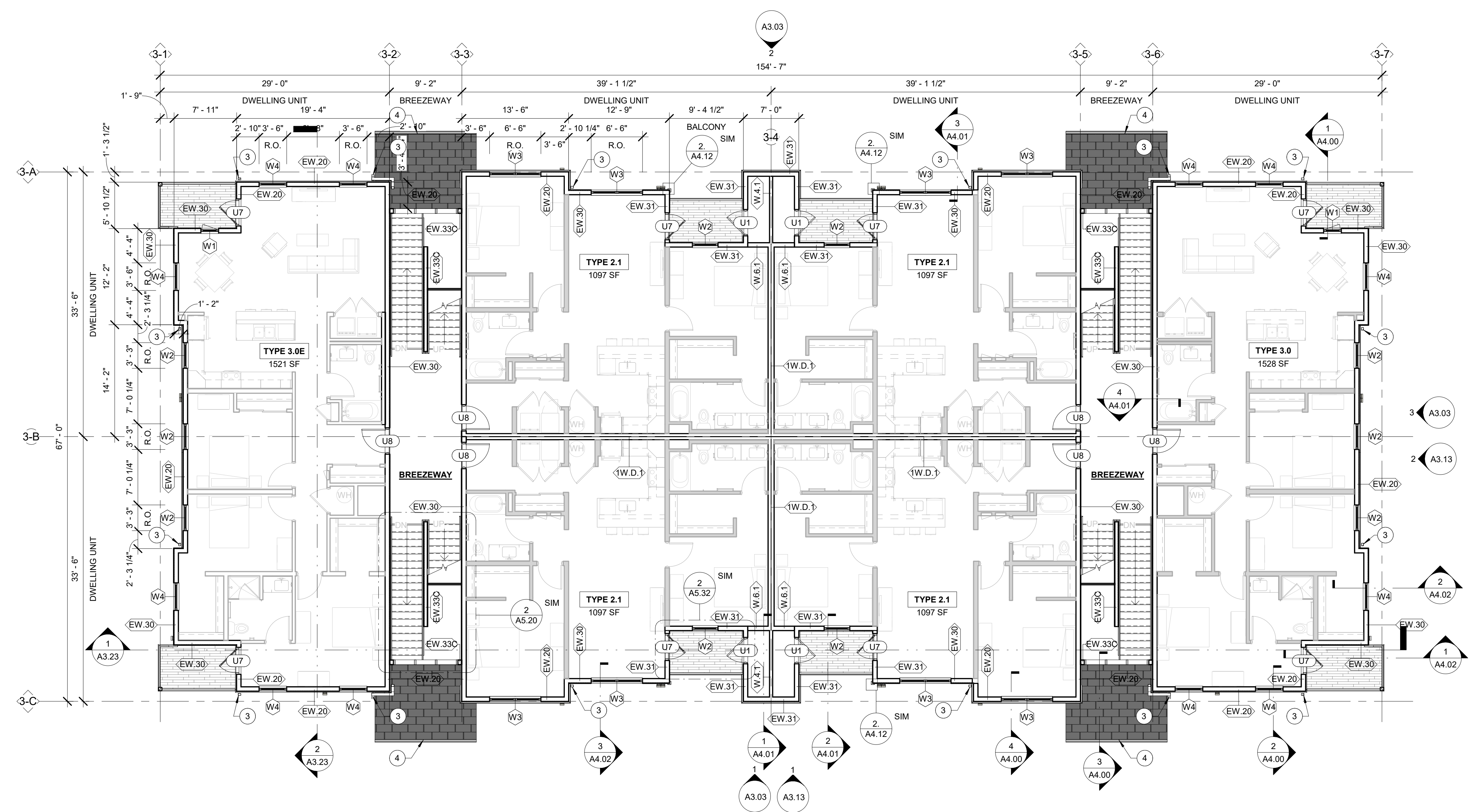
LANDSCAPE ARCHITECT:
Kimley-Horn
2 N NEVADA AVE., SUITE 308,
COLORADO SPRINGS, CO 80903
TEL: 720.636.8306

GENERAL NOTES

- REFER TO KEY PLAN ON THIS SHEET FOR LOCATION OF BUILDING TYPES.
- EXTERIOR DIMS AND GRID LINES ARE TO EXTERIOR FACE OF WOOD SHEATHING OR CENTERLINE OF DEMISING WALL, U.N.O.
- ALL FLOOR / WALL PENETRATIONS TO BE FIRE STOPPED W/ AN APPROVED UL LISTED SYSTEM WHICH RATING IS EQUIVALENT OR HIGHER TO THAT OF THE FLOOR/WALL ASSEMBLY IT PASSES THROUGH.
- SEE A6 SERIES SHEETS FOR UNIT PLANS.
- SEE A7 SERIES SHEETS FOR DOOR & WINDOW INFORMATION.
- SEE A5 SERIES FOR ENLARGED BREEZEWAY, STAIR AND BALCONY PLANS.
- ALL BUILDING ELEMENTS, SECTION CUTS, DIMENSIONS, KEYNOTES AND CALLOUTS MIRROR ALONG GRIDS 1-4 & 1-B FOR BUILDING I, 2-4 & 2-B FOR BUILDING II AND 3-4 & 3-B FOR BUILDING III. U.N.O.
- REFER TO SITE PLAN FOR LOCATION & ORIENTATION OF BUILDING TYPES.

FLOOR PLAN KEYNOTES

- OUTLINE OF ROOF ABOVE.
- STANDING SEAM METAL ROOF CANOPY
- PRE-FINISHED MTL DOWNSPOUT
- PRE-FINISHED METAL GUTTER, ANGLED TO SHED ON BOTH SIDES OF AWNING.
- REFERENCE SITE PLAN FOR ACCESSIBLE UNIT LOCATION PER BUILDING



1 BUILDING TYPE III - LEVEL 2 FLOOR PLAN

SCALE: 1/8" = 1'-0"

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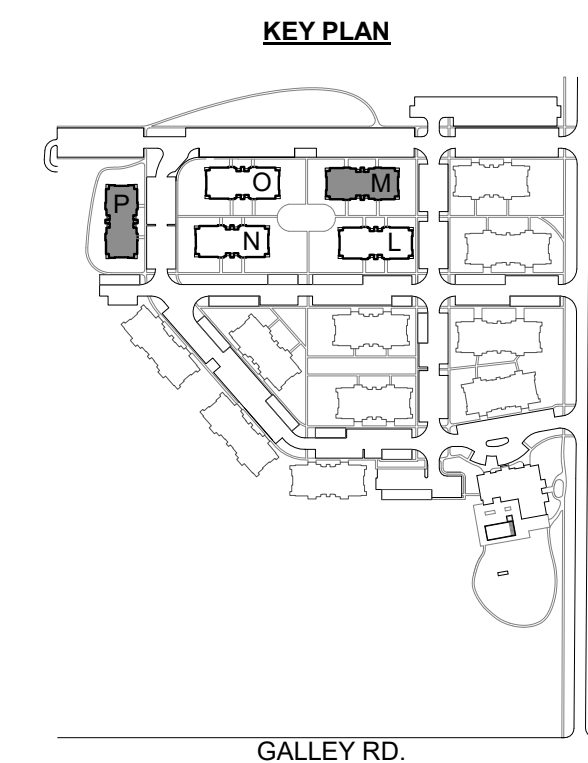
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TYPE III - LEVEL 2 FLOOR PLAN

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A1.32



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5475 TECH CENTER DRIVE
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CONTACT: MIKE BRAMBLETT
TEL: 303.267.6240

STRUCTURAL ENGINEER:
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999 18TH STREET
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DENVER, CO 80202
TEL: 303.260.7118

MEP ENGINEER:
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815 SOUTH WABASH AVENUE
CHICAGO, IL 60605
TEL: 312.786.4310

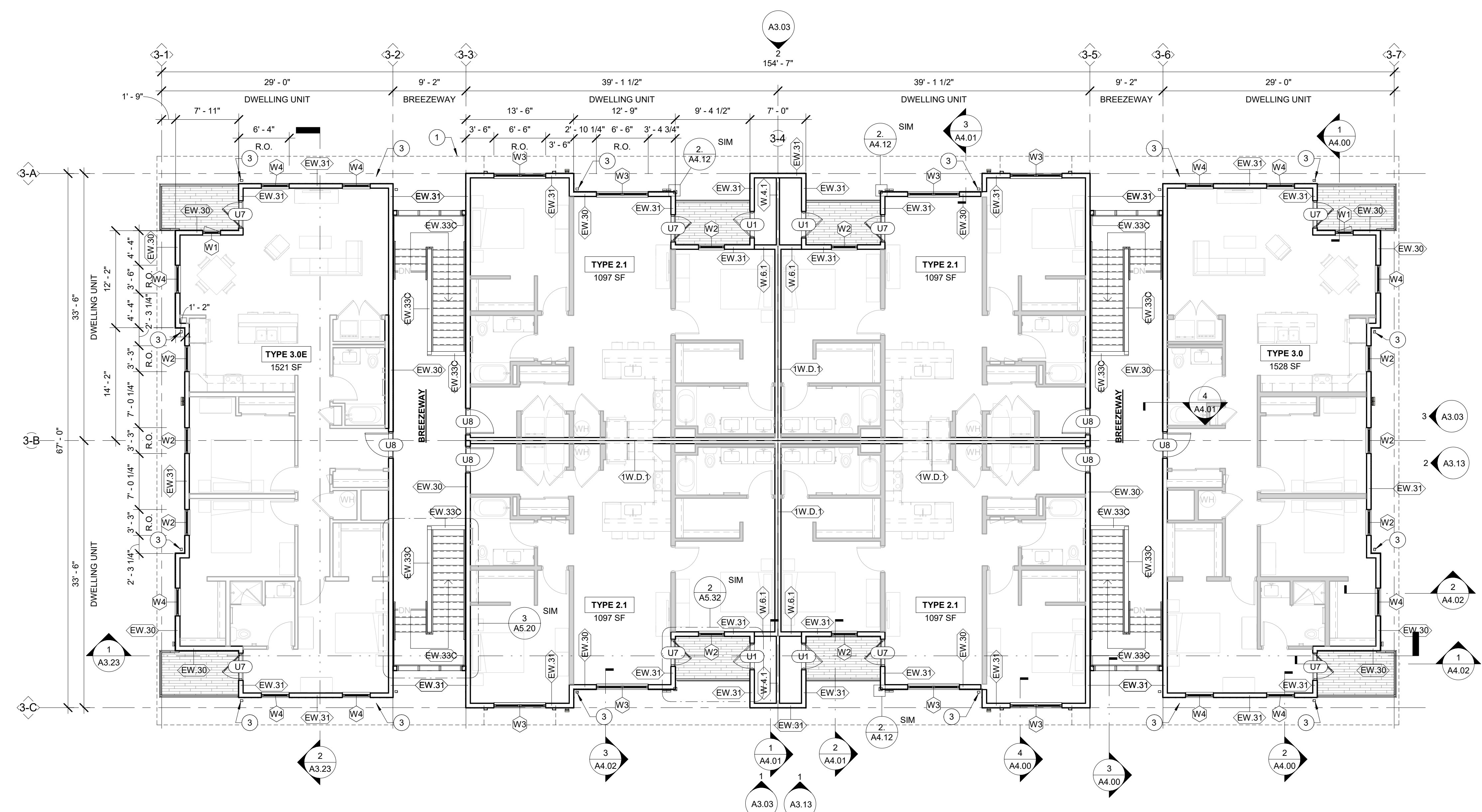
LANDSCAPE ARCHITECT:
Kimley-Horn
2 N NEVADA AVE., SUITE 308,
COLORADO SPRINGS, CO 80903
TEL: 720.636.8306

GENERAL NOTES

- REFER TO KEY PLAN ON THIS SHEET FOR LOCATION OF BUILDING TYPES.
- EXTERIOR DIMS AND GRID LINES ARE TO EXTERIOR FACE OF WOOD SHEATHING OR CENTERLINE OF DEMISING WALL, U.N.O.
- ALL FLOOR / WALL PENETRATIONS TO BE FIRE STOPPED W/ AN APPROVED UL LISTED SYSTEM WHICH RATING IS EQUIVALENT OR HIGHER TO THAT OF THE FLOOR/WALL ASSEMBLY IT PASSES THROUGH.
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- SEE A5 SERIES FOR ENLARGED BREEZEWAY, STAIR AND BALCONY PLANS.
- ALL BUILDING ELEMENTS, SECTION CUTS, DIMENSIONS, KEYNOTES AND CALLOUTS MIRROR ALONG GRIDS 1-4 & 1-B FOR BUILDING I, 2-4 & 2-B FOR BUILDING II AND 3-4 & 3-B FOR BUILDING III. U.N.O.
- REFER TO SITE PLAN FOR LOCATION & ORIENTATION OF BUILDING TYPES.

FLOOR PLAN KEYNOTES

- OUTLINE OF ROOF ABOVE.
- STANDING SEAM METAL ROOF CANOPY
- PRE-FINISHED MTL DOWNSPOUT
- PRE-FINISHED METAL GUTTER, ANGLED TO SHED ON BOTH SIDES OF AWNING.
- REFERENCE SITE PLAN FOR ACCESSIBLE UNIT LOCATION PER BUILDING



1 BUILDING TYPE III - LEVEL 3 FLOOR PLAN

SCALE: 1/8" = 1'-0"

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TYPE III - LEVEL 3 FLOOR PLAN

Sheet Number:
A1.33

ROOF PLAN KEYNOTES

- 1 PRE-FINISHED MTL GUTTER
- 2 LINE OF EXTERIOR WALL BELOW
- 3 DRAFTSTOPPING IN ATTIC - (1) LAYER MIN. 1/2" TYPE "X" GWB OR MIN. 3/8" PLYWOOD / PARTICLEBOARD WHICH EXTENDS TO UNDERSIDE OF ROOF SHEATHING, INSTALLED IN SUCH A WAY AS TO COMPLETELY SEPARATE ATTIC INTO DIFFERENT ZONES.
- 4 VENTED SOFFIT BELOW
- 5 2' X 3' OPENING IN SHEATHING, COORDINATE LOCATION WITH ROOF TRUSSES
- 6 NON-RATED ACCESS PANEL, REQ'D FOR DRAFTSTOPPING
- 7 MECHANICAL ATTIC EXHAUST
- 8 WINDOW CANOPY BELOW, SEE ENLARGED ELEVATIONS
- 9 - NOT USED -
- 10 2' X 3' 1HR-RATED ATTIC ACCESS HATCH, AT CEILING BELOW

ROOF PLAN GENERAL NOTES

1. ALL BUILDING ELEMENTS, SECTION CUTS, DIMENSIONS, KEYNOTES AND CALLOUTS MIRROR ALONG GRIDS 1-4 & 1-B FOR BUILDING I, 2-4 & 2-B FOR BUILDING II AND 3-4 & 3-B FOR BUILDING III. U.N.O.
2. FLASH ALL ROOF AND WALL INTERSECTIONS WITH 26 GA G.I. FLASHING.
3. VERIFY LOCATION OF ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS.
4. DRAFT STOPS TO BE LOCATED AS INDICATED PER SECTION 718.3 THROUGH 718.4.3 OF THE 2015 I.B.C.
 - A. DRAFTSTOPPING SHALL BE 1(ONE) LAYER OF TYPE "X" GWB ON ONE SIDE OF ROOF TRUSS.
 - B. DRAFTSTOPPING SHALL BE PROVIDED AT CENTER OF BLDG ALONG LINE -B, CONTINUOUS OVER THE BREEZEWAYS, TO ASSURE ATTIC COMPARTMENT IS LESS THAN 3,000 SF.
5. CONTRACTOR TO VERIFY THAT ALL OVERHANGS AND FASCIA BOARD ALIGN.
6. PROVIDE GABLE END TRUSSES AT ALL GABLE END CONDITIONS AND AT ALL VERTICAL DRAFTSTOP LOCATIONS PARALLEL TO PARTY WALLS.
7. ALL BUILDINGS SHALL HAVE GUTTERS AND DOWNSPOUTS, REFER TO CIVIL DRAWINGS FOR DISCHARGE INTO STORM SEWER WITH PIPE UNDERGROUND.
8. PROVIDE SCREENING AT ALL ROOF OPENINGS INTO THE ATTIC SPACE, OPENINGS IN SCREEN SHALL NOT EXCEED 1/4".
9. ASPHALT SHINGLES TO CONSIST OF MIN. 30 YEAR WARRANTED SHINGLES.
10. VALLEYS TO BE PROVIDED WITH 36" STRIP OF 60 MIL SELF ADHERING MEMBRANE FLASHING CENTERED IN THE VALLEYS AND INSTALLED DIRECTLY OVER THE WD. BLOCKING.
11. ROOF UNDERLAYMENT TO BE 30# ASPHALT IMPREGNATED FELT.
12. ROOF UNDERLAYMENT TO BE TERMINATED 6" VERTICALLY ONTO THE BASE OF ANY ADJACENT WALL ASSEMBLY, PRIOR TO INSTALLATION OF THE METAL "L" OR STEP FLASHING.
13. ROOF UNDERLAYMENT TO BE INSTALLED OVER THE EAVE DRIP EDGE AND BELOW THE EDGE FLASHING AT THE RAKES.
14. ROOFING CONTRACTOR TO PROVIDE ATTIC SPACE VENTILATION WITH RIDGE VENTS, OFF-RIDGE VENTS, AND CONTINUOUS VENT IN SOFFIT IN ACCORDANCE WITH LOCAL CODES AND JURISDICTIONS.



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STRUCTURAL ENGINEER:
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LANDSCAPE ARCHITECT:
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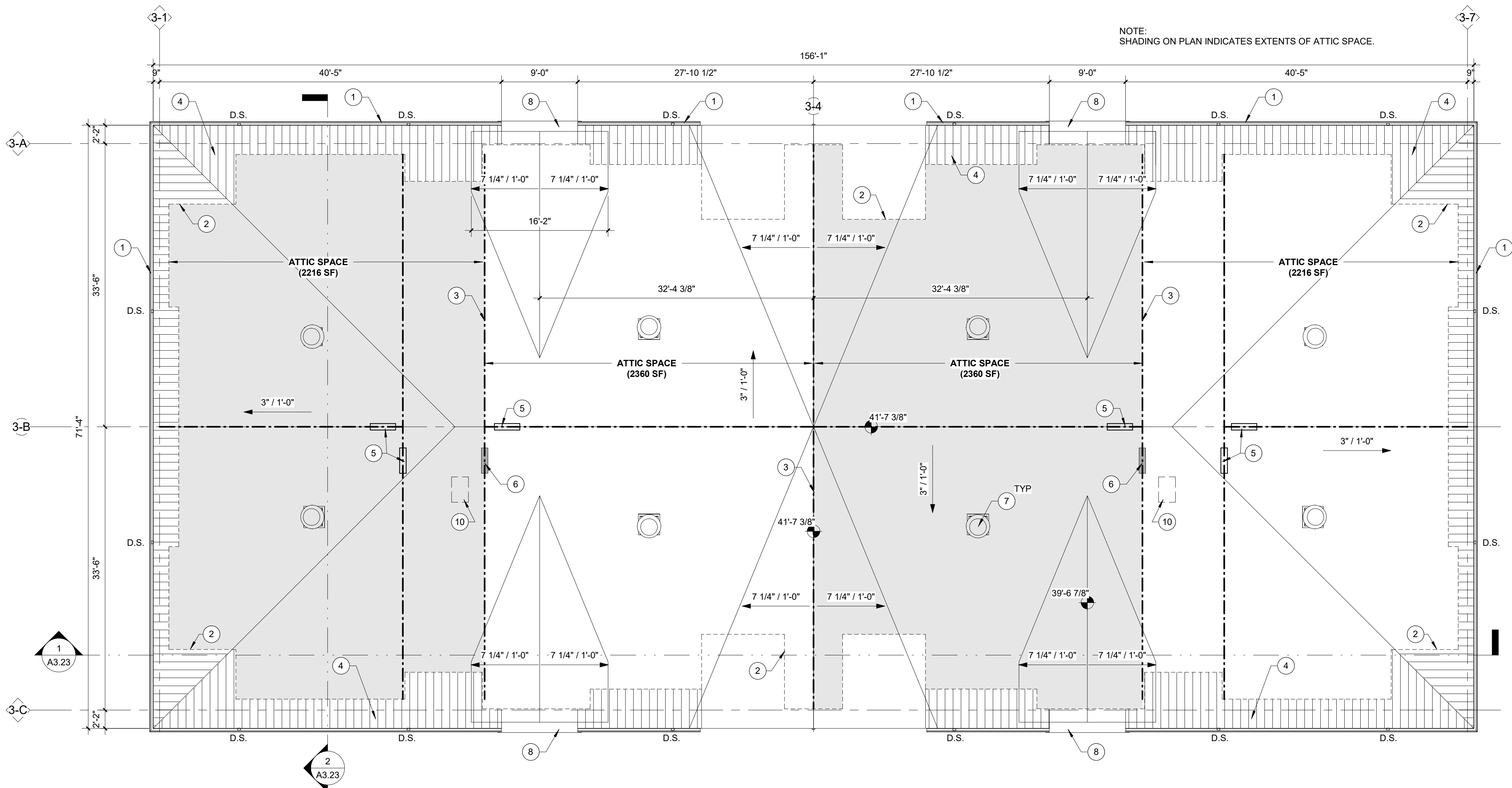
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TYPE III - ROOF PLAN

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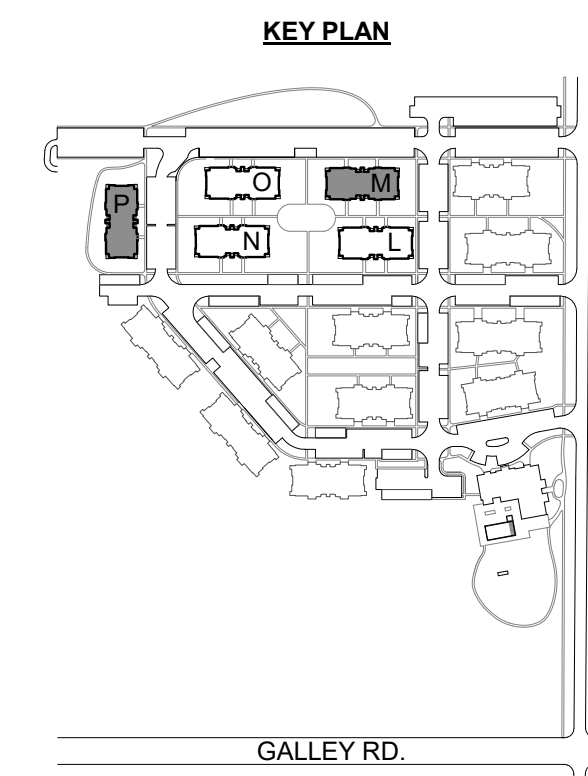
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NOTE:
SHADING ON PLAN INDICATES EXTENTS OF ATTIC SPACE.



1 BUILDING TYPE III - ROOF PLAN
SCALE: 1/8" = 1'-0"



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GENERAL NOTES

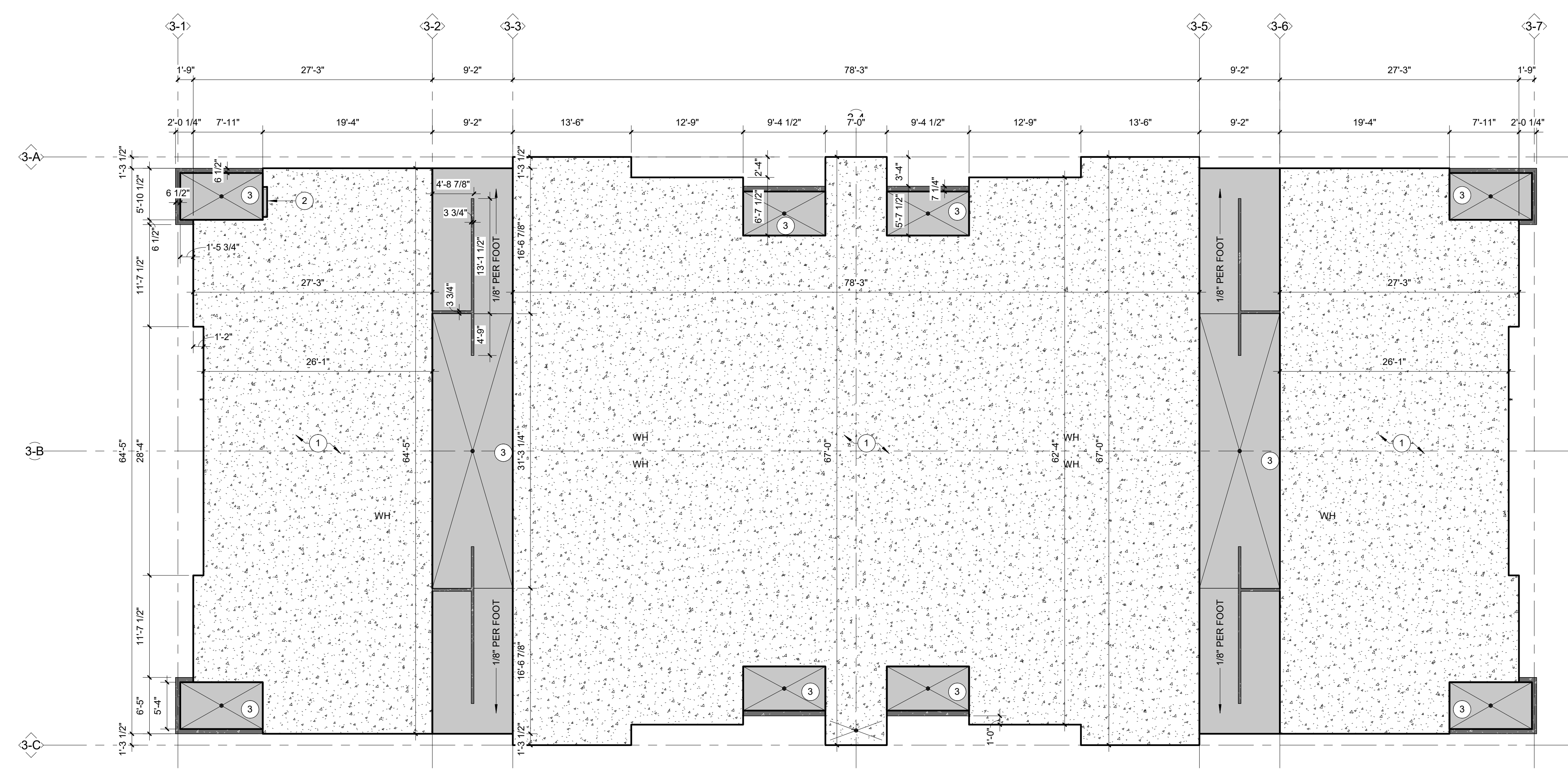
1. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
2. COORDINATE FLOOR SLOPE AND DRAINS IN BREEZEWAY WITH CIVIL.
3. COORDINATE ALL OTHER FLOOR DRAIN LOCATIONS WITH PLUMBING.
4. FLOOR SLOPES SHALL BE 1/8" PER FOOT, U.N.O.
5. CONCRETE CURBS HEIGHT VARIES, BUT TOP OF CURB WILL REMAIN LEVEL AT +4" ABOVE REFERENCE LEVEL.

SLAB PLAN KEYNOTES

- 1 4" PT SLAB ON GRADE WITH PT RIBS. REFER TO STRUCTURAL DWGS.
- 2 SLAB RECESSED 1/2" FOR PATIO DOOR THRESHOLD TO COMPLY WITH ACCESSIBILITY REQUIREMENTS AT TYPE 'A' DWELLING UNITS. REFER TO SITE PLAN FOR EXACT LOCATIONS OF TYPE 'A' DWELLING UNITS.
- 3 SLAB RECESSED 1/2" AND SLOPED.

LEGEND

- FD ● FLOOR DRAIN
- TD TRENCH DRAIN, OUTLET TO SIDEWALK, SEE CIVIL DWGS.
- SLOPED FINISH FLOOR
- RECESSED SLAB
- FUNDATION CURB



1 BUILDING TYPE III - SLAB PLAN

SCALE: 1/8" = 1'-0"

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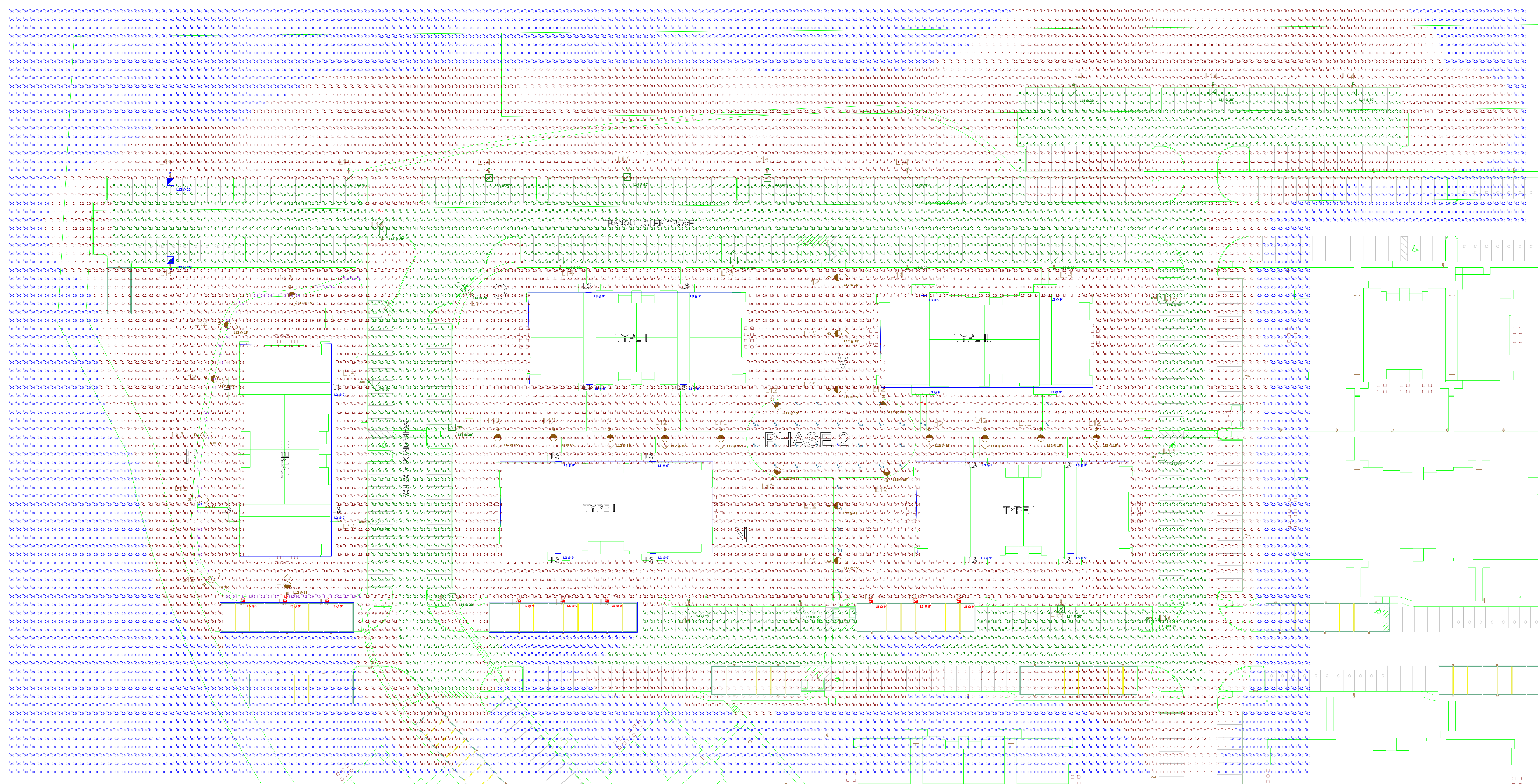


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Sheet Title:
TYPE III - SLAB PLAN

Sheet Number:

A1.30



Radean Post Top LED Area Luminaire

Specifications

- Height: 100" (8' 0")
- Length: 24" (2' 0")
- Width: 24" (2' 0")
- Depth: 10" (0' 10")
- Weight: 150 lbs (68 kg)

Introduction

The architecturally inspired shape of the RADEAN Post Top area luminaire embodies the grace and strength of the RADEAN family. The unique combination of materials and support the broader aesthetic, creating a beautiful architectural statement. The luminaire is a beacon of modernity, bringing a fresh perspective to the streetscape. With sleek lines and simple, clean design, the luminaire is a perfect lighting and architectural statement. The luminaire is a perfect lighting and architectural statement. The luminaire is a perfect lighting and architectural statement.

Ordering Information

EXAMPLE: RADEAN LED P3 30X 5M MVOLT P16 P16 IN DIA

Order Code	Color	Finish	Material	Height	Length	Width	Depth	Weight
RADEAN P3 30X 5M MVOLT P16 P16 IN DIA	White	Black	Aluminum	100"	24"	24"	10"	150 lbs

Radean Bollard LED Site Luminaire

Specifications

- Height: 48" (4' 0")
- Length: 12" (1' 0")
- Width: 12" (1' 0")
- Depth: 6" (0' 6")
- Weight: 25 lbs (11 kg)

Introduction

The Radean LED bollard is an award-winning luminaire that provides a modern design to perform the way you'd expect. The Radean LED bollard is a perfect lighting and architectural statement. The luminaire is a perfect lighting and architectural statement. The luminaire is a perfect lighting and architectural statement.

Ordering Information

EXAMPLE: RADEAN LED P3 30X 5M MVOLT B75 BICOINACT DIA

Order Code	Color	Finish	Material	Height	Length	Width	Depth	Weight
RADEAN LED P3 30X 5M MVOLT B75 BICOINACT DIA	White	Black	Aluminum	48"	12"	12"	6"	25 lbs

D-Series Size 1 LED Wall Luminaire

Specifications

- Height: 13.5" (1' 1")
- Width: 13.5" (1' 1")
- Depth: 4.5" (0' 4.5")
- Weight: 1.5 lbs (0.7 kg)

Introduction

The D-Series Wall Luminaire is a stylish, fully integrated LED luminaire designed for a wide range of applications. It features a sleek, modern design and is available in a variety of finishes. The luminaire is a perfect lighting and architectural statement. The luminaire is a perfect lighting and architectural statement. The luminaire is a perfect lighting and architectural statement.

Ordering Information

EXAMPLE: DS1W1 LED 20C 100X 40K 12M MVOLT D0210

Order Code	Color	Finish	Material	Height	Width	Depth	Weight
DS1W1 LED 20C 100X 40K 12M MVOLT D0210	White	Black	Aluminum	13.5"	13.5"	4.5"	1.5 lbs

D-Series Size 1 LED Area Luminaire

Specifications

- Height: 13.5" (1' 1")
- Width: 13.5" (1' 1")
- Depth: 4.5" (0' 4.5")
- Weight: 1.5 lbs (0.7 kg)

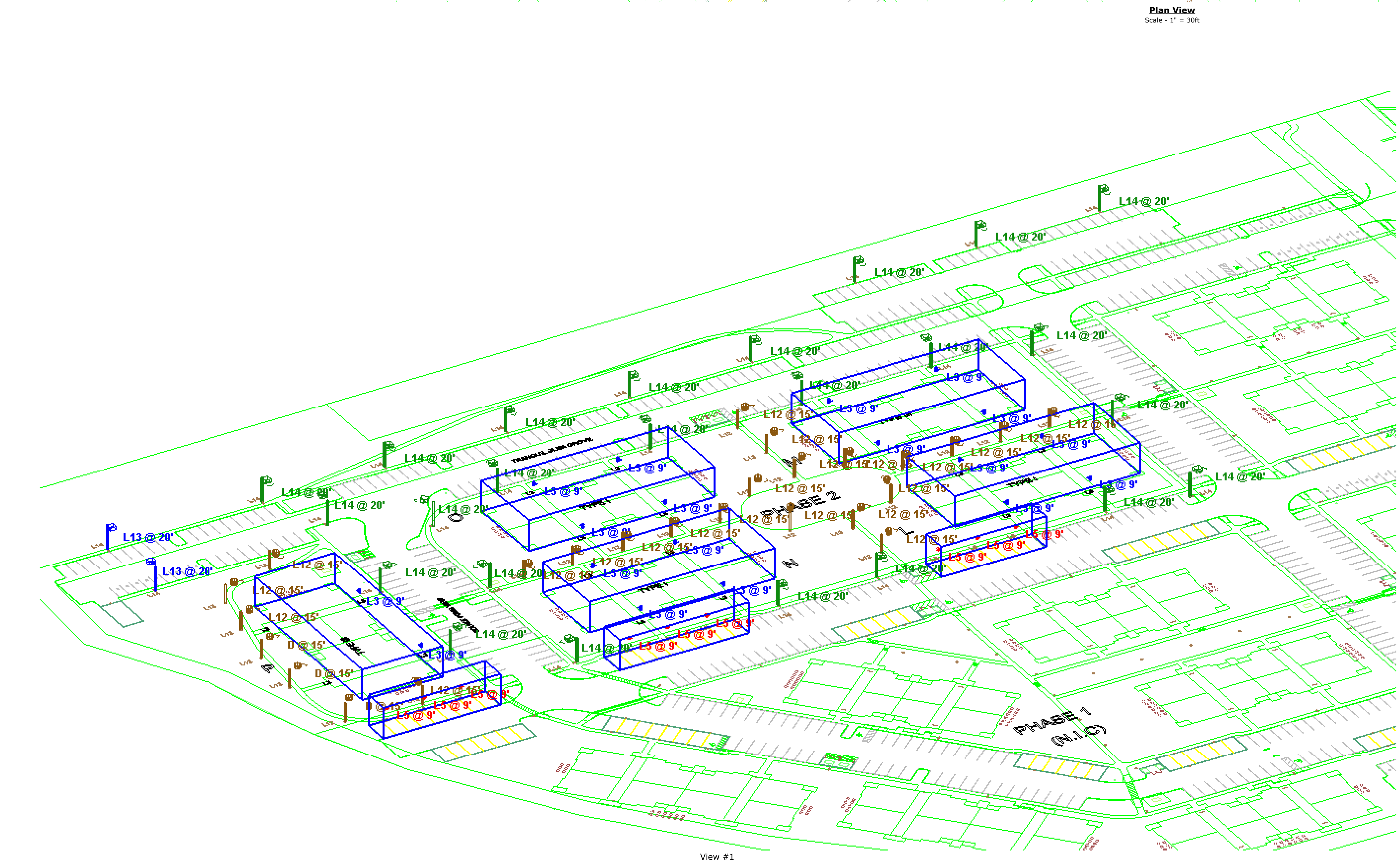
Introduction

The D-Series Area Luminaire is a stylish, fully integrated LED luminaire designed for a wide range of applications. It features a sleek, modern design and is available in a variety of finishes. The luminaire is a perfect lighting and architectural statement. The luminaire is a perfect lighting and architectural statement. The luminaire is a perfect lighting and architectural statement.

Ordering Information

EXAMPLE: DS1A LED P7 40K 12M MVOLT SPA D0210

Order Code	Color	Finish	Material	Height	Width	Depth	Weight
DS1A LED P7 40K 12M MVOLT SPA D0210	White	Black	Aluminum	13.5"	13.5"	4.5"	1.5 lbs



- Note**
- Readings shown are based on a total LFL of as shown at grade. Data references the extrapolated performance projections in a 25c ambient based on 10,000 hrs of LED tested (per IESNA LM-80-08 and projected per IESNA TM-30).
 - Please refer to the "luminaire locations" for mounting heights.
 - Product information can be obtained at www.lithonia.com or through your local agency.

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Phase 2 Center Walkway	■	4.2 fc	6.8 fc	1.8 fc	3.8:1	2.3:1
Phase 2 Parking Area	■	2.8 fc	7.1 fc	0.0 fc	N/A	N/A
Phase 2 West Walkway Summary	■	4.0 fc	13.9 fc	0.7 fc	19.9:1	5.7:1
Spill Light Summary	■	1.3 fc	13.9 fc	0.0 fc	N/A	N/A

Schedule

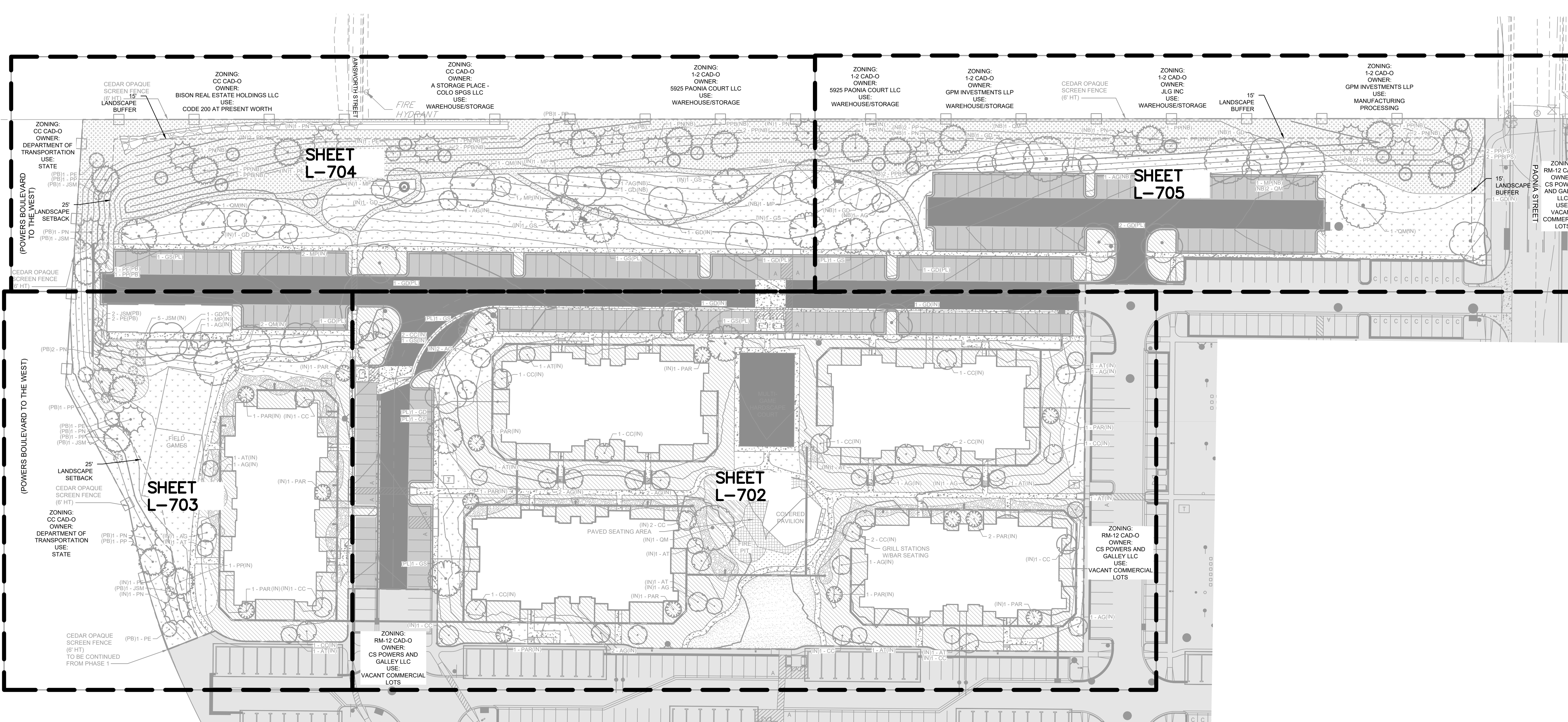
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lumens	Light Loss Factor	Total Lumens	Wattage	Distribution
L3	L3	18	Lithonia Lighting	RADEAN P1 40K PATH HS	RADEAN Post-Top with P1 4000K Pathway distribution with house side shield	1	2380	0.91	214134	TYPE IV, SHORT, BUG RATING: B1 - U2 - G2
L5	L5	9	Lithonia Lighting	WDSZ LED P3 40K BDCR1 W	WDSZ LED WITH P3 - PERFORMANCE PACKAGE, 4000K, BDCR1, VISUAL COMFORT WIDE OPTIC	1	3213	0.95	3213	TYPE III, VERY SHORT, BUG RATING: B1 - U0 - G0
L12	L12	22	Lithonia Lighting	RADEAN P4 40K 5YM	RADEAN Post-Top with P4 4000K Symmetric Distribution	1	11606	0.91	11606	TYPE IV, BUG RATING: B1 - U2 - G2
L13	L13	24	Lithonia Lighting	DSX1 LED P3 40K 14M MVOLT HS GL	DSX1 LED P3 40K 14M MVOLT with house side shield	1	8758	0.92	8758	TYPE III, SHORT, BUG RATING: B1 - U0 - G2
L14	L14	2	Lithonia Lighting	DSX1 LED P6 40K 12M MVOLT	DSX1 LED P6 40K 12M MVOLT	1	18997	0.92	18997	TYPE III, MEDIUM, BUG RATING: B1 - U0 - G3

Note

This architectural lighting submission is provided only for informational purposes and to help the customer or end-user (as applicable) understand how various sections of linear fixtures connect to each other and how they mount to the ceiling. This lighting submission is based on the information provided to Acuity Brands, and is provided without warranty, completeness, reliability, or otherwise. If the information (including but not limited to floor-plans, reflected ceiling plans and specifications) provided to Acuity Brands is incomplete or not current (i.e., newer versions exist), the accuracy of proposed design may be adversely affected. Once this lighting submission is received by the customer or end-user (as applicable), it is the obligation of the customer or end-user (as applicable) to consult with a professional engineering advisor to determine whether the proposed design meets the applicable project requirements, code compliance, safety, suitability and effectiveness for use in a particular application. In no event will Acuity Brands be responsible for any loss resulting from any use of any information contained in this lighting submission.

Designer
R Cunningham
Date
01/31/2023
Scale
As Shown
Drawing No.
121664-8-A1
Summary

K:\COS_LA\196140002 - Cimarron Hills\Phase 2\CADD\PlanSheets\CD\196140002 - CD_LA.dwg Kotte, Alex 12/19/2022 9:10 AM



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
L-701	LANDSCAPE SHEET INDEX
L-702	LANDSCAPE SITE DEVELOPMENT PLAN
L-703	LANDSCAPE SITE DEVELOPMENT PLAN
L-704	LANDSCAPE SITE DEVELOPMENT PLAN
L-705	LANDSCAPE SITE DEVELOPMENT PLAN
L-706	LANDSCAPE NOTES
L-707	LANDSCAPE DETAILS

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 2 North Nevada Avenue, Suite 300
 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: MVZ
 DRAWN BY: MVZ/RES
 CHECKED BY: EJG
 DATE: 09/19/2022

SOLACE APARTMENTS, FILING NO. 2, LOT 1
 SITE DEVELOPMENT PLAN
 LANDSCAPE SHEET INDEX

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 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096668009

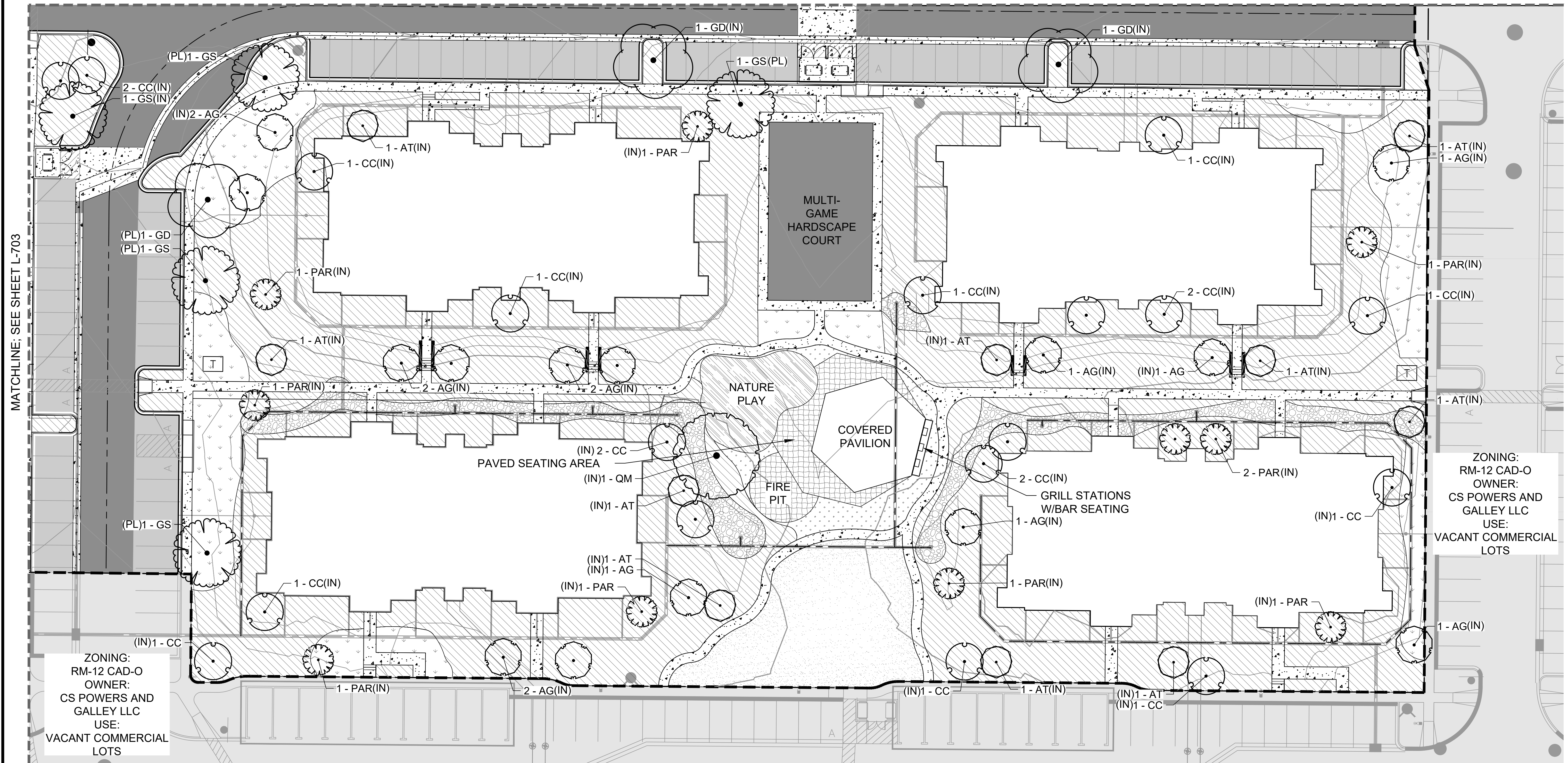
SHEET
 L-701



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MATCHLINE; SEE SHEET L-704

MATCHLINE; SEE SHEET L-705



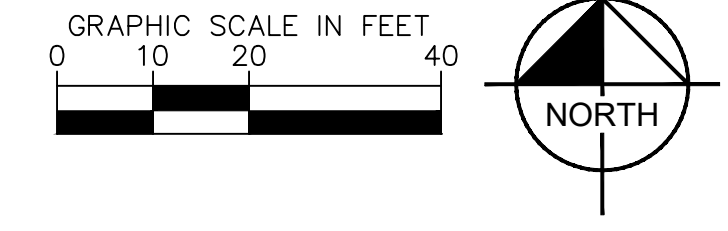
ZONING:
RM-12 CAD-O
OWNER:
CS POWERS AND
GALLEY LLC
USE:
VACANT COMMERCIAL
LOTS

ZONING:
RM-12 CAD-O
OWNER:
CS POWERS AND
GALLEY LLC
USE:
VACANT COMMERCIAL
LOTS

PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL	WIDTH	HEIGHT
AG	21		ACER GRANDIDENTATUM / HIGHLAND PARK / HIGHLAND PARK MAPLE	B & B	1.5" CAL MIN	18'-22'	25'-35'
AT	13		ACER GRINALE 'FLAME' / FLAME AMUR MAPLE	B & B	1.5" CAL MIN	15'-20'	15'-20'
CC	21		CRATAEGUS CRUS-GALLI 'INERMIS' / THORNTLESS COCKSPUR HAWTHORN	B & B	1.5" CAL MIN	15'-20'	15'-25'
GD	18		GYMNOCALADUS DIDICA 'ESPRESSO' / KENTUCKY COFFEE TREE (SEEDLESS)	B & B	1.5" CAL MIN	40'-50'	50'-60'
GS	11		GLEDITSIA TRICANTHOS 'IMPOCLE' / IMPERIAL SEEDLESS HONEY LOCUST	B & B	1.5" CAL MIN	30'-40'	30'-40'
MP	10		MALUS 'PRAIRIFIRE' / PRAIRIFIRE CRABAPPLE	B & B	1.5" CAL MIN	15'-20'	15'-20'
QM	10		QUERCUS MACROCARPA / BURR OAK	B & B	1.5" CAL MIN	50'-60'	50'-60'
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL	WIDTH	HEIGHT
JSM	11		JUNIPERUS SCOPULORUM 'MOONGLOW' / MOONGLOW JUNIPER LOW ROOT DAMAGE POTENTIAL	B & B	6" HGT.	6'-8'	12'-15'
PAR	14		PINUS ARISTATA / BRISTLEcone PINE LOW ROOT DAMAGE POTENTIAL	B & B	6" HGT.	10'-20'	20'-40'
PE	10		PINUS EDULIS / PINON PINE LOW ROOT DAMAGE POTENTIAL	B & B	6" HGT.	10'-20'	20'-30'
PN	17		PINUS NIGRA / AUSTRIAN BLACK PINE	B & B	6" HGT.	30'-40'	40'-60'
PP	19		PINUS PONDEROSA / PONDEROSA PINE	B & B	6" HGT.	30'-40'	60'+
PPB	14		PICEA PUNGENS 'BABY BLUEEYES' / BABY BLUE EYES SPRUCE	B & B	6" HGT.	10'-15'	20'-30'

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	TYPE	INSTALL RATE	WEED FABRIC	MFR.
BREEZE	5,951 SF		PIONEER GRANITE BREEZE / PIONEER SAND & GRAVEL	BREEZE	4"	YES	PIONEER SAND & GRAVEL
COBL A	65,506 SF		ROCK MULCH / 1 1/2"-3" RIVER ROCK	ROCK MULCH	4" DEPTH	YES	PIONEER SAND
COBL B	6,597 SF		3/4" RIVER ROCK COBBLESTONE SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	ROCK MULCH	6-12" DEPTH	YES	PIONEER SAND & GRAVEL
SEED1	69,394 SF		EPIC ALL-PURPOSE LOW GROW MIX / EL PASO COUNTY. SCGM MANUAL TABLE 5-2 INSTALL PER TABLE 5-2 (42 LBS PLS) SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	SEED			PAWNEE BUTTES SEED
SEED2	43,024 SF		TALL FESCUE SEED MIX / ARKANSAS VALLEY SEED INSTALL PER MANUFACTURERS SPECIFICATIONS	SEED			PAWNEE BUTTES SEED
SOD	4,048 SF		POA PRATENSIS / KENTUCKY BLUEGRASS	SOD			PAWNEE BUTTES SEED
XB	1,413 SF		PLAYGROUND GROUND MATERIAL	PLAYGROUND FILL MATERIAL			
XP	1,602 SF		FLAGSTONE PAVERS	PAVERS			



BY: DATE: APPR:
REVISION: NO.:

Kimley»Horn
2022 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 300
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: MVZ
DRAWN BY: MVZ/RES
CHECKED BY: EJG
DATE: 09/19/2022

SOLACE APARTMENTS, FILING NO. 2, LOT 1
SITE DEVELOPMENT PLAN
LANDSCAPE PLAN 1

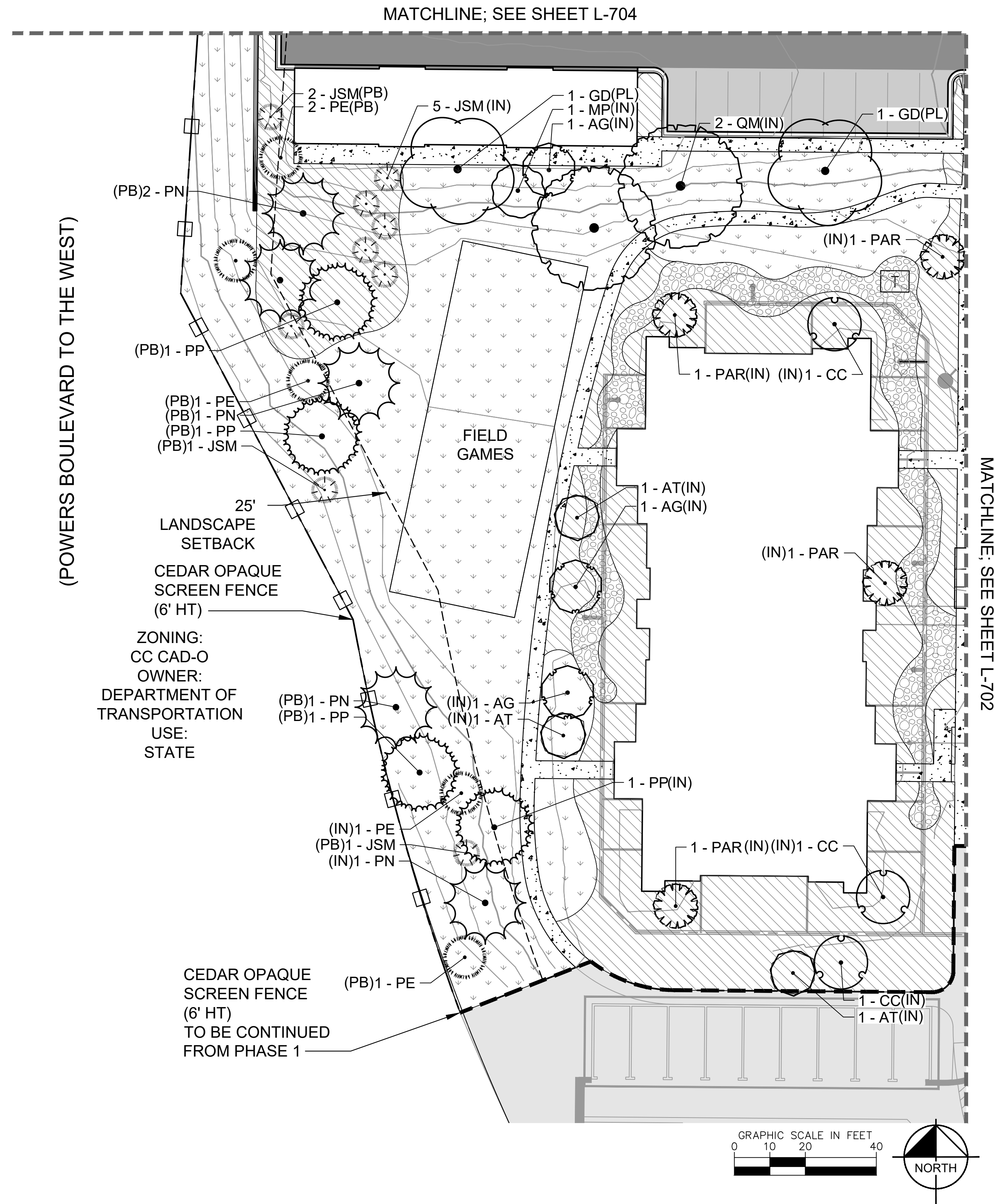
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PROJECT NO.
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SHEET
L-702

811 Know what's below.
Call before you dig.

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PLANT SCHEDULE

DECIDUOUS TREES			CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL	WIDTH	HEIGHT
AG	21	ACER GRANDIDENTATUM / HIGHLAND PARK / HIGHLAND PARK MAPLE	B & B		1.5' CAL MIN	18'-22'	25'-35'		
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CC	21	CRATAEGUS CRUS-GALLI / 'NERMS' / THORNLESS COCKSPUR HAWTHORN	B & B		1.5' CAL MIN	15'-20'	15'-20'		
GD	18	GYMNOCALADUS DIOICA / 'ESPRESSO' / KENTUCKY COFFEE TREE (SEEDLESS)	B & B		1.5' CAL MIN	40'-50'	50'-60'		
GS	11	GLEDTISIA TRIACANTHOS / 'IMPCOLE' / IMPERIAL SEEDLESS HONEY LOCUST	B & B		1.5' CAL MIN	30'-40'	30'-40'		
MP	10	MALUS 'PRAIRIFIRE' / PRAIRIFIRE CRABAPPLE	B & B		1.5' CAL MIN	15'-20'	15'-20'		
QM	10	QUERCUS MACROCARPA / BURR OAK	B & B		1.5' CAL MIN	50'-60'	50'-80'		
EVERGREEN TREES			CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL	WIDTH	HEIGHT
JSM	11	JUNIPERUS SCOPULORUM / 'MOONGLOW' / MOONGLOW JUNIPER LOW ROOT DAMAGE POTENTIAL	B & B		6' HGT.	6'-8'	12'-15'		
PAR	14	PINUS ARISTATA / BRISTLEcone PINE LOW ROOT DAMAGE POTENTIAL	B & B		6' HGT.	10'-20'	20'-40'		
PE	10	PINUS EDULIS / PINON PINE LOW ROOT DAMAGE POTENTIAL	B & B		6' HGT.	10'-20'	20'-30'		
PN	17	PINUS NIGRA / AUSTRIAN BLACK PINE	B & B		6' HGT.	30'-40'	40'-60'		
PP	19	PINUS PONDEROSA / PONDEROSA PINE	B & B		6' HGT.	30'-40'	60'+		
PPB	14	PICEA PUNGENS / 'BABY BLUEEYES' / BABY BLUE EYES SPRUCE	B & B		6' HGT.	10'-15'	20'-30'		
GROUND COVERS			CODE	QTY	BOTANICAL / COMMON NAME	TYPE	INSTALL RATE	WEED FABRIC	MFR.
BREEZE	5,951 SF	PIONEER GRANITE BREEZE / PIONEER SAND & GRAVEL	BREEZE		4"	YES	PIONEER SAND & GRAVEL		
COBL A	65,595 SF	ROCK MULCH / 1 1/2" 3" RIVER ROCK	ROCK MULCH		4" DEPTH	YES	PIONEER SAND		
COBL B	6,597 SF	3-4" RIVER ROCK COBBLESTONE SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION	ROCK MULCH		6-12" DEPTH	YES	PIONEER SAND & GRAVEL		
SEED1	69,394 SF	EPC ALL-PURPOSE LOW GROW MIX / EL PASO COUNTY, SCM MANUAL TABLE 5-2 INSTALL PER TABLE 5-2, (42 LBS PLS) SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION	SEED				PAWNEE BUTTES SEED		
SEED2	43,024 SF	TALL FESCUE SEED MIX / ARKANSAS VALLEY SEED INSTALL PER MANUFACTURERS SPECIFICATIONS	SEED				PAWNEE BUTTES SEED		
SOD	4,048 SF	POA PRATENSIS / KENTUCKY BLUEGRASS	SOD				PAWNEE BUTTES SEED		
X8	1,413 SF	PLAYGROUND GROUND MATERIAL	PLAYGROUND FALL MATERIAL						
X9	1,602 SF	FLAGSTONE PAVERS	PAVERS						

Kimley Horn

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Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: MVZ
DRAWN BY: MVZ/RES
CHECKED BY: EJG
DATE: 09/19/2022

SOLACE APARTMENTS, FILING NO. 2, LOT 1
SITE DEVELOPMENT PLAN
LANDSCAPE PLAN 2

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Kimley-Horn and Associates, P.C.

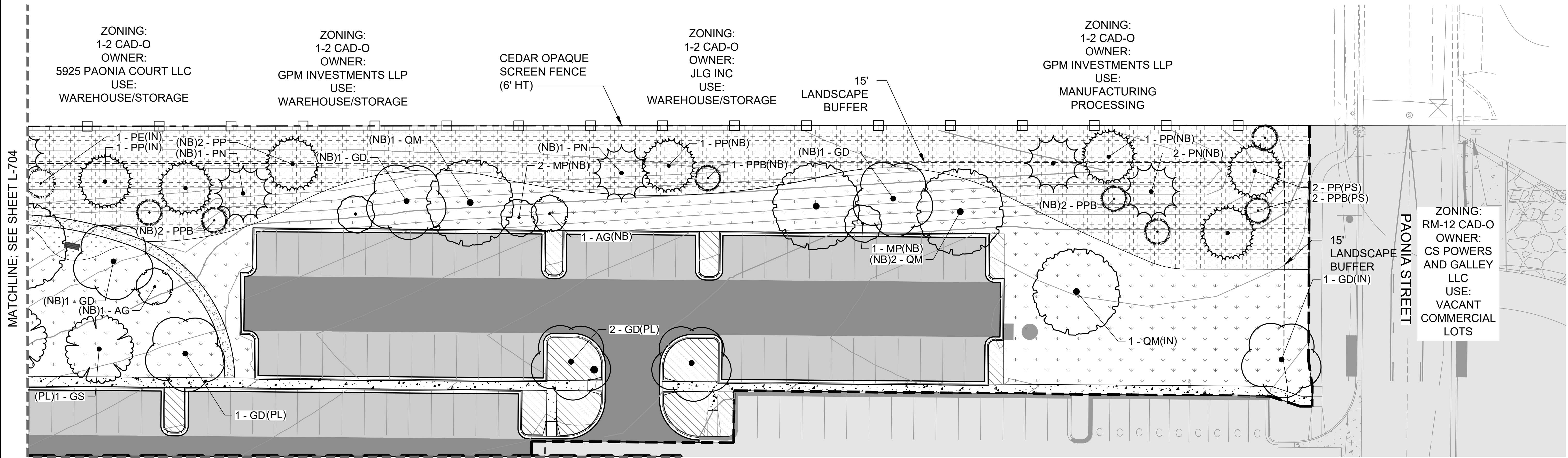
PROJECT NO.
096668009

SHEET
L-703



NO.	REVISION	BY	DATE	APPR

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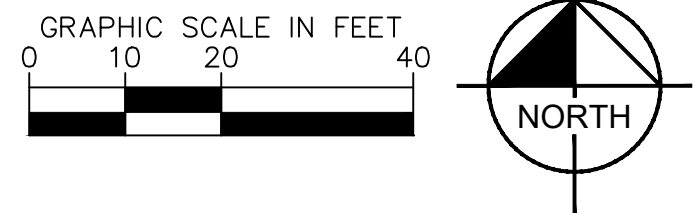


MATCHLINE; SEE SHEET L-704

MATCHLINE; SEE SHEET L-702

PLANT SCHEDULE

DECIDUOUS TREES				CONT. SIZE	SIZE/CAL.	WIDTH	HEIGHT
CODE	QTY	BOTANICAL / COMMON NAME					
AG	21	ACER GRANDIDENTATUM 'HIGHLAND PARK' / HIGHLAND PARK MAPLE	B & B		1.5" CAL MIN	18'-22'	25'-35'
AT	13	ACER GARNALA 'FLAME' / FLAME AMUR MAPLE	B & B		1.5" CAL MIN	15'-20'	15'-20'
CC	21	CRATAEGUS CRUS-GALLI 'INERMIS' / THORNLESS COCKSPUR HAWTHORN	B & B		1.5" CAL MIN	15'-20'	15'-25'
GD	18	GYMNOCLADUS DIOICA 'ESPRESSO' / KENTUCKY COFFEE TREE (SEEDLESS)	B & B		1.5" CAL MIN	40'-50'	50'-60'
GS	11	GLEDITSIA TRICANTHOS 'IMPERIAL' / IMPERIAL SEEDLESS HONEY LOCUST	B & B		1.5" CAL MIN	30'-40'	30'-40'
MP	10	MALUS 'PRAIRIFIRE' / PRAIRIFIRE CRABAPPLE	B & B		1.5" CAL MIN	15'-20'	15'-20'
QM	10	QUERCUS MACROCARPA / BURR OAK	B & B		1.5" CAL MIN	50'-60'	50'-60'
EVERGREEN TREES				CONT. SIZE	SIZE/CAL.	WIDTH	HEIGHT
CODE	QTY	BOTANICAL / COMMON NAME					
JSM	11	JUNIPERUS SCOPULORUM 'MOONGLOW' / MOONGLOW JUNIPER LOW ROOT DAMAGE POTENTIAL	B & B		6" HGT.	6'-8'	12'-15'
PAR	14	PINUS ARISTATA / BRISTLEcone PINE LOW ROOT DAMAGE POTENTIAL	B & B		6" HGT.	10'-20'	20'-40'
PE	10	PINUS EDULIS / PINON PINE LOW ROOT DAMAGE POTENTIAL	B & B		6" HGT.	10'-20'	20'-30'
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PP	19	PINUS PONDEROSA / PONDEROSA PINE	B & B		6" HGT.	30'-40'	60'+
PPB	14	PICEA PUNGENS 'BABY BLUEEYES' / BABY BLUE EYES SPRUCE	B & B		6" HGT.	10'-15'	20'-30'
GROUND COVERS				TYPE	INSTALL RATE	WEED FABRIC	MFR.
CODE	QTY	BOTANICAL / COMMON NAME					
BREEZE	5,861 SF	PIONEER GRANITE BREEZE / PIONEER SAND & GRAVEL	BREEZE		4"	YES	PIONEER SAND & GRAVEL
COBL A	65,506 SF	ROCK MULCH 1 1/2"-3" RIVER ROCK	ROCK MULCH		4" DEPTH	YES	PIONEER SAND
COBL B	6,597 SF	3/4" RIVER ROCK COBBLESTONE SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	ROCK MULCH		6-12" DEPTH	YES	PIONEER SAND & GRAVEL
SEED1	69,364 SF	EPC ALL-PURPOSE LOW GROW MIX / EL PASO COUNTY, SCM MANUAL TABLE 5-2 INSTALL PER TABLE 5-2 (42 LBS / 9.53) SUBMIT SUPPLIER CUT-SHEET FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	SEED				PAWNEE BUTTES SEED
SEED2	43,024 SF	TALL FESCUE SEED MIX / ARKANSAS VALLEY SEED INSTALL PER MANUFACTURERS SPECIFICATIONS	SEED				PAWNEE BUTTES SEED
SOD	4,048 SF	POA PRATENSIS / KENTUCKY BLUEGRASS	SOD				PAWNEE BUTTES SEED
X8	1,413 SF / PLAYGROUND GROUND MATERIAL	PLAYGROUND FALL MATERIAL				
X9	1,602 SF / FLAGSTONE PAVERS	PAVERS				



NO.	REVISION	BY	DATE	APPR.

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DESIGNED BY: MVZ
 DRAWN BY: MVZ/RES
 CHECKED BY: EJG
 DATE: 09/19/2022

SOLACE APARTMENTS, FILING NO. 2, LOT 1
 SITE DEVELOPMENT PLAN
 LANDSCAPE PLAN 4

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Kimley»Horn
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PROJECT NO.
 096668009

SHEET
 L-705



GENERAL LANDSCAPE SPECIFICATIONS

- A. SCOPE OF WORK**
- THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
 - WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.
- B. PROTECTION OF EXISTING STRUCTURES**
- ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGHOUT THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION, THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- C. PROTECTION OF EXISTING PLANT MATERIALS**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC.. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
 - SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.
- D. MATERIALS**
- GENERAL**
MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER, UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)
 - PLANT MATERIALS**
 - FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT, AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
 - TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
 - NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
 - PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 AND COLORADO NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
 - PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
 - TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK (INCLUDED BARK); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN 1/2 INCH (19 MM) IN DIAMETER, OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
 - FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
 - LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES, INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
 - IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.
- E. SOIL MIXTURE**
- CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW.
 - SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
 - TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 6.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
 - SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
 - TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
- F. WATER**
- WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.... IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- G. FERTILIZER**
- CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

- H. MULCH**
- MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES CLEAR MULCH FROM EACH PLANT'S CROWN (BASE) OR AS SHOWN IN PLANTING DETAILS. MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (6" MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.
- I. DIGGING AND HANDLING**
- ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
 - PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTFRUP" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
 - B&B AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.
- J. CONTAINER GROWN STOCK**
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
 - AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
 - ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
- K. MATERIALS LIST**
- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.
- L. FINE GRADING**
- FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
 - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.
- M. PLANTING PROCEDURES**
- THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIALS SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
 - VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
 - FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
 - COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
 - WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
 - ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.
 - TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL.
 - TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
 - PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
 - EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
 - IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 6".
 - TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
 - TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
 - SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.
 - TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
 - AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.

- FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.
 - ALL BURLAP, ROPE, WIRES, BASKETS, ETC... SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
 - TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.
 - SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6"; REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
 - TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
 - ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTED BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)
- N. LAWN SODDING**
- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE. IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
 - ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
 - PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
 - SODDING
 - THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
 - SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
 - DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
 - LAWN MAINTENANCE
 - WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADING IF NECESSARY.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.
 - EDGING
 - CONTRACTOR SHALL INSTALL 4"x4" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.
 - CLEANUP
 - UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTOR'S WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.
 - PLANT MATERIAL MAINTENANCE
 - ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
 - FINAL INSPECTION AND ACCEPTANCE OF WORK
 - FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.
 - WARRANTY
 - THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
 - ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
 - IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.
 - PARKING LOT ISLAND NOTE
 - THE SOIL OF ANY PLANTER WITHIN THE PARKING LOT SHALL BE STRUCTURALLY RENOVATED (TILLED) OR REMOVED TO A DEPTH OF THIRTY INCHES (30") AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES INDICATED FOR INSTALLATION.
 - MAINTENANCE
 - LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER, AND/ OR THEIR ASSIGNS.
 - ALL STREET TREES AND STREETScape IMPROVEMENTS LOCATED IN THE R.O.W. WILL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.

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NO.	REVISION	DATE	APPR

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DESIGNED BY: MVZ
 DRAWN BY: MVZ/REG
 CHECKED BY: EJS
 DATE: 09/19/2022

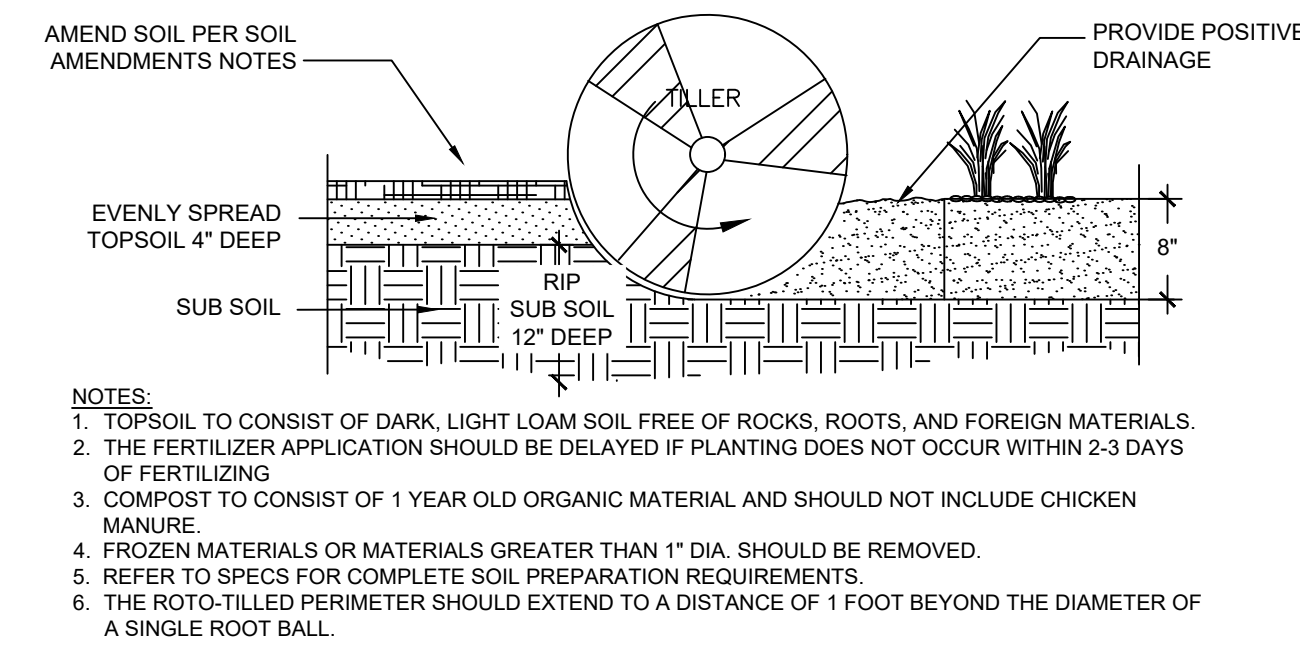
SOLACE APARTMENTS, FILING NO. 2, LOT 1
 SITE DEVELOPMENT PLAN
 LANDSCAPE NOTES

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR
 CONSTRUCTION
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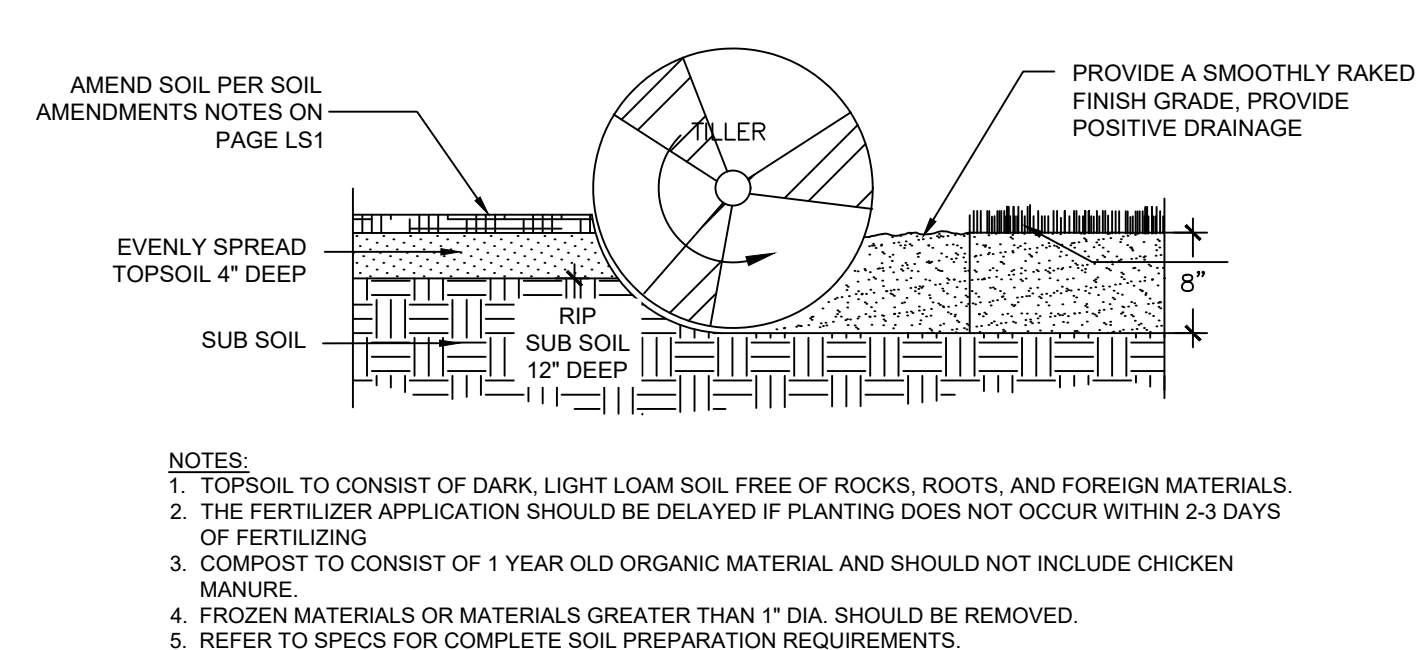
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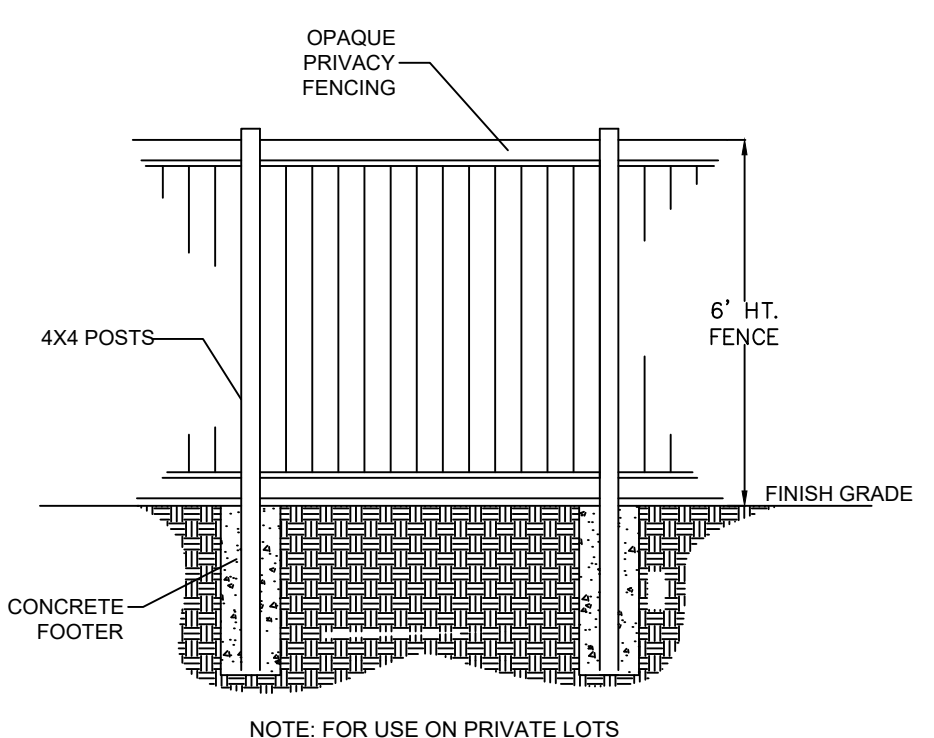
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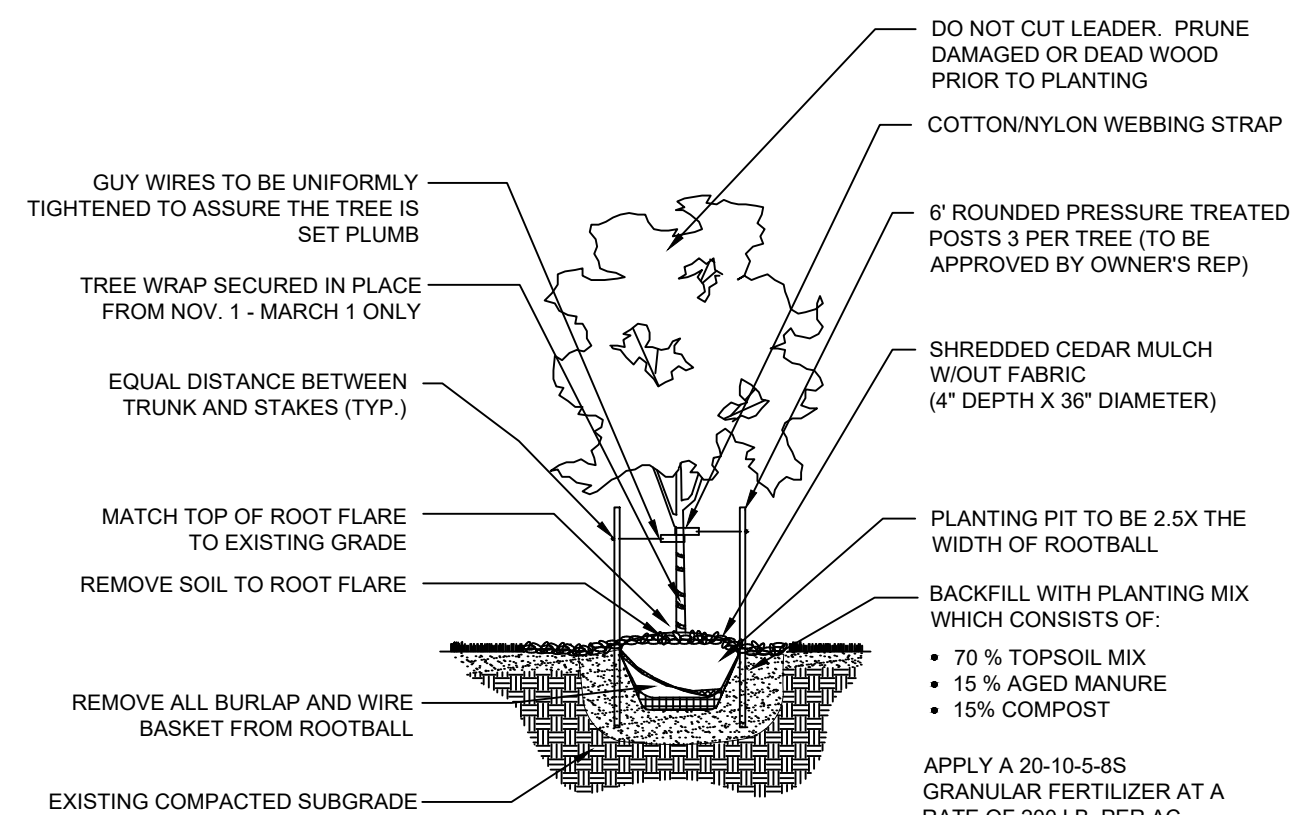
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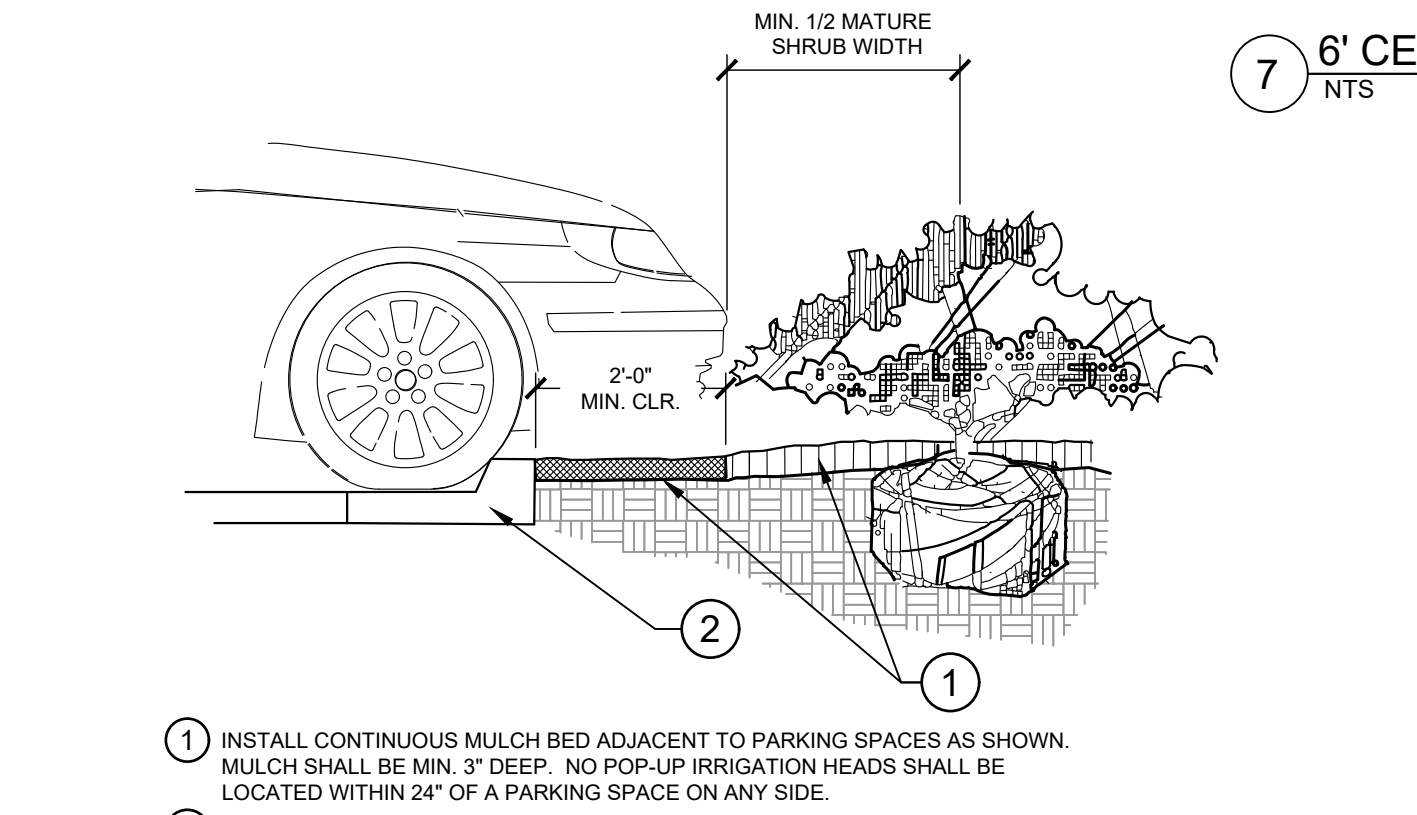
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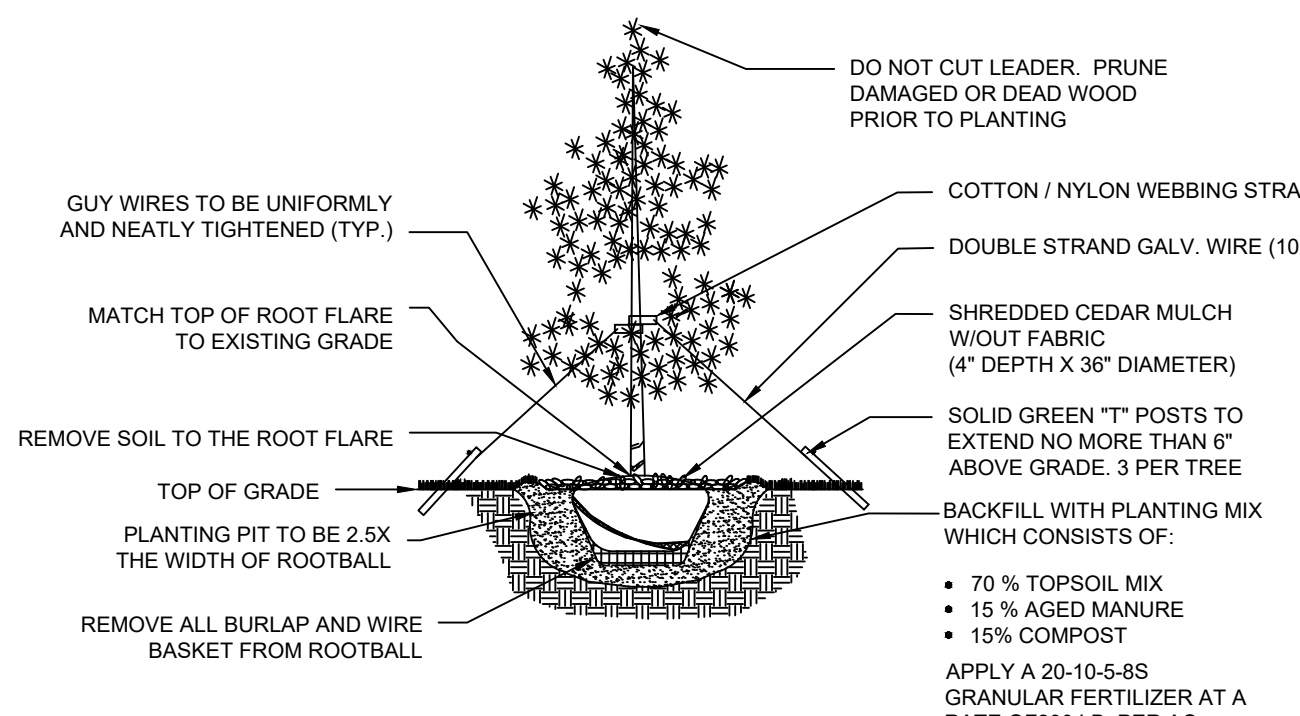
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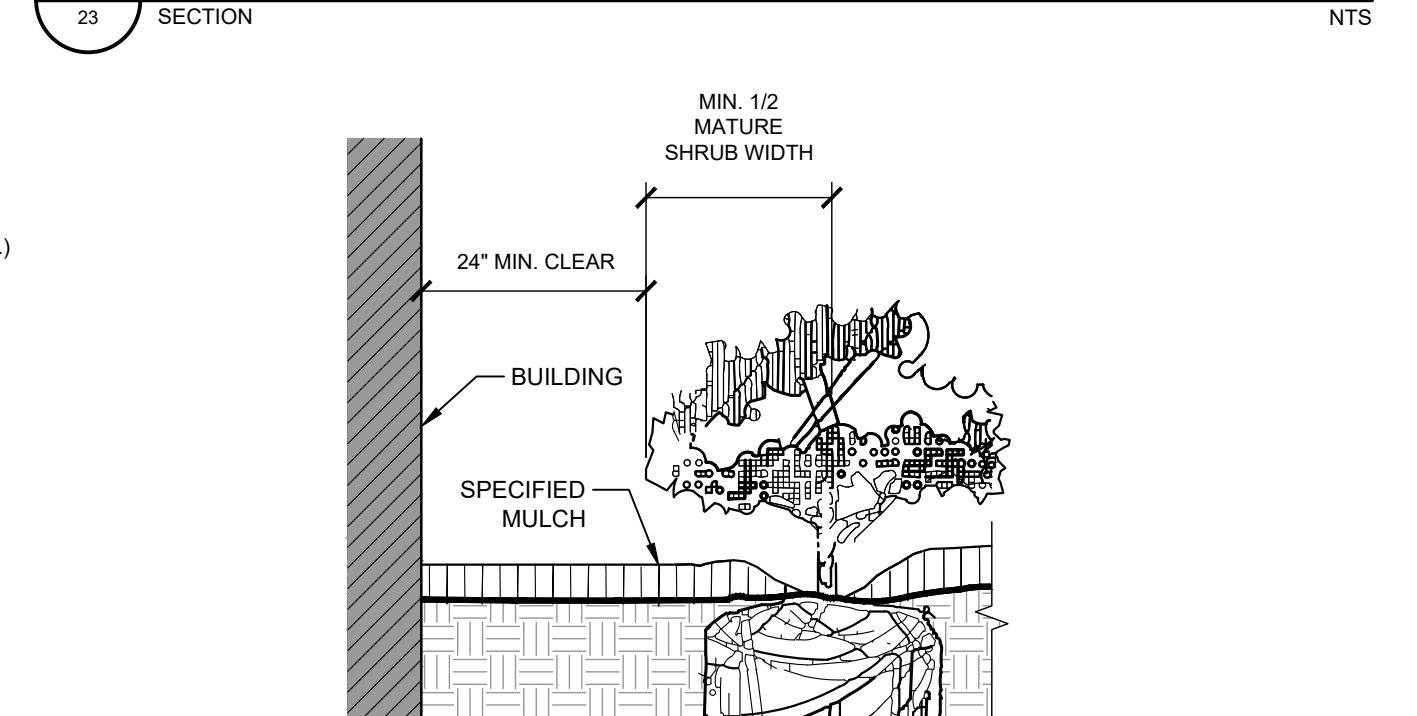
2 DECIDUOUS TREE PLANTING
NTS 196-140-002-02



5 PARKING SPACE/CURB PLANTING
SECTION 23 NTS



3 EVERGREEN TREE PLANTING
NTS 196-140-002-03



6 PLANTINGS ADJACENT TO BUILDINGS
NTS 196-140-002-07

INTERNAL LANDSCAPING	
NET SITE AREA:	340,795 SF (7.82 AC)
PERCENT MINIMUM INTERNAL AREA:	15%
INTERNAL LANDSCAPE AREA REQ. / PROV.	51,120 SF / 167,796 SF
TREE PER FEET REQ.	1 TREE PER 500 SF
INTERNAL TREES REQ. / PROV.	103 / 104
SHRUB SUBSTITUTES REQ. / PROV.	N/A
ORN. GRASS SUBSTITUTES REQ. / PROV.	N/A
PLANT ABBREVIATION DENOTED ON PLAN:	IN
% GROUND PLANE VEG. REQ. / PROV.	50% / 50%

PARKING LOT LANDSCAPING	
NUMBER OF VEHICLE SPACES PROVIDED:	224
SHADE TREES REQUIRED:	1 TREE PER 15 STALLS
SHADE TREES REQ. / PROV.:	15 / 15
PARKING LOT FRONTAGES:	NORTH
LENGTH OF FRONTAGE:	253'
LENGTH OF 3' TALL SCREENING PLANTS REQ. / PROV.:	169' / 169' *
LENGTH OF BERM OR FENCE REQ. / PROV.:	1082'
PLANT ABBREVIATION DENOTED ON PLAN:	PL

* SCREENING REQUIREMENT MET THROUGH GRADING OF SITE AND EVERGREEN PLANTINGS TO THE NORTH.

LANDSCAPE SETBACKS AND BUFFERS			
STREET NAME OR BOUNDARY:	POWERS BLVD	PAONIA ST	NORTH BUFFER
ZONE DISTRICT BOUNDARY:	YES	YES	YES
STREET CLASSIFICATION:	EXPRESSWAY	NON-ARTEIAL	N/A
SETBACK DEPTH REQUIRED / PROVIDED:	25' / 25'	10' / 10'	15' / 100' +
LINEAR FOOTAGE:	425'	113'	1082'
TREE PER FEET REQ.:	1 TREE PER 20 LF	1 TREE PER 30 LF	1 TREE PER 25 LF
NUMBER OF TREES REQ. / PROV.	22 / 22	4 / 4	44 / 44
EVERGREEN TREES REQ. / PROV.	8 / 22	2 / 4	15 / 26
SHRUB SUBSTITUTES REQ. / PROV.	N/A	N/A	N/A
ORN. GRASS SUBSTITUTES REQ. / PROV.	N/A	N/A	N/A
OPAQUE SCREEN REQ. / PROV.	N/A	N/A	1082' / 1082'
PLANT ABBREVIATION DENOTED ON PLAN:	PB	PS	NB
% GROUND PLANE VEG. REQ. / PROV.	75% / 75%	75% / 75%	75% / 100%

Kimley»Horn
 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 2 North Nevada Avenue, Suite 300
 Colorado Springs, Colorado 80903 (719) 453-0180

SOLACE APARTMENTS, FILING NO. 2, LOT 1
 SITE DEVELOPMENT PLAN
 LANDSCAPE DETAILS

DESIGNED BY: MVZ
 DRAWN BY: MVZ/RES
 CHECKED BY: EJJ
 DATE: 09/19/2022

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR
 CONSTRUCTION
Kimley»Horn
 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096668009
 SHEET
 L-707

REVISION
 NO.
 BY
 DATE
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