

June 7, 2024

Brady Shyrock, on Behalf of Galloway
1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920

RE: Lot 2 Elm Grove Villa - Smith Plumbing & Heating; Water Quality Detention Pond Certification

Dear Natahsa Grimaldo,

Please accept this letter as formal documentation of conformance of the Water Quality Detention Pond for stormwater quality and detention at the Lot 2 Elm Grove Villa - Smith Plumbing & Heating development. The Lot 2 Elm Grove Villa - Smith Plumbing & Heating (Site) is located at 1875 Main Street, Colorado Springs within El Paso County, Colorado. The project site is located east of Main Street, which is also designated as Hancock Expressway and south/southwest of Bradley Road. The Site is located in the Southwest $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 01, Township 15 South, Range 66 West of the 6th Principal Meridian, City of Colorado Springs, County of El Paso, State of Colorado.

Survey data detailing the Water Quality Detention Pond at the site was provided to Galloway & Company, Inc. on February 14, 2024 and updated February 23, 2024 & March 12, 2024, by Ridge Line Land Surveying. The pond was constructed based on the pond design prepared by Galloway, Inc. in the approved Lot 2 Elm Grove Villa Subdivision Final Drainage Report dated March, 2022.

WQCV Design

The WQCV has a volume of 0.030-acre feet and a depth of 2.74 feet. The WQCV has a 99% drain time of 45 hours which is in conformance with MHFD Criteria and City of Colorado Springs Criteria.

EURV, 5-Year, & 100-Year Design

Per the approved FDR, the EURV and 100-year volumes will be conveyed via the Modified CDOT Type C Outlet structure to the existing inlet, downstream to the existing concrete flume, and outfalls into the existing 6' concrete valley pan flowing in a southward direction within the townhome site. concrete pan and Elm Grove Drive roadway section with curb & gutter). The proposed development does not increase runoff being discharged from the site, therefore the pond release flows can sufficiently be handled by the existing conveyance system as originally intended. Runoff then sheet flows across Elm Grove Drive (to the east) to an existing low point on the east side of Elm Grove Drive (existing concrete chase), to the existing concrete rundown structure and into the existing pond situated to the south of the existing townhomes. Storm events larger than the 100-year storm will overtop the emergency overflow weir and free release into the structures as described below.



The water quality volume release will be controlled with an orifice plate that will release over a period of 45 hours. The water quality pond will release treated flows into the existing flume and existing 6' concrete valley pan within the Elm Grove Villa townhome development to the south as described above. According to the approved **FDR**, the existing detention pond to the south was designed to accommodate runoff from this development and is functioning as intended.

Total area which will not be treated via the on-site facility is less than 1.0 acre and less than 20%, which of the total site, as required.

Miscellaneous

As-builts were also conducted to verify the construction of the forebay and trickle channel. Based on those as-builts the forebay and trickle channel are in substantial compliance with the approved design.

Conclusion

In summary I, Brady Shyrock, a registered professional engineer in the State of Colorado, do hereby affirm, to the best of my knowledge, based on the as-built survey provided by Ridge Line Land Surveying and information provided to date by the general contractor, the Water Quality Detention Pond for Lot 2 Elm Grove Villa - Smith Plumbing & Heating and associated drainage facilities were constructed in accordance with the design intent of the approved drainage report and construction drawings, and in accordance with local standards and specifications, regional jurisdictional design criteria and state statutes.

The site and adjacent properties (as affected by work performed under the County permit) are stable with respect to settlement and subsidence, sloughing of cut and fill slopes, revegetation or other ground cover, and that the improvements (public improvements, common improvements, site grading and paving) meet or exceed the minimum design requirements.

The facilities outlined in this certification letter provide the required WQCV and will meet the required release rates (as documented by the attached MHFD design form), the stage areas, elevations, and outlet dimensions.

Should you have any further questions, or require additional information, please do not hesitate to contact me at (719) 900-7220.

Sincerely,
GALLOWAY

Lot 2 Elm Grove Villa
Water Quality Detention Pond Certification



Brady Shyrock, PE
Project Manager
BradyShyrock@GallowayUS.com

cc: John Radcliffe, PE
Principal & Regional Office Manager
JohnRadcliffe@GallowayUS.com

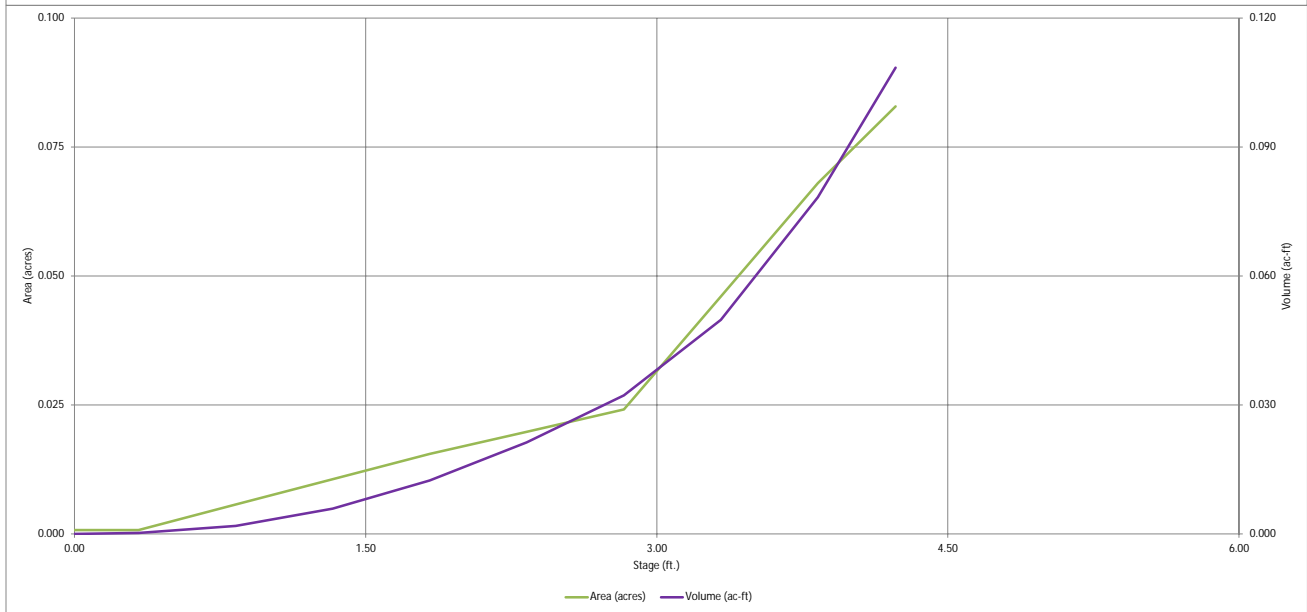
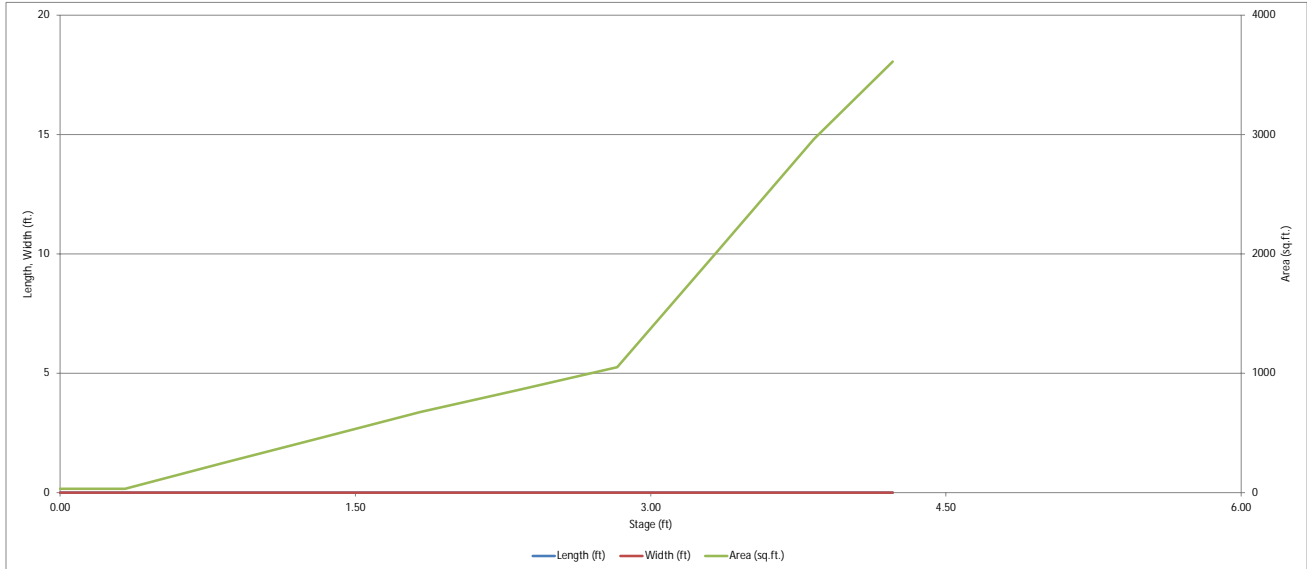


Attached Documents:

- MHFD WQ Detention Pond Calculations
- As-Built Drawings

DETENTION BASIN STAGE-STORAGE TABLE BUILDER

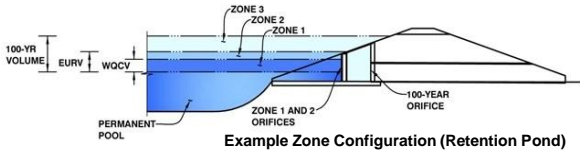
MHFD-*Detention, Version 4.05 (January 2022)*



DETENTION BASIN OUTLET STRUCTURE DESIGN

MHFD-Detention, Version 4.05 (January 2022)

Project: Smith Plumbing
Basin ID: WQCV Pond As-Built



	Estimated Stage (ft)	Estimated Volume (ac-ft)	Outlet Type
Zone 1 (WQCV)	2.74	0.030	Orifice Plate
Zone 2 (User)	3.34	0.020	Weir&Pipe (Restrict)
Zone 3			
Total (all zones)		0.050	

User Input: Orifice at Underdrain Outlet (typically used to drain WQCV in a Filtration BMP)

Underdrain Orifice Invert Depth = ft (distance below the filtration media surface)
Underdrain Orifice Diameter = inches

Calculated Parameters for Underdrain
Underdrain Orifice Area = ft²
Underdrain Orifice Centroid = feet

User Input: Orifice Plate with one or more orifices or Elliptical Slot Weir (typically used to drain WQCV and/or EURV in a sedimentation BMP)

Centroid of Lowest Orifice = 0.00 ft (relative to basin bottom at Stage = 0 ft)
Depth at top of Zone using Orifice Plate = 2.92 ft (relative to basin bottom at Stage = 0 ft)
Orifice Plate: Orifice Vertical Spacing = N/A inches
Orifice Plate: Orifice Area per Row = 0.12 sq. inches (diameter = 3/8 inch)

Calculated Parameters for Plate
WQ Orifice Area per Row = 8.333E-04 ft²
Elliptical Half-Width = N/A feet
Elliptical Slot Centroid = N/A feet
Elliptical Slot Area = N/A ft²

User Input: Stage and Total Area of Each Orifice Row (numbered from lowest to highest)

	Row 1 (required)	Row 2 (optional)	Row 3 (optional)	Row 4 (optional)	Row 5 (optional)	Row 6 (optional)	Row 7 (optional)	Row 8 (optional)
Stage of Orifice Centroid (ft)	0.01	1.09	2.09					
Orifice Area (sq. inches)	0.12	0.12	0.12					

	Row 9 (optional)	Row 10 (optional)	Row 11 (optional)	Row 12 (optional)	Row 13 (optional)	Row 14 (optional)	Row 15 (optional)	Row 16 (optional)
Stage of Orifice Centroid (ft)								
Orifice Area (sq. inches)								

User Input: Vertical Orifice (Circular or Rectangular)

Invert of Vertical Orifice = Not Selected Not Selected ft (relative to basin bottom at Stage = 0 ft)
Depth at top of Zone using Vertical Orifice = ft (relative to basin bottom at Stage = 0 ft)
Vertical Orifice Diameter = inches

Calculated Parameters for Vertical Orifice
Vertical Orifice Area = Not Selected Not Selected ft²
Vertical Orifice Centroid = feet

User Input: Overflow Weir (Dropbox with Flat or Sloped Gate and Outlet Pipe OR Rectangular/Trapezoidal Weir and No Outlet Pipe)

Overflow Weir Front Edge Height, Ho = 2.76 ft (relative to basin bottom at Stage = 0 ft)
Overflow Weir Front Edge Length = 2.92 feet
Overflow Weir Gate Slope = 0.00 H:V
Horiz. Length of Weir Sides = 2.92 feet
Overflow Gate Type = Close Mesh Gate
Debris Clogging % = 50% %

Calculated Parameters for Overflow Weir
Height of Gate Upper Edge, H₁ = 2.76 feet
Overflow Weir Slope Length = 2.92 feet
Gate Open Area / 100-yr Orifice Area = 29.40
Overflow Gate Open Area w/o Debris = 6.74 ft²
Overflow Gate Open Area w/ Debris = 3.37 ft²

User Input: Outlet Pipe w/ Flow Restriction Plate (Circular Orifice, Restrictor Plate, or Rectangular Orifice)

Depth to Invert of Outlet Pipe = 2.50 ft (distance below basin bottom at Stage = 0 ft)
Outlet Pipe Diameter = 18.00 inches
Restrictor Plate Height Above Pipe Invert = 3.38 inches

Calculated Parameters for Outlet Pipe w/ Flow Restriction Plate
Outlet Orifice Area = 0.23 ft²
Outlet Orifice Centroid = 0.17 feet
Half-Central Angle of Restrictor Plate on Pipe = 0.90 radians

User Input: Emergency Spillway (Rectangular or Trapezoidal)

Spillway Invert Stage = 3.82 ft (relative to basin bottom at Stage = 0 ft)
Spillway Crest Length = 12.02 feet
Spillway End Slopes = 4.00 H:V
Freeboard above Max Water Surface = 0.00 feet

Calculated Parameters for Spillway
Spillway Design Flow Depth = 0.21 feet
Stage at Top of Freeboard = 4.03 feet
Basin Area at Top of Freeboard = 0.08 acres
Basin Volume at Top of Freeboard = 0.09 acre-ft

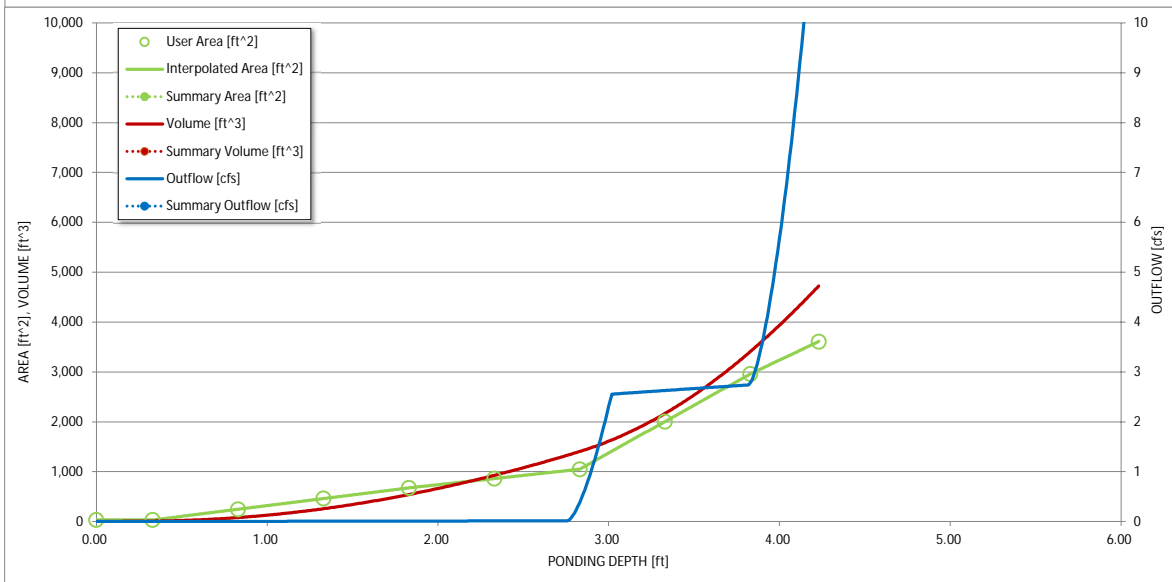
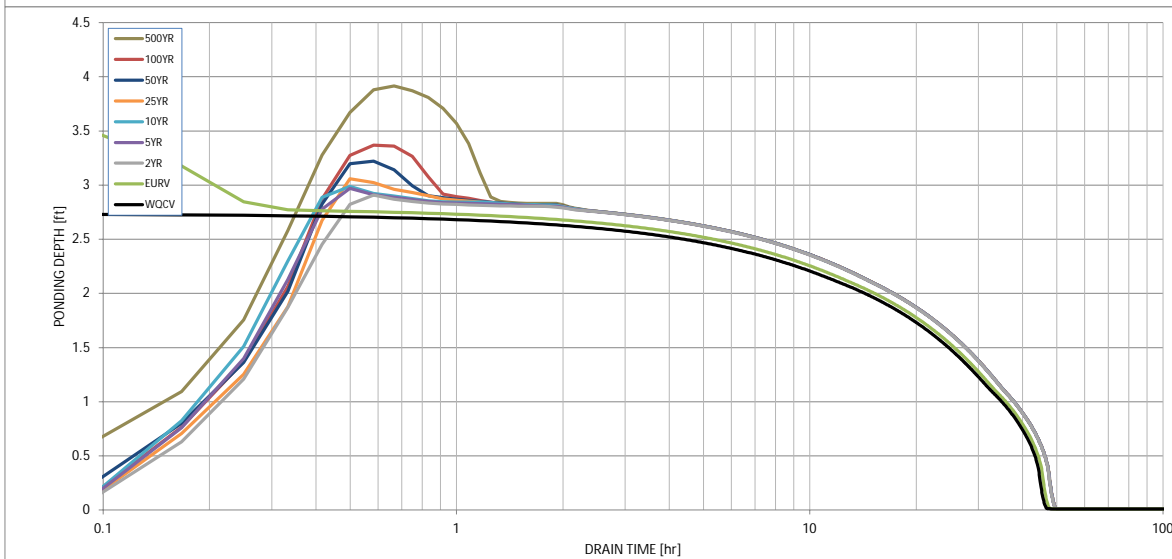
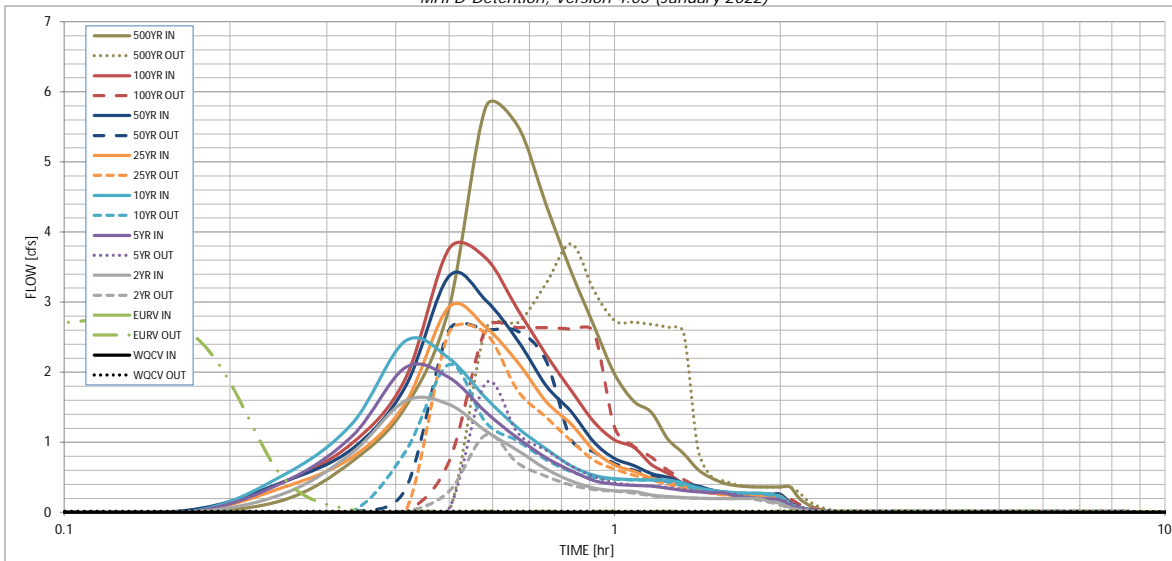
Routed Hydrograph Results

The user can override the default CUHP hydrographs and runoff volumes by entering new values in the Inflow Hydrographs table (Columns W through AF).

	WQCV	EURV	2 Year	5 Year	10 Year	25 Year	50 Year	100 Year	500 Year
Design Storm Return Period	N/A	N/A	1.19	1.50	1.75	2.00	2.25	2.52	3.68
One-Hour Rainfall Depth (in)	0.030	0.113	0.073	0.094	0.111	0.131	0.150	0.171	0.262
CUHP Runoff Volume (acre-ft)	N/A	N/A	0.073	0.094	0.111	0.131	0.150	0.171	0.262
Inflow Hydrograph Volume (acre-ft)	N/A	N/A	0.0	0.0	0.0	0.3	0.5	0.8	2.0
CUHP Predevelopment Peak Q (cfs)	N/A	N/A	0.01	0.02	0.03	0.25	0.48	0.79	1.97
OPTIONAL Override Predevelopment Peak Q (cfs)	N/A	N/A	0.01	0.02	0.03	0.25	0.48	0.79	1.97
Predevelopment Unit Peak Flow, q (cfs/acre)	N/A	N/A	1.6	2.1	2.4	2.9	3.4	3.8	5.8
Peak Inflow Q (cfs)	0.0	6.2	1.1	1.8	2.1	2.6	2.6	2.6	3.8
Peak Outflow Q (cfs)	N/A	N/A	N/A	90.4	75.4	10.2	5.4	3.4	1.9
Ratio Peak Outflow to Predevelopment Q	Plate	Outlet Plate 1	Overflow Weir 1	Overflow Weir 1	Overflow Weir 1	Outlet Plate 1	Outlet Plate 1	Outlet Plate 1	Spillway
Structure Controlling Flow	N/A	0.39	0.17	0.3	0.3	0.4	0.4	0.4	0.4
Max Velocity through Gate 1 (fps)	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Max Velocity through Gate 2 (fps)	42	37	40	38	37	35	34	33	28
Time to Drain 97% of Inflow Volume (hours)	44	43	45	45	44	43	43	42	39
Time to Drain 99% of Inflow Volume (hours)	2.74	3.56	2.91	2.97	2.99	3.06	3.22	3.37	3.91
Maximum Ponding Depth (ft)	0.02	0.06	0.03	0.03	0.03	0.03	0.04	0.05	0.07
Area at Maximum Ponding Depth (acres)	0.030	0.061	0.034	0.036	0.036	0.039	0.045	0.051	0.084
Maximum Volume Stored (acre-ft)									

DETENTION BASIN OUTLET STRUCTURE DESIGN

MHFD-Detention, Version 4.05 (January 2022)



S-A-V-D Chart Axis Override	X-axis	Left Y-Axis	Right Y-Axis
minimum bound			
maximum bound			

DETENTION BASIN OUTLET STRUCTURE DESIGN

Outflow Hydrograph Workbook Filename: _____

Inflow Hydrographs

The user can override the calculated inflow hydrographs from this workbook with inflow hydrographs developed in a separate program.

Time Interval	SOURCE	CUHP	CUHP	CUHP	CUHP	CUHP	CUHP	CUHP	CUHP	CUHP
	TIME	WOCV [cfs]	EURV [cfs]	2 Year [cfs]	5 Year [cfs]	10 Year [cfs]	25 Year [cfs]	50 Year [cfs]	100 Year [cfs]	500 Year [cfs]
5.00 min	0:00:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	0:05:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	0:10:00	0.00	0.00	0.00	0.00	0.00	0.00	0.03	0.00	0.18
	0:15:00	0.00	0.00	0.26	0.43	0.53	0.36	0.43	0.43	0.73
	0:20:00	0.00	0.00	0.85	1.09	1.26	0.79	0.91	0.99	1.50
	0:25:00	0.00	0.00	1.59	2.07	2.44	1.56	1.79	1.91	2.92
	0:30:00	0.00	0.00	1.54	1.92	2.20	2.93	3.37	3.76	5.79
	0:35:00	0.00	0.00	1.16	1.43	1.63	2.64	3.03	3.63	5.52
	0:40:00	0.00	0.00	0.88	1.06	1.21	2.14	2.45	2.90	4.40
	0:45:00	0.00	0.00	0.62	0.78	0.91	1.58	1.81	2.26	3.44
	0:50:00	0.00	0.00	0.45	0.60	0.67	1.26	1.44	1.74	2.67
	0:55:00	0.00	0.00	0.35	0.46	0.53	0.88	1.01	1.29	1.98
	1:00:00	0.00	0.00	0.31	0.40	0.48	0.68	0.77	1.03	1.58
	1:05:00	0.00	0.00	0.30	0.38	0.47	0.59	0.67	0.93	1.43
	1:10:00	0.00	0.00	0.25	0.38	0.46	0.49	0.55	0.68	1.04
	1:15:00	0.00	0.00	0.23	0.34	0.46	0.44	0.50	0.55	0.84
	1:20:00	0.00	0.00	0.21	0.31	0.42	0.37	0.42	0.41	0.61
	1:25:00	0.00	0.00	0.20	0.29	0.35	0.33	0.38	0.33	0.49
	1:30:00	0.00	0.00	0.20	0.28	0.31	0.28	0.32	0.28	0.41
	1:35:00	0.00	0.00	0.20	0.28	0.29	0.26	0.29	0.26	0.38
	1:40:00	0.00	0.00	0.20	0.23	0.28	0.24	0.27	0.25	0.37
	1:45:00	0.00	0.00	0.20	0.21	0.28	0.23	0.26	0.25	0.36
	1:50:00	0.00	0.00	0.20	0.20	0.27	0.23	0.26	0.25	0.36
	1:55:00	0.00	0.00	0.15	0.19	0.26	0.23	0.26	0.25	0.36
	2:00:00	0.00	0.00	0.13	0.18	0.23	0.23	0.26	0.25	0.36
	2:05:00	0.00	0.00	0.07	0.10	0.12	0.13	0.14	0.14	0.20
	2:10:00	0.00	0.00	0.04	0.05	0.07	0.07	0.08	0.07	0.11
	2:15:00	0.00	0.00	0.02	0.03	0.03	0.04	0.04	0.04	0.05
	2:20:00	0.00	0.00	0.01	0.01	0.01	0.02	0.02	0.02	0.02
	2:25:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.01
	2:30:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	2:35:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	2:40:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	2:45:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	2:50:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	2:55:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:00:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:05:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:10:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:15:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:20:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:25:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:30:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:35:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:40:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:45:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:50:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	3:55:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:00:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:05:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:10:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:15:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:20:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:25:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:30:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:35:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:40:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:45:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:50:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	4:55:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:00:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:05:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:10:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:15:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:20:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:25:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:30:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:35:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:40:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:45:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:50:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	5:55:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	6:00:00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

CIVIL CONSTRUCTION PLANS LOT 2 ELM GROVE VILLA COLORADO SPRINGS, CO 80911 - EL PASO COUNTY SMITH PLUMBING & HEATING

ENGINEERING RECORD DRAWINGS AS-BUILT DRAWINGS

PROJECT CONTACTS

OWNER/DEVELOPER

GREAT DANE VENTURES, LLC
5903 HIGH NOON AVE.
COLORADO SPRINGS, CO 80923
TELE: (719) 570-1599
ATTN: EVA ROBINSON
EMAIL:

APPLICANT

HAMMERS CONSTRUCTION, INC.
1411 WOOLSEY HEIGHTS
COLORADO SPRINGS, CO 80915
TELE: (719) 570-1599
ATTN: LISA PETERSON
EMAIL: LPETERSON@HAMMERSCONSTRUCTION.COM

CIVIL ENGINEER

GALLOWAY & CO., INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
TELE: (719) 900-7220
ATTN: GRANT DENNIS, P.E.
EMAIL: GRANTDENNIS@GALLOWAYUS.COM

GEOTECHNICAL ENGINEER

ENTTECH ENGINEERING, INC.
505 ELKTON DRIVE
COLORADO SPRINGS, CO 80907
TELE: (719) 531-5599
ATTN:
EMAIL:

SURVEYOR

GALLOWAY & CO., INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
TELE: (719) 337-1262
ATTN: BRIAN DENNIS
EMAIL: BRIANDENNIS@GALLOWAYUS.COM

UTILITY CONTACTS

WATER & WASTEWATER

WIDEFIELD WATER & SANITATION DISTRICT
8495 FONTAINE BLVD.
COLORADO SPRINGS, CO 80925
TELE: (719) 390-7111
ATTN:
EMAIL:

ELECTRIC

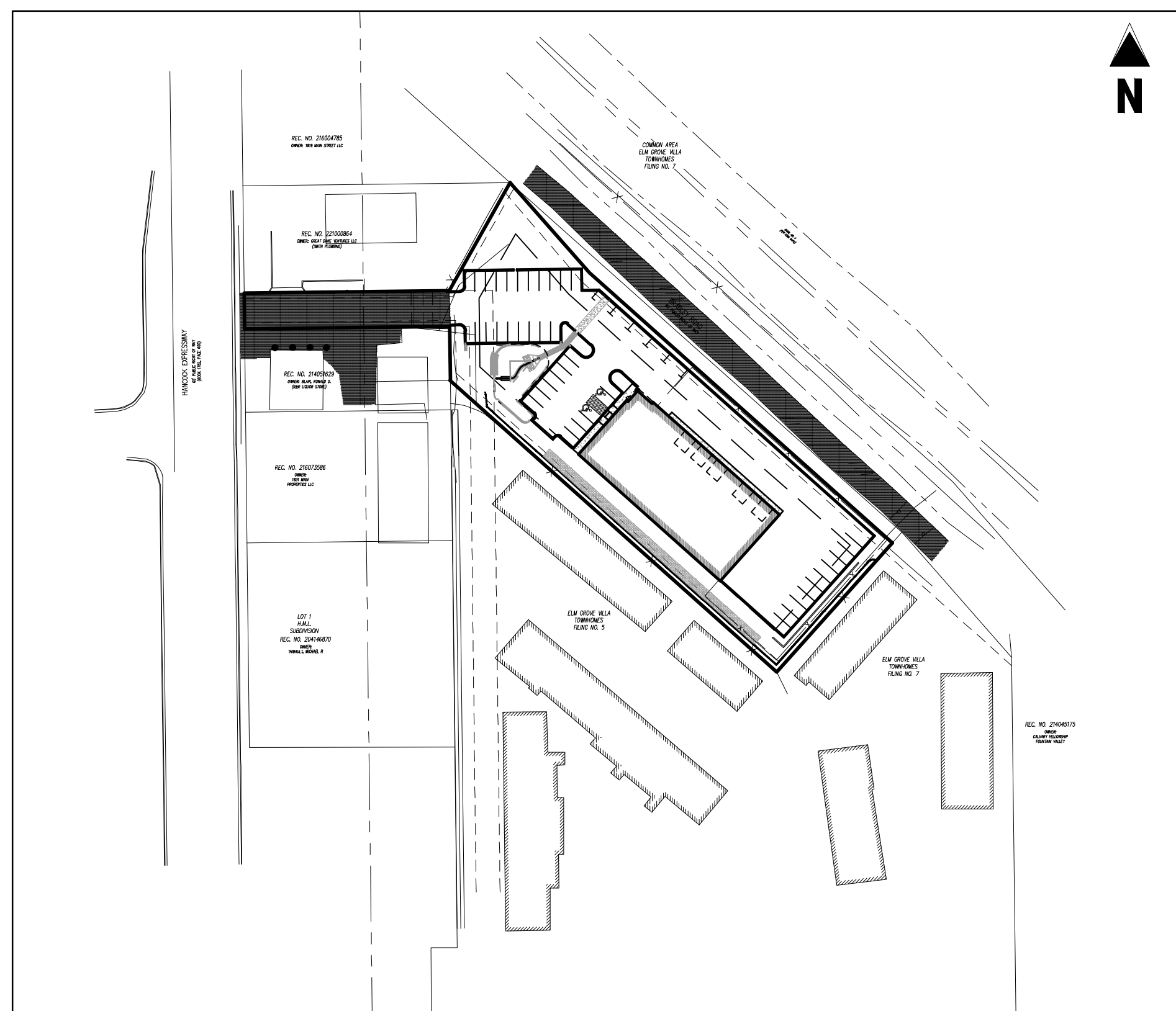
COLORADO SPRINGS UTILITIES (CSU)
111 S. CASCADE AVE.
COLORADO SPRINGS, CO 80903
TELE: (719) 448-4800
ATTN:
EMAIL:

NATURAL GAS

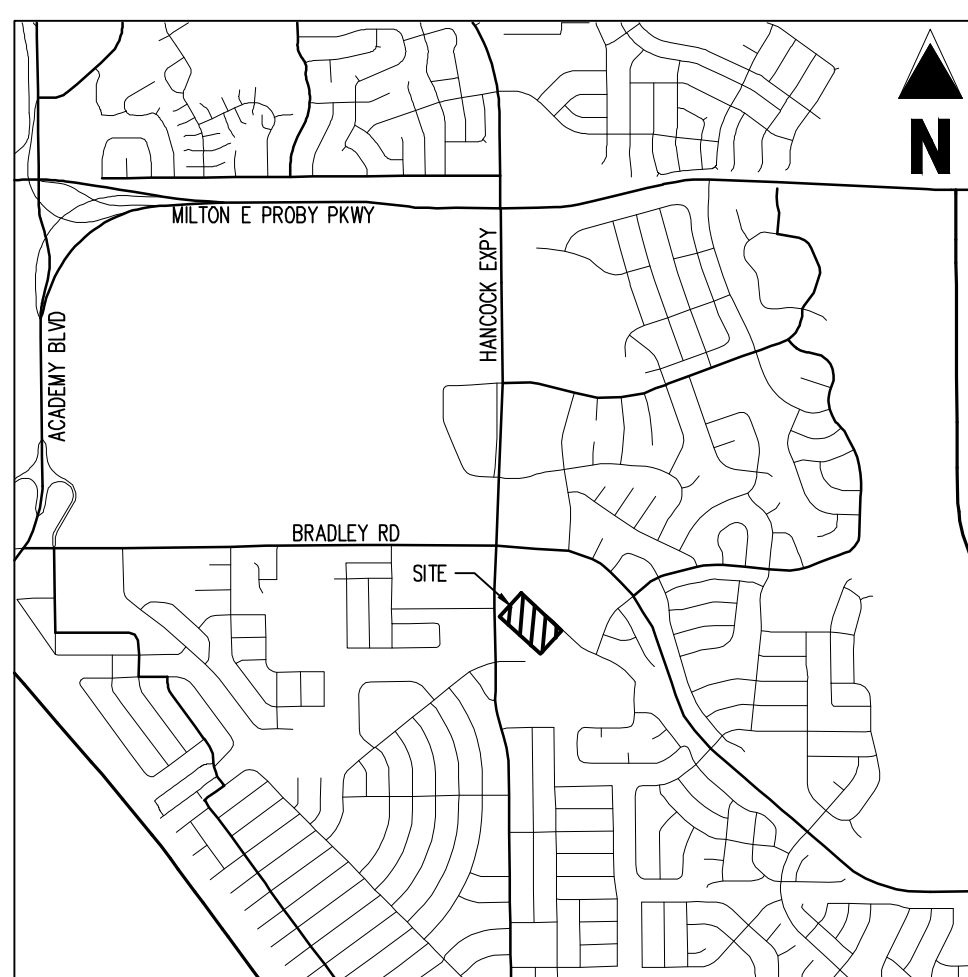
COLORADO SPRINGS UTILITIES (CSU)
7710 DURANT DRIVE, P.O. BOX 1103, MAIL CODE 2150
COLORADO SPRINGS, CO 80947-2150
TELE: (719) 668-5573
ATTN:
EMAIL:

FIRE

SECURITY FIRE DEPARTMENT
400 SECURITY BLVD.
SECURITY, CO 80911
TELE: (719) 392-7121
EMAIL:



SITE MAP
SCALE: 1"=100'



VICINITY MAP
SCALE: 1"=500'

THESE ARE THE ONLY SHEETS THAT HAVE AS-BUILT INFORMATION INCLUDED AS PART OF THE WQC/POND CERTIFICATION, THEREFORE ONLY THESE SHEETS WILL HAVE ENGINEER'S STAMP FOR AS-BUILTS

ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

RONALD G. DENNIS, COLORADO P.E. NO. 0051622 DATE

OWNER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENT SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

EVA ROBINSON DATE
GREAT DANE VENTURES, LLC.

EL PASO COUNTY

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JENNIFER IRVINE, P.E. DATE
COUNTY ENGINEER / EGM ADMINISTRATOR

SHEET INDEX		
SHEET NUMBER	SHEET TITLE	SHEET DESCRIPTION
1	COVER SHEET	C0.0
2	NOTES	C0.1
3	DEMOLITION PLAN	C1.1
4	SITE PLAN	C1.2
5	HORIZONTAL CONTROL PLAN	C1.3
6	PAVING & STRIPING PLAN	C1.4
7	SITE DETAILS	C1.5
8	EROSION CONTROL INITIAL PLAN	C2.1
9	EROSION CONTROL INTERIM PLAN	C2.2
10	GRADING & EROSION CONTROL FINAL PLAN	C2.3
11	GEC DETAILS	C2.4
12	GEC DETAILS	C2.5
13	GEC DETAILS	C2.6
14	WATER QUALITY DETENTION POND	C3.1
15	WATER QUALITY DETENTION POND	C3.1
16	POND DETAILS	C3.2
17	UTILITY SERVICE PLAN	C4.1

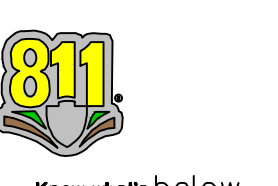
#	Date	Issue / Description	Init.

BASIS OF BEARINGS
BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6" WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, T245 R66W W.C. 6.00' S 35 S36 S2 S1 T1 1/2 S R55W 2012 PLS 2431.3" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, T2MPS 1962.25", AND IS CONSIDERED TO BEAR N00°42'04"W.

BENCHMARK
PUBLISHED BENCHMARK
FMS MONUMENT FX35
ELEVATION = 5980.39 (NAVD88)

CAUTION - NOTICE TO CONTRACTOR
1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR
HAMMERS CONSTRUCTION, LLC
1875 MAIN STREET
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

Project No: HC1000008
Drawn By: TPPT
Checked By: [Signature]
Date: 05/20/2024

PCD FILING NO. PPR2143
C0.0
Sheet 1 of 18

STANDARD NOTES FOR GEC PLANS

- 1. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS...
2. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS...
3. A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION...
4. ONCE THE ESQCP IS APPROVED AND A 'NOTICE TO PROCEED' HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC...
5. CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT MAY CONTRIBUTE POLLUTANTS TO STORMWATER...
6. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED...
7. TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED...
8. FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE...
9. ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS...
10. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION...
11. COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES...
12. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION...
13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP...
14. DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE...
15. EROSION CONTROL, BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1...
16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL...
17. WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY...
18. TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED...
19. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN ROADS...
20. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED...
21. NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER...
22. BULK STORAGE OF PETROLEUM PRODUCTS OR OTHER LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL HAVE ADEQUATE SECONDARY CONTAINMENT PROTECTION...
23. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES...
24. OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE 'COLORADO WATER QUALITY CONTROL ACT' (TITLE 25, ARTICLE 8, CRS) AND THE 'CLEAN WATER ACT' (33 USC 1344)...
25. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS...
26. PRIOR TO ACTUAL CONSTRUCTION THE PERMITS SHALL VERIFY THE LOCATION OF EXISTING UTILITIES...
27. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND...
28. THE SOILS REPORT, TITLED 'SUBSURFACE SOIL INVESTIGATION - UPDATE - 1875 MAIN STREET' FOR THIS SITE HAS BEEN PREPARED BY ENTECH ENGINEERING, DATED APRIL 15, 2021 AND SHALL BE CONSIDERED A PART OF THESE PLANS...
29. AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION...

STANDARD NOTES FOR CONSTRUCTION PLANS

- 1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL...
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION...
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES...
4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS...
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ON-SITE AND OFF-SITE, ON THE CONSTRUCTION PLANS...
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTORS, PRIOR TO STARTING CONSTRUCTION...
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS...
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD...
9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD...
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER EGM STANDARDS...
11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS...
12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS...
13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA...
14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT...
15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED...

EROSION CONTROL NOTES

- 1. SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN TWENTY-ONE (21) CALENDAR DAYS AFTER FINAL GRADING...
2. CONSTRUCTION FENCE AND SILT FENCE OFFSET FOR CLARITY, CONTRACTOR TO ENSURE BMPs ARE PLACED DOWNSTREAM OF DISTURBED AREAS TO PREVENT SEDIMENT FROM LEAVING THE SITE.

GENERAL CONSTRUCTION NOTES

- 1. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK...
2. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION...
3. ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION...
4. ALL BACKFILL, SUB-BASE AND / OR BASE COURSE (CLASS 6) MATERIAL SHALL BE COMPACTED TO THE SOILS ENGINEERS RECOMMENDATIONS...
5. ALL STATIONING IS CENTERLINE UNLESS OTHERWISE INDICATED...
6. ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES...
7. ALL CULVERT AND STORM PIPES SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (HDPE) OR REINFORCED CONCRETE PIPE (RCP)...
8. TYPE III RIP-RAP WITH 4" OF TYPE II GRANULAR BEDDING AND M19A1 180N OR EQUAL MAY BE SUBSTITUTED WHERE TYPE I RIP-RAP WITH M19A1 F700 OR EQUAL IS SPECIFIED...
9. ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN COMPLIANCE WITH ANY AND ALL APPLICABLE EL PASO COUNTY STANDARDS AND WITH WOODMAN HILLS METRO DISTRICT CONSULTING ENGINEER APPROVAL...
10. ALL POTABLE WATER MAINS SHALL BE ANWA C900-SDR18 PVC WITH PUSH-ON SINGLE GASKET TYPE JOINTS...
11. SANITARY SEWER PIPE AND FITTINGS: PVC 4" ASTM D3034, TYPE PSM, SDR 35; PUSH-ON JOINTS AND MOLDED RUBBER GASKETS MAXIMUM HORIZONTAL DEFLECTIONS, AFTER INSTALLATION AND BACK FILLING SHALL NOT EXCEED 3% OF THE PIPE DIAMETER...

ENGINEERING RECORD DRAWINGS AS-BUILT DRAWINGS



COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY... NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY.



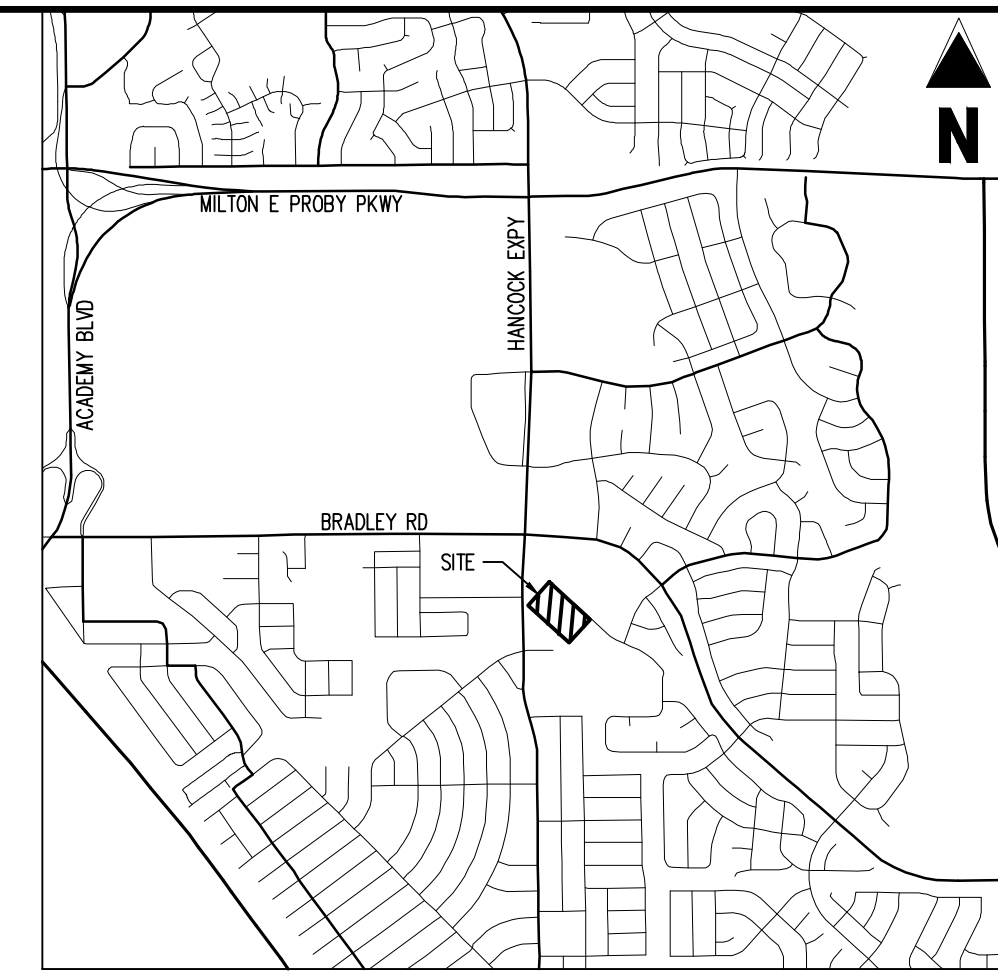
CONSTRUCTION DOCUMENTS SMITH PLUMBING & HEATING FOR HAMMERS CONSTRUCTION, LLC 1875 MAIN STREET COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

Table with 4 columns: #, Date, Issue / Description, Init. Contains a list of revision entries.

Project No: HCI000008 Drawn By: TPPT Checked By: [Signature] Date: 05/20/2024

Vertical text on the left margin: HAMMERS CONSTRUCTION, 1875 MAIN STREET, COLORADO SPRINGS, CO 80911

ENGINEERING RECORD DRAWINGS AS-BUILT DRAWINGS



Galloway

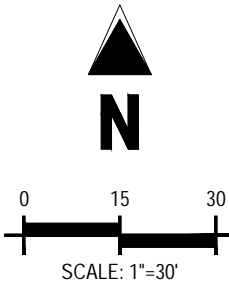
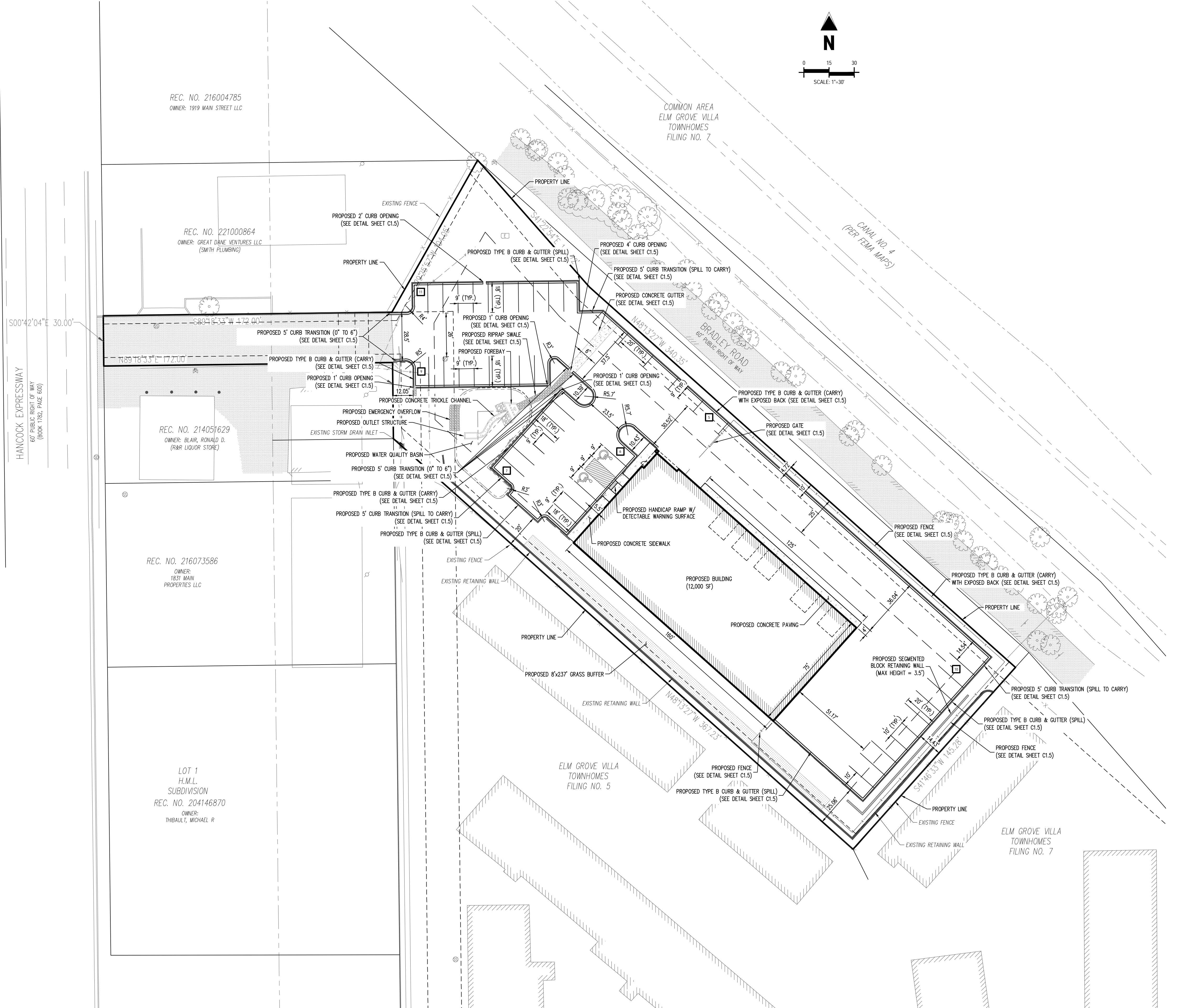
1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220
GallowayUS.com



COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY. AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR
HAMMERS CONSTRUCTION, LLC
1875 MAIN STREET
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY



VICINITY MAP
SCALE: 1\"/>

SITE LEGEND

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	PROPOSED BUILDING HATCH
	PROPOSED CONCRETE PAVING
	PROPOSED BUILDING OUTLINE
	PROPOSED EASEMENT
	PROPOSED FENCE
	PROPOSED RETAINING WALL
	EXISTING RETAINING WALL
	EXISTING EASEMENT LINE
	EXISTING LANDSCAPE BUFFER
	EXISTING ASPHALT EDGE
	EXISTING CURB & GUTTER
	EXISTING FENCE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING GAS LINE
	EXISTING FIBER OPTIC LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING STORM DRAIN LINE
	EXISTING BUILDING HATCH
	EXISTING ASPHALT PAVING
	EXISTING FIRE HYDRANT
	EXISTING STORM STRUCTURES
	EXISTING ELECTRIC STRUCTURES
	EXISTING SIGN
	EXISTING SANITARY SEWER MANHOLE
	EXISTING WATER STRUCTURES
	EXISTING TREES
	PROPOSED SITE LIGHTING
	PROPOSED SIGN
	PARKING COUNT

GENERAL NOTES

- REFER TO GRADING & EROSION CONTROL PLAN FOR ADA RAMP & FINE GRADING.
- REFER TO UTILITY SERVICE PLANS FOR WATER AND WASTEWATER CONSTRUCTION PLANS.
- ALL WORK & MATERIAL SHALL COMPLY WITH ALL COUNTY REGULATIONS AND CODES AND OSHA STANDARD.
- NO WETLANDS ARE PRESENT ON SITE.
- ALL PROPOSED PAVING AREAS & DRIVE AISLES TO BE PAVED W/ ASPHALT.
- ALL PROPOSED SIDEWALKS TO BE CONSTRUCTED W/ CONCRETE, 4" THICK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGE TO ANY EXISTING ITEMS THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION AND DEMOLITION ARE COMPLETE. THOSE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, DRAINAGE SYSTEMS, UTILITIES, CURBING, PAVING, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.

ADA DESIGN PROFESSIONAL STATEMENT

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

BASIS OF BEARINGS

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6" WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, "T24S R66W W.C. 6.00' S 35 S36 S2 S1 1 1/4 S R55W 2012 PLS 24313" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, "RMP5 19625", AND IS CONSIDERED TO BEAR N004204"W.

BENCHMARK

PUBLISHED BENCHMARK
FMS MONUMENT F335
ELEVATION = 5880.35 (NAVD88)

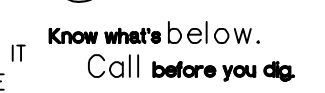
NOTE: CONTRACTOR MUST COORDINATE WORK WITH WIDEFELD WATER AND SANITATION DISTRICT AND EL PASO COUNTY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



#	Date	Issue / Description	Init.

Project No: HCI000008
Drawn By: TPT
Checked By:

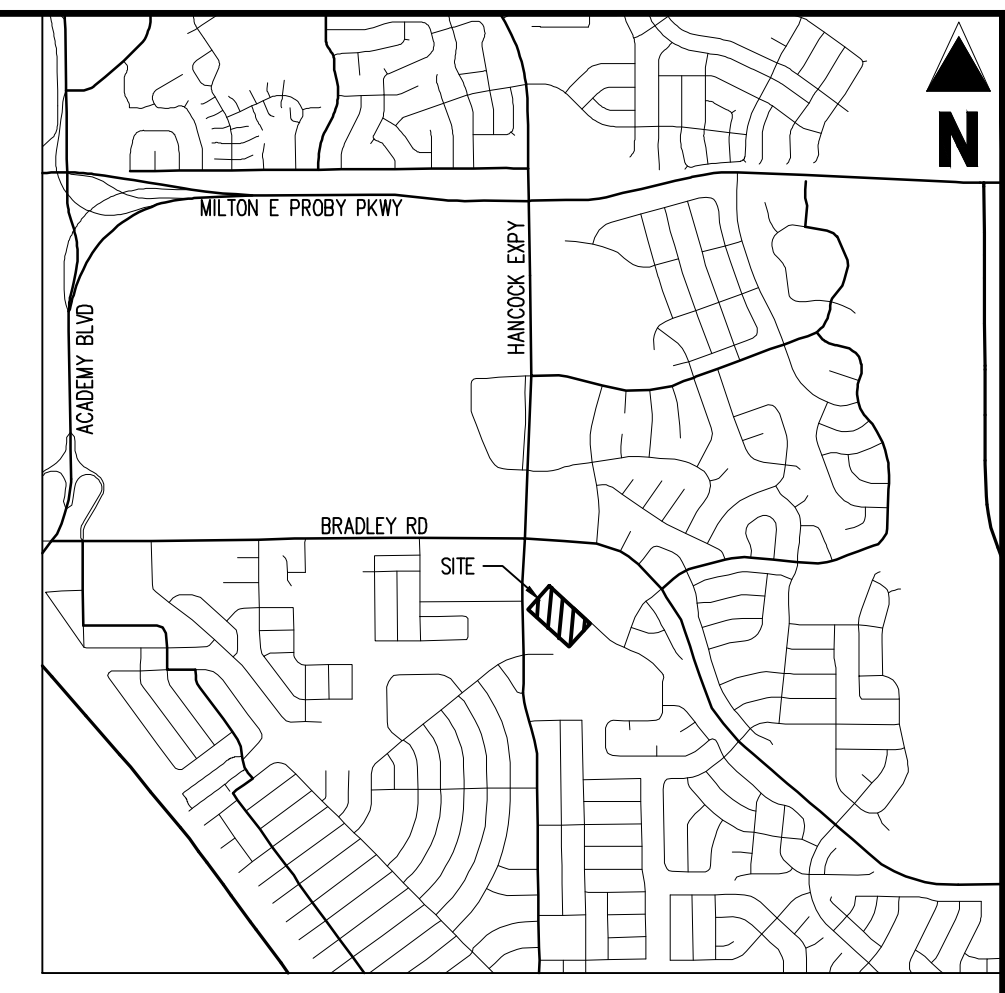
SITE PLAN

PCD FILING NO. PPR2143

C1.2

Sheet 4 of 18

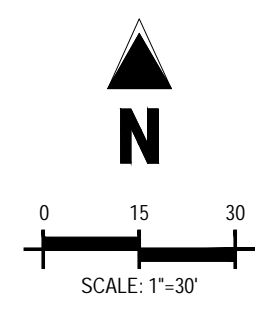
ENGINEERING RECORD DRAWINGS AS-BUILT DRAWINGS



Galloway
1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220
GallowayUS.com



COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



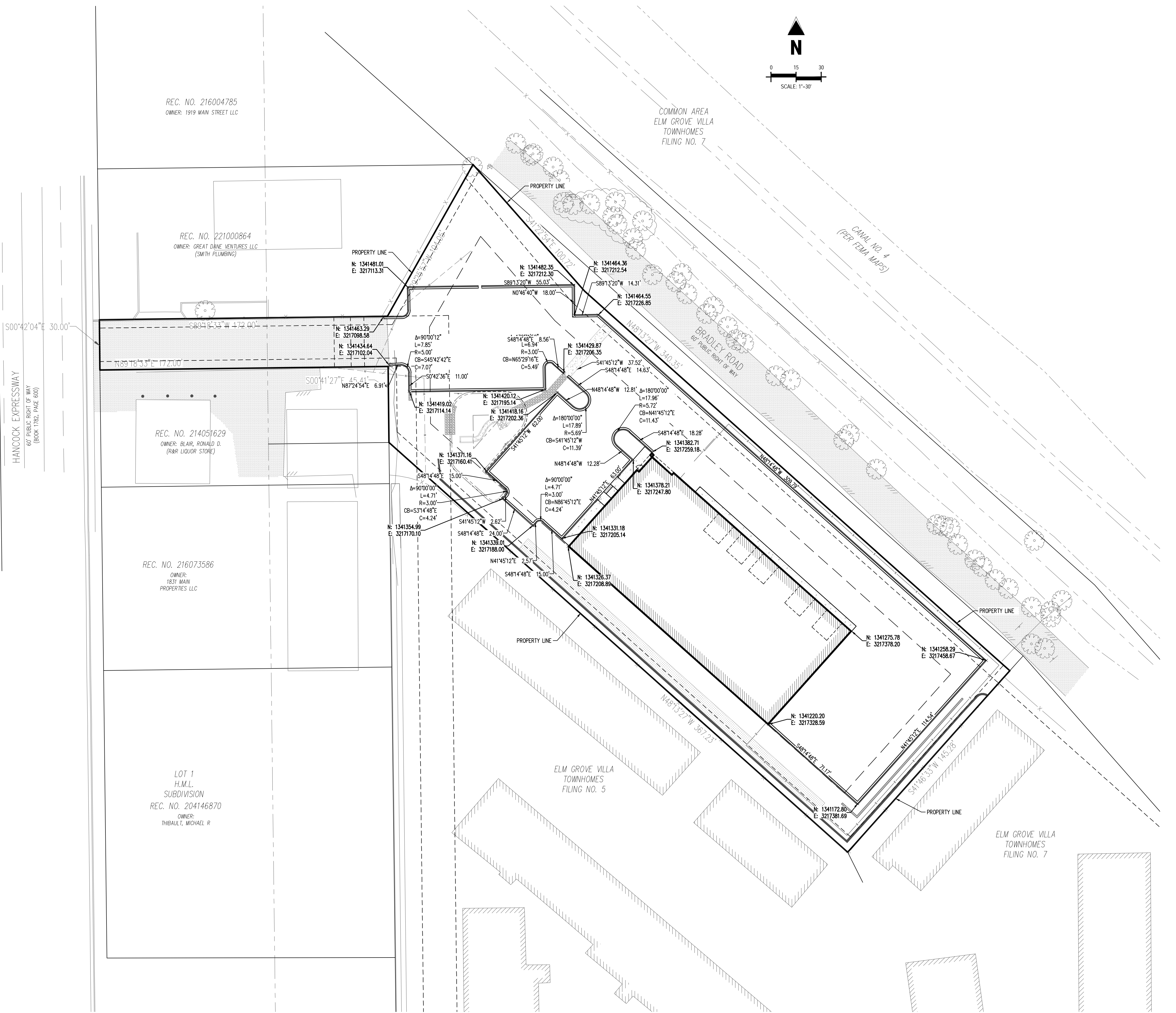
VICINITY MAP
SCALE: 1"=500'

SITE LEGEND

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	PROPOSED BUILDING HATCH
	PROPOSED CONCRETE PAVING
	PROPOSED BUILDING OUTLINE
	PROPOSED EASEMENT
	PROPOSED FENCE
	EXISTING EASEMENT LINE
	EXISTING LANDSCAPE BUFFER
	EXISTING ASPHALT EDGE
	EXISTING CURB & GUTTER
	EXISTING BUILDING HATCH
	EXISTING ASPHALT PAVING

GENERAL NOTES

- ALL DIMENSIONS ARE TO FLOWLINE OF CURB UNLESS OTHERWISE NOTED.



BASIS OF BEARINGS

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6" WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, "T24S R66W W.C. 6.00' S 35 S36 S2 S1 1 1/4 S R55W 2012 PLS 2431" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, "RMP5 1962S", AND IS CONSIDERED TO BEAR N00°42'04"W.

BENCHMARK

PUBLISHED BENCHMARK
FMS MONUMENT F335
ELEVATION = 5880.35 (NAVD88)

NOTE: CONTRACTOR MUST COORDINATE WORK WITH WIDEFIELD WATER AND SANITATION DISTRICT AND EL PASO COUNTY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLDING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



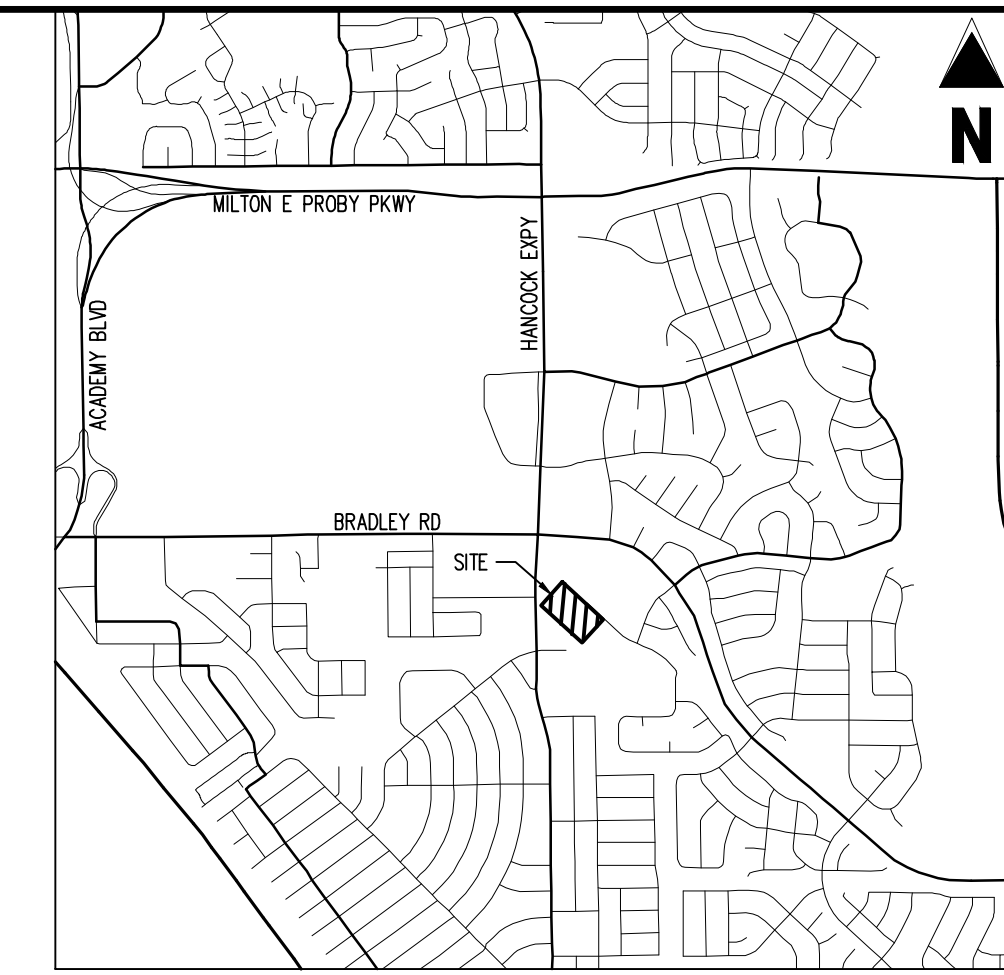
CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR
HAMMERS CONSTRUCTION, LLC
 1875 MAIN STREET
 COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

#	Date	Issue / Description	Init.

Project No: HCl000008
 Drawn By: TPPT
 Checked By: [Signature]
 Date: 05/20/2024
HORIZONTAL CONTROL PLAN

PCD FILING NO. PPR2143
C1.3
 Sheet 5 of 18

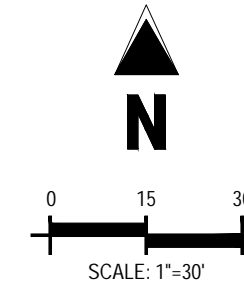
ENGINEERING RECORD DRAWINGS AS-BUILT DRAWINGS

**Galloway**

1155 Kelly Johnson Blvd., Suite 305
 Colorado Springs, CO 80920
 719.900.7220
 GallowayUS.com



COPYRIGHT
 THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



VICINITY MAP
 SCALE: 1"=500'

SITE LEGEND

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	PROPOSED BUILDING HATCH
	PROPOSED CONCRETE PAVING
	PROPOSED BUILDING OUTLINE
	PROPOSED EASEMENT
	PROPOSED FENCE
	EXISTING EASEMENT LINE
	EXISTING LANDSCAPE BUFFER
	EXISTING ASPHALT EDGE
	EXISTING CURB & GUTTER
	EXISTING FENCE
	EXISTING BUILDING HATCH
	EXISTING ASPHALT PAVING

GENERAL NOTES

1. REFER TO GRADING & EROSION CONTROL PLAN FOR ADA RAMP & FINE GRADING.
2. REFER TO UTILITY SERVICE PLANS FOR WATER AND WASTEWATER CONSTRUCTION PLANS.
3. ALL WORK & MATERIAL SHALL COMPLY WITH ALL COUNTY REGULATIONS AND CODES AND OSHA STANDARD.
4. NO WETLANDS ARE PRESENT ON SITE.
5. ALL PROPOSED PAVING AREAS & DRIVE AISLES TO BE PAVED W/ ASPHALT.
6. ALL PROPOSED SIDEWALKS TO BE CONSTRUCTED W/ CONCRETE, 4" THICK.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGE TO ANY EXISTING ITEMS THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION AND DEMOLITION ARE COMPLETE. THOSE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, DRAINAGE SYSTEMS, UTILITIES, CURBING, PAVING, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.

ADA DESIGN PROFESSIONAL STATEMENT

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

BASIS OF BEARINGS

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6" WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, "T24S R66W W.C. 6.00' S 35 S36 S2 S1 1 1/2 S R65W 2012 PLS 2431" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, "RMP5 1962", AND IS CONSIDERED TO BEAR N00°42'04"W.

BENCHMARK

PUBLISHED BENCHMARK
 FMS MONUMENT FX35
 ELEVATION = 5880.39 (NAVD88)

NOTE: CONTRACTOR MUST COORDINATE WORK WITH WIDEFIELD WATER AND SANITATION DISTRICT AND EL PASO COUNTY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below.
 Call before you dig.

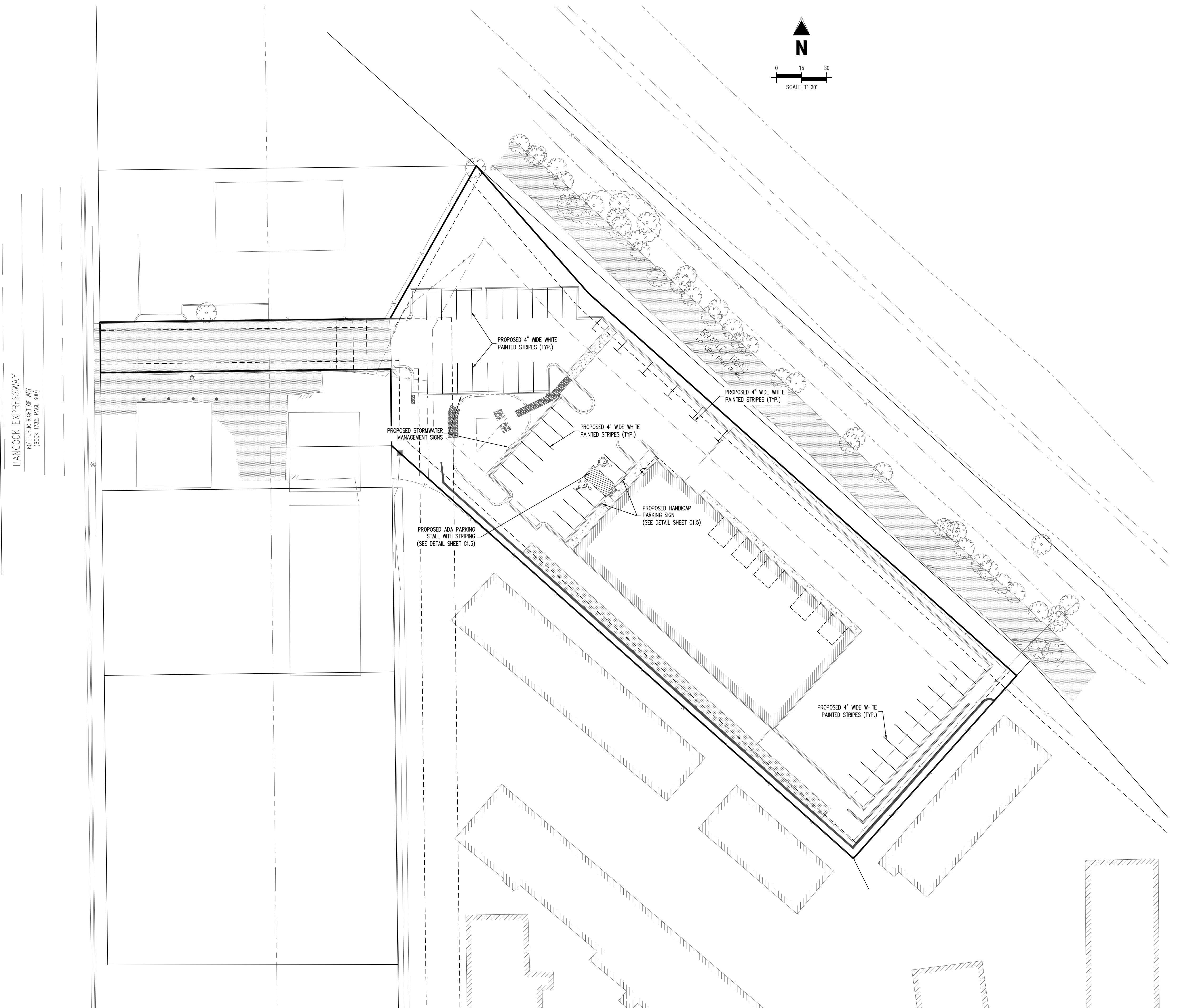
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION DOCUMENTS
 SMITH PLUMBING & HEATING
 FOR
 HAMMERS CONSTRUCTION, LLC
 1875 MAIN STREET
 COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

#	Date	Issue / Description	Init.

Project No: HCl000008
 Drawn By: TPPT
 Checked By: [Signature]
 Date: 05/20/2024
PAVING & STRIPING PLAN

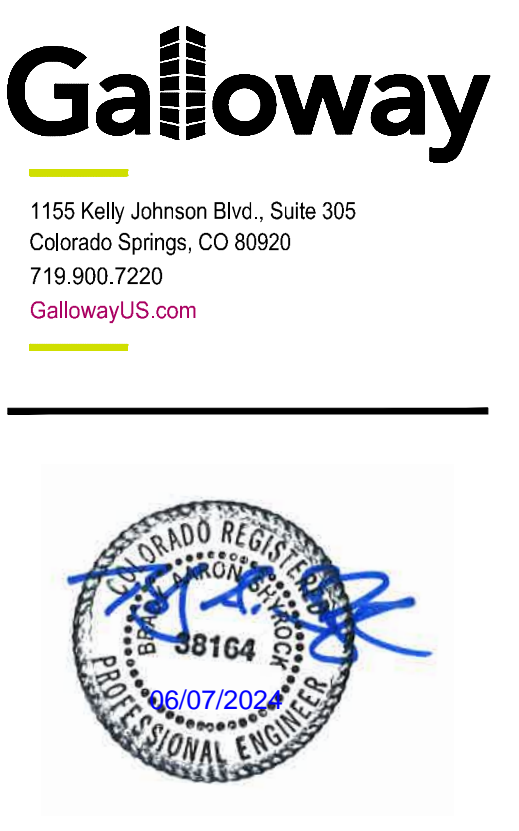
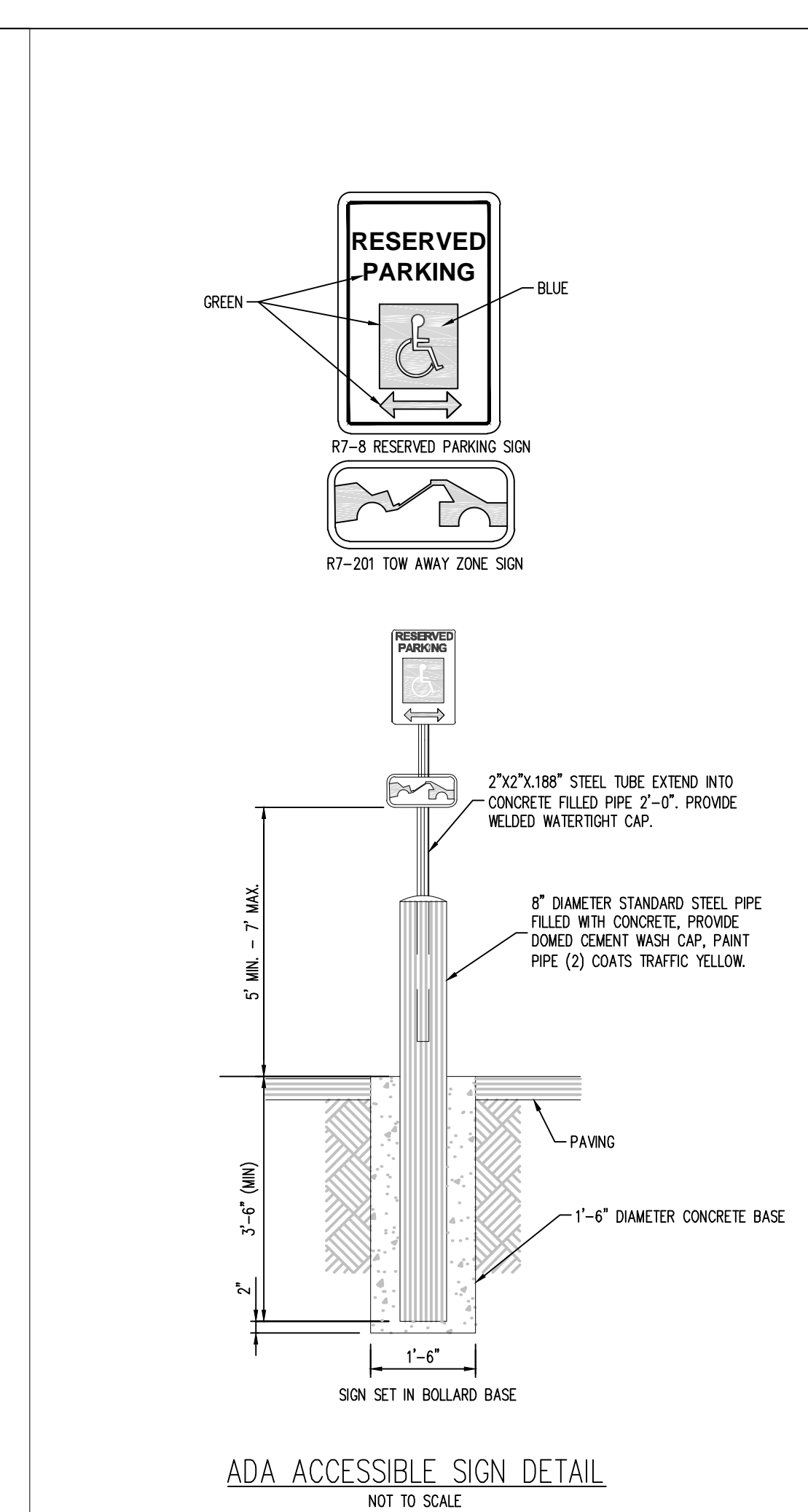
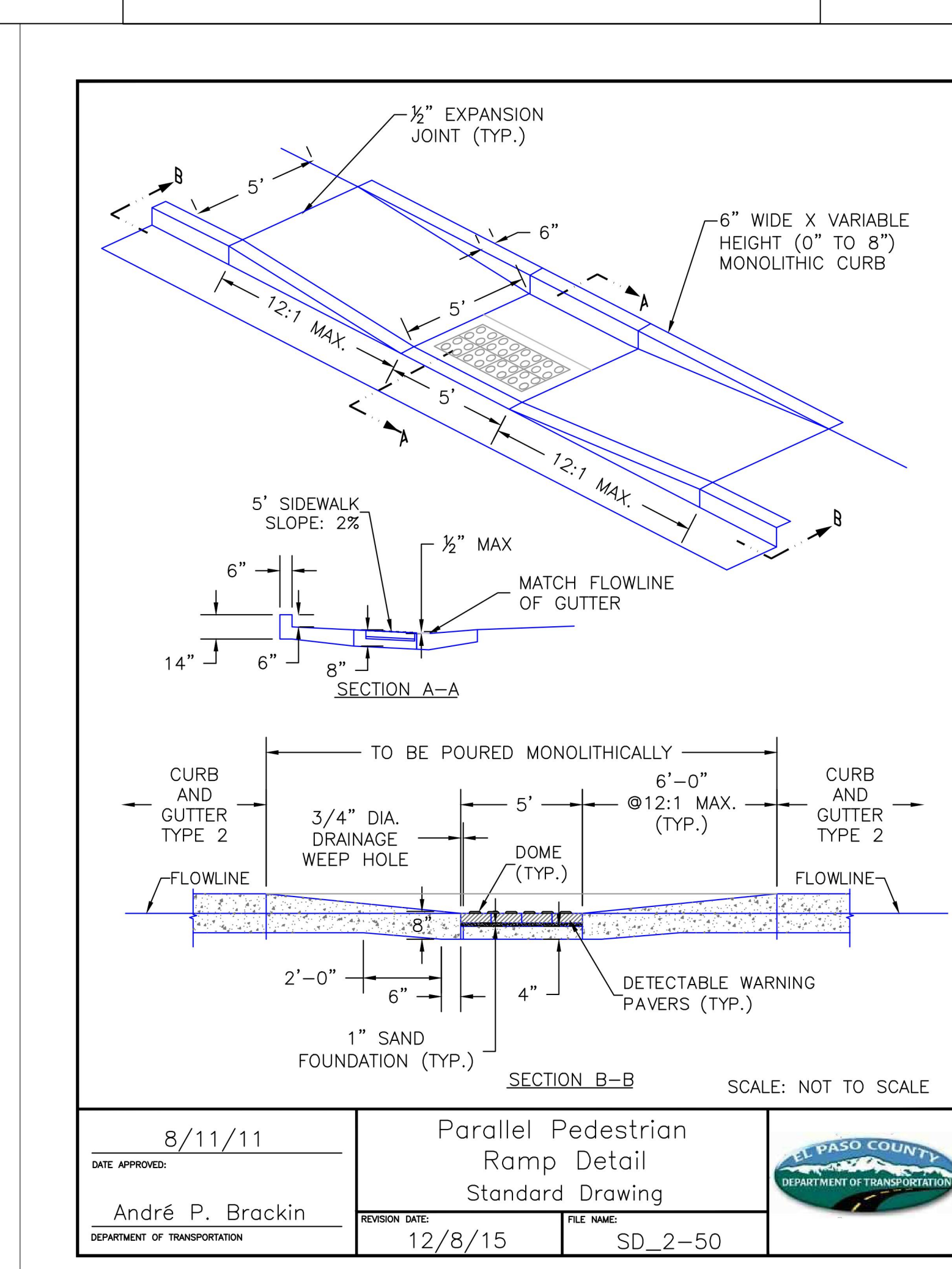
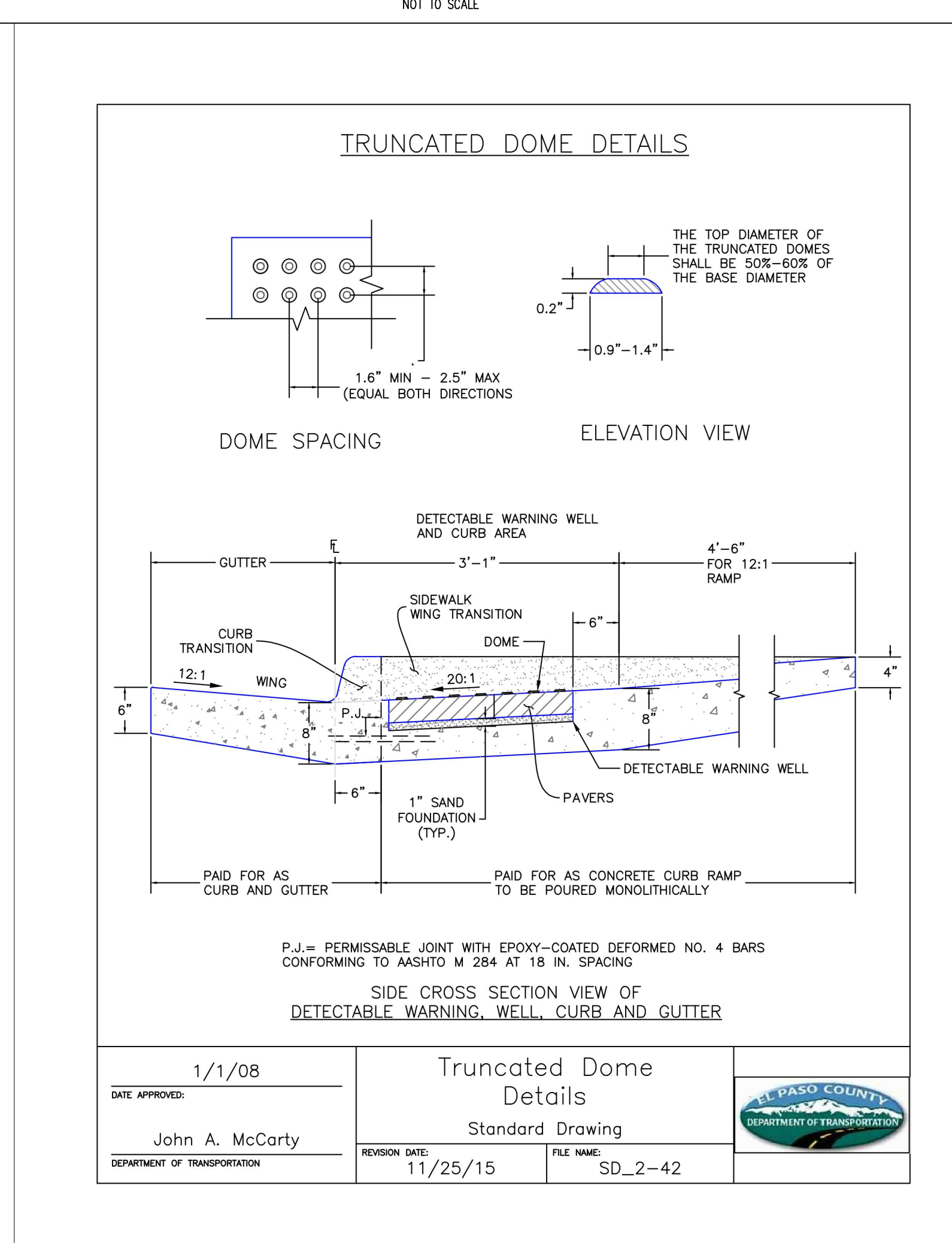
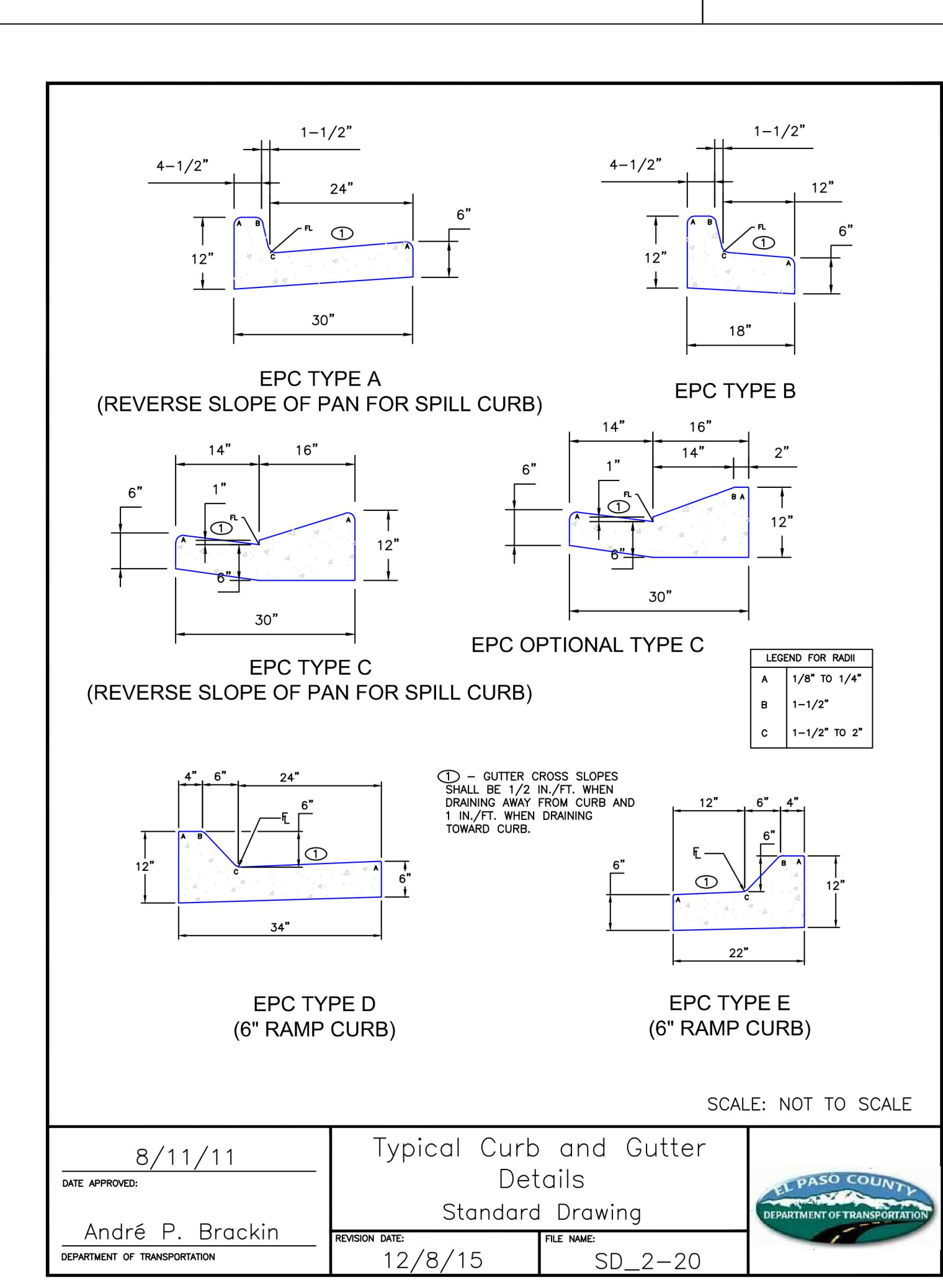
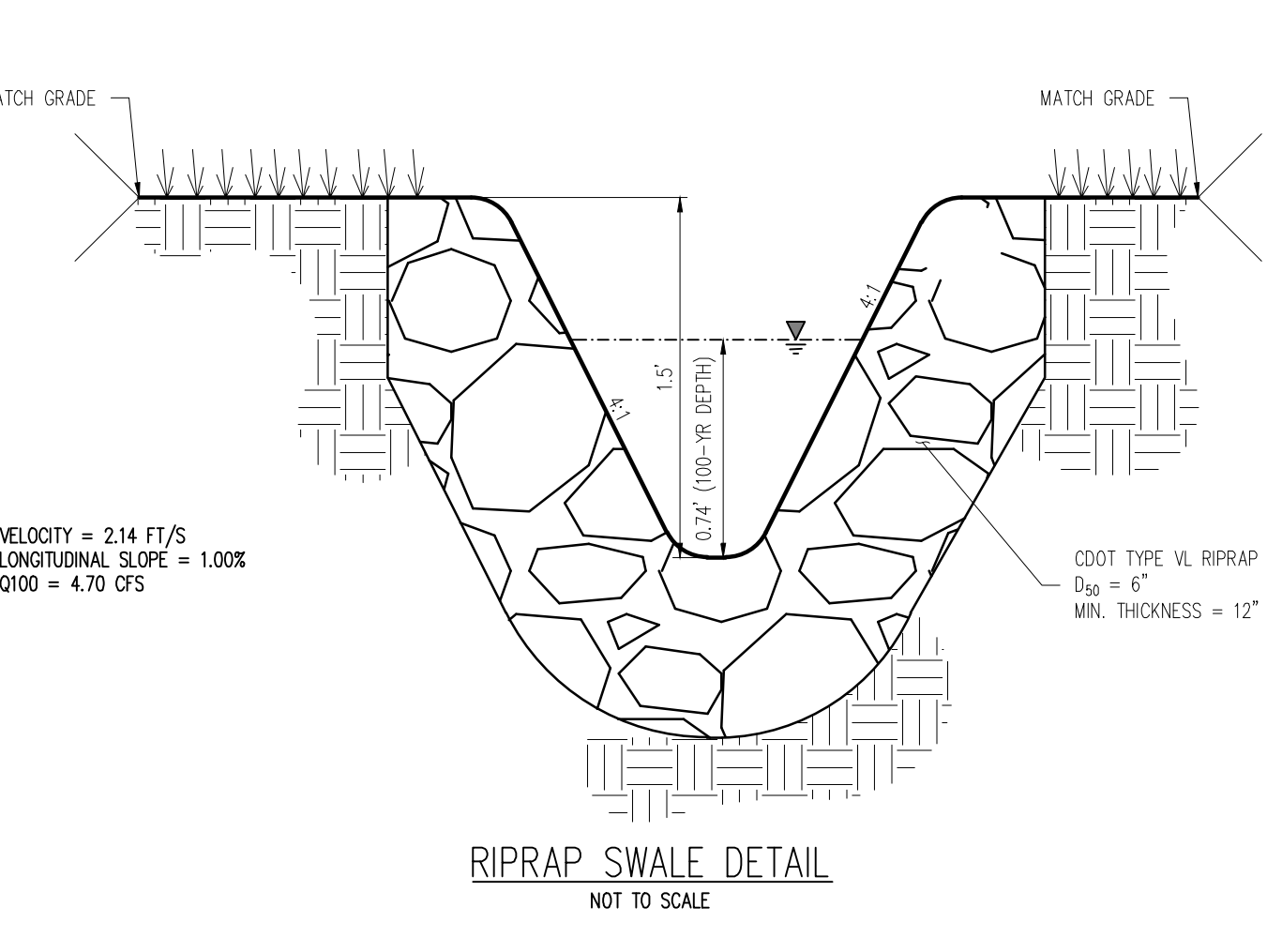
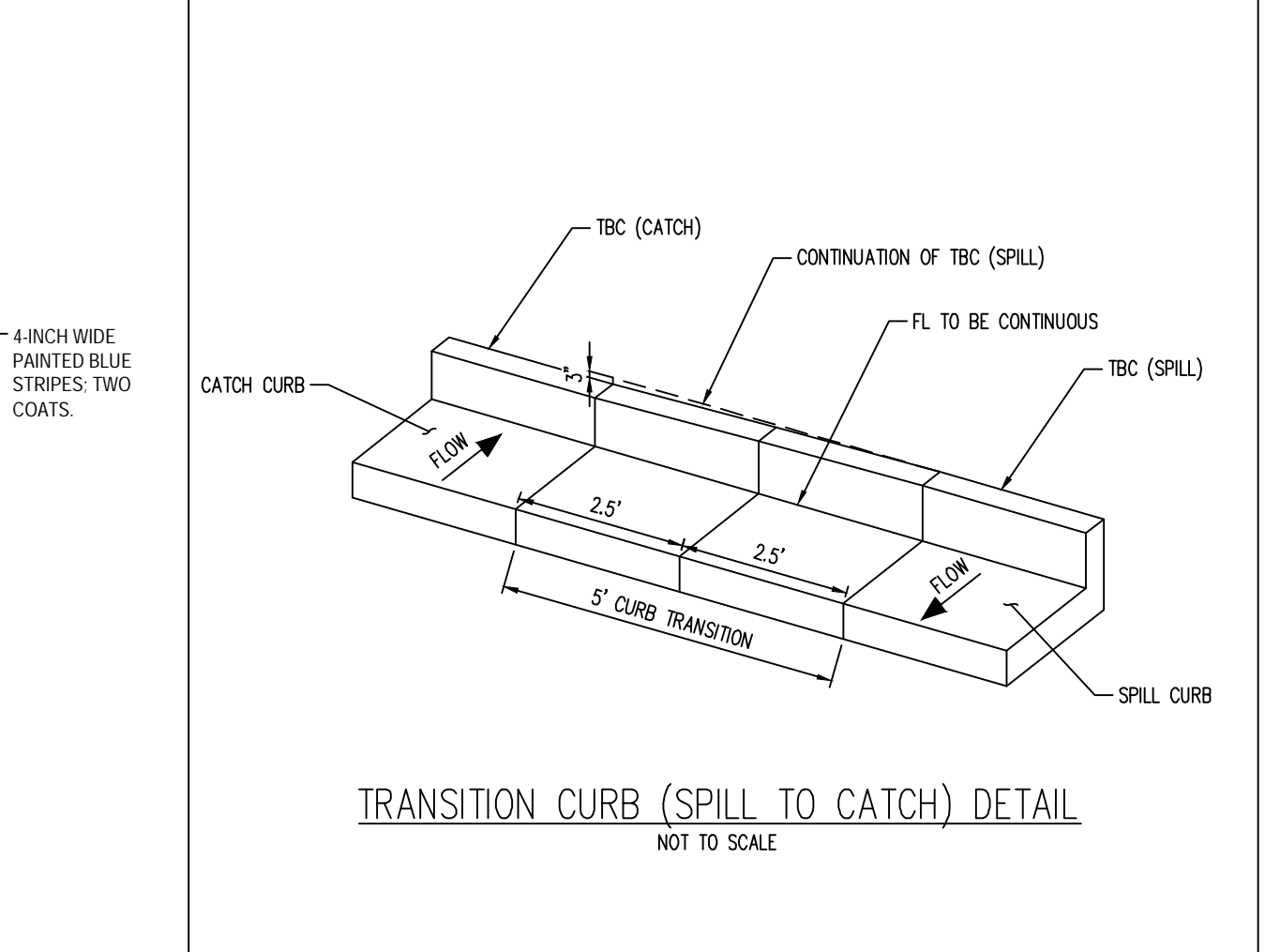
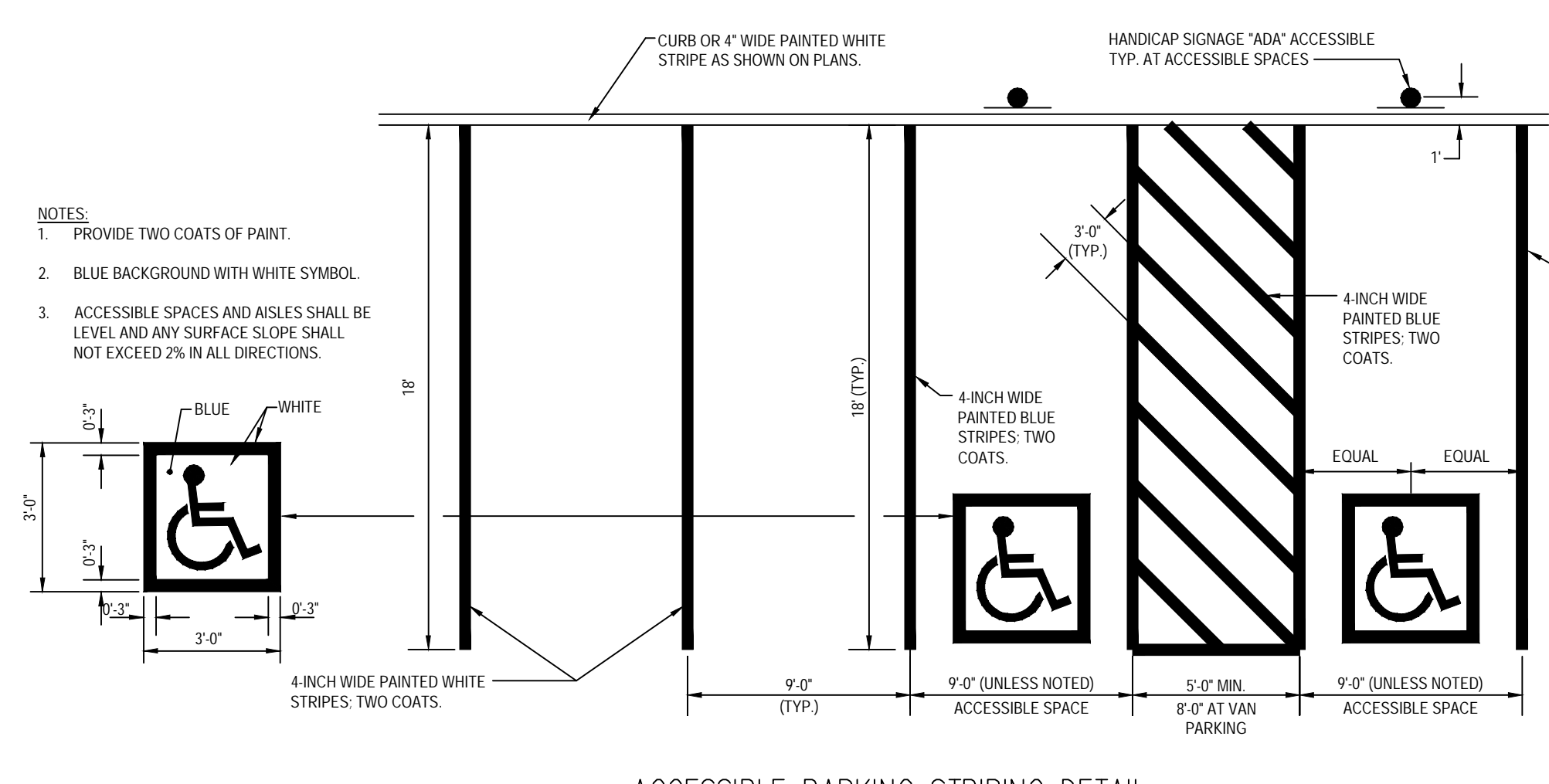
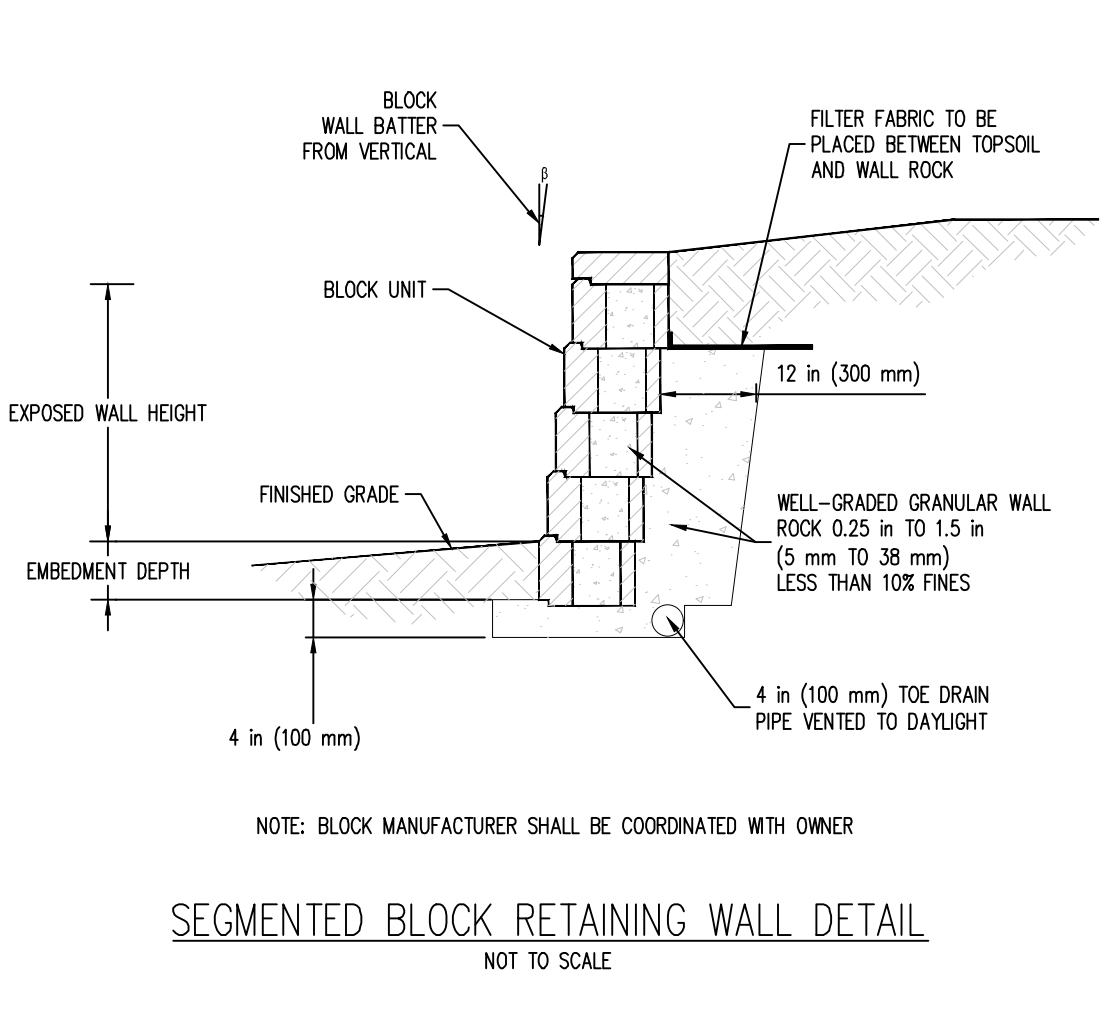
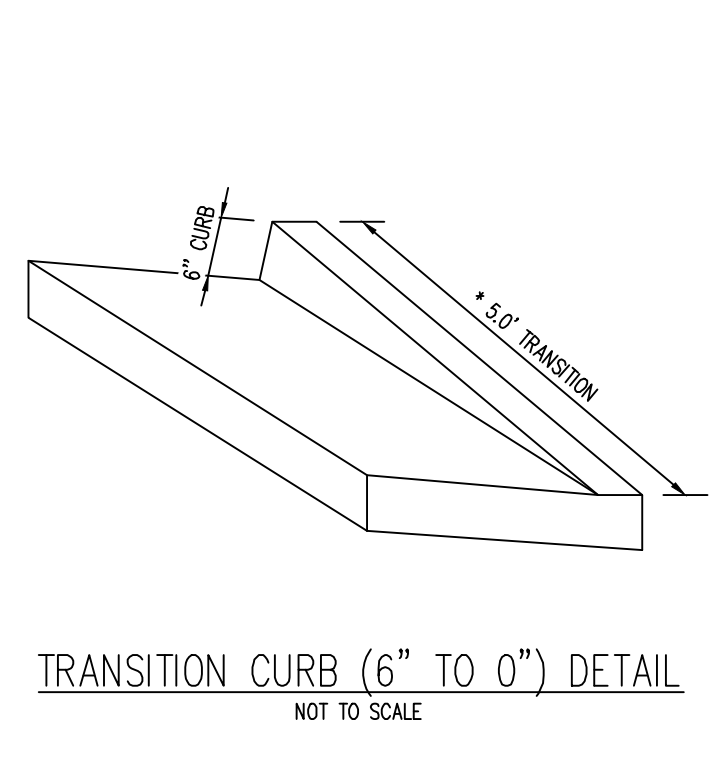
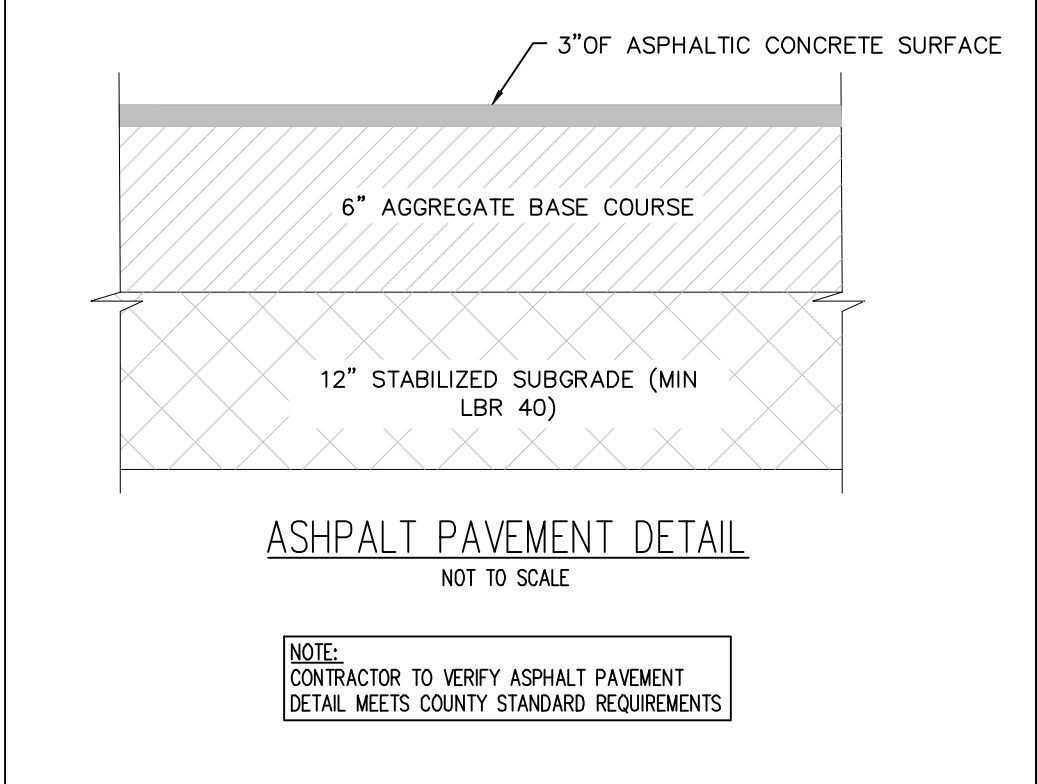
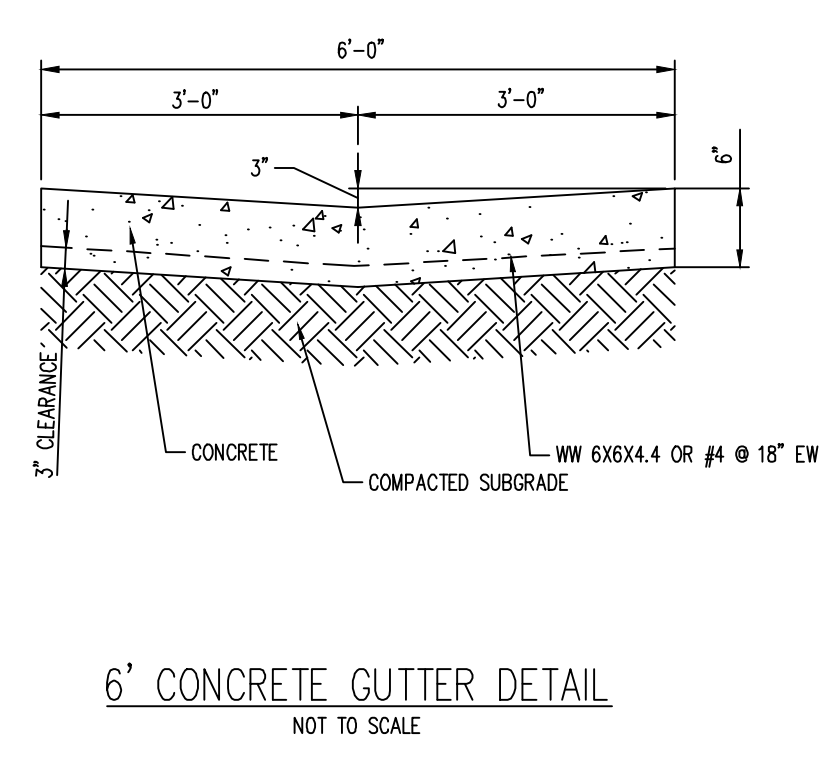
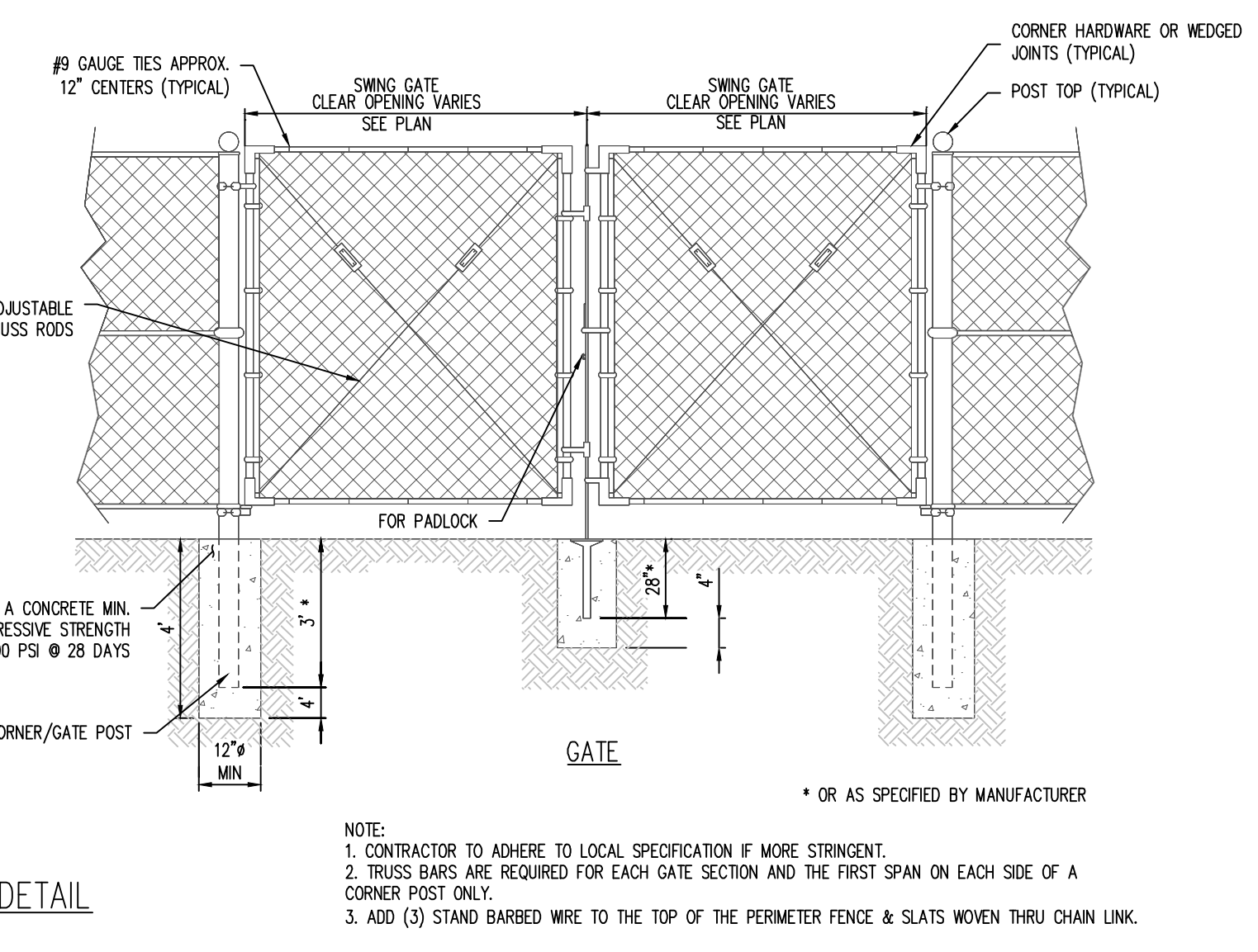
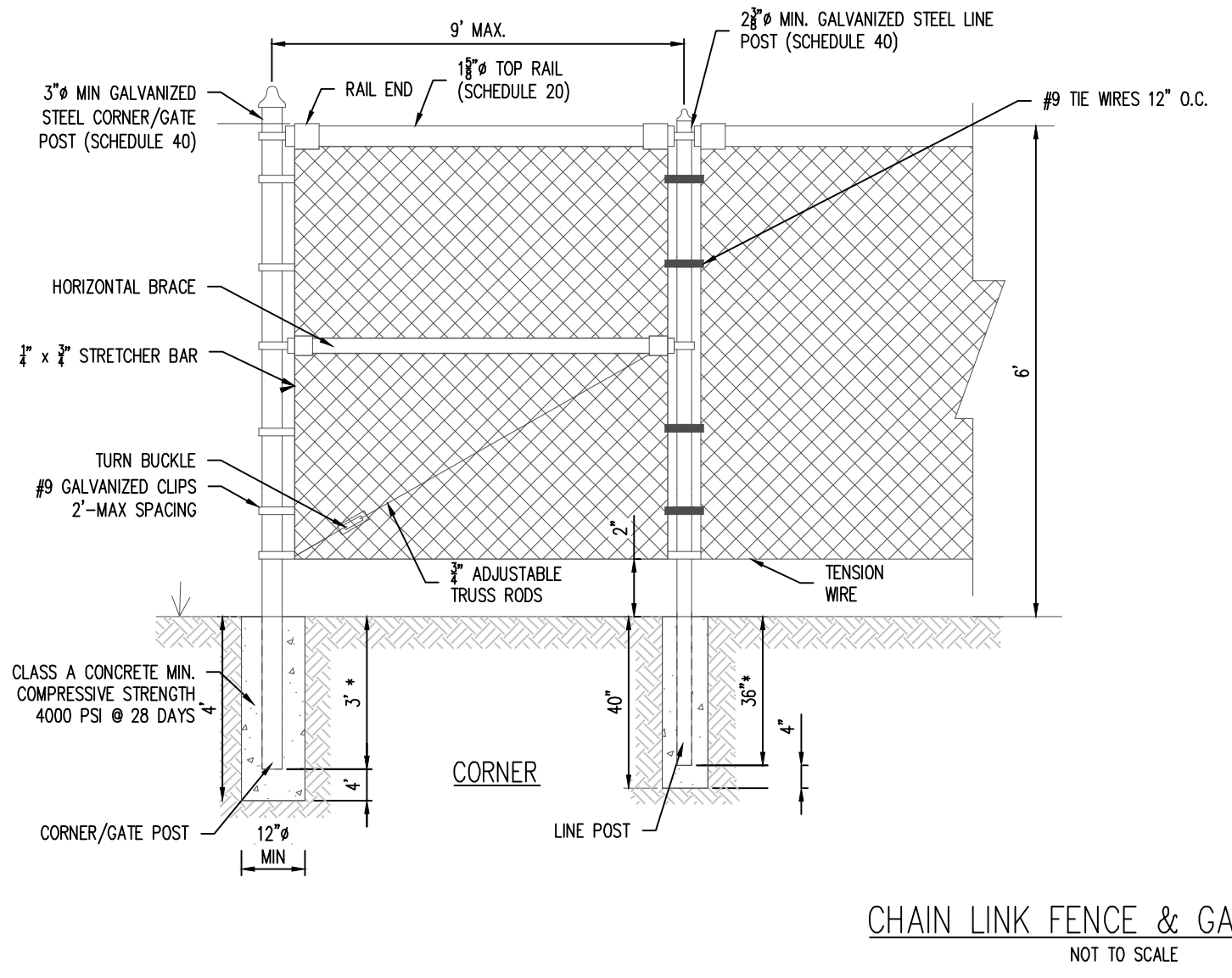
PCD FILING NO. PPR2143
C1.4
 Sheet 6 of 18



HANCOCK EXPRESSWAY
 60' PUBLIC RIGHT OF WAY
 (BOOK 192L PAGE 600)

HAMMERS CONSTRUCTION, LLC 147000086, SMITH PLUMBING & HEATING, LLC 147000087, GALLOWAY ENGINEERING, LLC 147000088, C1.4 PAVING & STRIPING PLAN, DATE: 05/20/24, 04:33:00AM

ENGINEERING RECORD DRAWINGS AS-BUILT DRAWINGS



COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY. AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

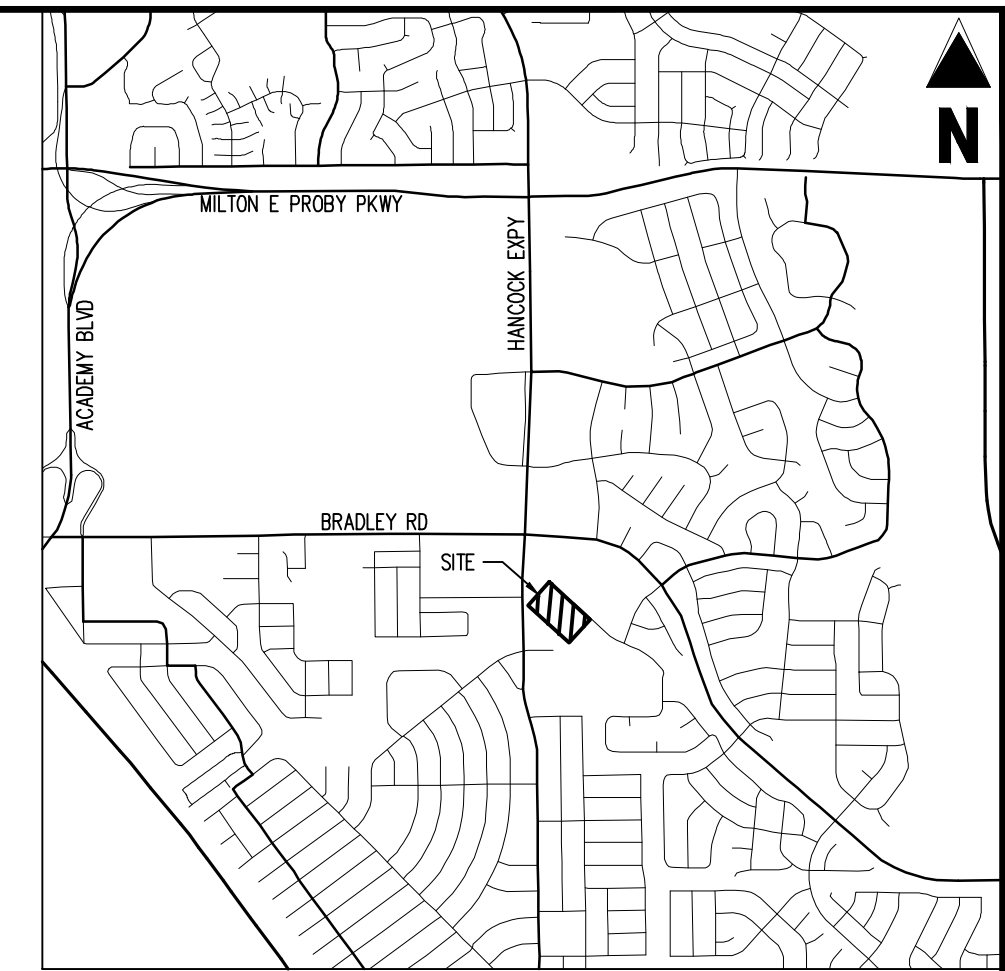


CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR
HAMMERS CONSTRUCTION, LLC
 1875 MAIN STREET
 COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

#	Date	Issue / Description	Init.

Project No: HC1000008
 Drawn By: TPPT
 Checked By: [Signature]
 Date: 05/20/2024

ENGINEERING RECORD DRAWINGS
AS-BUILT DRAWINGS



Galloway

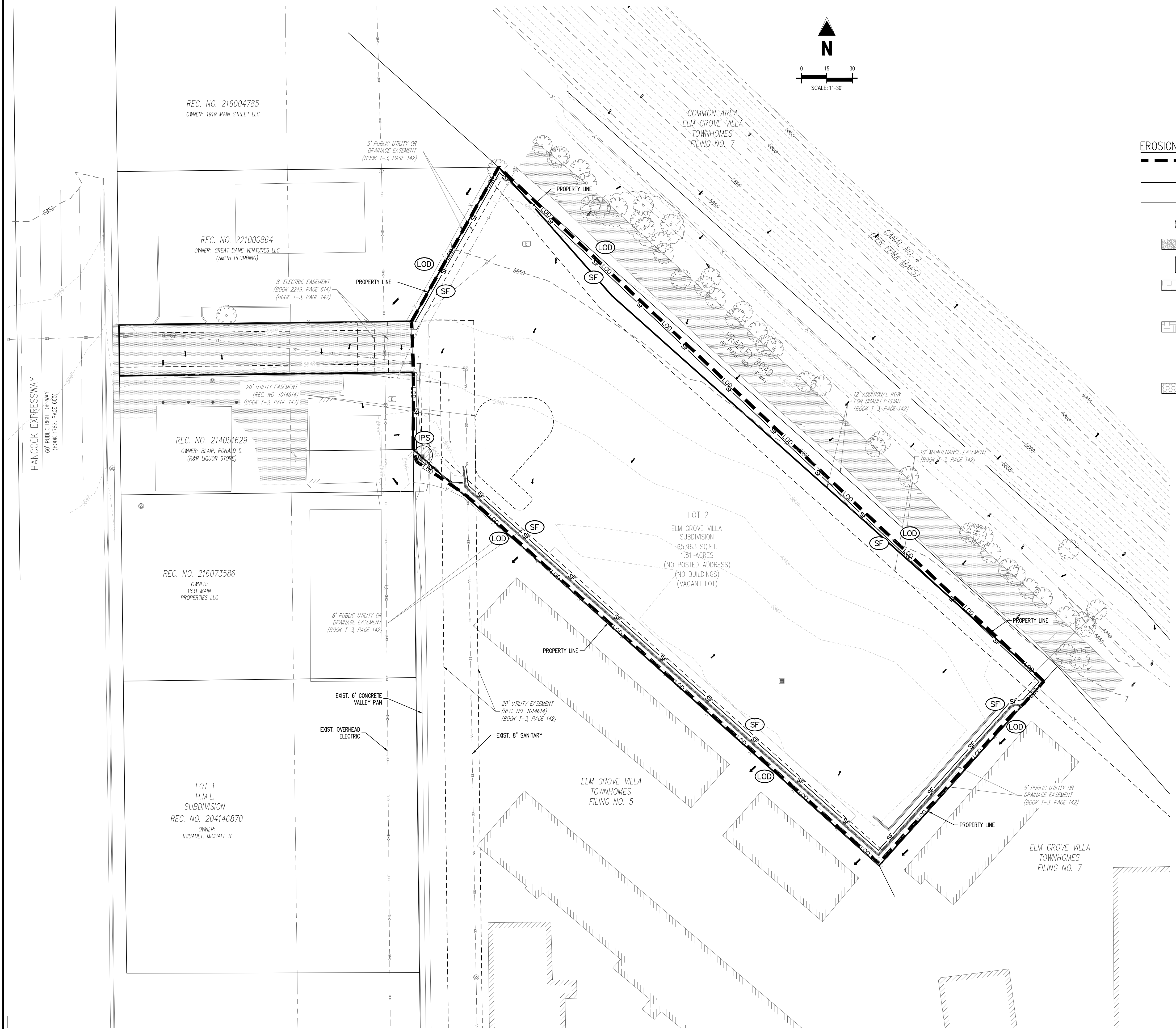
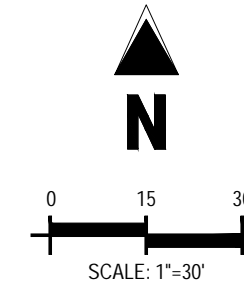
1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220
GallowayUS.com



COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY. AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR
HAMMERS CONSTRUCTION, LLC
1875 MAIN STREET
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY



EROSION CONTROL LEGEND

- LOD LIMITS OF CONSTRUCTION / DISTURBANCE
- SF SILT FENCE
- CF CONSTRUCTION FENCE
- IPS SUMP INLET PROTECTION
- VTC VEHICLE TRACKING CONTROL
- CWA CONCRETE WASHOUT AREA
- SSA STABILIZED STAGING AREA
- PT PORTABLE TOILET
- SP STOCKPILE
- SITE SITE (CONTACTS AND PERMITS)
- WP WASHOUT POSTING
- ECB EROSION CONTROL BLANKET
- SB SEDIMENT BASIN

GRADING LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- PROPOSED SETBACK
- EXISTING EASEMENT LINE
- PROPOSED BUILDING OUTLINE
- EXISTING ASPHALT EDGE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED WATER LINE
- EXISTING WATER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED STORM DRAIN LINE
- EXISTING STORM DRAIN LINE
- PROPOSED DRAINAGE FEATURE OUTLINE
- PROPOSED SWALE WITH FLOW DIRECTION
- EXISTING TOE SLOPE
- EXISTING TOP SLOPE
- CUT / FILL
- PROPOSED RETAINING WALL
- EXISTING RETAINING WALL
- PROPOSED RIP RAP
- EXISTING ASPHALT PAVING
- SPOT ELEVATION - HIGH POINT
- SPOT ELEVATION - LOW POINT
- SPOT ELEVATION - FINISH GRADE
- PROPOSED SLOPE (PERCENT)
- PROPOSED SLOPE (RISE-RUN)
- FLOW ARROW

NOTES

- ADD 5800 TO ALL SPOT ELEVATIONS
- THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.
- NO WETLANDS ARE PRESENT ON THIS SITE.
- THE EROSION CONTROL DEMONSTRATED ON THIS PLAN SHALL BE REGULARLY UPDATED BY THE CONTRACTORS.
- CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE OF THE CONSTRUCTION LIMITS WITH SILT FENCE OR OTHER METHOD TO PROTECT UNDISTURBED AREAS FROM EROSION.
- ALL TEMPORARY OR PERMANENT GRADING DISTURBANCES SHALL BE RE-SEEDING AND MULCHED PER EL PASO COUNTY CRITERIA AND SPECIFICATIONS.
- EXISTING VEGETATION CONSISTS OF NATURAL GRASSES AND SHRUBS.

EROSION CONTROL PHASING SCHEDULE

PHASE	DESCRIPTION
INITIAL	INSTALL SILT FENCE, ALL INLET PROTECTION MEASURES ON EXISTING INLETS, AND CURB SOCKS.
INTERIM	INSTALL PROPOSED WATER QUALITY CAPTURE VOLUME DETENTION BASIN W/ ALL PERMANENT CONTROL MEASURES. THEN, INSTALL STABILIZED STAGING AREA, VEHICLE TRACKING CONTROL AT ENTRANCE, AND CONCRETE WASHOUT AREA. FINALLY, INSTALL PROPOSED STORM SEWER.
FINAL	CONSTRUCT CURB/GUTTER AND PAVEMENT. REMOVE CONSTRUCTION BMP'S ONCE VERTICAL CONSTRUCTION AND APPLICABLE LANDSCAPING IS COMPLETE.

BASIS OF BEARINGS

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6" WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, "T245 R66W W.C. 6.00' S 35 S36 S2 S1 1/2 S R55W 2012 PLS 24313" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, "RMP5 19625", AND IS CONSIDERED TO BEAR N00°42'04"W.

BENCHMARK

PUBLISHED BENCHMARK
FIMS MONUMENT F335
ELEVATION = 5980.39 (NAVD88)

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLDING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

Know what's below.
Call before you dig.

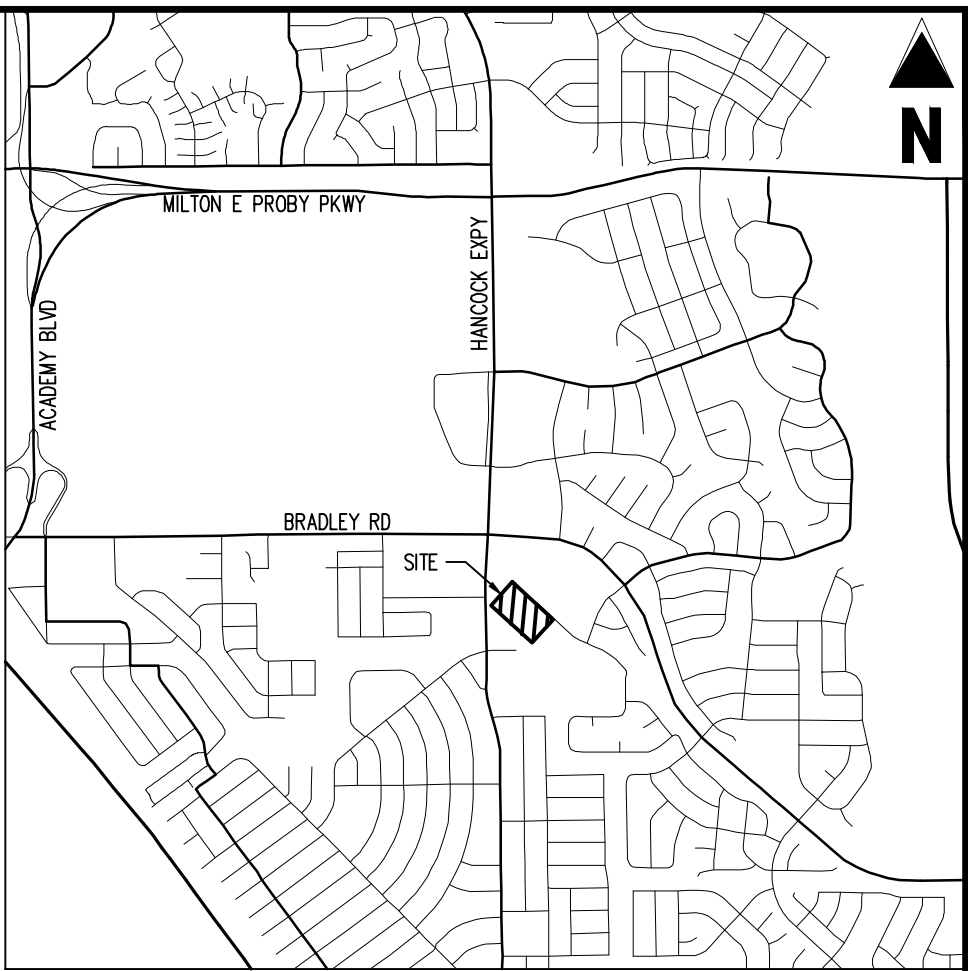


#	Date	Issue / Description	Init.

Project No: HC1000008
Drawn By: TPPT
Checked By:
Date: 05/20/2024
EROSION CONTROL INITIAL PLAN

PCD FILING NO. PPR2143
C2.1
Sheet 8 of 18

**ENGINEERING RECORD DRAWINGS
AS-BUILT DRAWINGS**

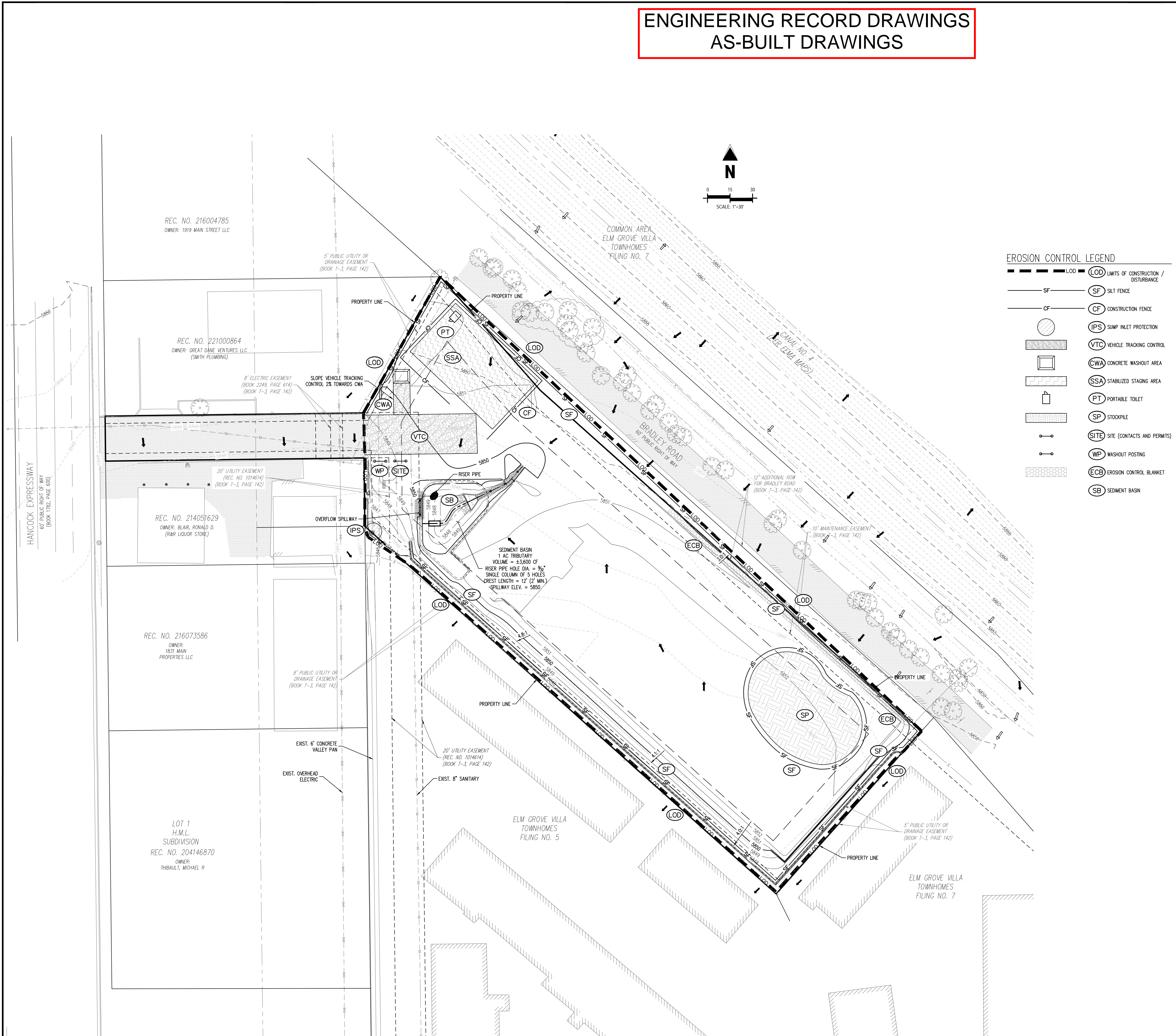


COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



**CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR
HAMMERS CONSTRUCTION, LLC**

1875 MAIN STREET
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY



EROSION CONTROL LEGEND

- LOD LIMITS OF CONSTRUCTION / DISTURBANCE
- SF SILT FENCE
- CF CONSTRUCTION FENCE
- IPS SUMP INLET PROTECTION
- VTC VEHICLE TRACKING CONTROL
- CWA CONCRETE WASHOUT AREA
- SSA STABILIZED STAGING AREA
- PT PORTABLE TOILET
- SP STOCKPILE
- WP WASHOUT POSTING
- ECB EROSION CONTROL BLANKET
- SB SEDIMENT BASIN

GRADING LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- PROPOSED SETBACK
- EXISTING EASEMENT LINE
- PROPOSED BUILDING OUTLINE
- EXISTING ASPHALT EDGE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED WATER LINE
- EXISTING WATER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED STORM DRAIN LINE
- EXISTING STORM DRAIN LINE
- PROPOSED DRAINAGE FEATURE OUTLINE
- PROPOSED SWALE WITH FLOW DIRECTION
- EXISTING TOE SLOPE
- CUT / FILL
- PROPOSED RETAINING WALL
- EXISTING RETAINING WALL
- PROPOSED RIP RAP
- EXISTING ASPHALT PAVING
- SPOT ELEVATION - HIGH POINT
- SPOT ELEVATION - LOW POINT
- SPOT ELEVATION - FINISH GRADE
- PROPOSED SLOPE (PERCENT)
- PROPOSED SLOPE (RISE-RUN)
- FLOW ARROW

- NOTES**
- ADD 5800 TO ALL SPOT ELEVATIONS
 - THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.
 - NO WETLANDS ARE PRESENT ON THIS SITE.
 - THE EROSION CONTROL BENEFITED ON THIS PLAN SHALL BE REGULARLY UPDATED BY THE CONTRACTORS.
 - CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE OF THE CONSTRUCTION LIMITS WITH SILT FENCE OR OTHER METHOD TO PROTECT UNDISTURBED AREAS FROM EROSION.
 - ALL TEMPORARY OR PERMANENT GRADING DISTURBANCES SHALL BE RE-SEEDING AND MULCHED PER EL PASO COUNTY CRITERIA AND SPECIFICATIONS.
 - EXISTING VEGETATION CONSISTS OF NATURAL GRASSES AND SHRUBS.

EROSION CONTROL PHASING SCHEDULE

PHASE	DESCRIPTION
INITIAL	INSTALL SILT FENCE, ALL INLET PROTECTION MEASURES ON EXISTING INLETS, AND CURB SOCKS.
INTERIM	INSTALL PROPOSED WATER QUALITY CAPTURE VOLUME DETENTION BASIN W/ ALL PERMANENT CONTROL MEASURES, THEN INSTALL STABILIZED STAGING AREA, VEHICLE TRACKING CONTROL AT ENTRANCE, AND CONCRETE WASHOUT AREA. FINALLY, INSTALL PROPOSED STORM SEWER.
FINAL	CONSTRUCT CURB/GUTTER AND PAVEMENT. REMOVE CONSTRUCTION BMP'S ONCE VERTICAL CONSTRUCTION AND APPLICABLE LANDSCAPING IS COMPLETE.

BASIS OF BEARINGS
BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6" WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, "T24S R66W W.C. 6.00' S 35 S36 S2 S1 T1 S R55W 2012 PLS 24313" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, "RMP5 19625", AND IS CONSIDERED TO BEAR N00°42'04"N.

BENCHMARK
PUBLISHED BENCHMARK
FMS MONUMENT F335
ELEVATION = 5980.39 (NAVD88)

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLDING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

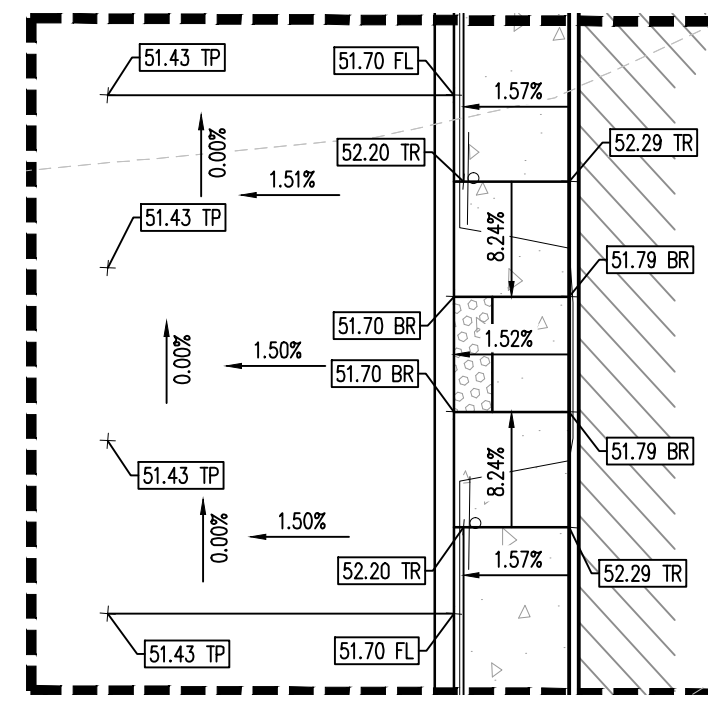
811
Know what's below.
Call before you dig.

#	Date	Issue / Description	Init.

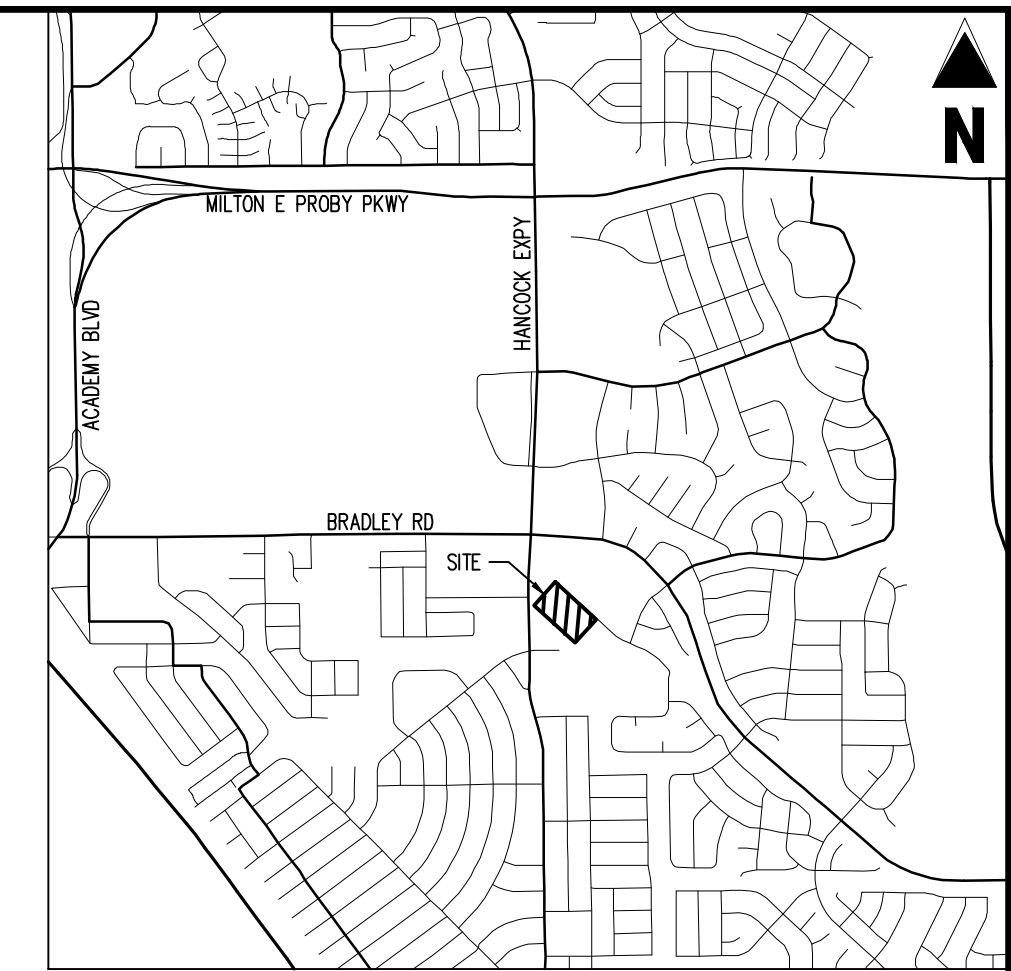
Project No: HCI000008
Drawn By: TPPT
Checked By: [Signature]
Date: 05/20/2024

DRAWN BY: TPPT, CHECKED BY: [Signature], DATE: 05/20/2024

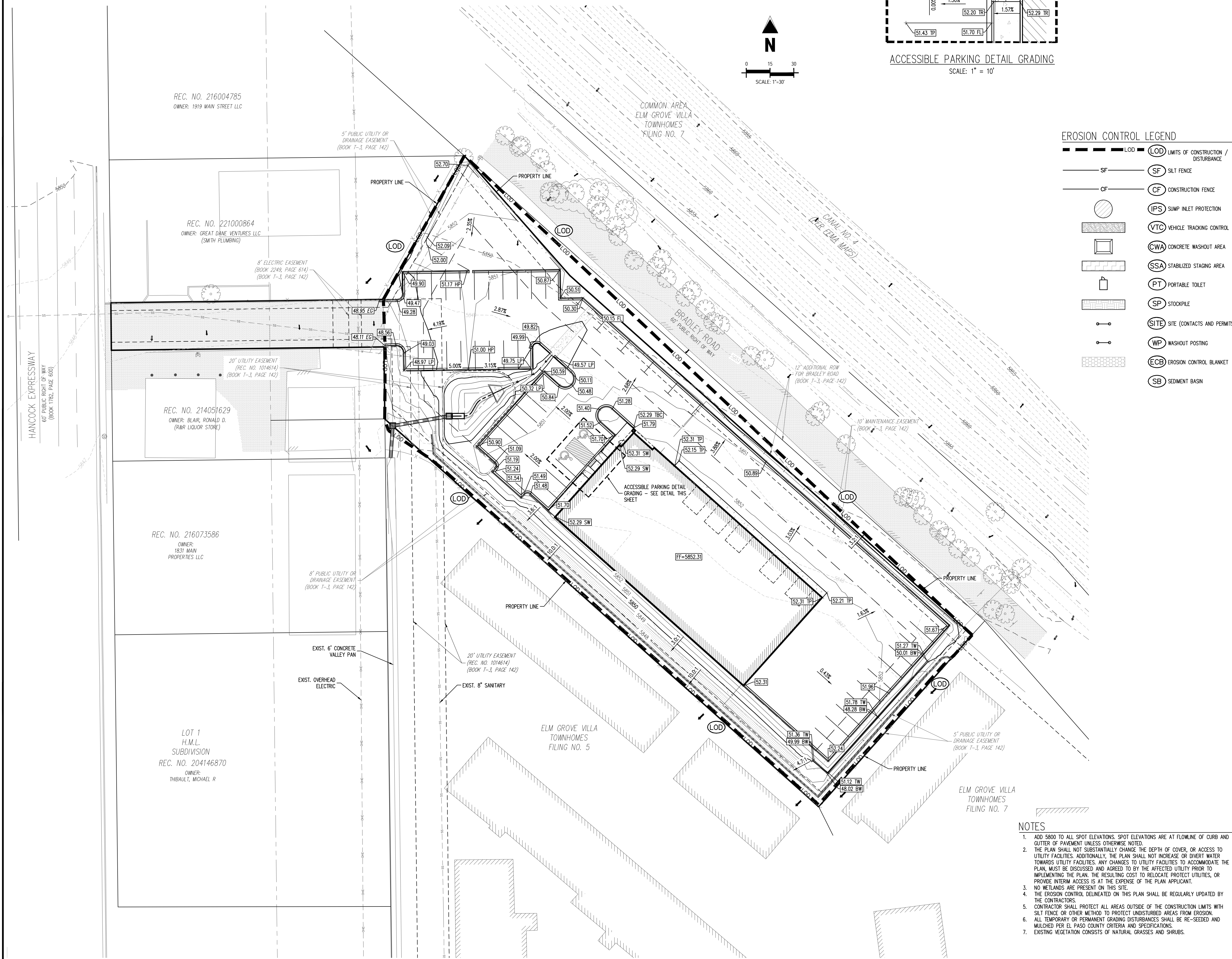
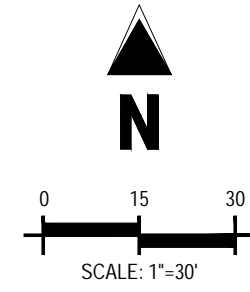
ENGINEERING RECORD DRAWINGS AS-BUILT DRAWINGS



ACCESSIBLE PARKING DETAIL GRADING
SCALE: 1" = 10'



VICINITY MAP
SCALE: 1" = 500'



EROSION CONTROL LEGEND

- LOD** LIMITS OF CONSTRUCTION / DISTURBANCE
- SF** SILT FENCE
- CF** CONSTRUCTION FENCE
- IPS** SUMP INLET PROTECTION
- VTC** VEHICLE TRACKING CONTROL
- CWA** CONCRETE WASHOUT AREA
- SSA** STABILIZED STAGING AREA
- PT** PORTABLE TOILET
- SP** STOCKPILE
- SITE** SITE (CONTACTS AND PERMITS)
- WP** WASHOUT POSTING
- ECB** EROSION CONTROL BLANKET
- SB** SEDIMENT BASIN

GRADING LEGEND

- PROPERTY BOUNDARY LINE
 - ADJACENT PROPERTY BOUNDARY LINE
 - PROPOSED SETBACK
 - EXISTING EASEMENT LINE
 - PROPOSED BUILDING OUTLINE
 - EXISTING ASPHALT EDGE
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - PROPOSED WATER LINE
 - EXISTING WATER LINE
 - PROPOSED SANITARY SEWER LINE
 - EXISTING SANITARY SEWER LINE
 - EXISTING STORM DRAIN LINE
 - EXISTING STORM DRAIN LINE
 - PROPOSED DRAINAGE FEATURE OUTLINE
 - PROPOSED SWALE WITH FLOW DIRECTION
 - EXISTING TOE SLOPE
 - EXISTING TOP SLOPE
 - CUT / FILL
 - PROPOSED RETAINING WALL
 - EXISTING RETAINING WALL
 - PROPOSED RIP RAP
 - EXISTING ASPHALT PAVING
-
- 55.00 EG** SPOT ELEVATION - EXISTING GRADE
 - 55.00 HP** SPOT ELEVATION - HIGH POINT
 - 55.00 LP** SPOT ELEVATION - LOW POINT
 - 55.00 SW** SPOT ELEVATION - SIDEWALK
 - 55.00 FL** SPOT ELEVATION - FLOW LINE
 - 55.00 TOW** SPOT ELEVATION - TOP OF WALL
 - 55.00 BOW** SPOT ELEVATION - BOTTOM OF WALL
 - 55.00 TR** SPOT ELEVATION - TOP OF RAMP
 - 55.00 BR** SPOT ELEVATION - BOTTOM OF RAMP
 - 55.00 TP** SPOT ELEVATION - TOP OF PAVEMENT
 - 2.00%** PROPOSED SLOPE (PERCENT)
 - 4:1** PROPOSED SLOPE (RISE:RUN)
 - FLOW ARROW

EROSION CONTROL PHASING SCHEDULE

PHASE	DESCRIPTION
INITIAL	INSTALL SILT FENCE, ALL INLET PROTECTION MEASURES ON EXISTING INLETS, AND CURB SOCKS.
INTERIM	INSTALL PROPOSED WATER QUALITY CAPTURE VOLUME DETENTION BASIN W/ ALL PERMANENT CONTROL MEASURES, THEN, INSTALL STABILIZED STAGING AREA, VEHICLE TRACKING CONTROL AT ENTRANCE, AND CONCRETE WASHOUT AREA. FINALLY, INSTALL PROPOSED STORM SEWER.
FINAL	CONSTRUCT CURB/GUTTER AND PAVEMENT. REMOVE CONSTRUCTION BMP'S ONCE VERTICAL CONSTRUCTION AND APPLICABLE LANDSCAPING IS COMPLETE.

BASIS OF BEARINGS

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6\"/>

BENCHMARK

PUBLISHED BENCHMARK
FIMS MONUMENT FX35
ELEVATION = 5980.39 (NAVD88)

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

NOTES

- ADD 5800 TO ALL SPOT ELEVATIONS. SPOT ELEVATIONS ARE AT FLOWLINE OF CURB AND GUTTER OF PAVEMENT UNLESS OTHERWISE NOTED.
- THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PLAN, MUST BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.
- NO WETLANDS ARE PRESENT ON THIS SITE.
- THE EROSION CONTROL DELINEATED ON THIS PLAN SHALL BE REGULARLY UPDATED BY THE CONTRACTORS.
- CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE OF THE CONSTRUCTION LIMITS WITH SILT FENCE OR OTHER METHOD TO PROTECT UNDISTURBED AREAS FROM EROSION.
- ALL TEMPORARY OR PERMANENT GRADING DISTURBANCES SHALL BE RE-SEEDED AND MULCHED PER EL PASO COUNTY CRITERIA AND SPECIFICATIONS.
- EXISTING VEGETATION CONSISTS OF NATURAL GRASSES AND SHRUBS.



Galloway
1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220
GallowayUS.com



COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

HAMMERS CONSTRUCTION
QUALITY COMMERCIAL CONSTRUCTION SINCE 1983

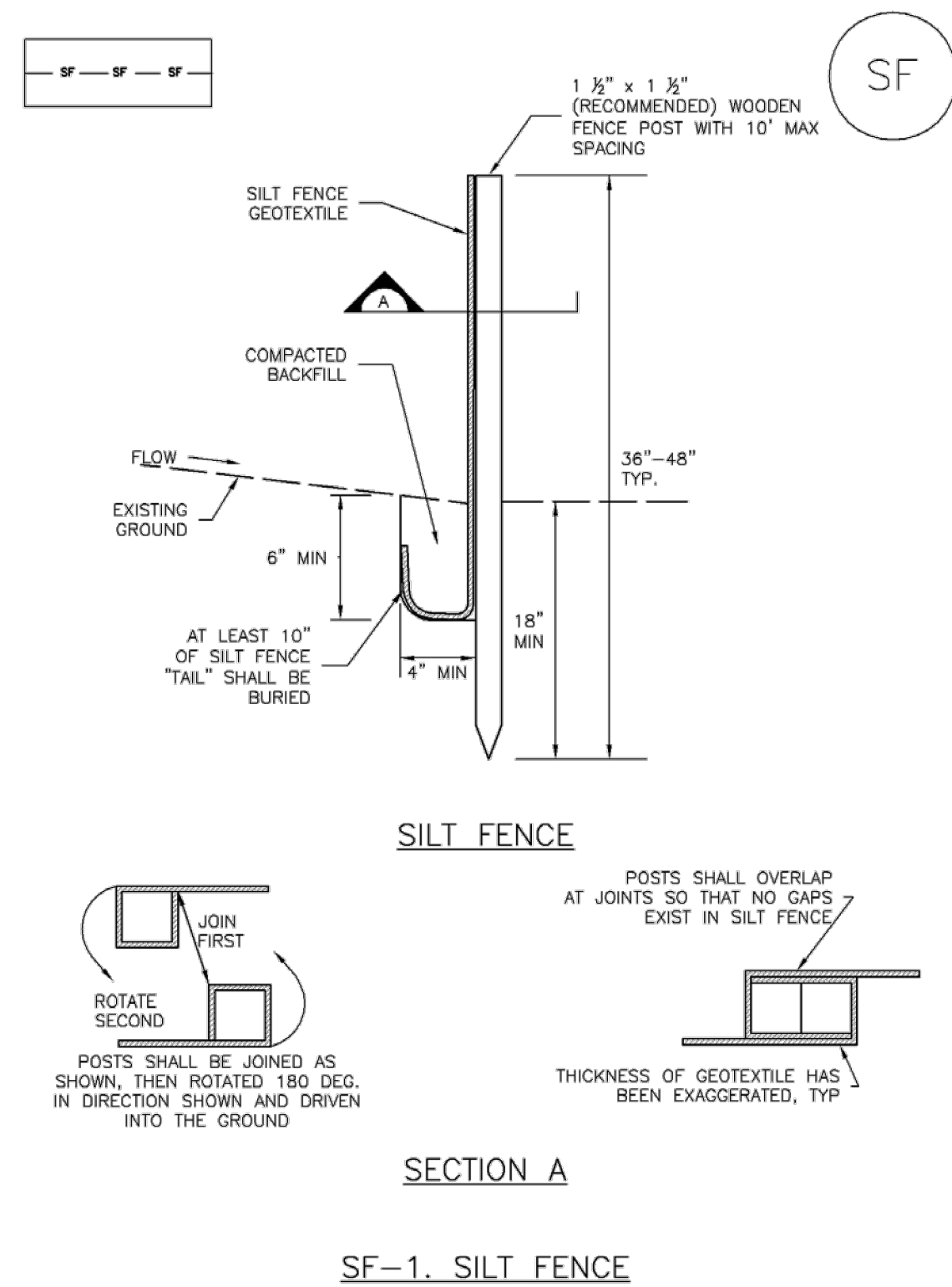
CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR
HAMMERS CONSTRUCTION, LLC
1875 MAIN STREET
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

#	Date	Issue / Description	Init.

Project No: HCI000008
Drawn By: TPT
Checked By: [Signature]
Date: 05/20/2024
GRADING & EROSION CONTROL FINAL PLAN
PCD FILING NO. PRR2143
C2.3
Sheet 10 of 18

Silt Fence (SF)

SC-1



November 2010 Urban Drainage and Flood Control District SF-3
Urban Storm Drainage Criteria Manual Volume 3

SC-1

Silt Fence (SF)

SILT FENCE INSTALLATION NOTES

1. SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
2. A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
3. COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
4. SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
5. SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
6. AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK." THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
7. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

SILT FENCE MAINTENANCE NOTES

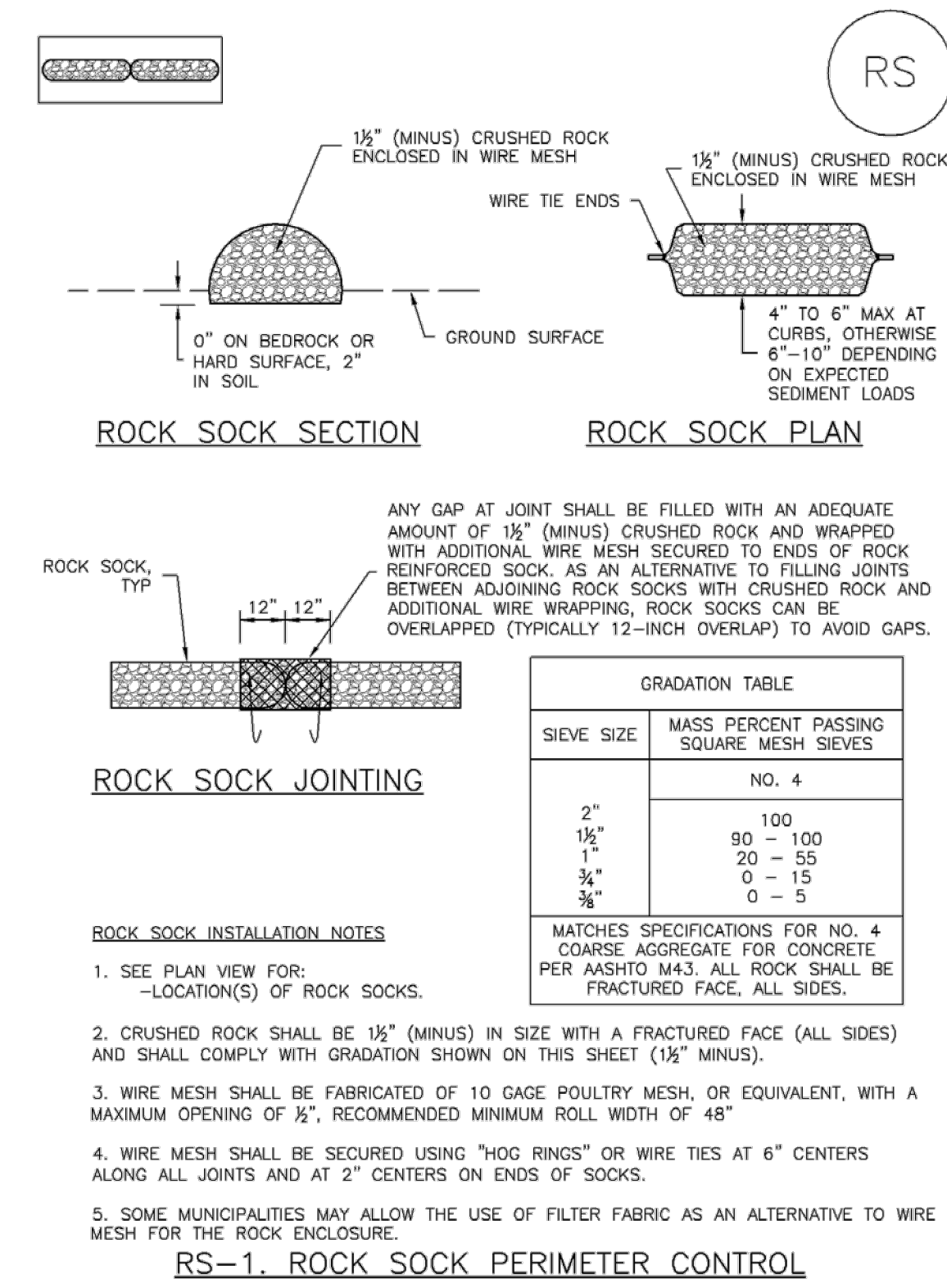
1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".
5. REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
6. SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
7. WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, NOT AVAILABLE IN AUTOCAD)
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

SF-4 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

SC-5

Rock Sock (RS)



RS-2 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

Construction Fence (CF)

SM-3

CONSTRUCTION FENCE MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. CONSTRUCTION FENCE SHALL BE REPAIRED OR REPLACED WHEN THERE ARE SIGNS OF DAMAGE SUCH AS RIPS OR SAGS. CONSTRUCTION FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
5. WHEN CONSTRUCTION FENCES ARE REMOVED, ALL DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE FENCE SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)

November 2010 Urban Drainage and Flood Control District CF-3
Urban Storm Drainage Criteria Manual Volume 3

Construction Fence (CF)

SM-3

CONSTRUCTION FENCE MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. CONSTRUCTION FENCE SHALL BE REPAIRED OR REPLACED WHEN THERE ARE SIGNS OF DAMAGE SUCH AS RIPS OR SAGS. CONSTRUCTION FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
5. WHEN CONSTRUCTION FENCES ARE REMOVED, ALL DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE FENCE SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)

November 2010 Urban Drainage and Flood Control District CF-3
Urban Storm Drainage Criteria Manual Volume 3

Rock Sock (RS)

SC-5

ROCK SOCK MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED BEYOND REPAIR.
5. SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE ROCK SOCK.
6. ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
7. WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF ROCK SOCK INSTALLATION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY OTHER SIMILAR PROPRIETARY PRODUCTS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY PROTECTION PRODUCTS; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

November 2010 Urban Drainage and Flood Control District RS-3
Urban Storm Drainage Criteria Manual Volume 3

**ENGINEERING RECORD DRAWINGS
AS-BUILT DRAWINGS**



COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



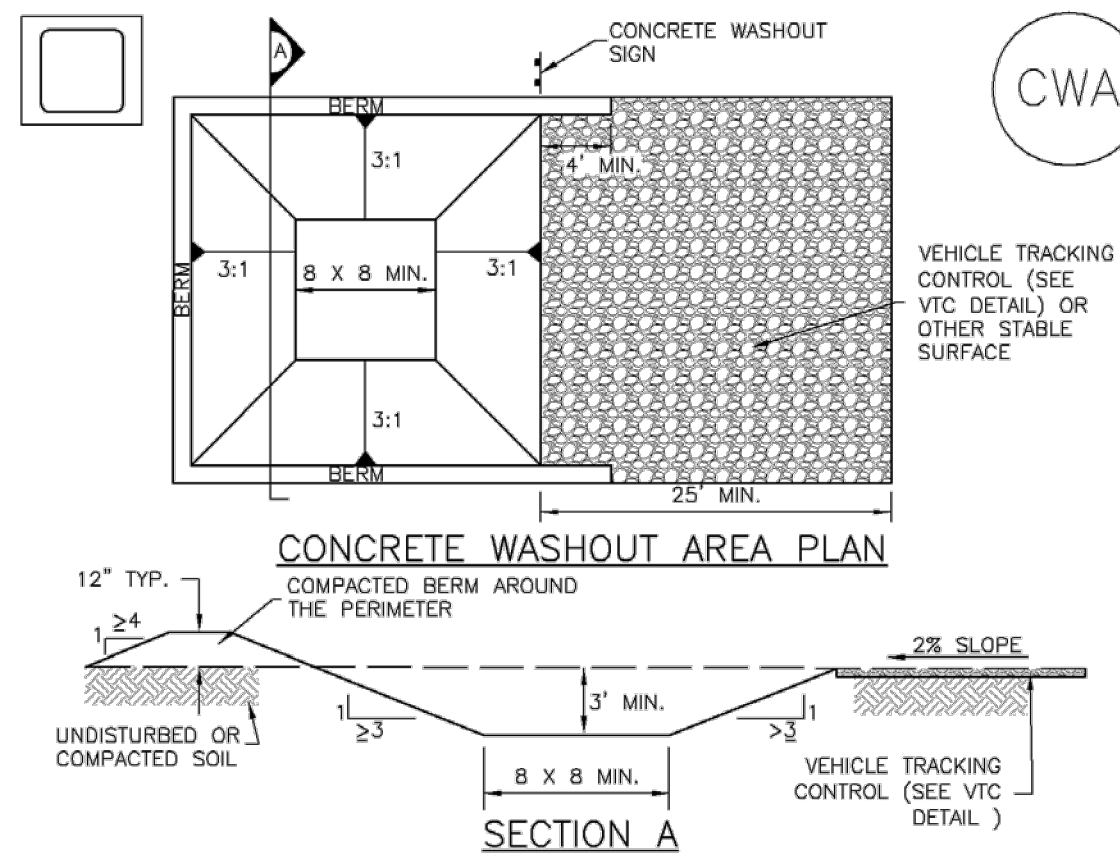
CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR
HAMMERS CONSTRUCTION, LLC
1875 MAIN STREET
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

#	Date	Issue / Description	Init.

Project No: HCI000008
Drawn By: TPT
Checked By: [Signature]
Date: 05/20/2024
GEC DETAILS

Concrete Washout Area (CWA)

MM-1



CWA-1. CONCRETE WASHOUT AREA

CWA INSTALLATION NOTES

- 1. SEE PLAN VIEW FOR: -CWA INSTALLATION LOCATION.
2. DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY...
3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
4. CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER...
5. BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
6. VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
7. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
8. USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 CWA-3

Concrete Washout Area (CWA)

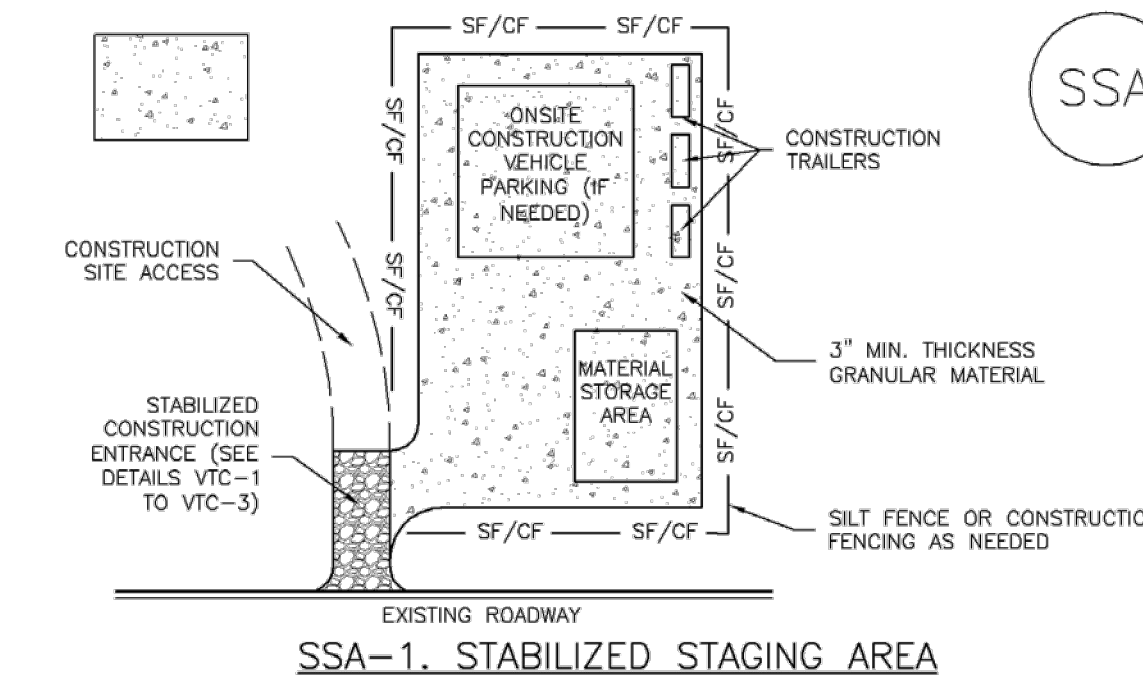
CWA MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE...
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION...
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE...
5. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE...
6. THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
7. WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

CWA-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

Stabilized Staging Area (SSA)

SM-6



SSA-1. STABILIZED STAGING AREA

STABILIZED STAGING AREA INSTALLATION NOTES

- 1. SEE PLAN VIEW FOR: -LOCATION OF STAGING AREA(S). -CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
2. STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
3. STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
4. THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
5. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
6. ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

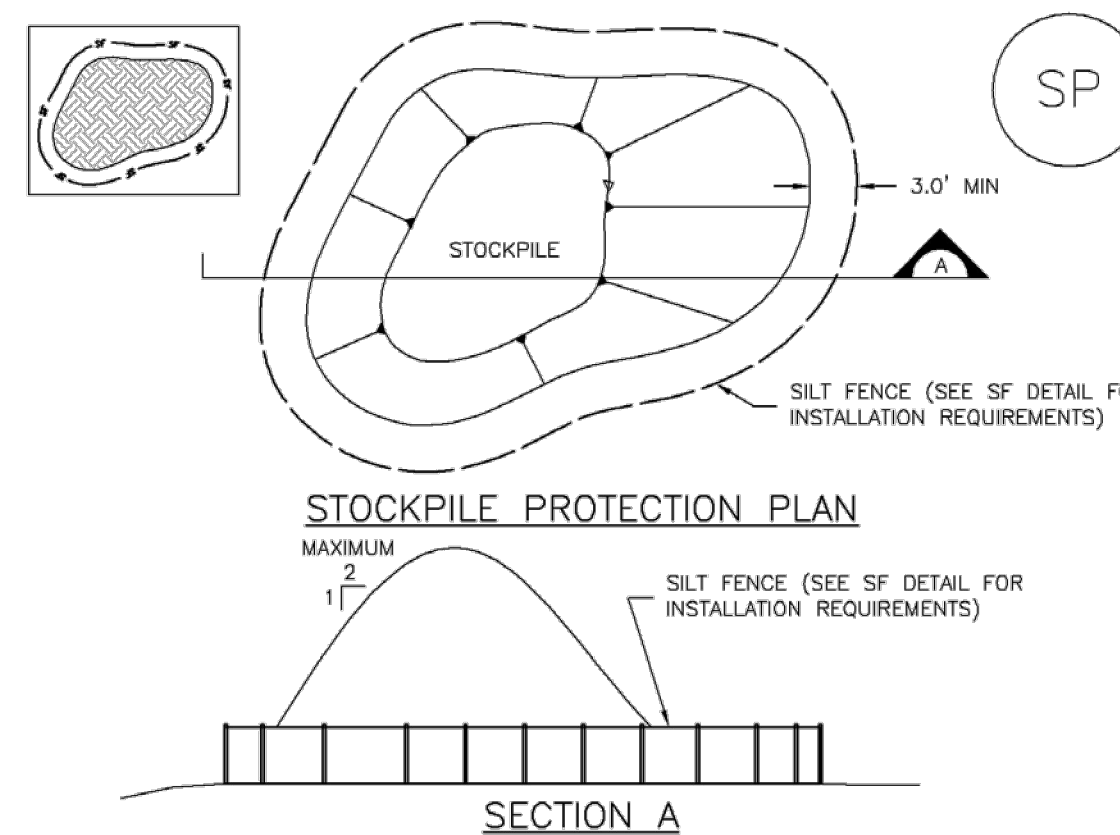
STABILIZED STAGING AREA MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE...
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION...
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SSA-3

Stockpile Management (SP)

MM-2



SP-1. STOCKPILE PROTECTION

STOCKPILE PROTECTION INSTALLATION NOTES

- 1. SEE PLAN VIEW FOR: -LOCATION OF STOCKPILES. -TYPE OF STOCKPILE PROTECTION.
2. INSTALL PERIMETER CONTROLS IN ACCORDANCE WITH THEIR RESPECTIVE DESIGN DETAILS. SILT FENCE IS SHOWN IN THE STOCKPILE PROTECTION DETAILS; HOWEVER, OTHER TYPES OF PERIMETER CONTROLS INCLUDING SEDIMENT CONTROL LOGS OR ROCK SOCKS MAY BE SUITABLE IN SOME CIRCUMSTANCES...
3. STABILIZE THE STOCKPILE SURFACE WITH SURFACE ROUGHENING, TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS, OR SOIL BINDERS...
4. FOR TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNGRADEMENT CONTROLS, INCLUDING PERIMETER CONTROL, ARE IN PLACE, STOCKPILE PERIMETER CONTROLS MAY NOT BE REQUIRED.

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SP-3

Stockpile Management (SM)

STOCKPILE PROTECTION MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE...
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION...
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

STOCKPILE PROTECTION INSTALLATION NOTES

- 4. IF PERIMETER PROTECTION MUST BE MOVED TO ACCESS SOIL STOCKPILE, REPLACE PERIMETER CONTROLS BY THE END OF THE WORKDAY.
5. STOCKPILE PERIMETER CONTROLS CAN BE REMOVED ONCE ALL THE MATERIAL FROM THE STOCKPILE HAS BEEN USED.
(Details adapted from Parker, Colorado, not available in AutoCAD)
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

SP-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

Stabilized Staging Area (SSA)

STABILIZED STAGING AREA MAINTENANCE NOTES

- 5. STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.
6. THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEEDING AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.
NOTE: MANY MUNICIPALITIES PROHIBIT THE USE OF RECYCLED CONCRETE AS GRANULAR MATERIAL FOR STABILIZED STAGING AREAS DUE TO DIFFICULTIES WITH RE-ESTABLISHMENT OF VEGETATION IN AREAS WHERE RECYCLED CONCRETE WAS PLACED.
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.
(Details adapted from Douglas County, Colorado, not available in AutoCAD)

SSA-4 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

ENGINEERING RECORD DRAWINGS AS-BUILT DRAWINGS



COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



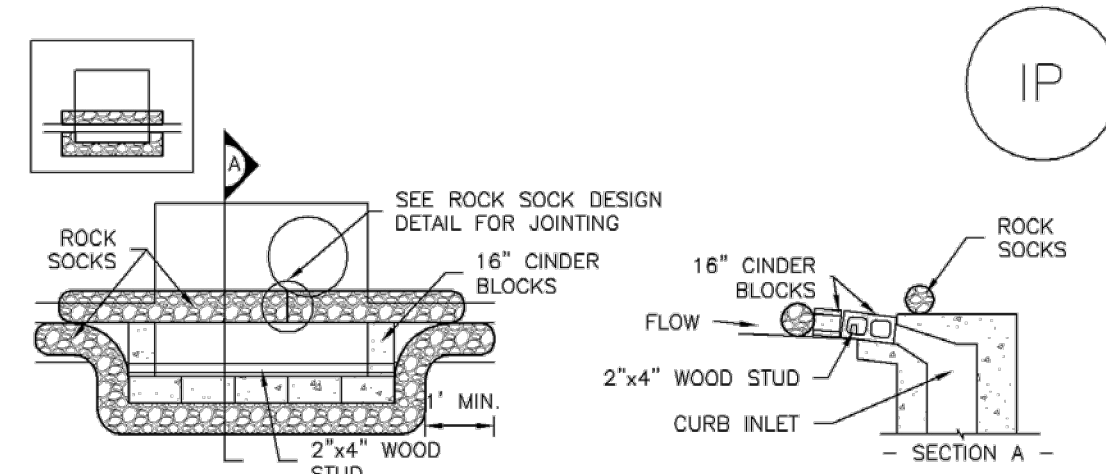
CONSTRUCTION DOCUMENTS SMITH PLUMBING & HEATING FOR HAMMERS CONSTRUCTION, LLC 1875 MAIN STREET COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

Table with 3 columns: #, Date, Issue / Description, Init. It contains several rows of empty space for tracking changes.

Project No: HCI000008 Drawn By: TPPT Checked By: Date: 05/20/2024 GEC DETAILS

SC-6

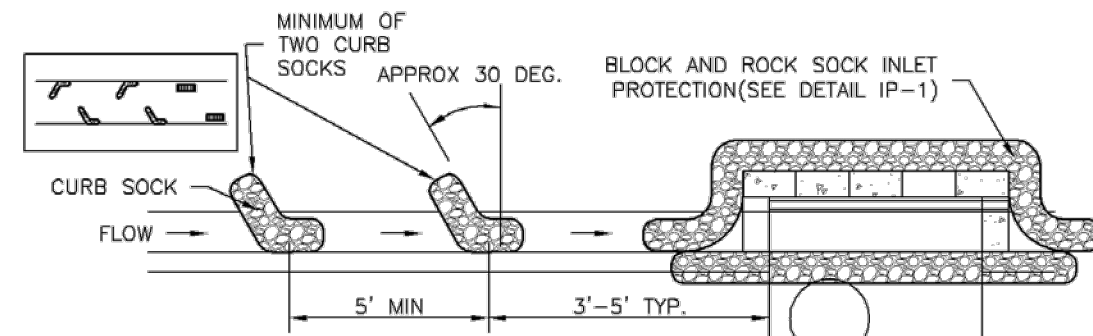
Inlet Protection (IP)



IP-1. BLOCK AND ROCK SOCK SUMP OR ON GRADE INLET PROTECTION

BLOCK AND CURB SOCK INLET PROTECTION INSTALLATION NOTES

- 1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. CONCRETE "CINDER" BLOCKS SHALL BE LAID ON THEIR SIDES AROUND THE INLET IN A SINGLE ROW, ABUTTING ONE ANOTHER WITH THE OPEN END FACING AWAY FROM THE CURB.
3. GRAVEL BAGS SHALL BE PLACED AROUND CONCRETE BLOCKS, CLOSELY ABUTTING ONE ANOTHER AND JOINTED TOGETHER IN ACCORDANCE WITH ROCK SOCK DESIGN DETAIL.



IP-2. CURB ROCK SOCKS UPSTREAM OF INLET PROTECTION

CURB ROCK SOCK INLET PROTECTION INSTALLATION NOTES

- 1. SEE ROCK SOCK DESIGN DETAIL INSTALLATION REQUIREMENTS.
2. PLACEMENT OF THE SOCK SHALL BE APPROXIMATELY 30 DEGREES FROM PERPENDICULAR IN THE OPPOSITE DIRECTION OF FLOW.
3. SOCKS ARE TO BE FLUSH WITH THE CURB AND SPACED A MINIMUM OF 5 FEET APART.
4. AT LEAST TWO CURB SOCKS IN SERIES ARE REQUIRED UPSTREAM OF ON-GRADE INLETS.

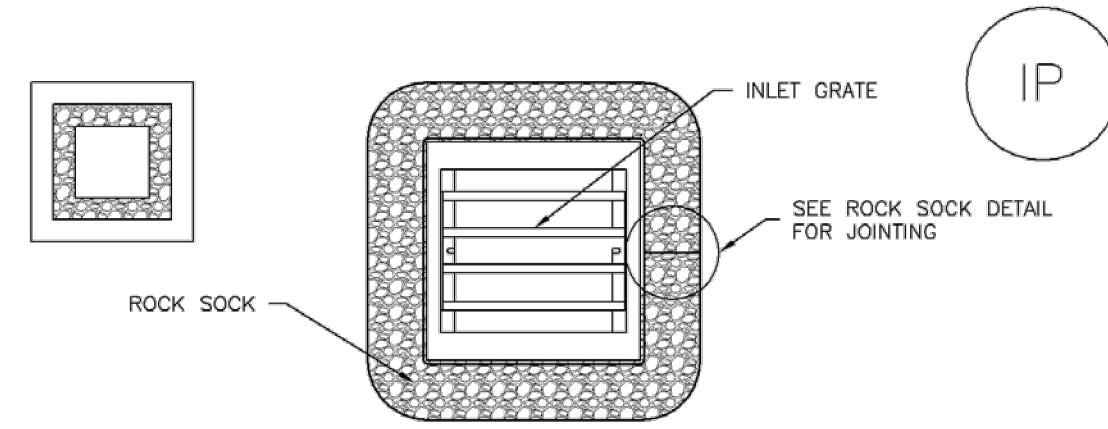
IP-4

Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3

August 2013

Inlet Protection (IP)

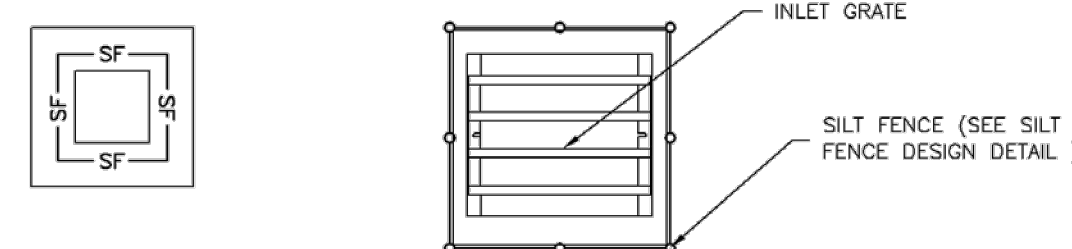
SC-6



IP-3. ROCK SOCK SUMP/AREA INLET PROTECTION

ROCK SOCK SUMP/AREA INLET PROTECTION INSTALLATION NOTES

- 1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF ROCK SOCKS FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.



IP-4. SILT FENCE FOR SUMP INLET PROTECTION

SILT FENCE INLET PROTECTION INSTALLATION NOTES

- 1. SEE SILT FENCE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. POSTS SHALL BE PLACED AT EACH CORNER OF THE INLET AND AROUND THE EDGES AT A MAXIMUM SPACING OF 3 FEET.
3. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF SILT FENCE FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.

August 2013

Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3

IP-5

SC-6

Inlet Protection (IP)

GENERAL INLET PROTECTION INSTALLATION NOTES

- 1. SEE PLAN VIEW FOR:
- LOCATION OF INLET PROTECTION.
- TYPE OF INLET PROTECTION (IP-1, IP-2, IP-3, IP-4, IP-5, IP-6)
2. INLET PROTECTION SHALL BE INSTALLED PROMPTLY AFTER INLET CONSTRUCTION OR PAVING IS COMPLETE (TYPICALLY WITHIN 48 HOURS). IF A RAINFALL/RUNOFF EVENT IS FORECAST, INSTALL INLET PROTECTION PRIOR TO ONSET OF EVENT.
3. MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

INLET PROTECTION MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF INLET PROTECTION SHALL BE REMOVED AS NECESSARY TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN STORAGE VOLUME REACHES 50% OF CAPACITY, A DEPTH OF 6" WHEN SILT FENCE IS USED, OR 1/4 OF THE HEIGHT FOR STRAW BALES.
5. INLET PROTECTION IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED, UNLESS THE LOCAL JURISDICTION APPROVES EARLIER REMOVAL OF INLET PROTECTION IN STREETS.
6. WHEN INLET PROTECTION AT AREA INLETS IS REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF INLET PROTECTION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY PROPRIETARY INLET PROTECTION METHODS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY INLET PROTECTION; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

NOTE: SOME MUNICIPALITIES DISCOURAGE OR PROHIBIT THE USE OF STRAW BALES FOR INLET PROTECTION. CHECK WITH LOCAL JURISDICTION TO DETERMINE IF STRAW BALE INLET PROTECTION IS ACCEPTABLE.

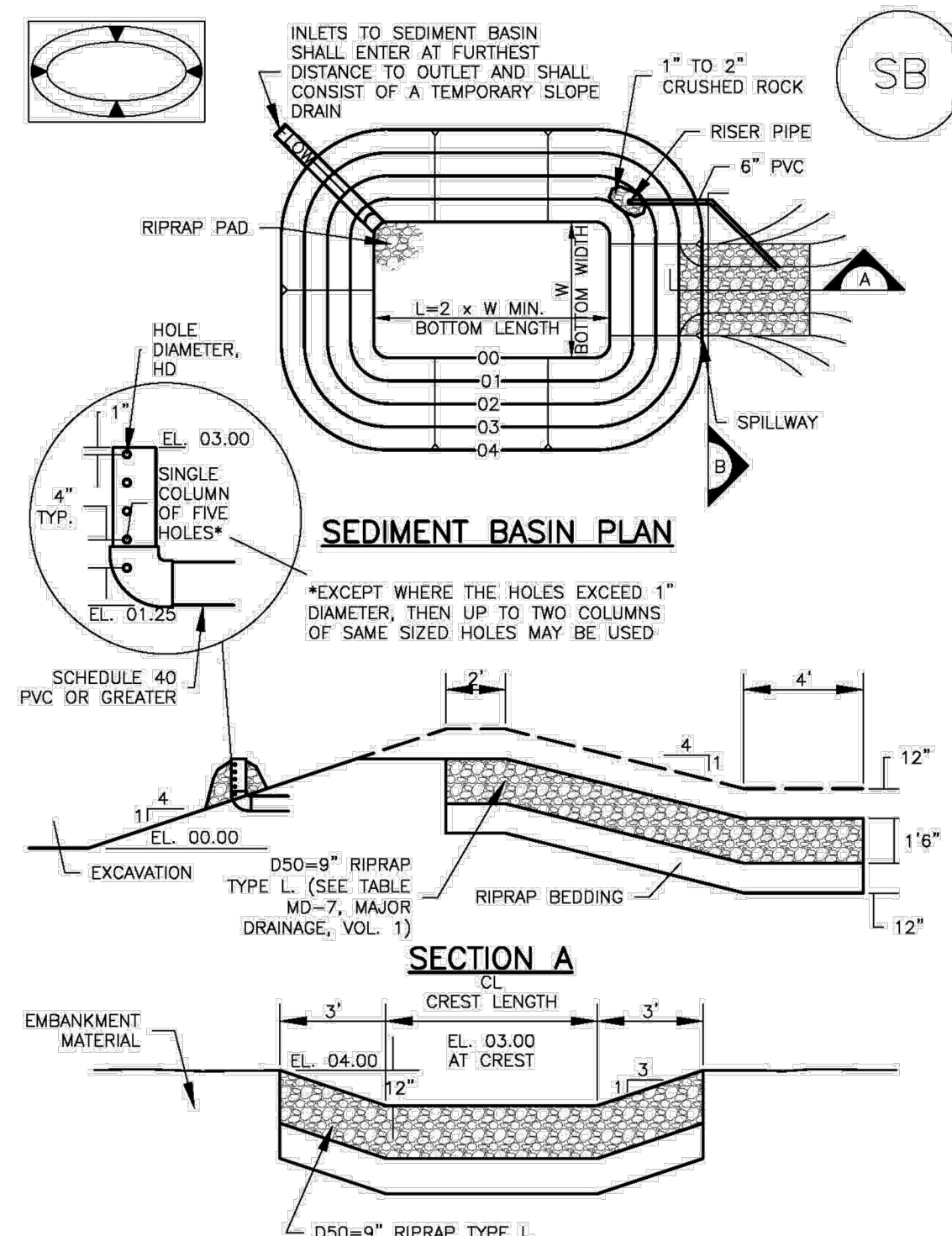
IP-8

Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3

August 2013

Sediment Basin (SB)

SC-7



August 2013

Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3

SB-5

SC-7

Sediment Basin (SB)

Table SB-1. SIZING INFORMATION FOR STANDARD SEDIMENT BASIN. Columns: Upstream Drainage Area (ac), Basin Bottom Width (ft), Spillway Crest Length (ft), Hole Diameter (in).

SEDIMENT BASIN INSTALLATION NOTES

- 1. SEE PLAN VIEW FOR:
- LOCATION OF SEDIMENT BASIN.
- TYPE OF BASIN (STANDARD BASIN OR NONSTANDARD BASIN).
- FOR STANDARD BASIN, BOTTOM WIDTH W, CREST LENGTH CL, AND HOLE DIAMETER, HD.
- FOR NONSTANDARD BASIN, SEE CONSTRUCTION DRAWINGS FOR DESIGN OF BASIN INCLUDING RISER HEIGHT H, NUMBER OF COLUMNS N, HOLE DIAMETER HD AND PIPE DIAMETER D.
2. FOR STANDARD BASIN, BOTTOM DIMENSION MAY BE MODIFIED AS LONG AS BOTTOM AREA IS NOT REDUCED.
3. SEDIMENT BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER LAND-DISTURBING ACTIVITY THAT RELIES ON BASINS AS A STORMWATER CONTROL.
4. EMBANKMENT MATERIAL SHALL CONSIST OF SOIL FREE OF DEBRIS, ORGANIC MATERIAL, AND ROCKS OR CONCRETE GREATER THAN 3 INCHES AND SHALL HAVE A MINIMUM OF 15 PERCENT BY WEIGHT PASSING THE NO. 200 SIEVE.
5. EMBANKMENT MATERIAL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D698.
6. PIPE SCH 40 OR GREATER SHALL BE USED.
7. THE DETAILS SHOWN ON THESE SHEETS PERTAIN TO STANDARD SEDIMENT BASIN(S) FOR DRAINAGE AREAS LESS THAN 15 ACRES. SEE CONSTRUCTION DRAWINGS FOR EMBANKMENT, STORAGE VOLUME, SPILLWAY, OUTLET, AND OUTLET PROTECTION DETAILS FOR ANY SEDIMENT BASIN(S) THAT HAVE BEEN INDIVIDUALLY DESIGNED FOR DRAINAGE AREAS LARGER THAN 15 ACRES.

SB-6

Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3

August 2013

Sediment Basin (SB)

SC-7

SEDIMENT BASIN MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED IN BASIN SHALL BE REMOVED AS NEEDED TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN SEDIMENT DEPTH REACHES ONE FOOT (I.E., TWO FEET BELOW THE SPILLWAY CREST).
5. SEDIMENT BASINS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND GRASS COVER IS ACCEPTED BY THE LOCAL JURISDICTION.
6. WHEN SEDIMENT BASINS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

August 2013

Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3

SB-7

ENGINEERING RECORD DRAWINGS
AS-BUILT DRAWINGS



COPYRIGHT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

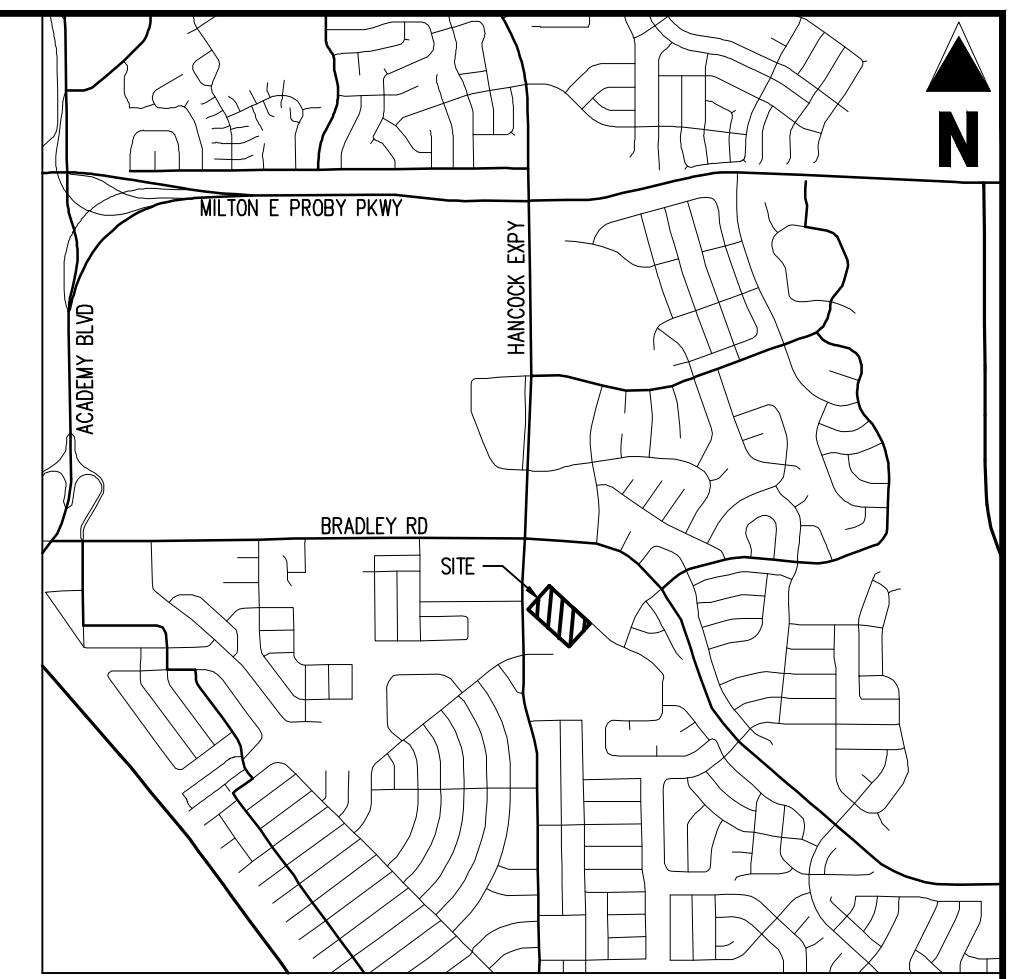
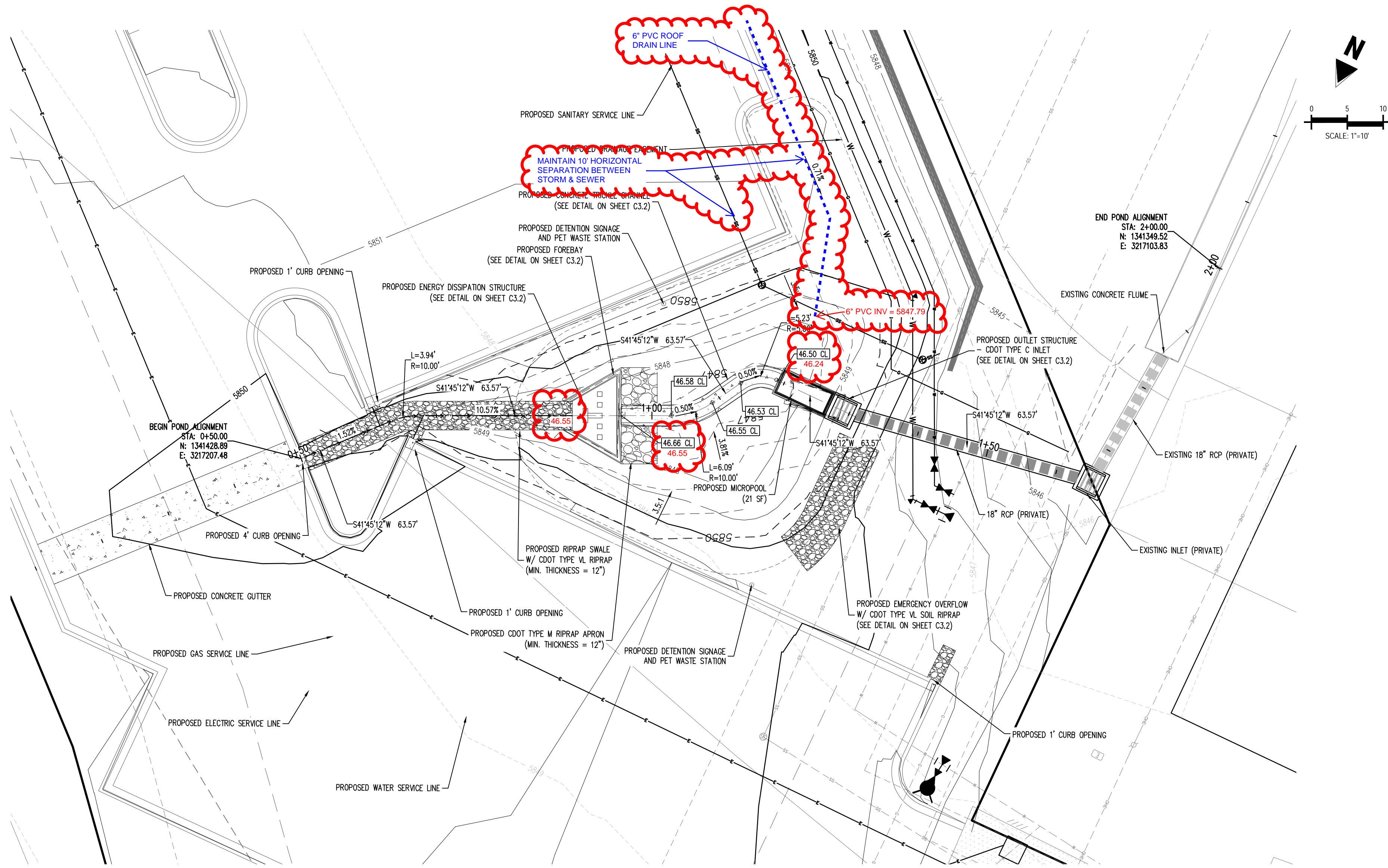


CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR
HAMMERS CONSTRUCTION, LLC

1875 MAIN STREET
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

Table with columns: #, Date, Issue / Description, Init. Contains a grid for tracking revisions.

Project No: HCI000008
Drawn By: TPT
Checked By:
Date: 05/20/2024
GEC DETAILS



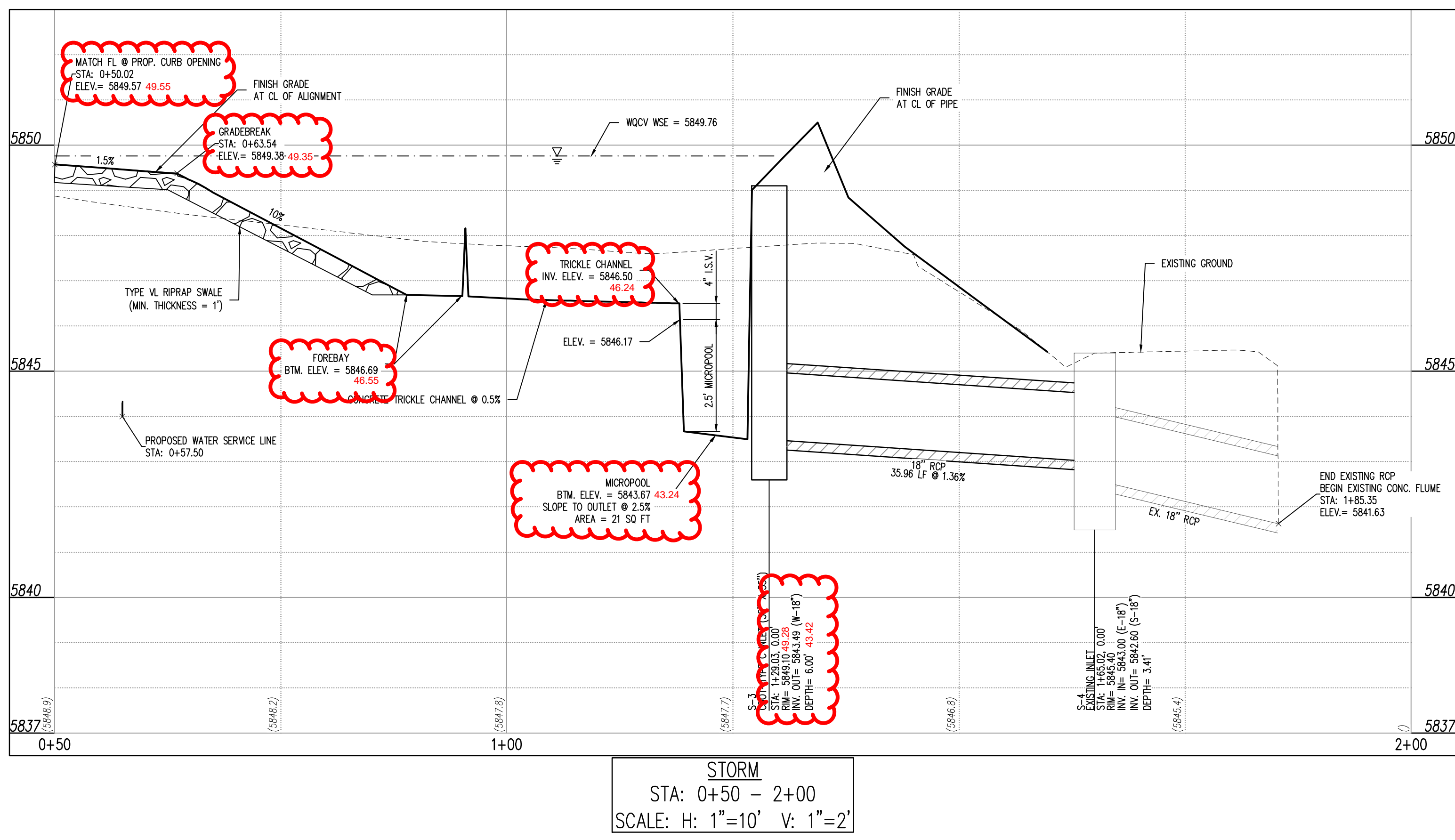
LEGEND

	PROPERTY BOUNDARY LINE
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED BUILDING OUTLINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED STORM DRAIN LINE
	PROPOSED SWALE WITH FLOW DIRECTION
	PROPOSED RETAINING WALL
	EXISTING RETAINING WALL
	PROPOSED RIP RAP
	PROPOSED CONCRETE

NOTES

1. ADD 5800 TO ALL SPOT ELEVATIONS
2. ALL STORM PIPE SHALL BE CLASS 3 RCP OR HOPE IN ACCORDANCE WITH COUNTY STANDARD SPECIFICATIONS, UNLESS OTHERWISE NOTED.

**ENGINEERING RECORD DRAWINGS
AS-BUILT DRAWINGS**



**STORM
STA: 0+50 - 2+00
SCALE: H: 1"=10' V: 1"=2'**



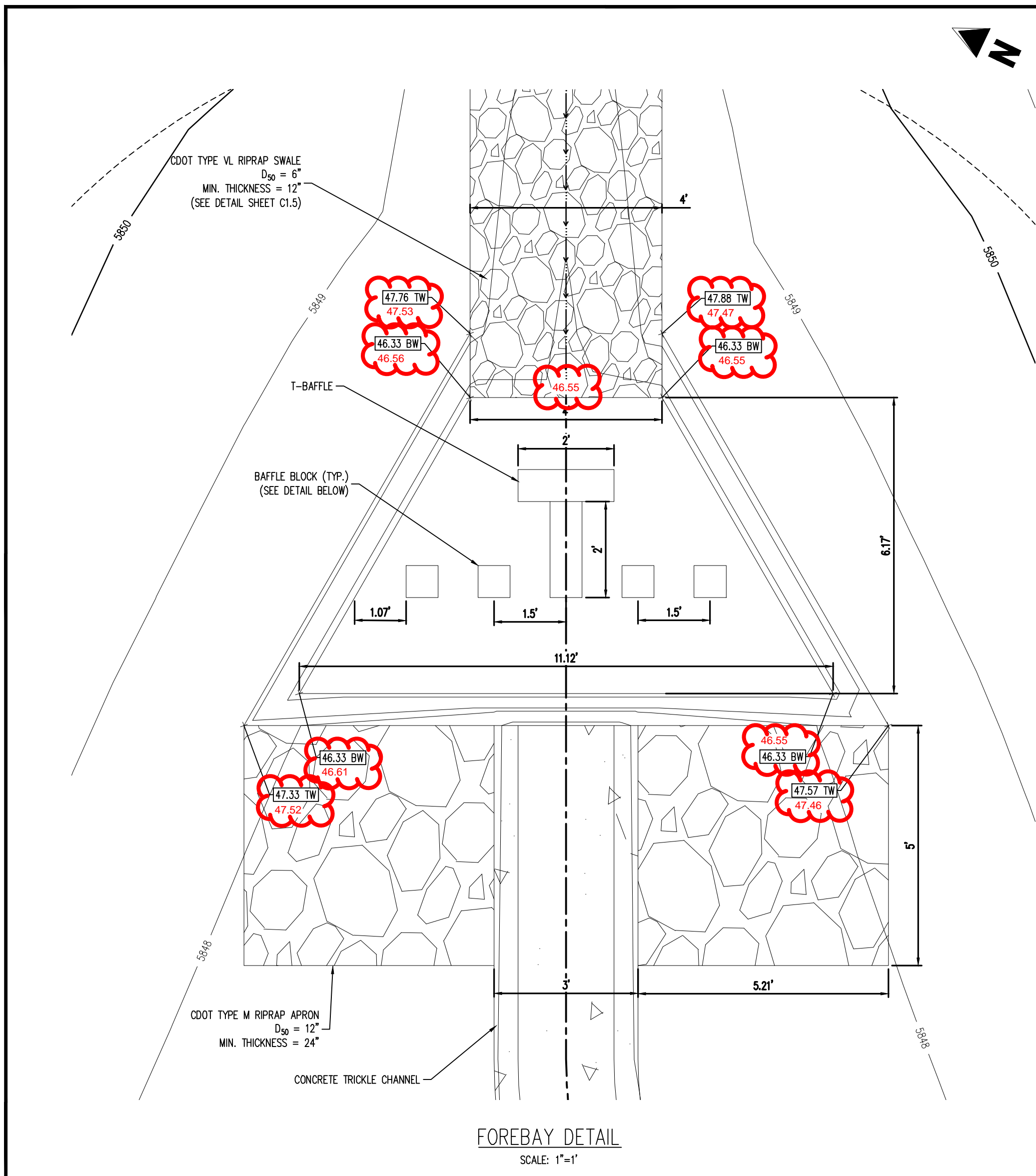
COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



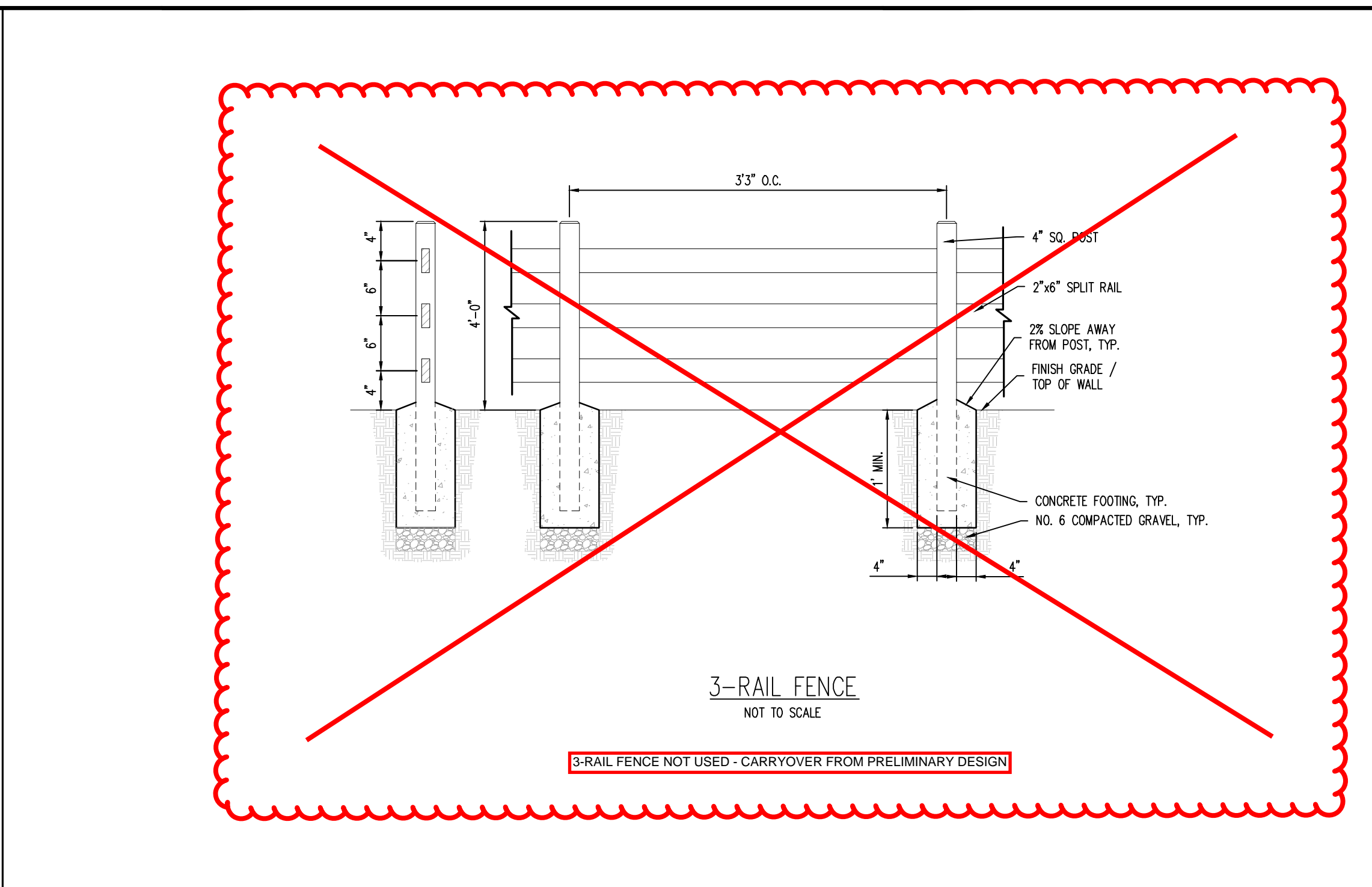
**CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR
HAMMERS CONSTRUCTION, LLC**
 1875 MAIN STREET
 COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

#	Date	Issue / Description	Init.

Project No: HCI000008
 Drawn By: TPPT
 Checked By: DJP
 Date: 05/20/2024

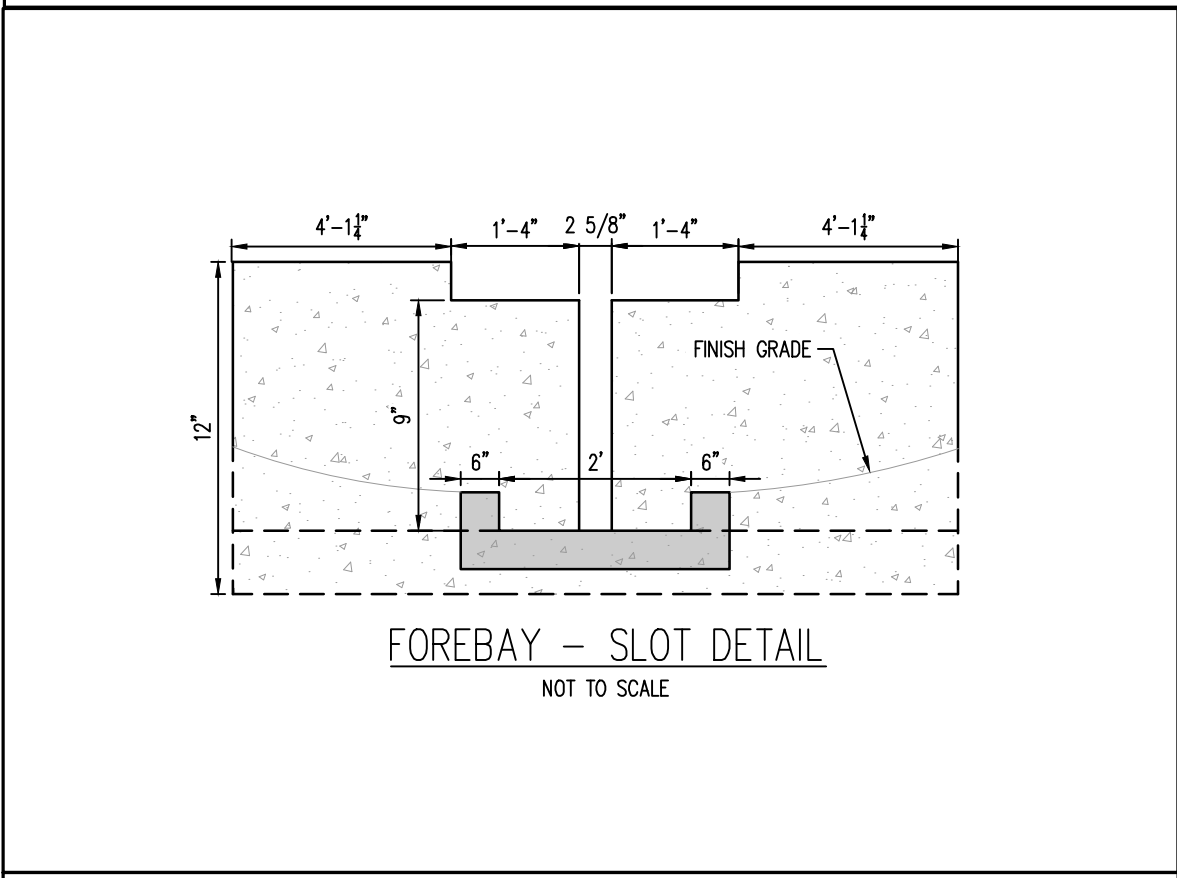


FOREBAY DETAIL
SCALE: 1\"/>



3-RAIL FENCE
NOT TO SCALE

3-RAIL FENCE NOT USED - CARRYOVER FROM PRELIMINARY DESIGN



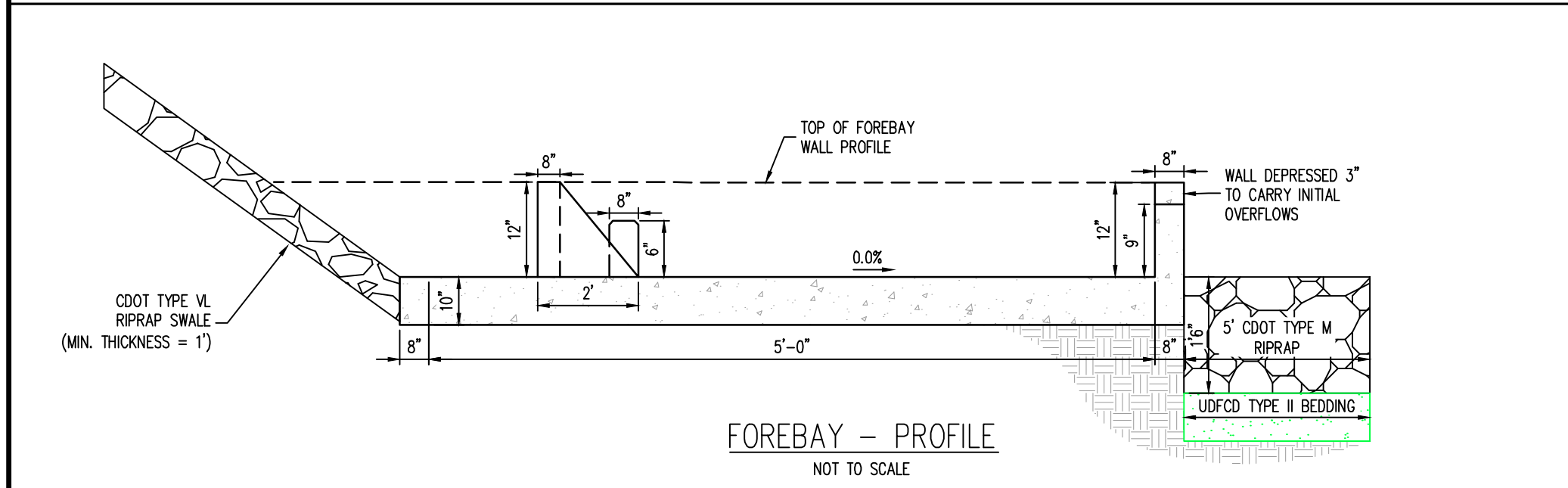
FOREBAY - SLOT DETAIL
NOT TO SCALE

WARNING
THIS AREA IS A STORMWATER FACILITY
AND IS SUBJECT TO PERIODIC FLOODING

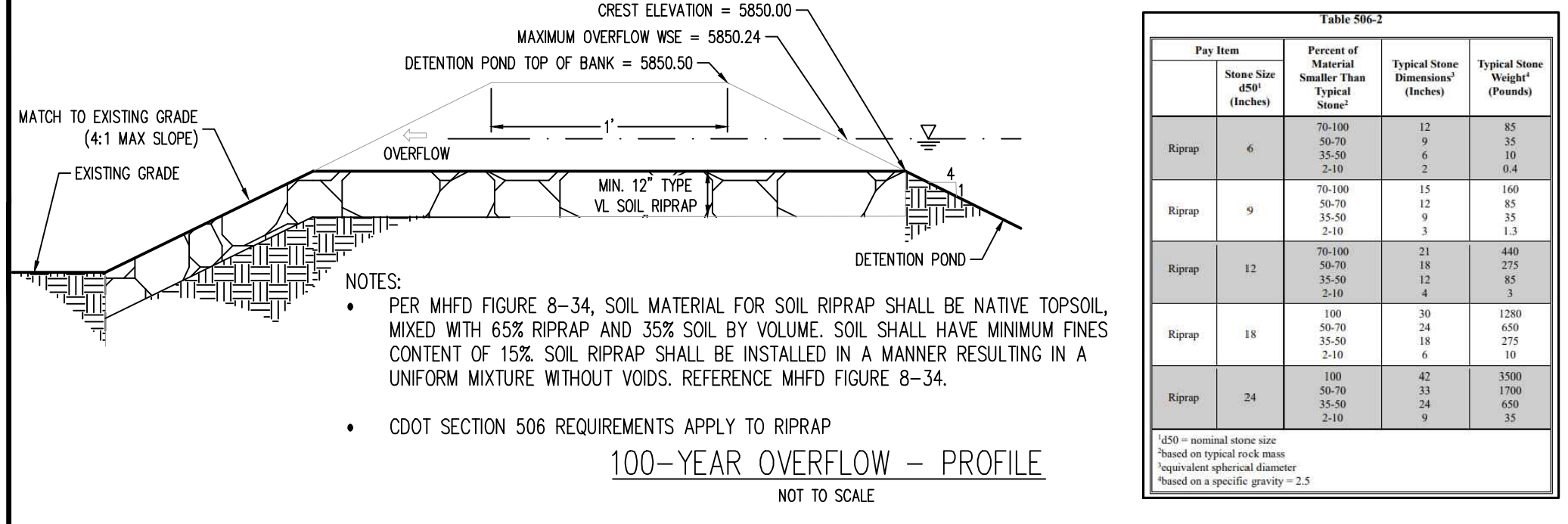
WARNING
PET WASTE MUST BE PICKED UP

NOTES:
• TWO (2) SIGNS WITH THE ABOVE MESSAGE, EACH WITH A MINIMUM AREA OF 3 SQUARE FEET SHALL BE PROVIDED AROUND THE PERIMETER OF THE DETENTION POND, AS SHOWN ON THESE PLANS.
• SIGNS SHALL BE DURABLE MATERIALS, SUCH AS METAL OR PLASTIC, USING RED LETTERING ON A WHITE BACKGROUND.

DETENTION POND SIGNAGE



FOREBAY - PROFILE
NOT TO SCALE

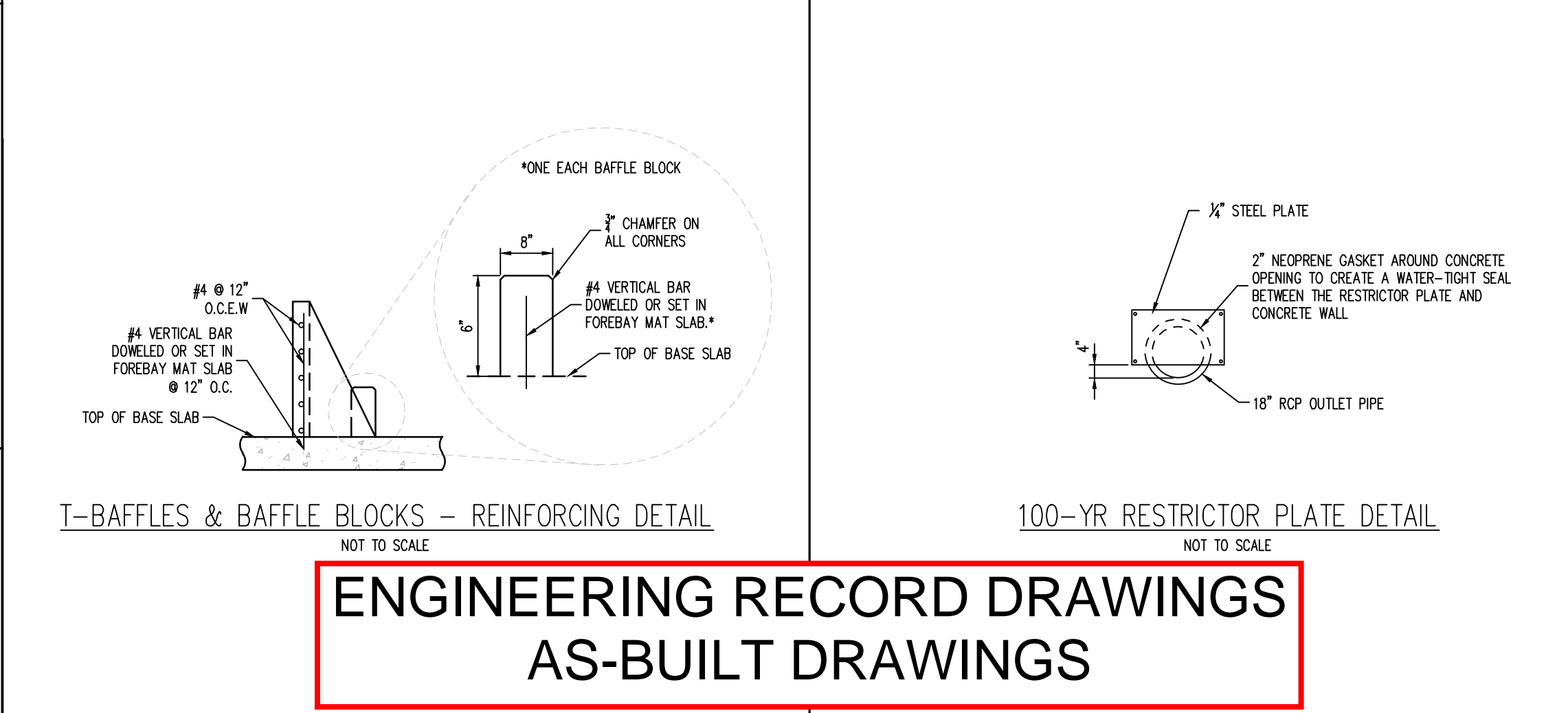


100-YEAR OVERFLOW - PROFILE
NOT TO SCALE

Table 806-3

Pave Item	Stone Size (Inches)	Percent of Material Smaller Than Typical Stone*	Typical Stone Dimension† (Inches)	Typical Stone Weight† (Pounds)
Riprap	6	75-100	12	65
		50-75	6	35
		15-50	0	10
Riprap	9	75-100	15	160
		50-75	12	85
		15-50	0	35
Riprap	12	75-100	21	440
		50-75	18	275
		15-50	12	85
Riprap	18	75-100	30	1280
		50-75	18	275
		15-50	18	275
Riprap	24	75-100	42	3500
		50-75	33	2100
		15-50	24	600

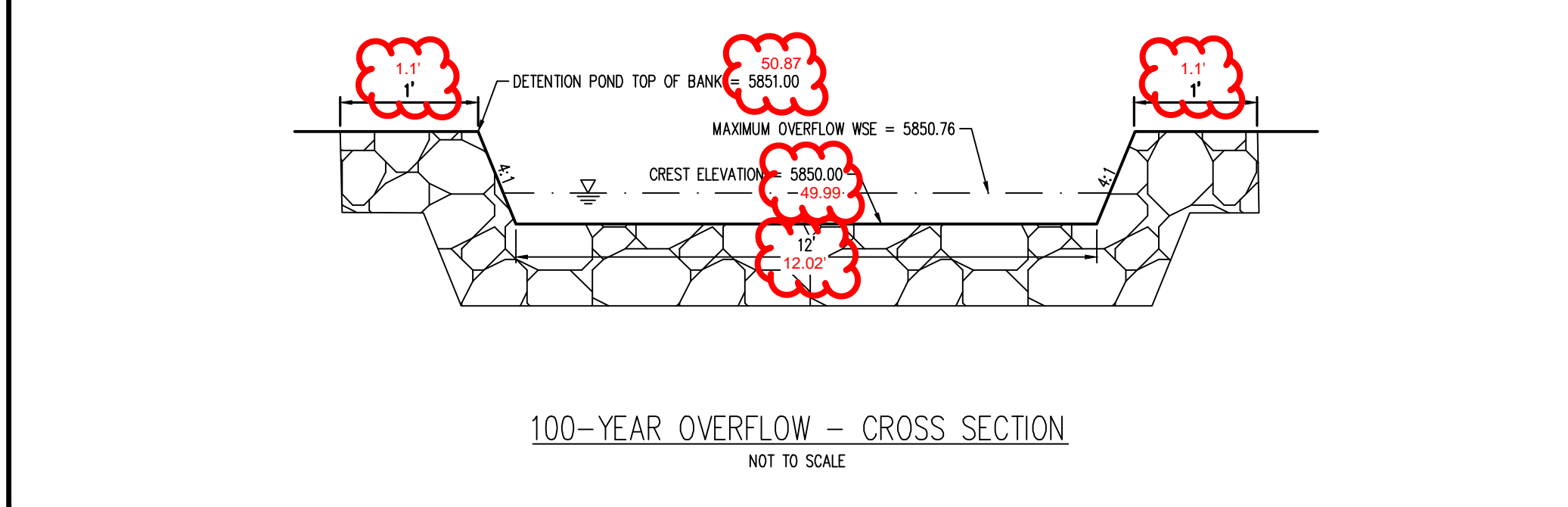
*50% nominal stone size
†Based on typical rock mass
†Superior spherical diameter
Based on a specific gravity = 2.5



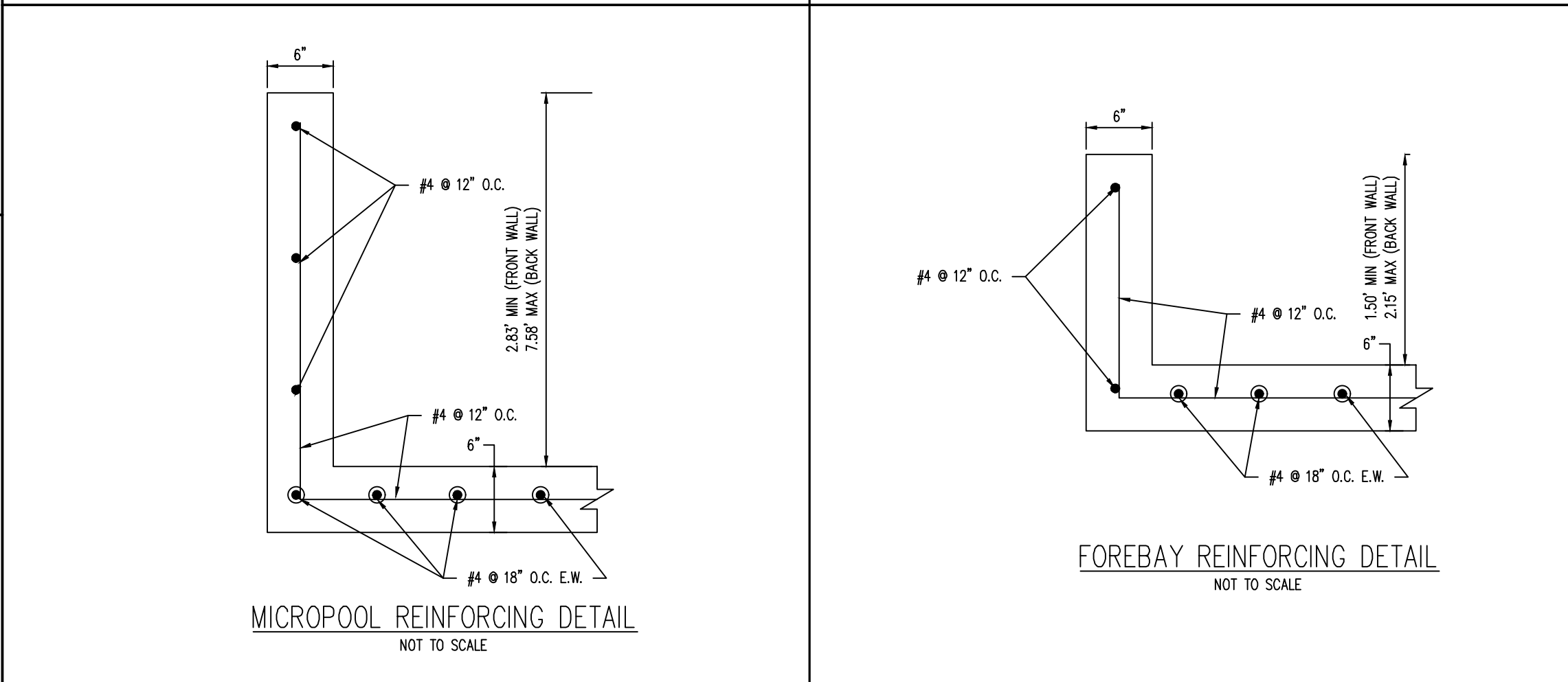
T-BAFFLES & BAFFLE BLOCKS - REINFORCING DETAIL
NOT TO SCALE

100-YR RESTRICTOR PLATE DETAIL
NOT TO SCALE

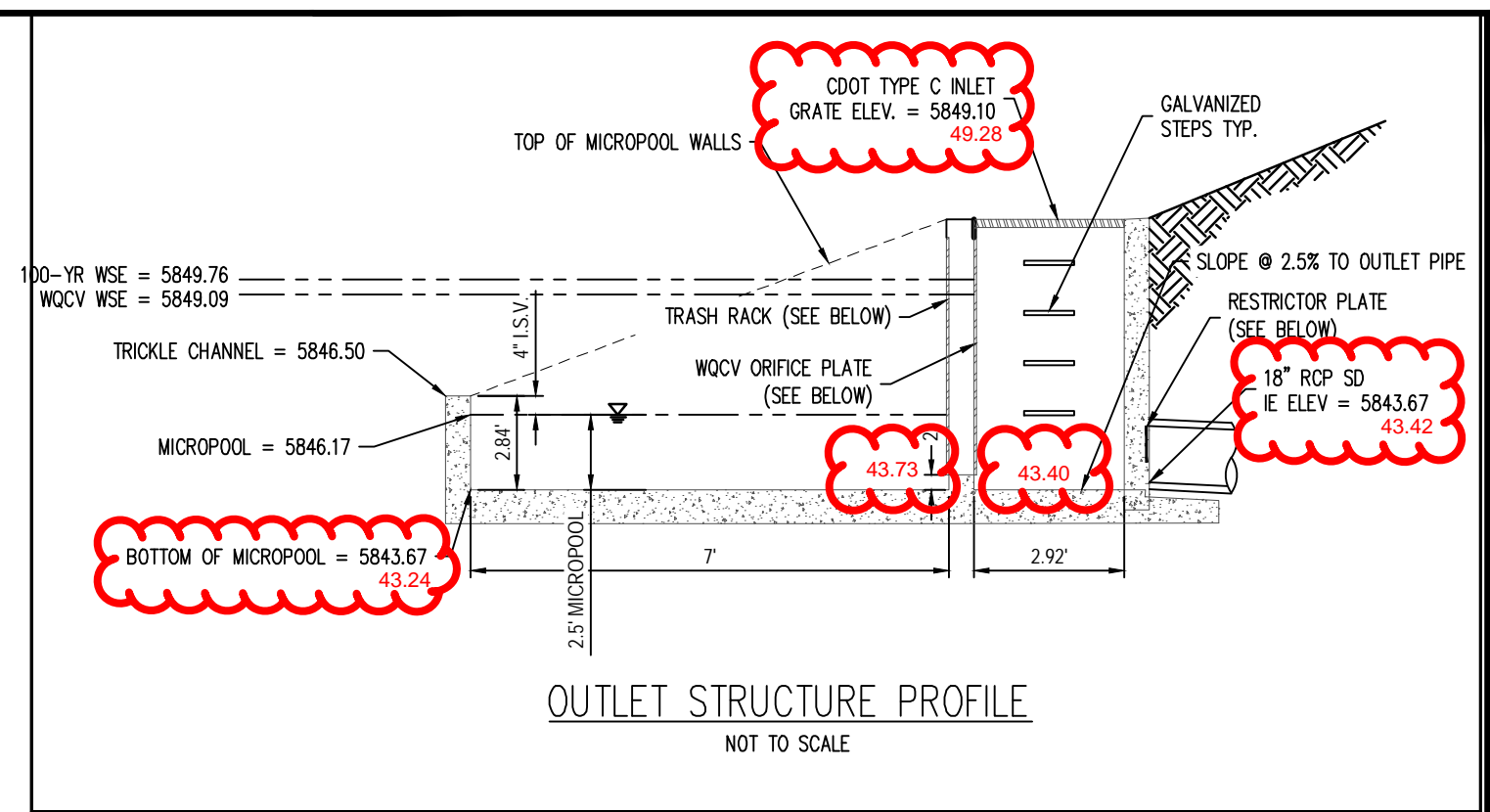
**ENGINEERING RECORD DRAWINGS
AS-BUILT DRAWINGS**



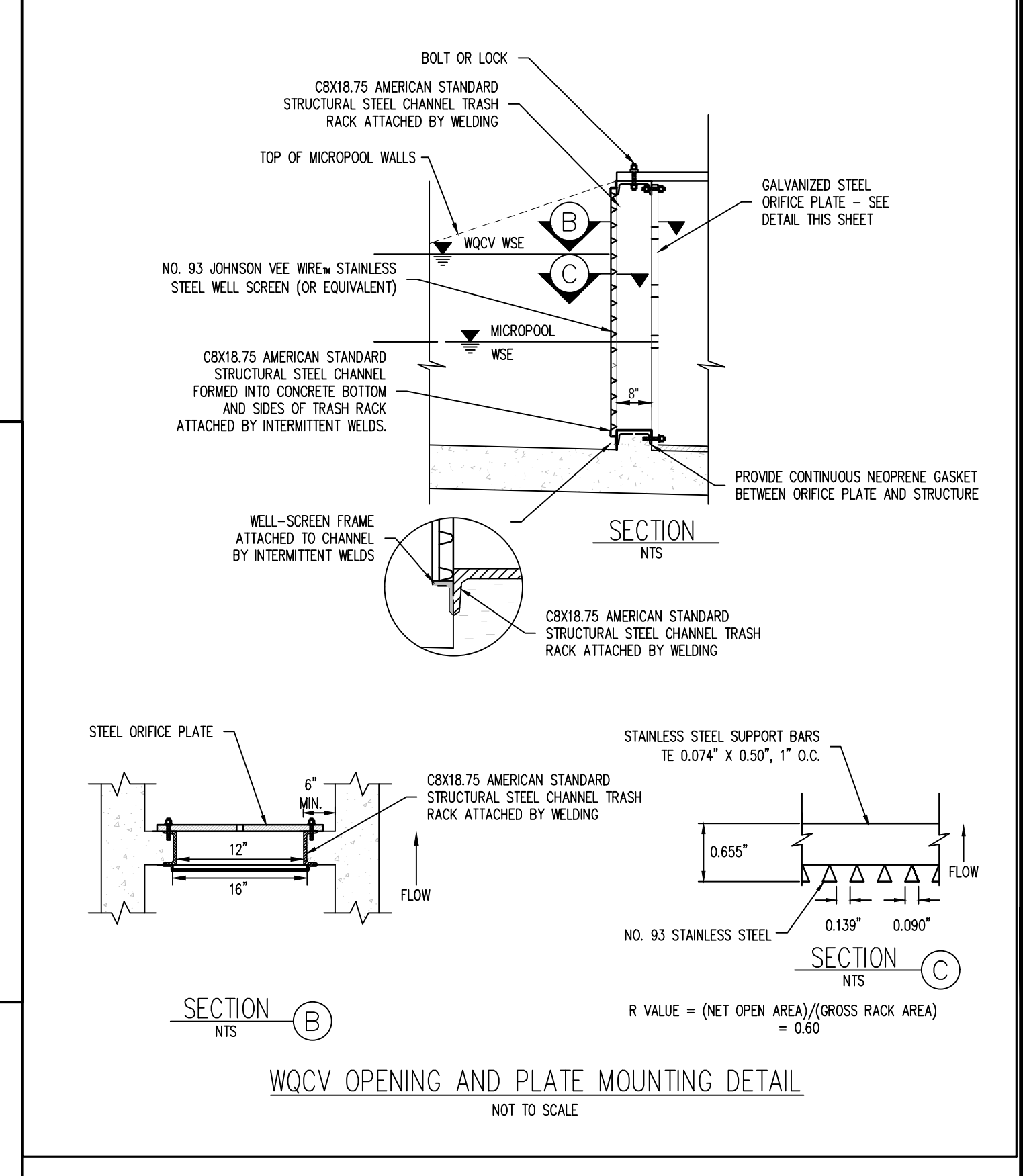
100-YEAR OVERFLOW - CROSS SECTION
NOT TO SCALE



MICROPOOL REINFORCING DETAIL
NOT TO SCALE

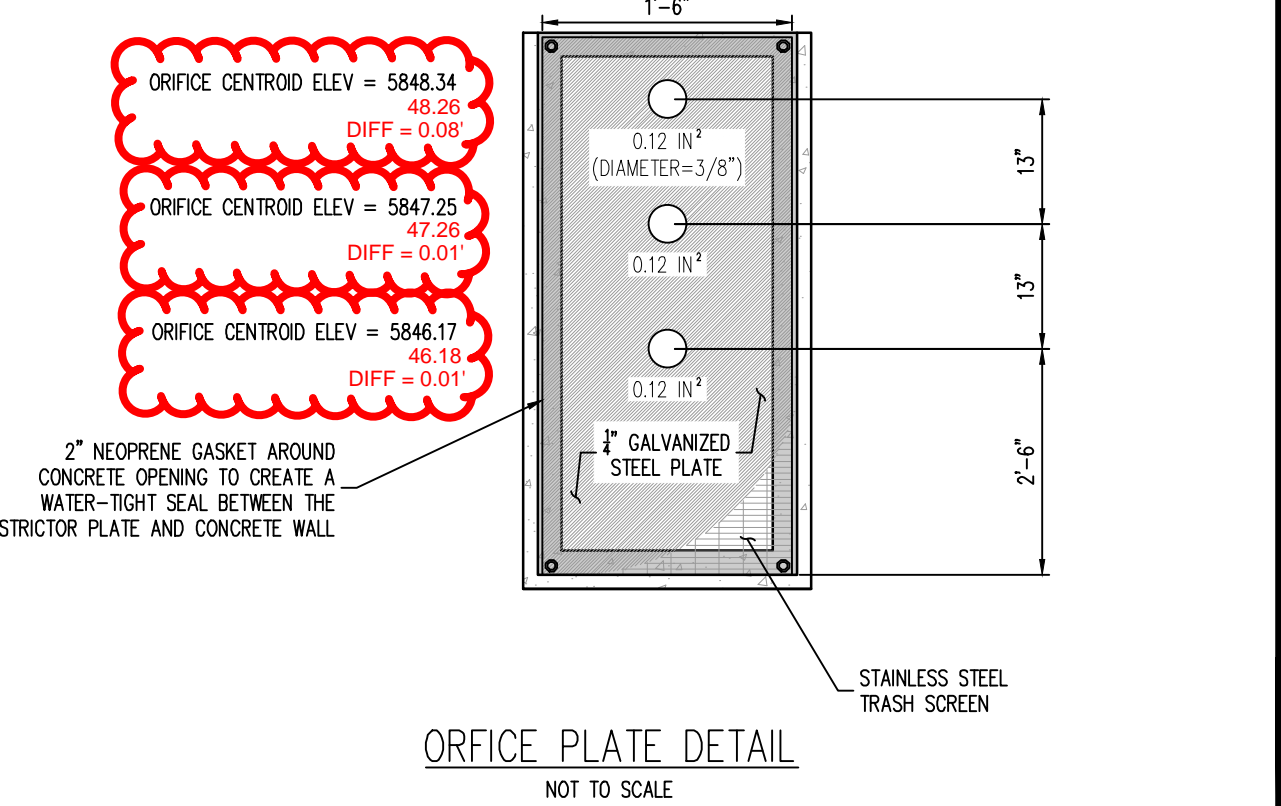


OUTLET STRUCTURE PROFILE
NOT TO SCALE

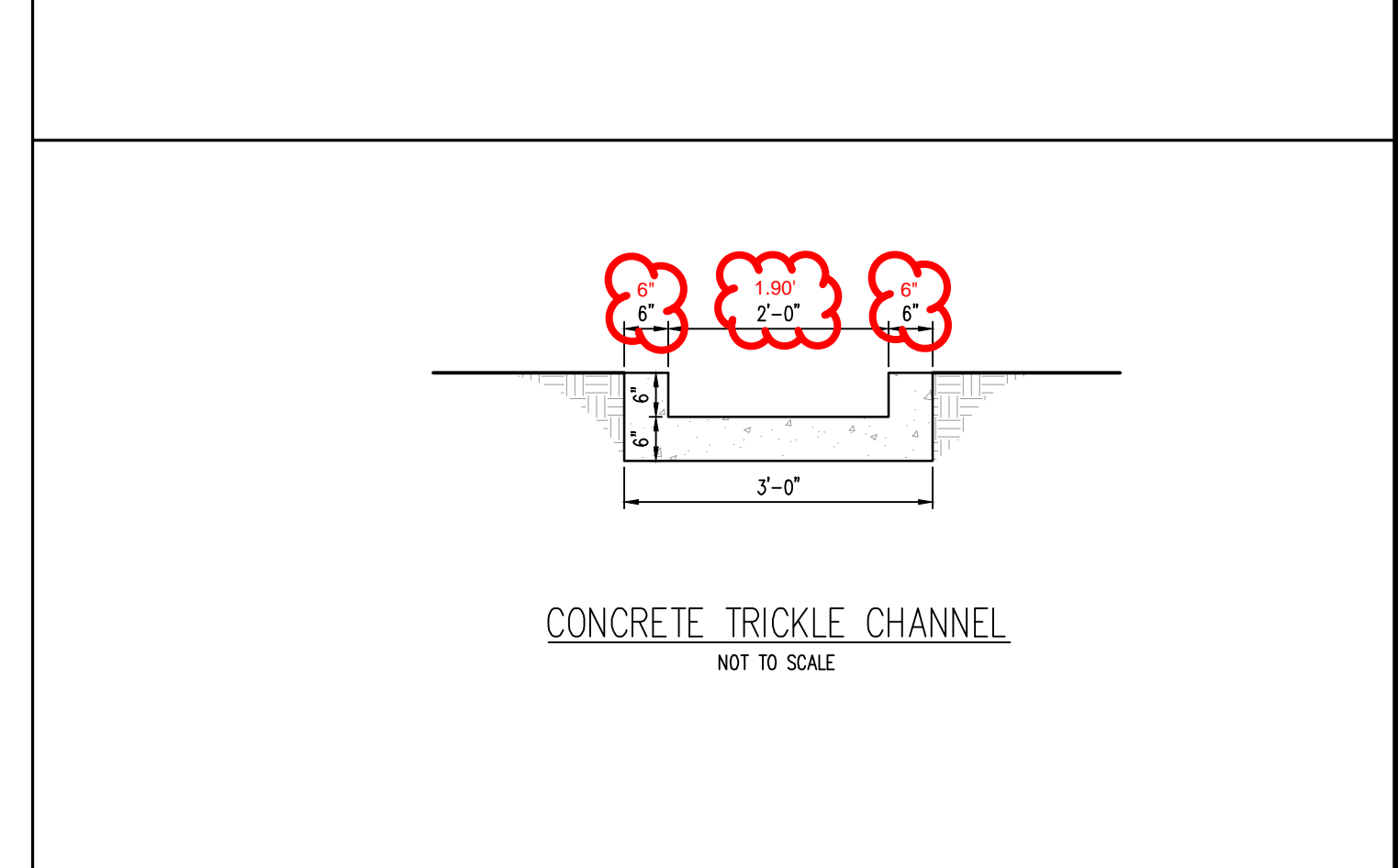


SECTION B
NTS

WQCV OPENING AND PLATE MOUNTING DETAIL
NOT TO SCALE



ORIFICE PLATE DETAIL
NOT TO SCALE



CONCRETE TRICKLE CHANNEL
NOT TO SCALE



COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.

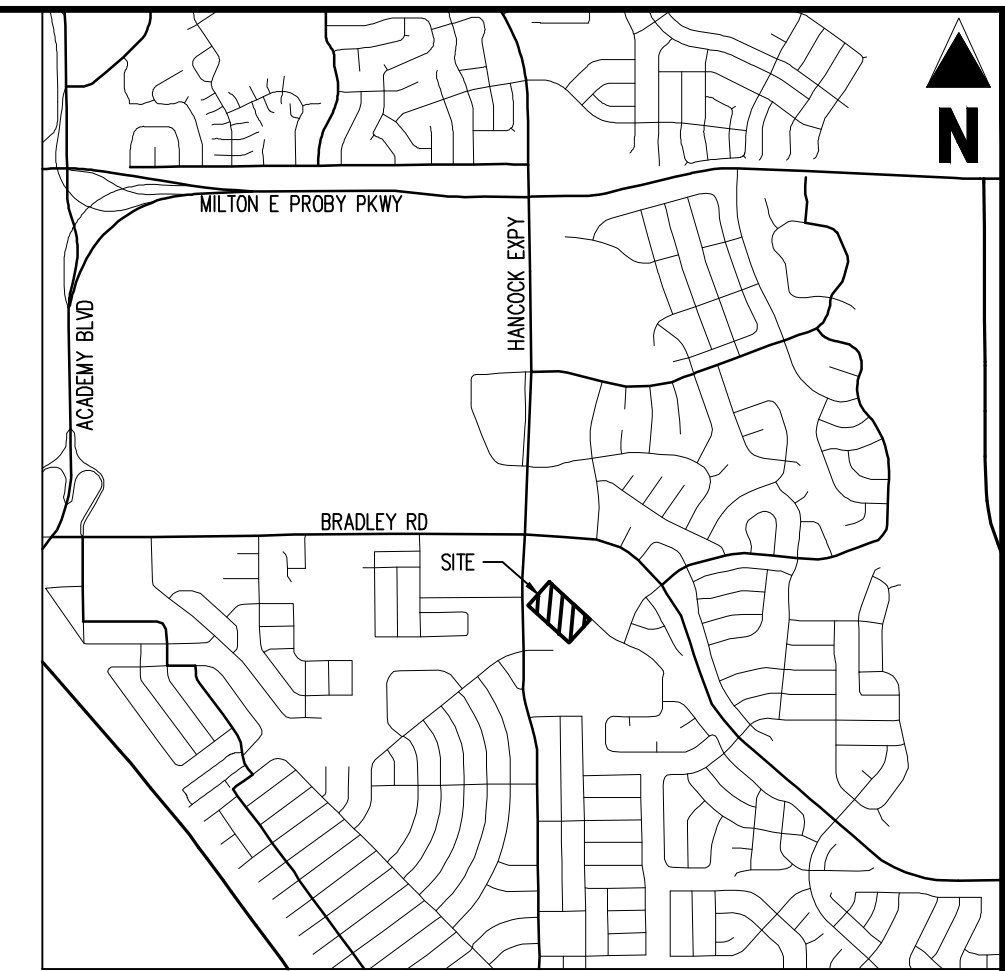


CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR
HAMMERS CONSTRUCTION, LLC
1875 MAIN STREET
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

#	Date	Issue / Description	Init.

Project No: HCI00008
Drawn By: TPPT
Checked By:
Date: 05/20/2024

ENGINEERING RECORD DRAWINGS
AS-BUILT DRAWINGS



Galloway

1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220
GallowayUS.com



COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY. AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



VICINITY MAP
SCALE: 1"=500'

SYMBOL	DESCRIPTION
(---)	PROPERTY BOUNDARY LINE
(- - - -)	ADJACENT PROPERTY BOUNDARY LINE
(- - - -)	EXISTING EASEMENT LINE
(---)	PROPOSED EASEMENT LINE
(---)	PROPOSED BUILDING OUTLINE
(---)	PROPOSED WATER LINE
(---)	EXISTING WATER LINE
(---)	PROPOSED SANITARY SEWER LINE
(---)	EXISTING SANITARY SEWER LINE
(---)	PROPOSED STORM DRAIN LINE
(---)	EXISTING STORM DRAIN LINE
(---)	PROPOSED RIP RAP
(---)	EXISTING ASPHALT PAVING
(---)	PROPOSED FIRE HYDRANT
(---)	PROPOSED GATE VALVE
(---)	PROPOSED REDUCER
(---)	PROPOSED WATER BEND/TEE
(---)	PROPOSED SANITARY MANHOLE
(---)	PROPOSED FEES
(---)	PROPOSED STORM MANHOLE
(---)	PROPOSED CDDT TYPE R STORM INLET

WIDEFIELD WATER AND SANITATION DISTRICT
WASTEWATER DESIGN APPROVAL

THE WIDEFIELD WATER AND SANITATION DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

DATE: _____ BY: _____
PROJECT NO. _____
IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE RULES AND REGULATIONS FOR INSTALLATION OF WASTEWATER MAINS AND SERVICES SHALL RULE.
APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL.

WIDEFIELD WATER AND SANITATION DISTRICT
WATER DESIGN APPROVAL

THE WIDEFIELD WATER AND SANITATION DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

DATE: _____ BY: _____
PROJECT NO. _____
IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE RULES AND REGULATIONS FOR INSTALLATION OF WATER MAINS AND SERVICES SHALL RULE.
APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL.

BASIS OF BEARINGS

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6" WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, T24S R66W W.C. 6.00' S 35 S36 S2 S1 1/2 S R55W 2012 PLS 24313" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, T4MS 19625", AND IS CONSIDERED TO BEAR N0074204"W.

BENCHMARK

PUBLISHED BENCHMARK
FMS MONUMENT EX35
ELEVATION = 5980.39 (NAVD88)

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.



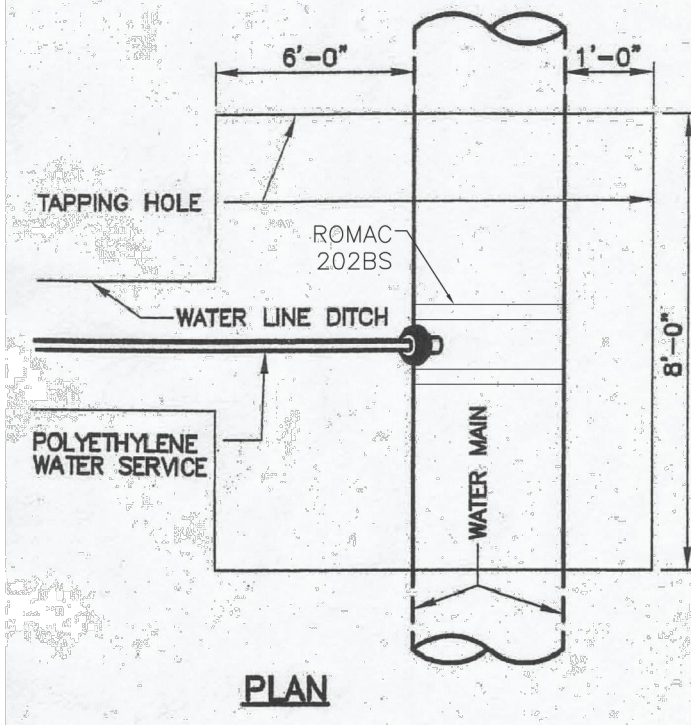
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLES OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR
HAMMERS CONSTRUCTION, LLC
1875 MAIN STREET
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

#	Date	Issue / Description	Init.

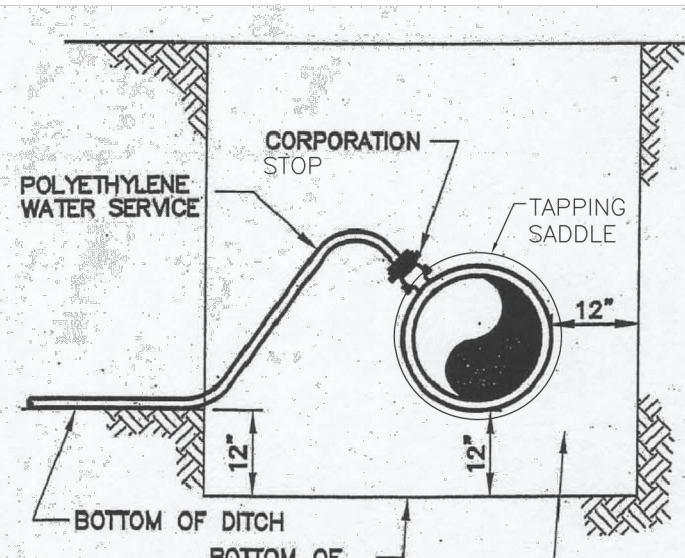
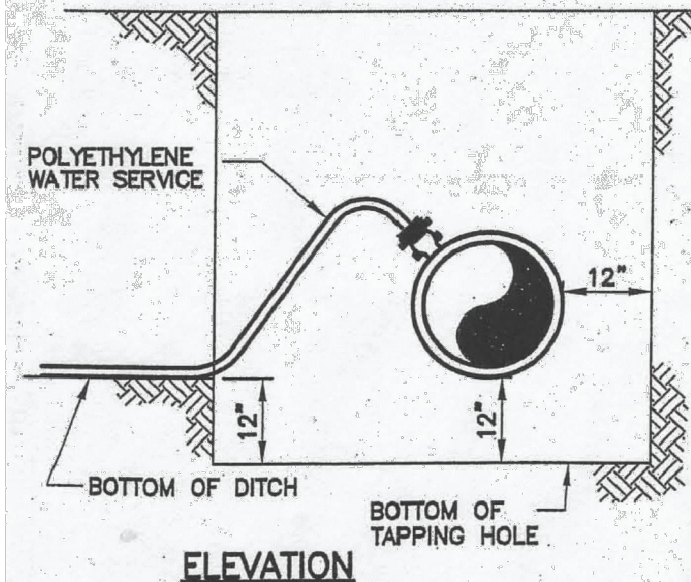
Project No: HC1000008
Drawn By: TPPT
Checked By: 05/20/2024
Date: _____
UTILITY SERVICE PLAN

SERVICE TAPS 1-1/2" & 2" TAPPING SADDLE



NOTES:

1. USE ROMAC 202BS TAP SADDLE OR EQUIVALENT.
2. ALL TAPS WILL BE MADE ABOVE CENTERLINE OF PIPE AND UPWARD AT A 45° ANGLE.
3. TAPS 1 1/2" OR LARGER MAY HAVE LOCATION AND ANGLE ADJUSTED AT THE DISCRETION OF THE INSPECTOR.

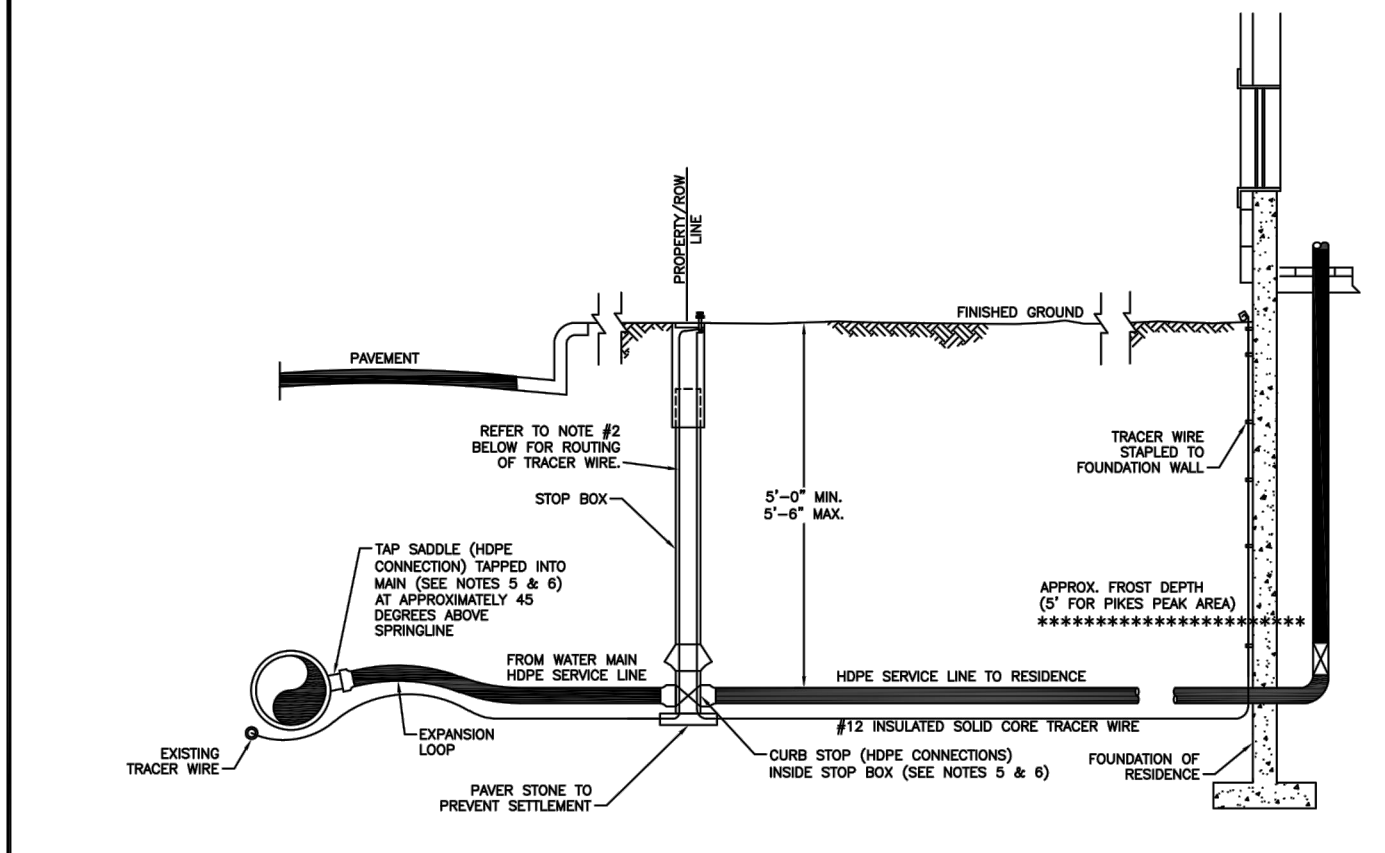


NOTE:
DIRECT TAPS TO THE WATER MAIN SHALL BE MADE ONLY WHEN APPROVED BY THE DISTRICT. ALL TAPS SHALL USE TAPPING SADDLES. TAPPING SADDLES SHALL HAVE TWO BRASS BANDS AND A BRASS CORPORATION CONNECTION.

TAPPING DETAIL - 3/4" THROUGH 2"

Drawn: GJM	Revised:
Date: SEPT 2014	Revised:
Scale: N.T.S.	Revised:
Revised:	Revised:
Revised:	Revised:
Revised:	Revised:

W-32



NOTES:

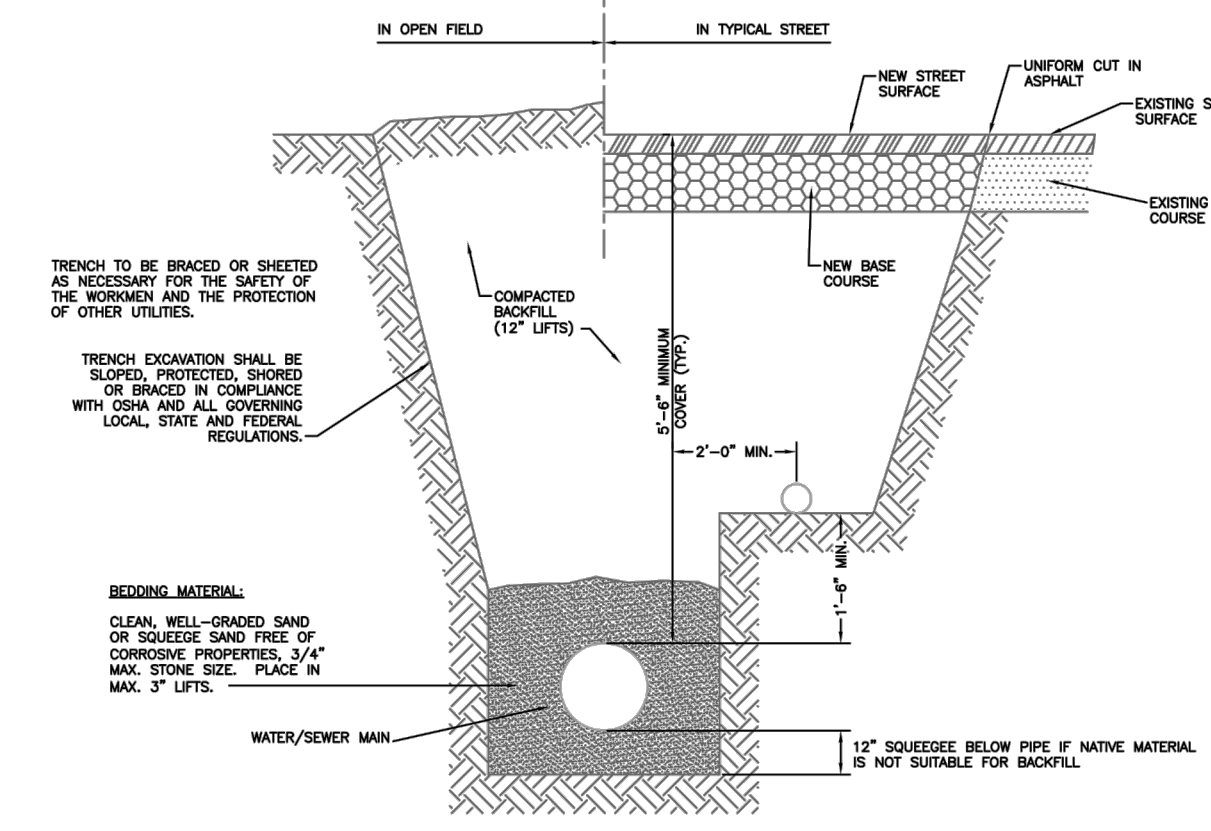
1. REFER TO STANDARD DRAWINGS FOR METER, PRESSURE REGULATION AND BACKFLOW PREVENTION DEVICE INSTALLATION DETAILS.
2. SERVICE LINE FROM CURB STOP TO THE STRUCTURE BEING SERVED IS THE RESPONSIBILITY OF THE CUSTOMER/OWNER FOR OPERATION AND MAINTENANCE. ONLY THE DISTRICT IS AUTHORIZED TO OPEN AND CLOSE THE CORPORATION AND CURB STOP ONCE IN SERVICE.

TYP. INSTALLATION FOR SERVICE LINE AND STOP BOX

Drawn: GJM	Revised:
Date: SEPT 2014	Revised:
Scale: N.T.S.	Revised:
Revised:	Revised:
Revised:	Revised:
Revised:	Revised:

W-33

ENGINEERING RECORD DRAWINGS AS-BUILT DRAWINGS

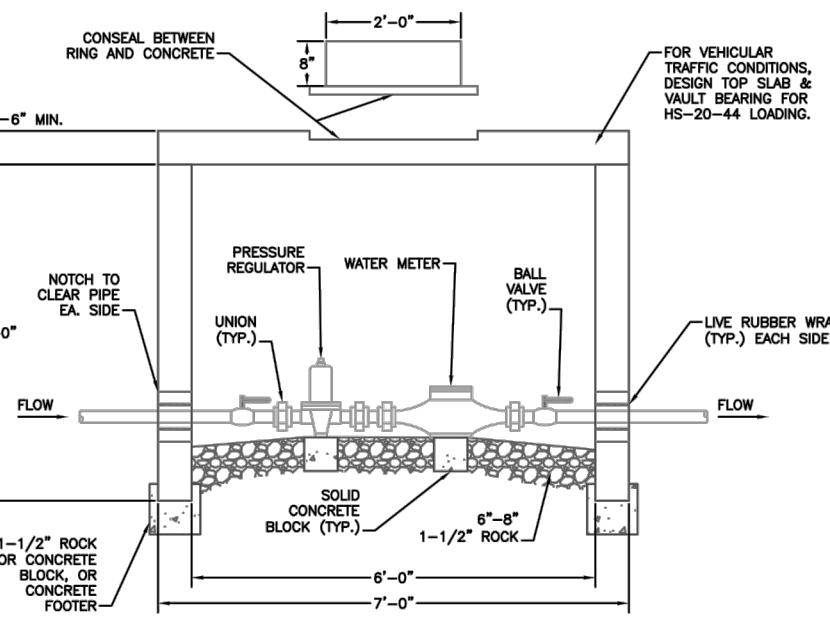
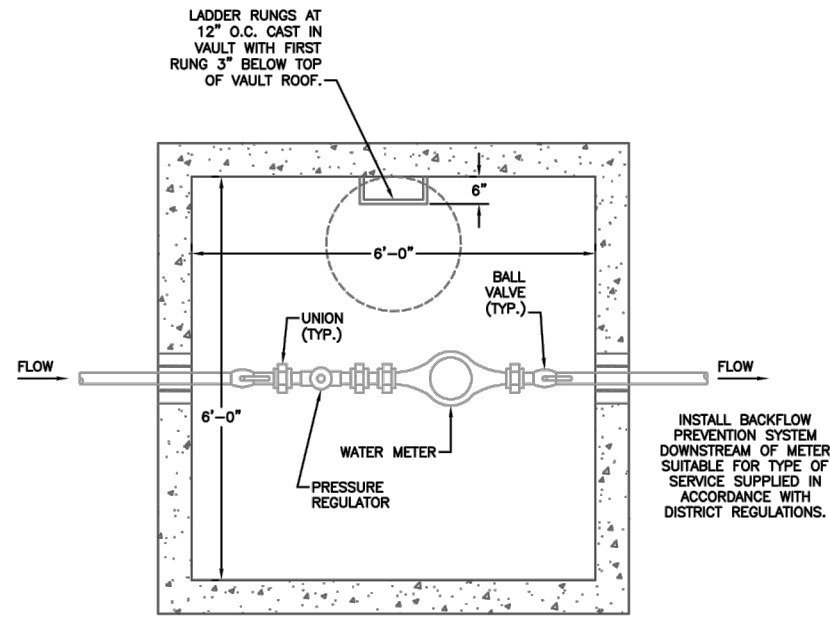


1. SPECIFIC CASE-BY-CASE APPROVAL BY THE DISTRICT SHALL BE REQUIRED PRIOR TO INSTALLATION OF WATER AND SEWER SERVICES IN A COMMON TRENCH.
2. USE OF COMMON TRENCH FOR WATER AND SEWER SERVICES SHALL NOT BE PERMITTED IN PUBLIC RIGHT-OF-WAY OR BETWEEN THE WATER CORPORATION STOP AND CURB STOP.
3. ALL MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND ANY OTHER APPLICABLE CODE OR REGULATION.

TYP. SERVICE LINE TRENCH - COMMON DITCH FOR WATER/SEWER

Drawn: GJM	Revised:
Date: JULY 2011	Revised:
Scale: N.T.S.	Revised:
Revised:	Revised:
Revised:	Revised:
Revised:	Revised:

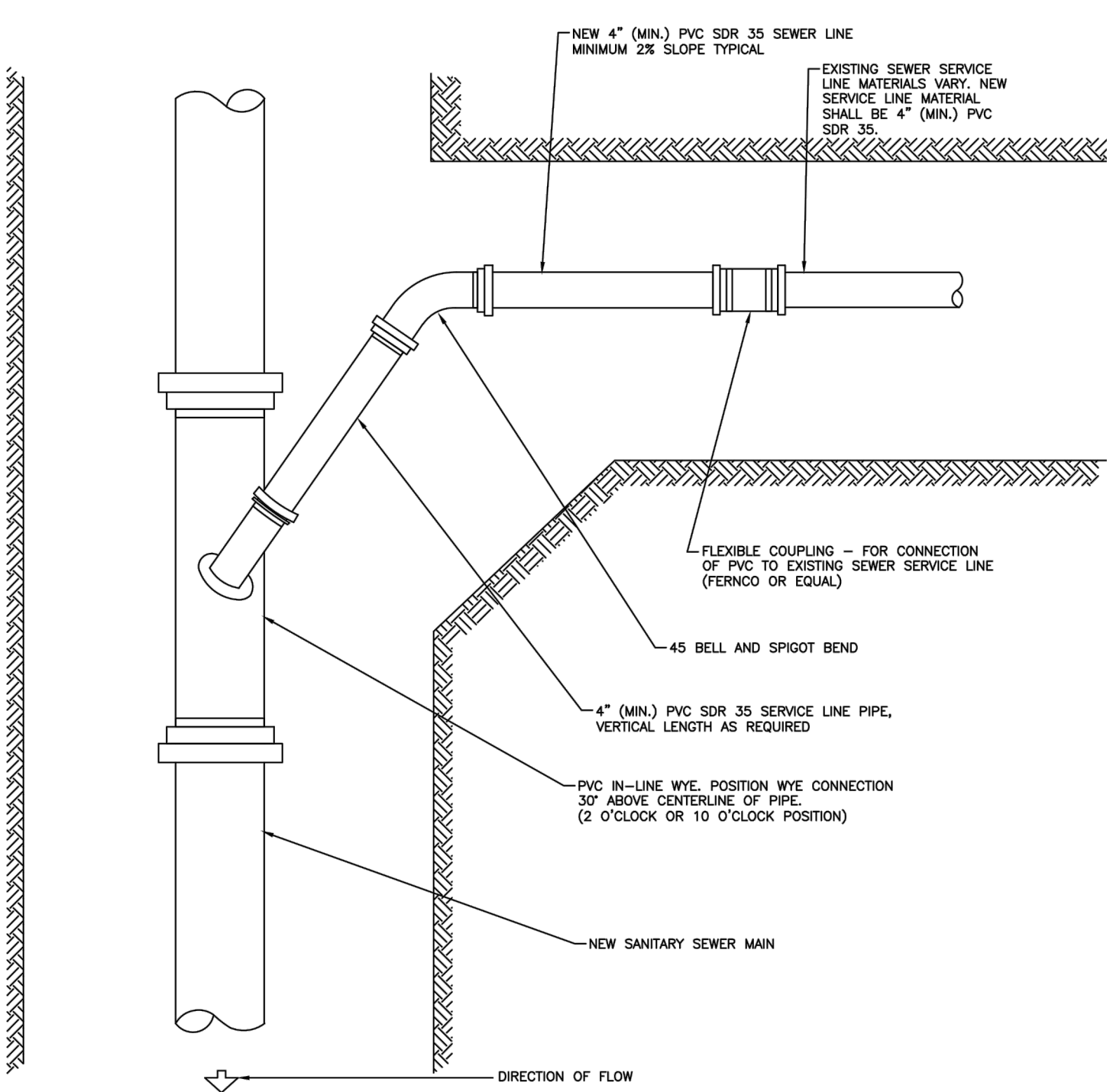
W-34



1 1/2" AND 2" IRRIGATION METER INSTALLATION

Drawn: GJM	Revised:
Date: SEPT 2014	Revised:
Scale: N.T.S.	Revised:
Revised:	Revised:
Revised:	Revised:
Revised:	Revised:

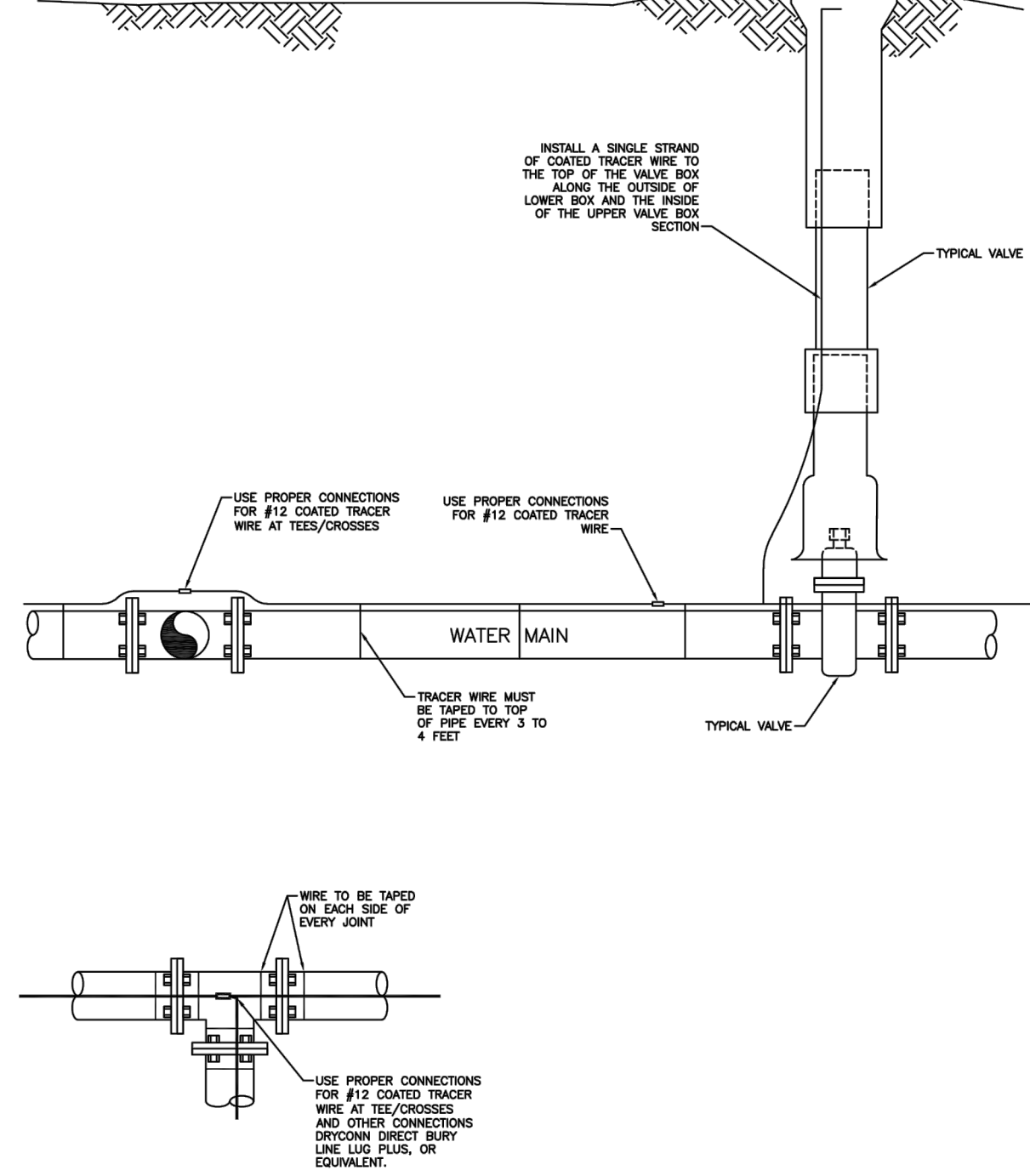
W-38



SANITARY SEWER SERVICE CONNECTION

Drawn: GJM	Revised:
Date: JULY 2011	Revised:
Scale: N.T.S.	Revised:
Revised:	Revised:
Revised:	Revised:
Revised:	Revised:

WW-7



TRACER WIRE INSTALLATION DETAILS

Drawn: GJM	Revised:
Date: SEPT 2014	Revised:
Scale: N.T.S.	Revised:
Revised:	Revised:
Revised:	Revised:
Revised:	Revised:

W-9



COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR
HAMMERS CONSTRUCTION, LLC
1875 MAIN STREET
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

#	Date	Issue / Description	Init.

Project No: HC1000008
Drawn By: TPPT
Checked By: [Signature]
Date: 05/20/2024

UTILITY DETAILS