

# CIVIL CONSTRUCTION PLANS

## LOT 2 ELM GROVE VILLA

### COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

### SMITH PLUMBING & HEATING

ENGINEERING RECORD DRAWINGS  
AS-BUILT DRAWINGS

**PROJECT CONTACTS**

**OWNER/DEVELOPER**  
GREAT DANE VENTURES, LLC  
5903 HIGH NOON AVE.  
COLORADO SPRINGS, CO 80923  
TEL: (719) 570-1599  
ATTN: EVA ROBINSON  
EMAIL:

**APPLICANT**  
HAMMERS CONSTRUCTION, INC.  
1411 WOOLSEY HEIGHTS  
COLORADO SPRINGS, CO 80915  
TEL: (719) 570-1599  
ATTN: LISA PETERSON  
EMAIL: LPETERSON@HAMMERSCONSTRUCTION.COM

**CIVIL ENGINEER**  
GALLOWAY & CO., INC.  
1155 KELLY JOHNSON BLVD., SUITE 305  
COLORADO SPRINGS, CO 80920  
TEL: (719) 900-7220  
ATTN: GRANT DENNIS, P.E.  
EMAIL: GRANTDENNIS@GALLOWAYUS.COM

**GEOTECHNICAL ENGINEER**  
ENTECH ENGINEERING, INC.  
505 ELKTON DRIVE  
COLORADO SPRINGS, CO 80907  
TEL: (719) 531-5599  
ATTN:  
EMAIL:

**SURVEYOR**  
GALLOWAY & CO., INC.  
1155 KELLY JOHNSON BLVD., SUITE 305  
COLORADO SPRINGS, CO 80920  
TEL: (719) 337-1262  
ATTN: BRIAN DENNIS  
EMAIL: BRIANDENNIS@GALLOWAYUS.COM

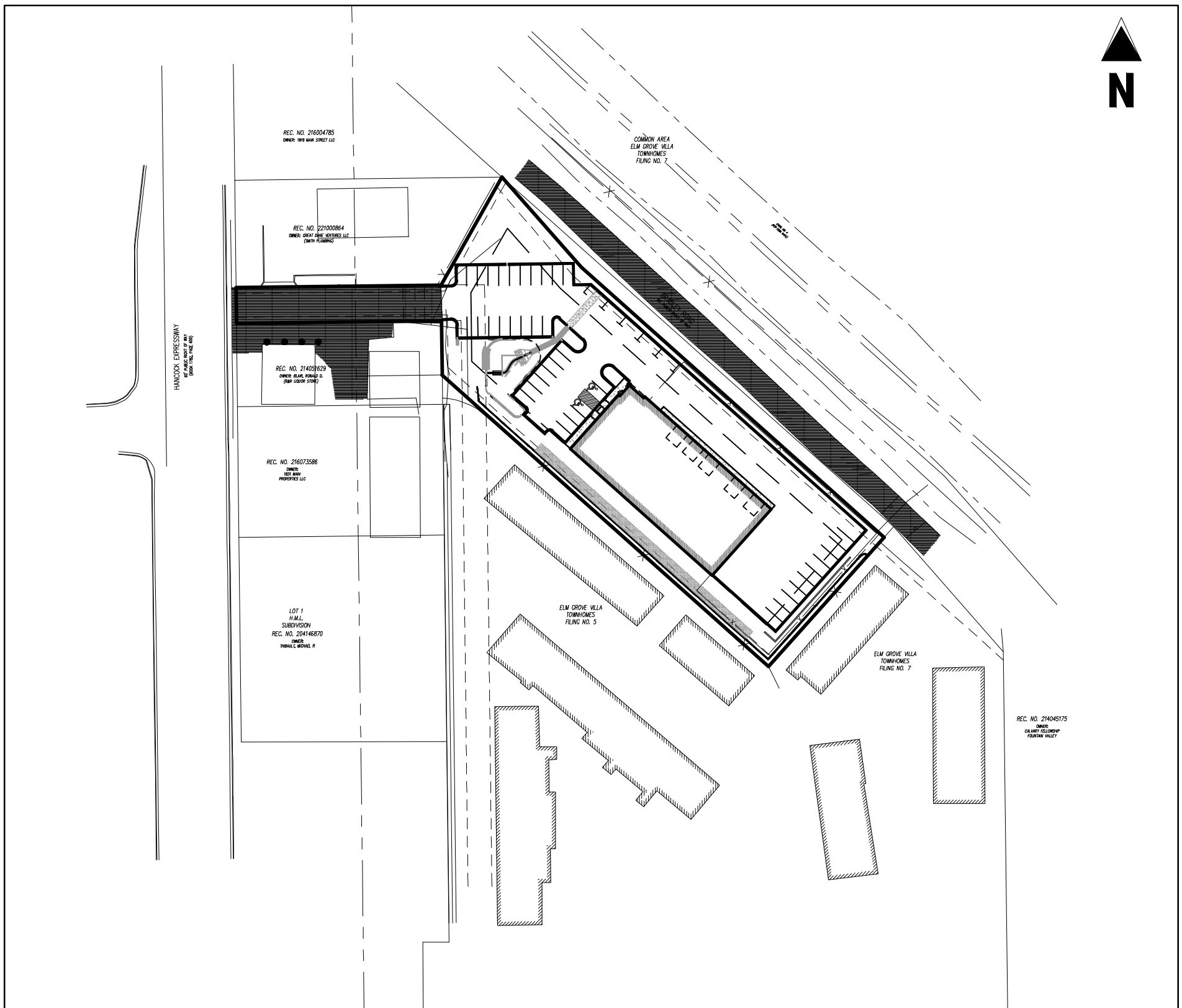
**UTILITY CONTACTS**

**WATER & WASTEWATER**  
WIDEFIELD WATER & SANITATION DISTRICT  
8495 FONTAINE BLVD.  
COLORADO SPRINGS, CO 80925  
TEL: (719) 390-7111  
ATTN:

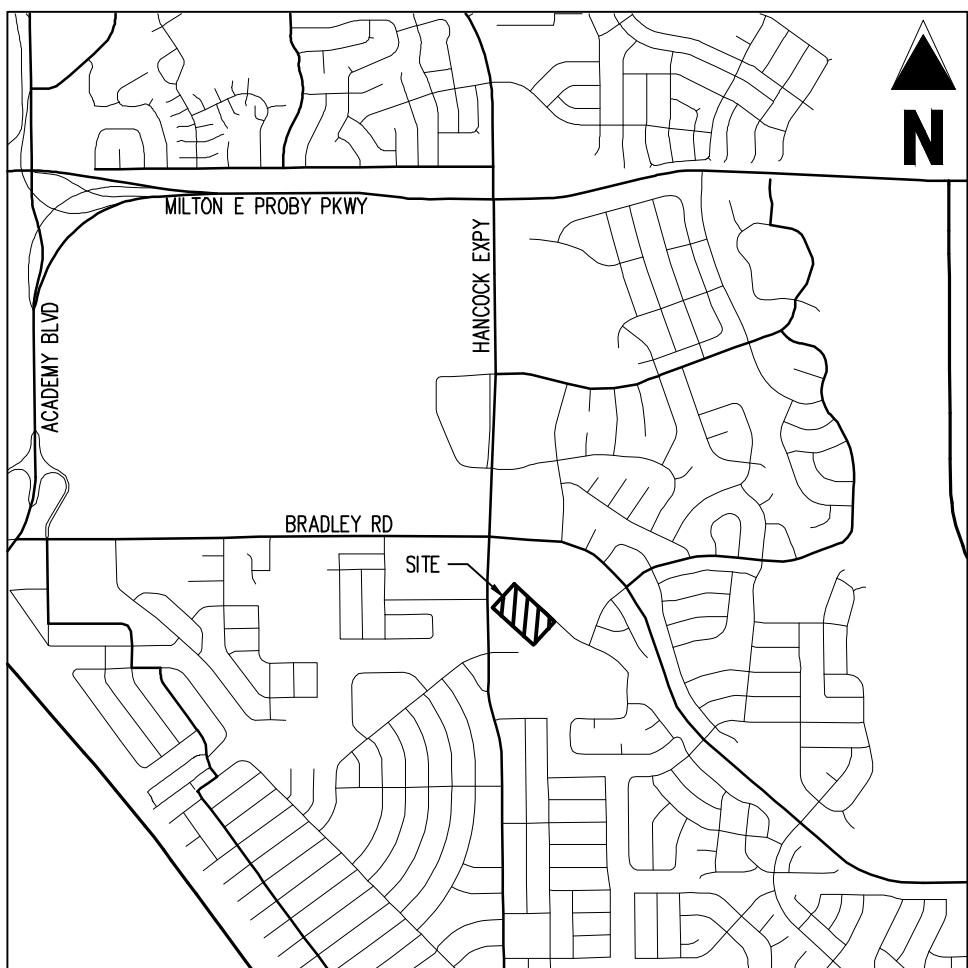
**ELECTRIC**  
COLORADO SPRINGS UTILITIES (CSU)  
111 S. CASCADE AVE.  
COLORADO SPRINGS, CO 80903  
TEL: (719) 448-4800  
ATTN:

**NATURAL GAS**  
COLORADO SPRINGS UTILITIES (CSU)  
7710 DURANT DRIVE, P.O. BOX 1103, MAIL CODE 2150  
COLORADO SPRINGS, CO 80947-2150  
TEL: (719) 668-5573  
ATTN:

**FIRE**  
SECURITY FIRE DEPARTMENT  
400 SECURITY BLVD.  
SECURITY, CO 80911  
TEL: (719) 392-7121  
EMAIL:



SITE MAP  
SCALE: 1"=100'



VICINITY MAP  
SCALE: 1"=500'

**ENGINEER'S STATEMENT**

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

RONALD G. DENNIS, COLORADO P.E. NO. 0051622 DATE

**OWNER'S STATEMENT**

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENT SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

EVA ROBINSON  
GREAT DANE VENTURES, LLC. DATE

**EL PASO COUNTY**

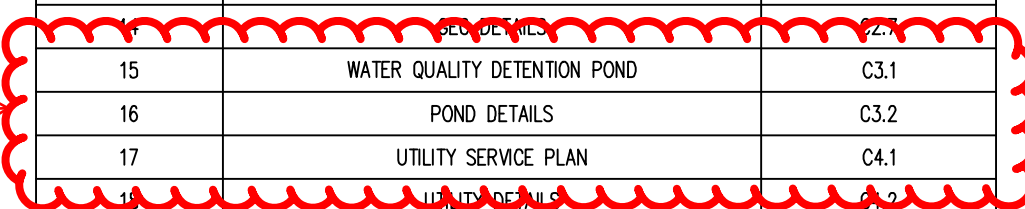
COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONTAINED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECOM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

JENNIFER IRVINE, P.E.  
COUNTY ENGINEER / ECOM ADMINISTRATOR DATE

SHEET INDEX		
SHEET NUMBER	SHEET TITLE	SHEET DESCRIPTION
1	COVER SHEET	C0.0
2	NOTES	C0.1
3	DEMOLITION PLAN	C1.1
4	SITE PLAN	C1.2
5	HORIZONTAL CONTROL PLAN	C1.3
6	PAVING & STRIPING PLAN	C1.4
7	SITE DETAILS	C1.5
8	EROSION CONTROL INITIAL PLAN	C2.1
9	EROSION CONTROL INTERIM PLAN	C2.2
10	GRADING & EROSION CONTROL FINAL PLAN	C2.3
11	GEC DETAILS	C2.4
12	GEC DETAILS	C2.5
13	GEC DETAILS	C2.6
14	WATER QUALITY DETENTION POND	C3.1
15	WATER QUALITY DETENTION POND	C3.1
16	POND DETAILS	C3.2
17	UTILITY SERVICE PLAN	C4.1

THESE ARE THE ONLY SHEETS THAT HAVE AS-BUILT INFORMATION INCLUDED AS PART OF THE WQC/P POND CERTIFICATION, THEREFORE ONLY THESE SHEETS WILL HAVE ENGINEER'S STAMP FOR AS-BUILTS



**BASIS OF BEARINGS**

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6" WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, T245 R66W W.C. 6.00' S 35 S36 S2 S1 T1 1/2 S R55W 2012 PLS 2431.3' AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, TRMPS 1962.25', AND IS CONSIDERED TO BEAR N00°42'04"W.

**BENCHMARK**

PUBLISHED BENCHMARK  
FMS MONUMENT FX35  
ELEVATION = 5980.39 (NAVD88)

**CAUTION - NOTICE TO CONTRACTOR**

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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CONSTRUCTION DOCUMENTS  
SMITH PLUMBING & HEATING  
FOR  
HAMMERS CONSTRUCTION, LLC  
1875 MAIN STREET  
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

#	Date	Issue / Description	Init.

Project No: HCl000008  
Drawn By: TPPT  
Checked By:  
Date: 05/20/2024

COVER SHEET

**STANDARD NOTES FOR GEC PLANS**

- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFFSITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT MAY CONTRIBUTE POLLUTANTS TO STORMWATER. TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THESE CONTROL MEASURES IS NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN PRIOR TO IMPLEMENTATION.
- TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE STABILIZED.
- FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLAN DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE HYDROLOGY OR HYDRAULICS OF A PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE EGM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATER OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
- COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED.
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUT SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY.
- DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
- EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED OR DISCHARGED AT THE SITE.
- WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE EGM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE OF PETROLEUM PRODUCTS OR OTHER LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL HAVE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
- OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS) AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DOM VOLUME II AND THE EGM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (O&M, WILES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.), IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO ACTUAL CONSTRUCTION THE PERMITS SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT, TITLED "SUBSURFACE SOIL INVESTIGATION - UPDATE - 1875 MAIN STREET" FOR THIS SITE HAS BEEN PREPARED BY ENTECH ENGINEERING, DATED APRIL 15, 2021 AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:  
COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT  
WATER QUALITY CONTROL DIVISION  
WQCD - PERMITS  
4300 CHERRY CREEK DRIVE SOUTH  
DENVER, CO 80246-1530  
ATIN@PERMITS.UNIT

**STANDARD NOTES FOR CONSTRUCTION PLANS**

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
  - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
  - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
  - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
  - CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER THE FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTORS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER EGM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. (IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.)
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

**EROSION CONTROL NOTES**

- SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN TWENTY-ONE (21) CALENDAR DAYS AFTER FINAL GRADING, OR FINAL EARTH DISTURBANCE, HAS BEEN COMPLETED. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMPs SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.
- CONSTRUCTION FENCE AND SILT FENCE OFFSET FOR CLARITY. CONTRACTOR TO ENSURE BMPs ARE PLACED DOWNSTREAM OF DISTURBED AREAS TO PREVENT SEDIMENT FROM LEAVING THE SITE.

**GENERAL CONSTRUCTION NOTES**

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPLACED AT THE CONTRACTORS EXPENSE AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.
- ALL BACKFILL, SUB-BASE AND / OR BASE COURSE (CLASS 6) MATERIAL SHALL BE COMPACTED TO THE SOILS ENGINEERS RECOMMENDATIONS, AND APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION.
- ALL STATIONING IS CENTERLINE UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED.
- ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. REPAIR SHALL CONFORM TO THE EPC ECM APPENDIX K - 1.2C.
- ALL CULVERT AND STORM PIPES SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (HDPE), OR REINFORCED CONCRETE PIPE (RCP). ALL CULVERTS SHALL BE PLACED COMPLETE WITH FLARED END SECTIONS. ADEQUACY OF MATERIAL THICKNESS FOR ANY CSP INSTALLED SHALL BE VERIFIED BY OWNERS GEOTECHNICAL ENGINEER TO SUPPORT MINIMUM 50 YEAR DESIGN LIFE. CULVERTS MUST CONFORM TO EPC ECM SECTION 3.32 - CULVERTS.
- TYPE M RIP-RAP WITH 4" OF TYPE II GRANULAR BEDDING AND MRRAP 180N OR EQUAL MAY BE SUBSTITUTED WHERE TYPE L RIP-RAP WITH MRRAP FV 700 OR EQUAL IS SPECIFIED.
- ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN COMPLIANCE WITH ANY AND ALL APPLICABLE EL PASO COUNTY STANDARDS AND WITH WOODMAN HILLS METRO DISTRICT CONSULTING ENGINEER APPROVAL.
- ALL POTABLE WATER MAINS SHALL BE AWMA C900-SDR18 PVC WITH PUSH-ON SINGLE GASKET TYPE JOINTS AND SHALL MEET THE REQUIREMENTS OF ANSI / NSF 61.
- SANITARY SEWER PIPE AND FITTINGS: PVC 4" ASTM D3034, TYPE PSM, SDR 35; PUSH-ON JOINTS AND MOLDED RUBBER GASKETS MAXIMUM HORIZONTAL DEFLECTIONS, AFTER INSTALLATION AND BACK FILLING SHALL NOT EXCEED 3% OF THE PIPE DIAMETER. (MINIMUM CURVE RADIUS IS 100' FOR 6" PVC SANITARY SEWER MAIN)

**ENGINEERING RECORD DRAWINGS AS-BUILT DRAWINGS**



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**CONSTRUCTION DOCUMENTS  
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FOR  
HAMMERS CONSTRUCTION, LLC**  
1875 MAIN STREET  
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

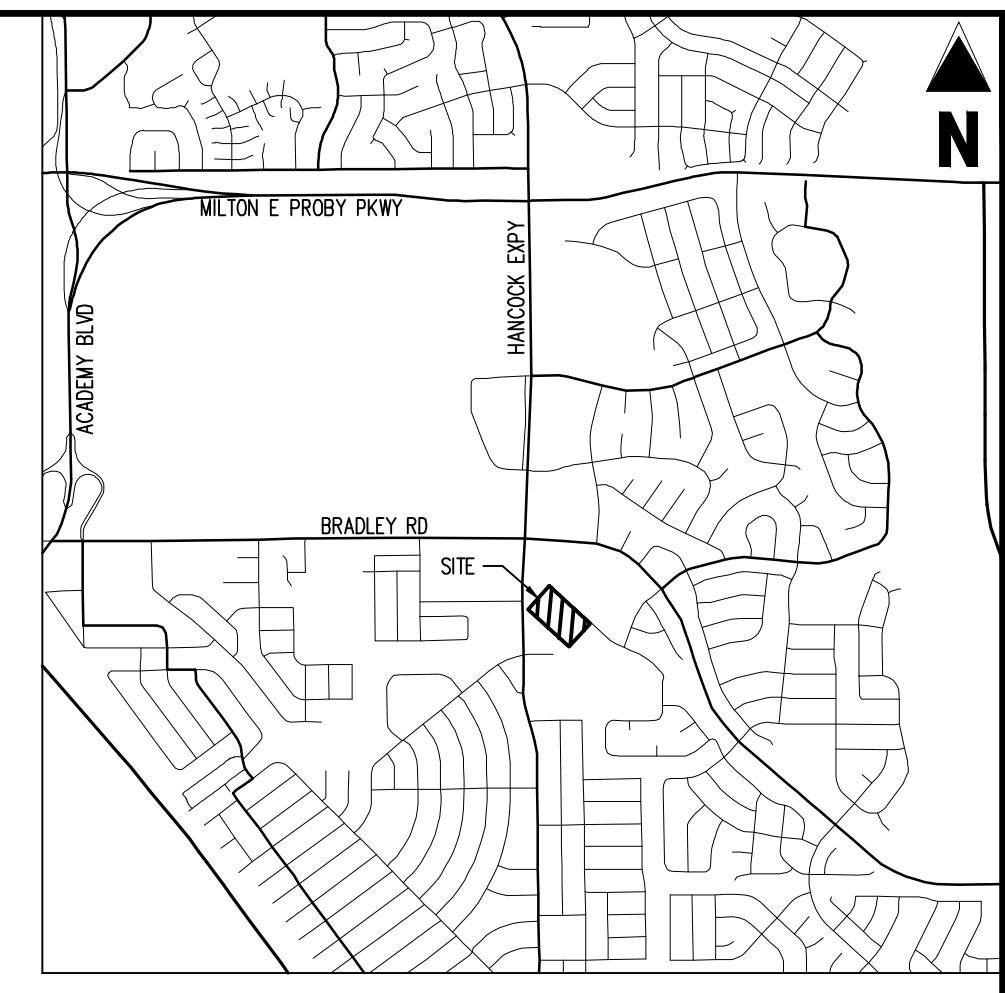
#	Date	Issue / Description	Init.

Project No: HCI000008  
Drawn By: TPPT  
Checked By:  
Date: 05/20/2024

**NOTES**

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# ENGINEERING RECORD DRAWINGS AS-BUILT DRAWINGS



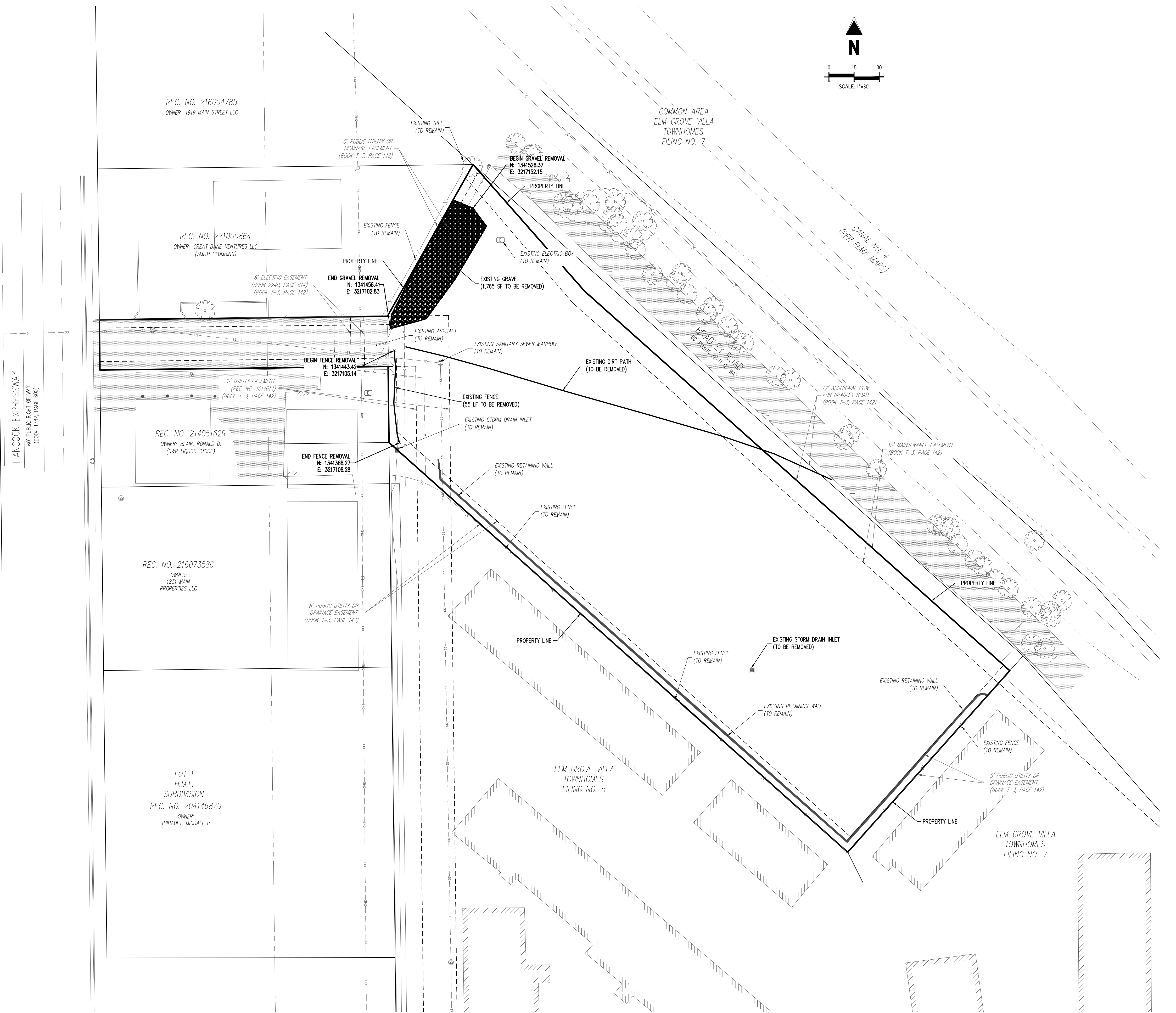
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	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	EXISTING EASEMENT LINE
	EXISTING CURB & GUTTER
	EXISTING ASPHALT EDGE
	EXISTING FENCE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING GAS LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING STORM DRAIN LINE
	EXISTING BUILDING HATCH
	EXISTING ASPHALT PAVING
	EXISTING FIRE HYDRANT
	EXISTING STORM STRUCTURES
	EXISTING ELECTRIC STRUCTURES
	EXISTING TELEPHONE STRUCTURES
	EXISTING SIGN
	EXISTING SANITARY SEWER MANHOLE
	EXISTING WATER STRUCTURES
	EXISTING TREES

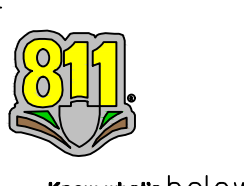
- DEMOLITION NOTES**
- ALL DEMOLITION TO BE IN ACCORDANCE WITH STATE, LOCAL, AND FEDERAL REQUIREMENTS.
  - CONTRACTOR TO VERIFY ALL UTILITY SERVICE LOCATIONS AND EXISTING SITE CONDITIONS PRIOR TO PROCEEDING. ANY SITE CONDITIONS THAT ARE NOT AS SHOWN MUST BE REPORTED TO THE COMPANY REPRESENTATIVE PRIOR TO BID.
  - CONTRACTOR TO REMOVE OR RELOCATE EXISTING UTILITIES PER UTILITY COMPANY REQUIREMENTS.
  - ALL UNDERGROUND STORM SEWER, WATER, AND SANITARY SEWER MAIN LOCATIONS ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY.
  - ALL UNDERGROUND GAS AND ELECTRIC UTILITY INFORMATION SHOWN IS BASED ON MAPS PROVIDED BY UTILITY COMPANY AND ARE TO BE CONSIDERED AS AN APPROXIMATE LOCATION ONLY BASED ON SAID MAPS.
  - CONTRACTOR TO OBTAIN ALL PERMITS AND LICENSES REQUIRED FOR DEMOLITION OF WORK SHOWN.

NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

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- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



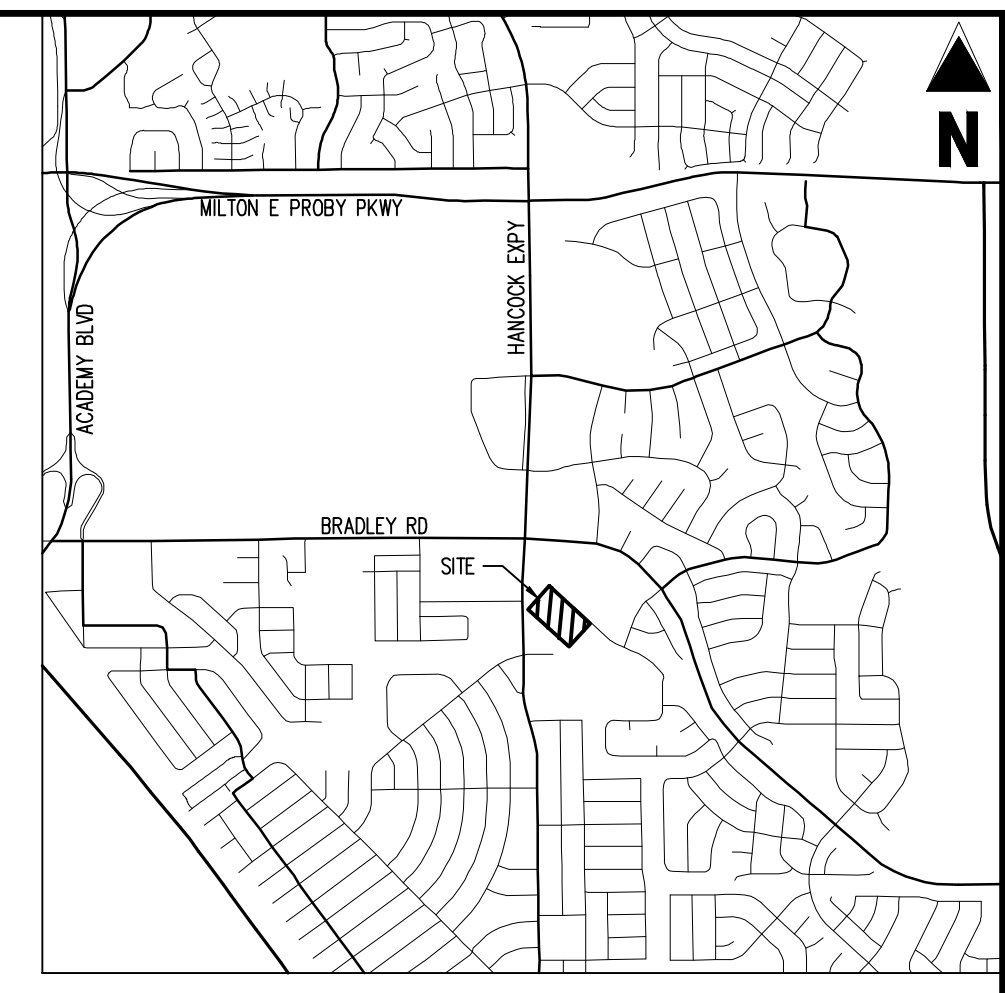
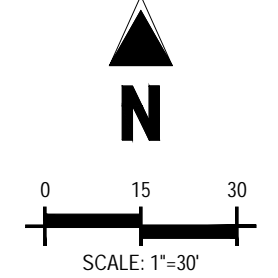
#	Date	Issue / Description	Init.

Project No: HCl000008  
 Drawn By: TPPT  
 Checked By: [Signature]  
 Date: 10/20/2024

**DEMOLITION PLAN**

PCD FILING NO. PPR2143  
C1.1  
 Sheet 3 of 18

ENGINEERING RECORD DRAWINGS  
AS-BUILT DRAWINGS



VICINITY MAP  
SCALE: 1"=500'



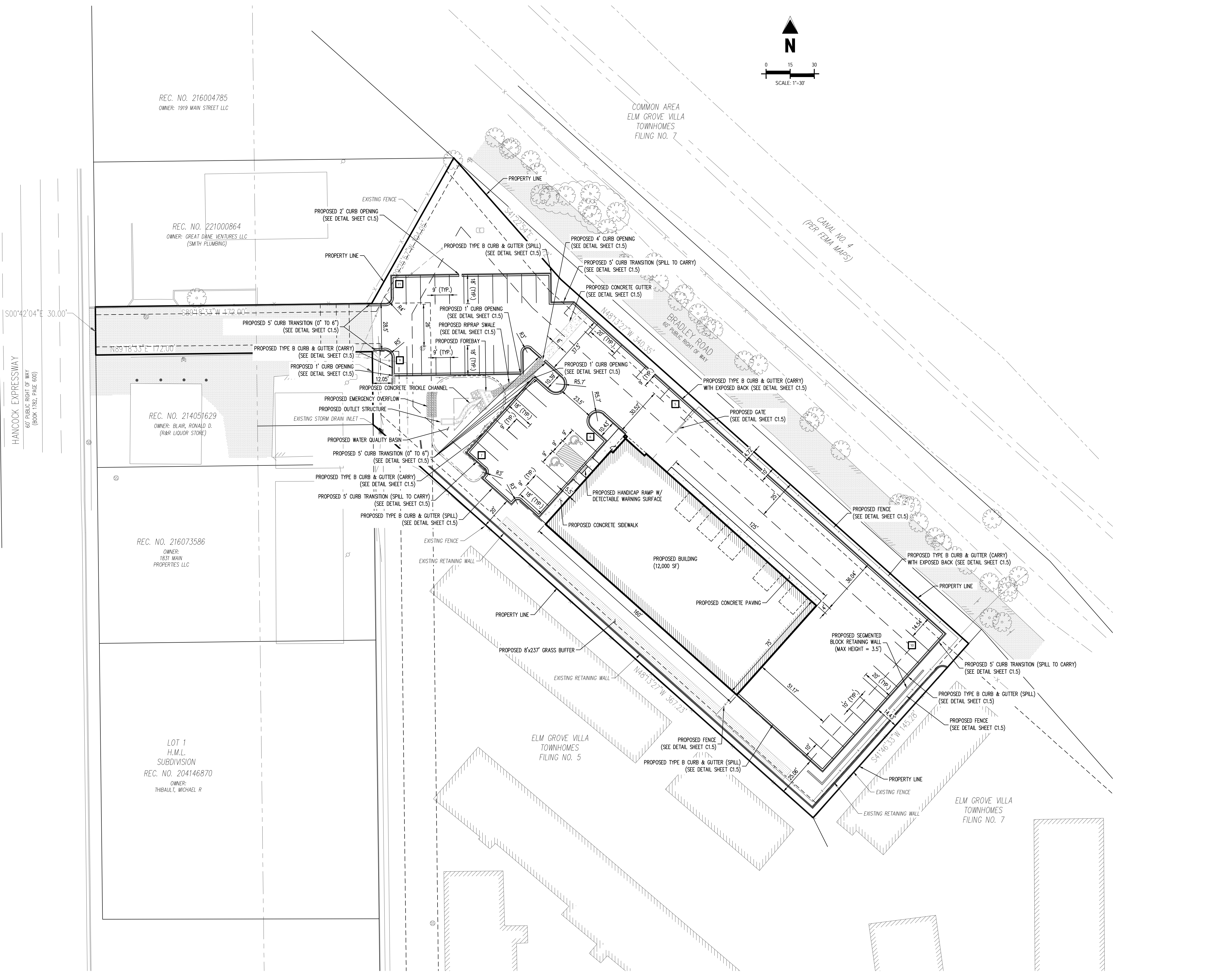
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SITE LEGEND

Table with 2 columns: Symbol and Description. Includes items like PROPERTY BOUNDARY LINE, PROPOSED BUILDING HATCH, and EXISTING SANITARY SENE LINE.

GENERAL NOTES

- 1. REFER TO GRADING & EROSION CONTROL PLAN FOR ADA RAMP & FINE GRADING.
2. REFER TO UTILITY SERVICE PLANS FOR WATER AND WASTEWATER CONSTRUCTION PLANS.
3. ALL WORK & MATERIAL SHALL COMPLY WITH ALL COUNTY REGULATIONS AND CODES AND OSHA STANDARD.
4. NO WETLANDS ARE PRESENT ON SITE.
5. ALL PROPOSED PAVING AREAS & DRIVE AISLES TO BE PAVED W/ ASPHALT.
6. ALL PROPOSED SIDEWALKS TO BE CONSTRUCTED W/ CONCRETE, 4" THICK.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGE TO ANY EXISTING ITEMS THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION AND DEMOLITION ARE COMPLETE. THOSE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, DRAINAGE SYSTEMS, UTILITIES, CURBING, PAVING, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.

ADA DESIGN PROFESSIONAL STATEMENT

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

BASIS OF BEARINGS

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6" WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, "T24S R66W W.C. 6.00' S 35 S36 S2 S1 1 1/2 S R55W 2012 PLS 24313" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, "RMP5 19625", AND IS CONSIDERED TO BEAR N004°20'4"N.

BENCHMARK

PUBLISHED BENCHMARK  
FMS MONUMENT FX35  
ELEVATION = 5880.35 (NAVD88)

NOTE: CONTRACTOR MUST COORDINATE WORK WITH WIDEFIELD WATER AND SANITATION DISTRICT AND EL PASO COUNTY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

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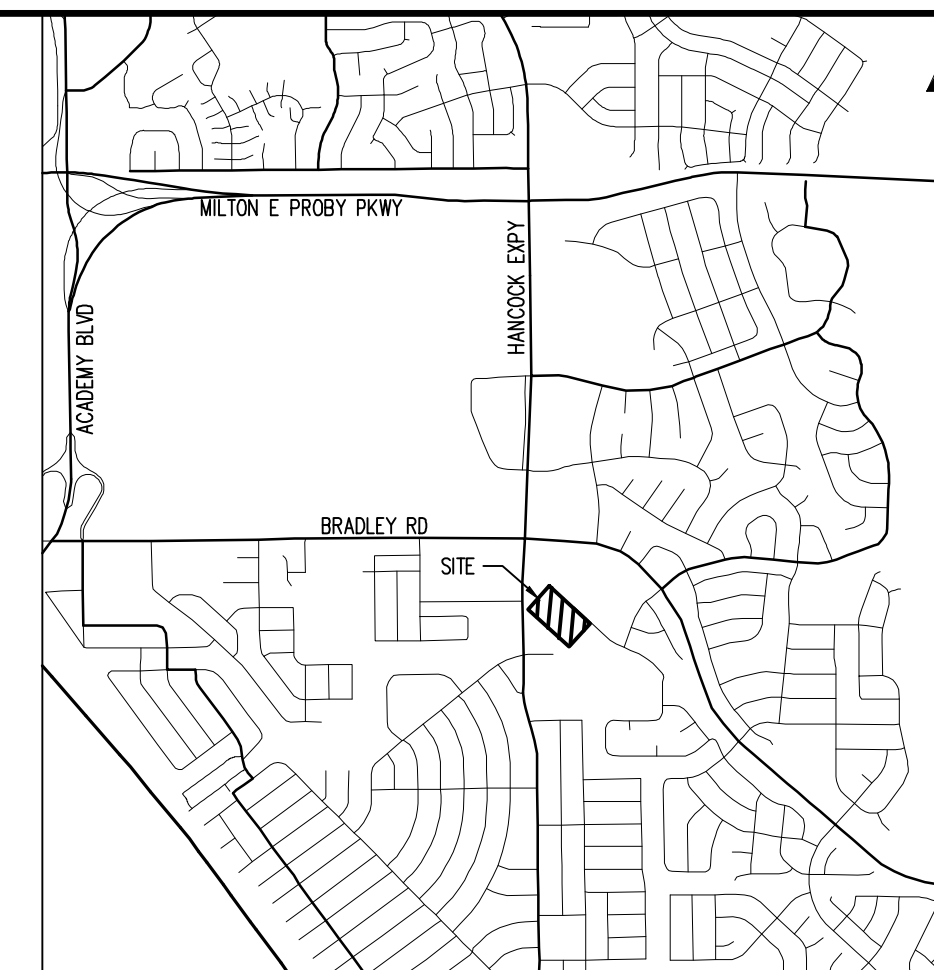


Table with 4 columns: #, Date, Issue / Description, Init. Contains revision notes.

Project No: HCI000008  
Drawn By: TPPT  
Checked By: [Signature]  
Date: 10/20/2024  
SITE PLAN

PCD FILING NO. PPR2143  
C1.2  
Sheet 4 of 18

# ENGINEERING RECORD DRAWINGS AS-BUILT DRAWINGS



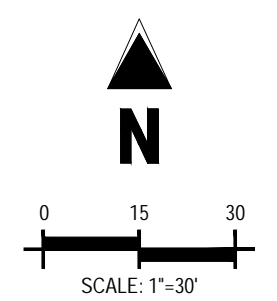
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FOR  
HAMMERS CONSTRUCTION, LLC  
1875 MAIN STREET  
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY



**VICINITY MAP**  
SCALE: 1"=500'

**SITE LEGEND**

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	PROPOSED BUILDING HATCH
	PROPOSED CONCRETE PAVING
	PROPOSED BUILDING OUTLINE
	PROPOSED EASEMENT
	PROPOSED FENCE
	EXISTING EASEMENT LINE
	EXISTING LANDSCAPE BUFFER
	EXISTING ASPHALT EDGE
	EXISTING CURB & GUTTER
	EXISTING BUILDING HATCH
	EXISTING ASPHALT PAVING

**GENERAL NOTES**

1. ALL DIMENSIONS ARE TO FLOWLINE OF CURB UNLESS OTHERWISE NOTED.

**BASIS OF BEARINGS**

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**BENCHMARK**

PUBLISHED BENCHMARK  
FMS MONUMENT F335  
ELEVATION = 5880.39 (NAVD89)

NOTE: CONTRACTOR MUST COORDINATE WORK WITH WIDEFIELD WATER AND SANITATION DISTRICT AND EL PASO COUNTY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

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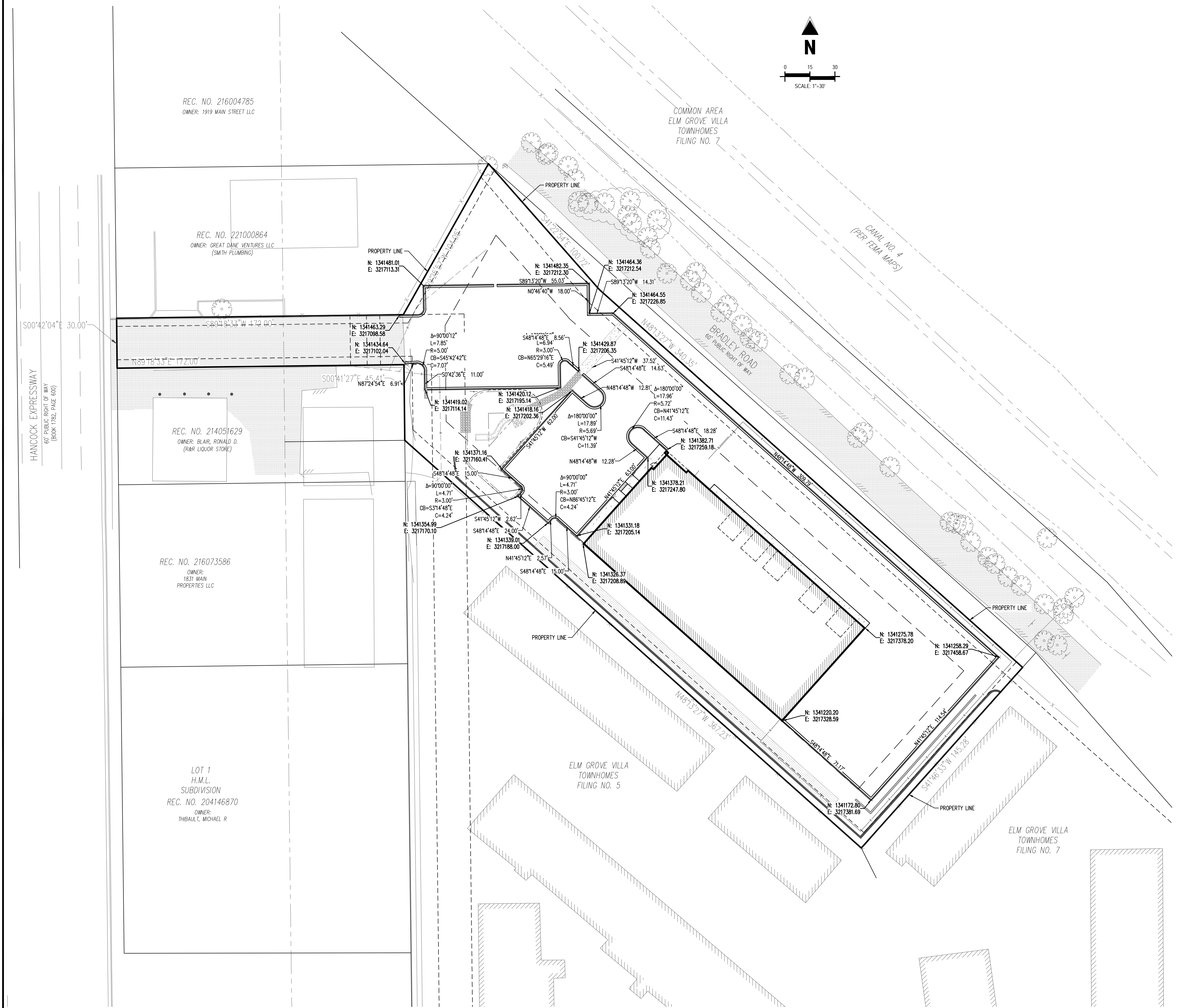


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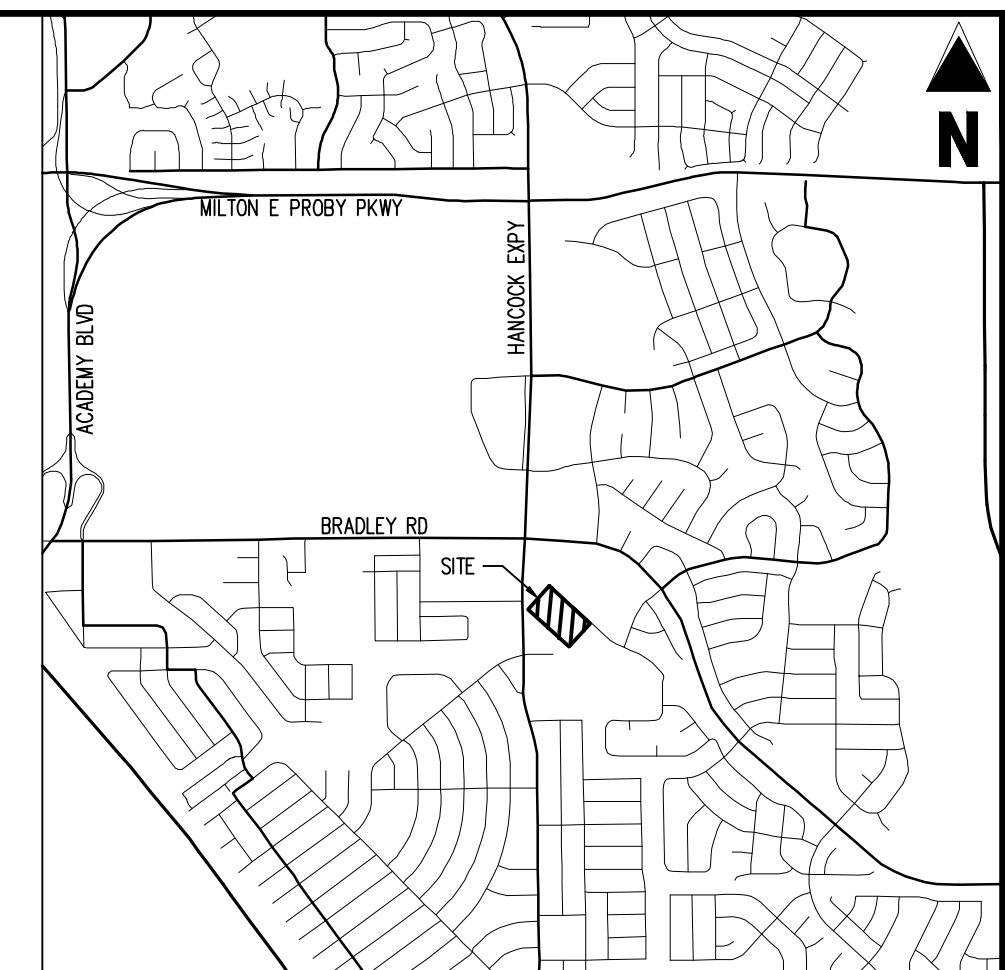
Project No: HCI00008  
Drawn By: TPPT  
Checked By:  
Date: 05/20/2024  
**HORIZONTAL CONTROL PLAN**

PCD FILING NO. PPR2143  
**C1.3**  
Sheet 5 of 18

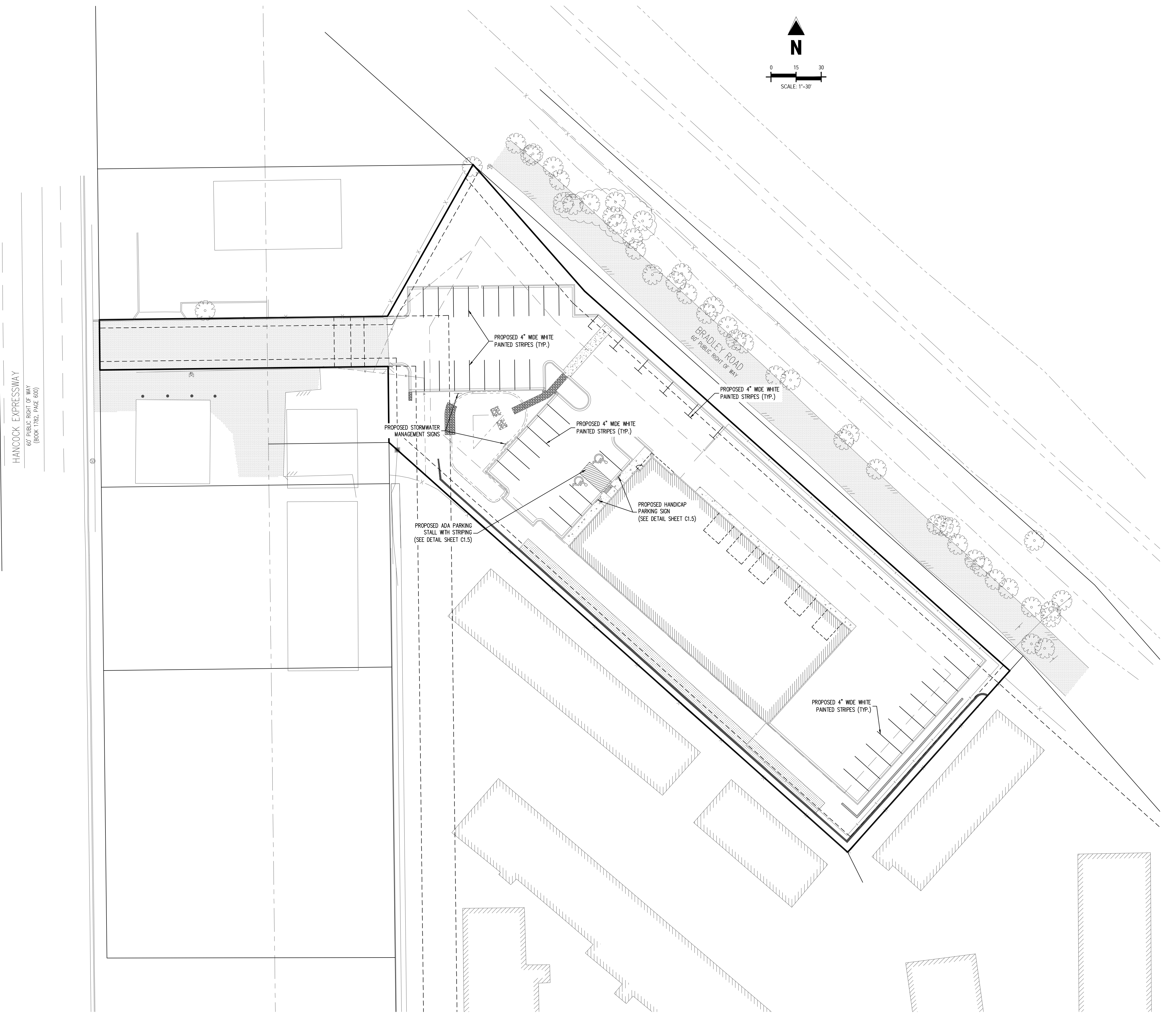
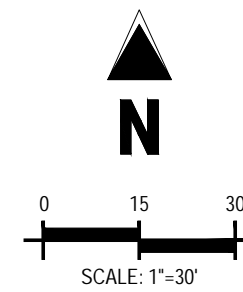


SMITH PLUMBING & HEATING, LLC, 1155 KELLY JOHNSON BLVD., SUITE 305, COLORADO SPRINGS, CO 80920. PROJECT NO. PPR2143. DATE: 05/20/2024. DRAWN BY: TPPT. CHECKED BY: [Signature].

# ENGINEERING RECORD DRAWINGS AS-BUILT DRAWINGS



**VICINITY MAP**  
SCALE: 1"=500'



### SITE LEGEND

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	PROPOSED BUILDING HATCH
	PROPOSED CONCRETE PAVING
	PROPOSED BUILDING OUTLINE
	PROPOSED EASEMENT
	PROPOSED FENCE
	EXISTING EASEMENT LINE
	EXISTING LANDSCAPE BUFFER
	EXISTING ASPHALT EDGE
	EXISTING CURB & GUTTER
	EXISTING FENCE
	EXISTING BUILDING HATCH
	EXISTING ASPHALT PAVING

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### BENCHMARK

PUBLISHED BENCHMARK  
FMS MONUMENT F335  
ELEVATION = 5880.39 (NAVD88)

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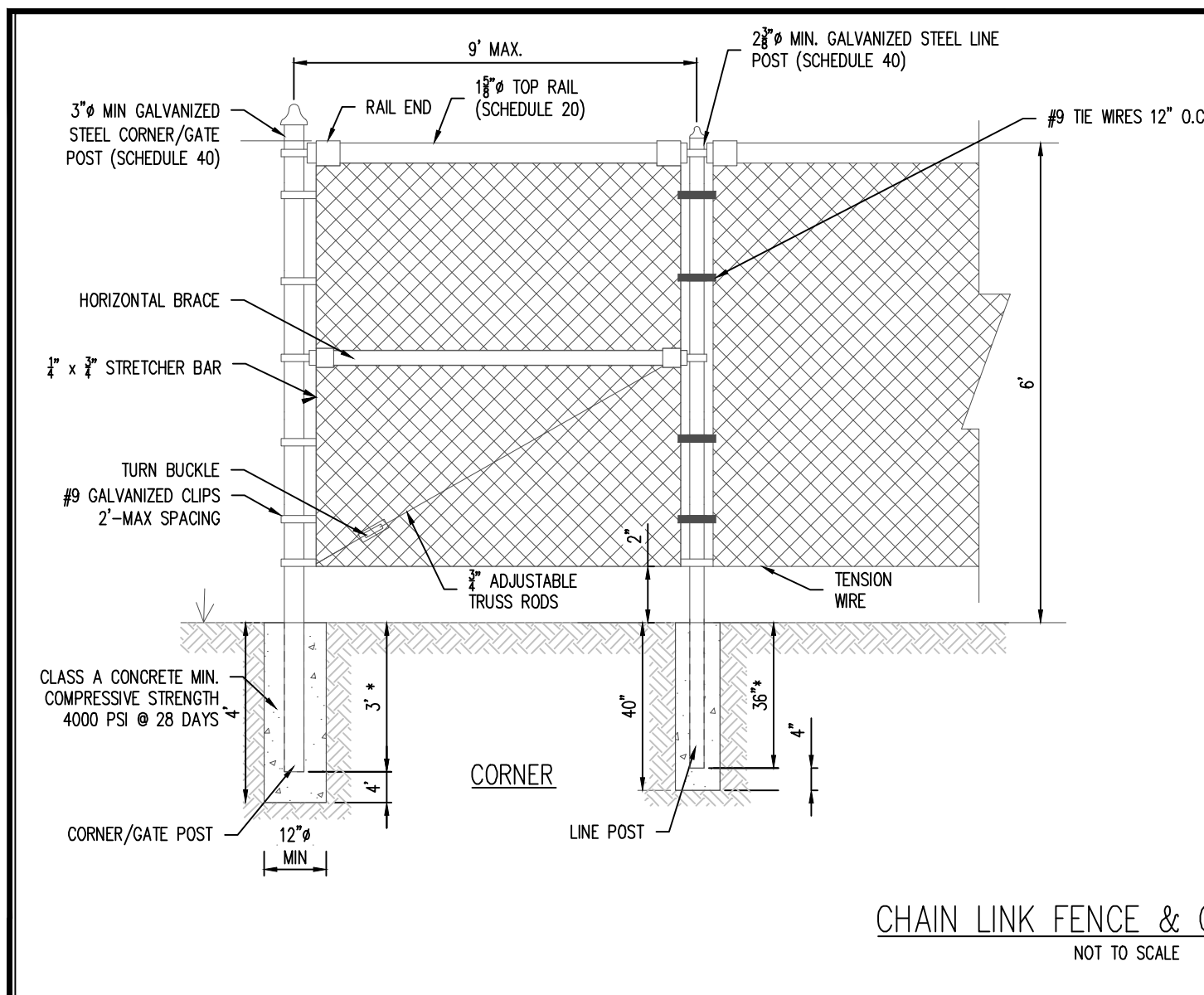


**CONSTRUCTION DOCUMENTS**  
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**FOR**  
**HAMMERS CONSTRUCTION, LLC**  
 1875 MAIN STREET  
 COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

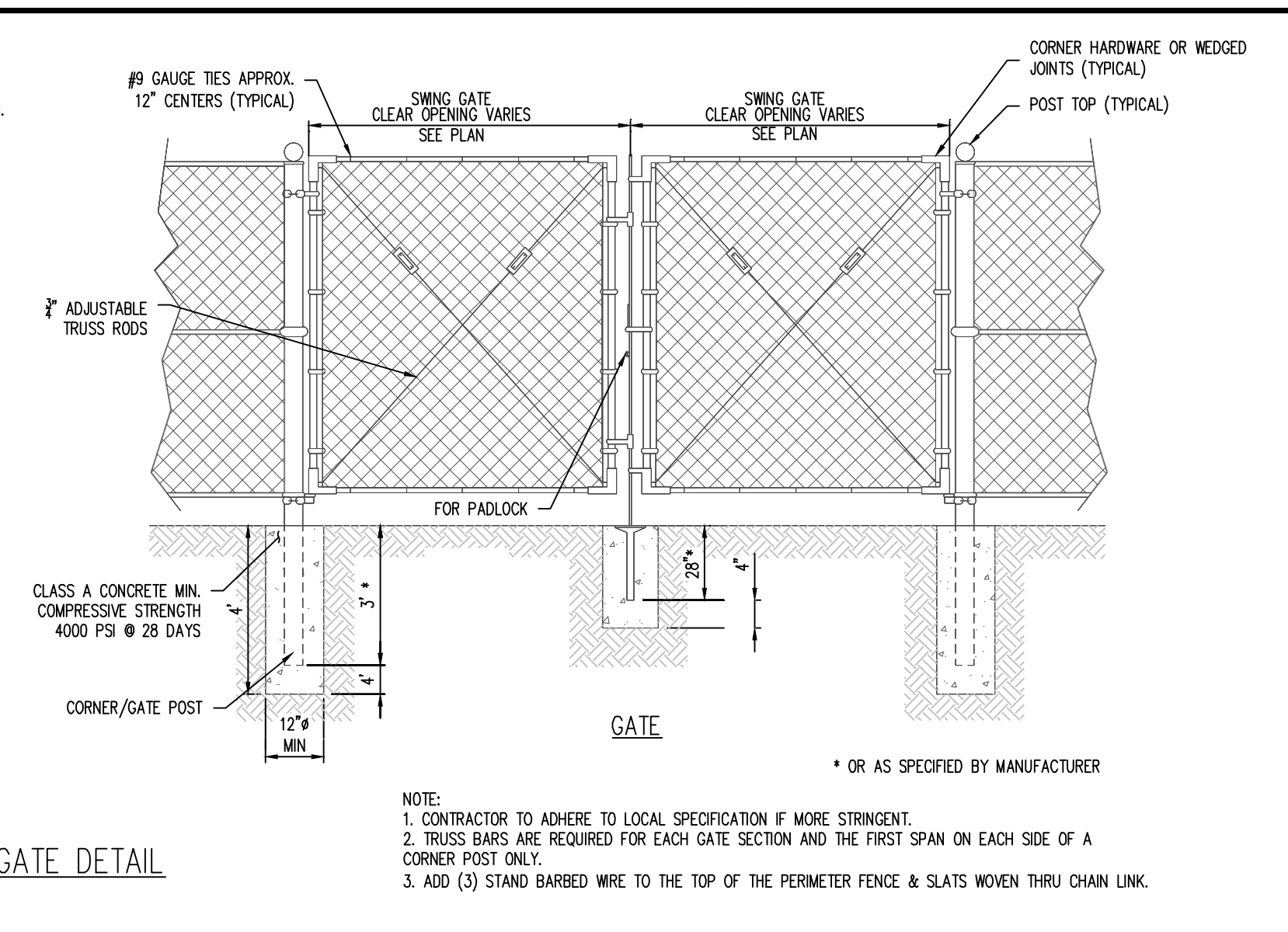
#	Date	Issue / Description	Init.

Project No: HCl000008  
 Drawn By: TPT  
 Checked By: [Signature]  
 Date: 05/20/2024  
**PAVING & STRIPING PLAN**

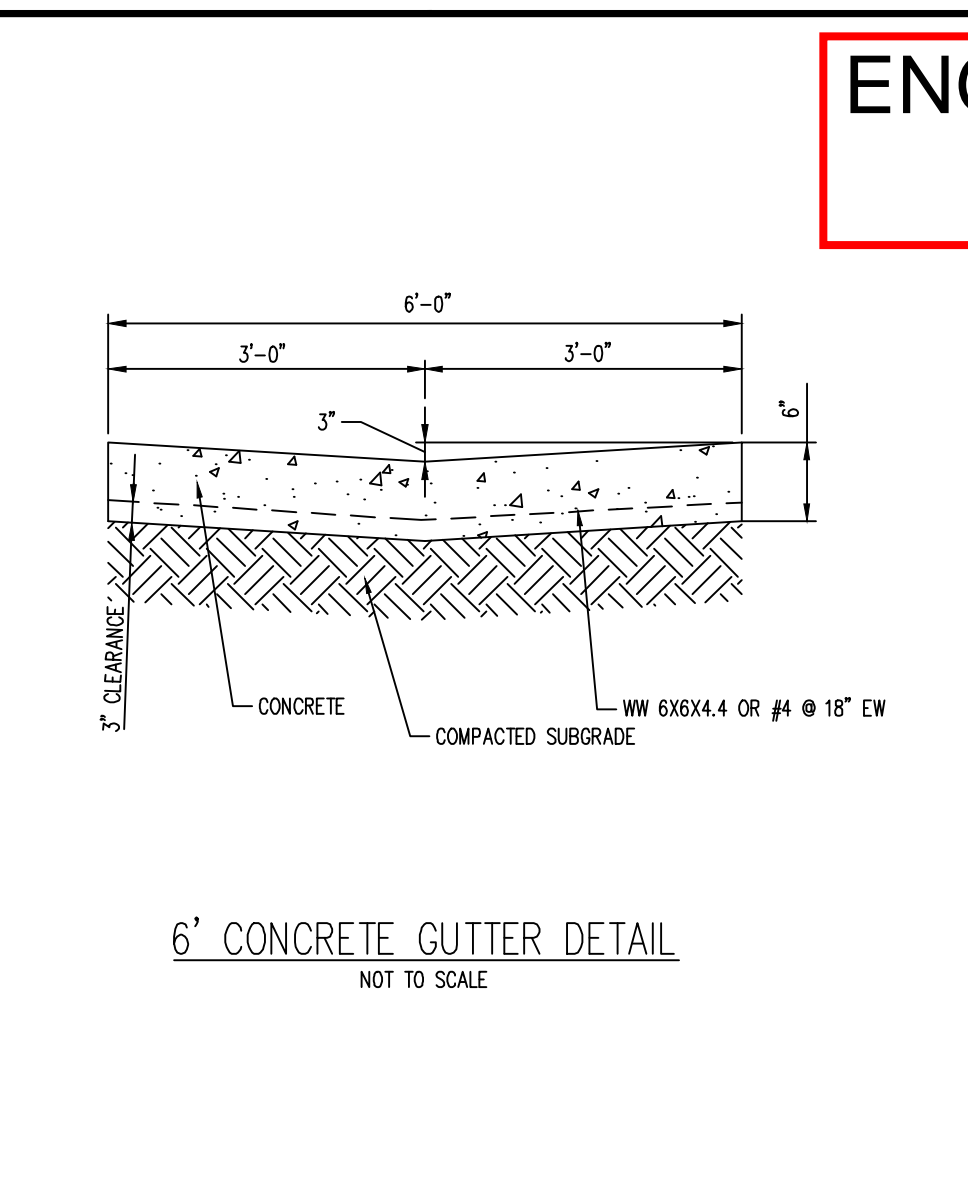
**ENGINEERING RECORD DRAWINGS  
AS-BUILT DRAWINGS**



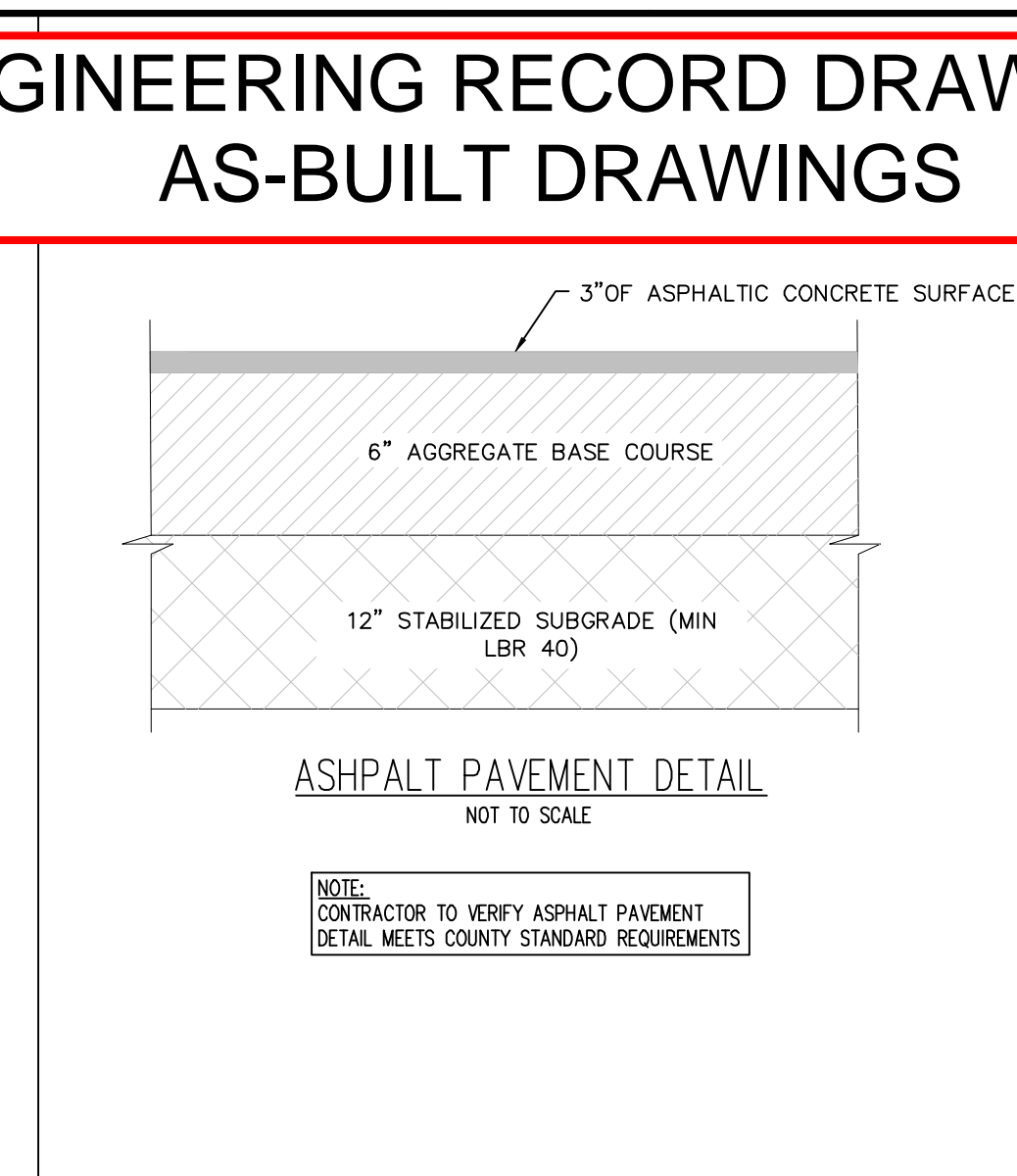
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NOT TO SCALE



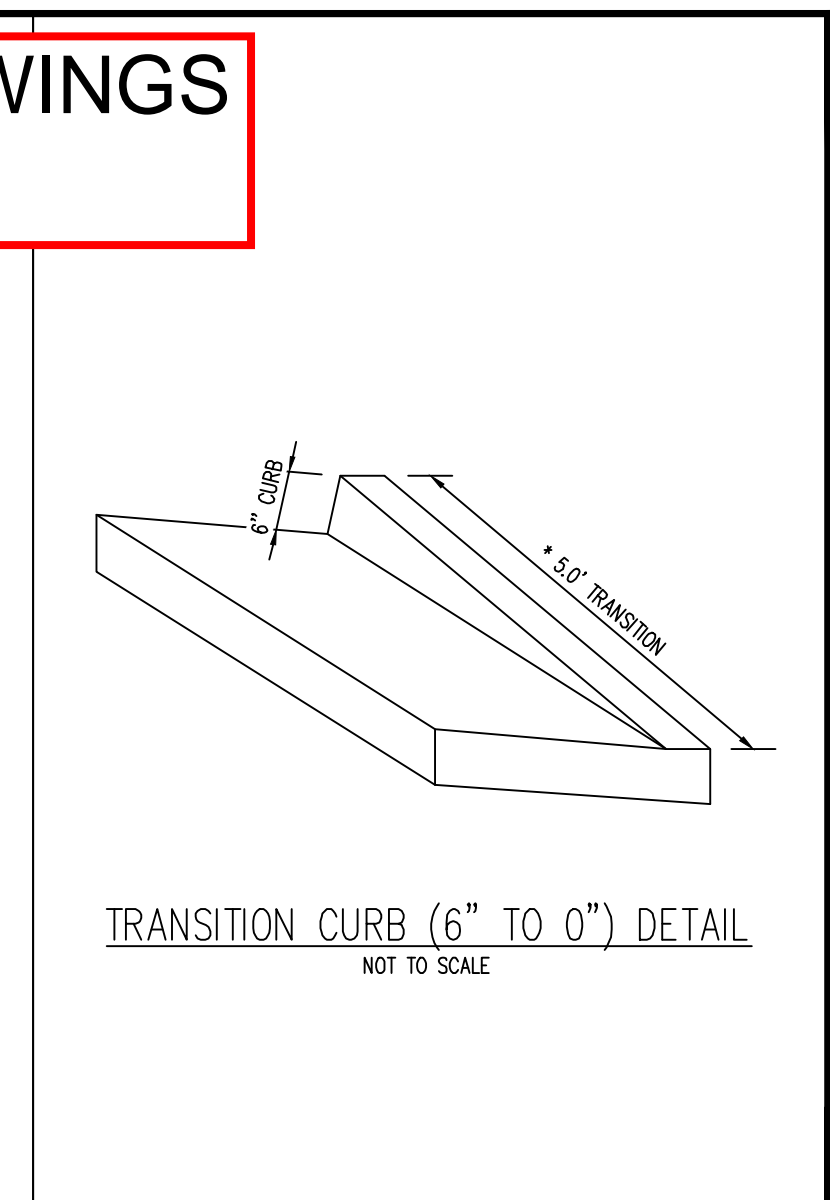
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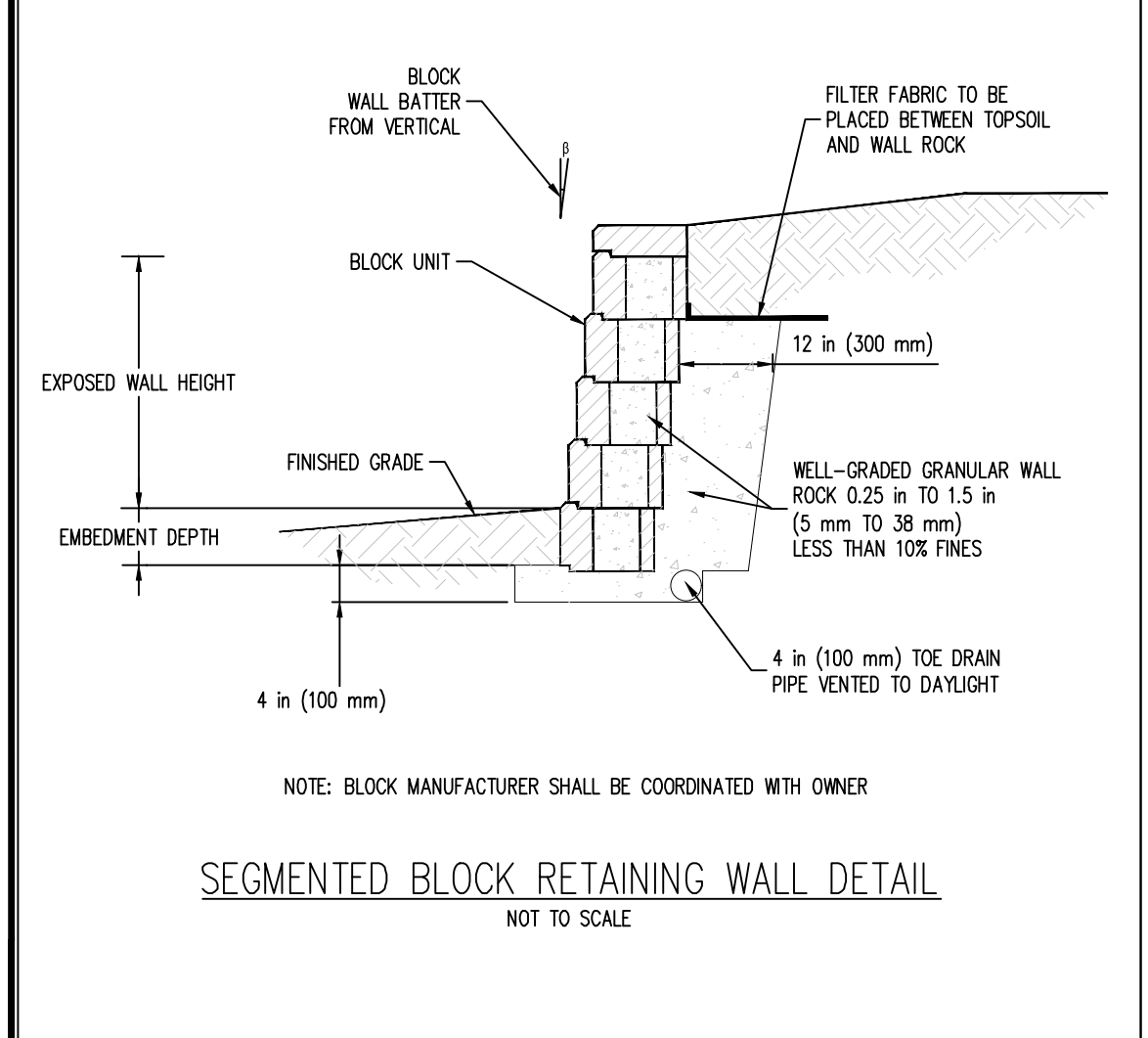
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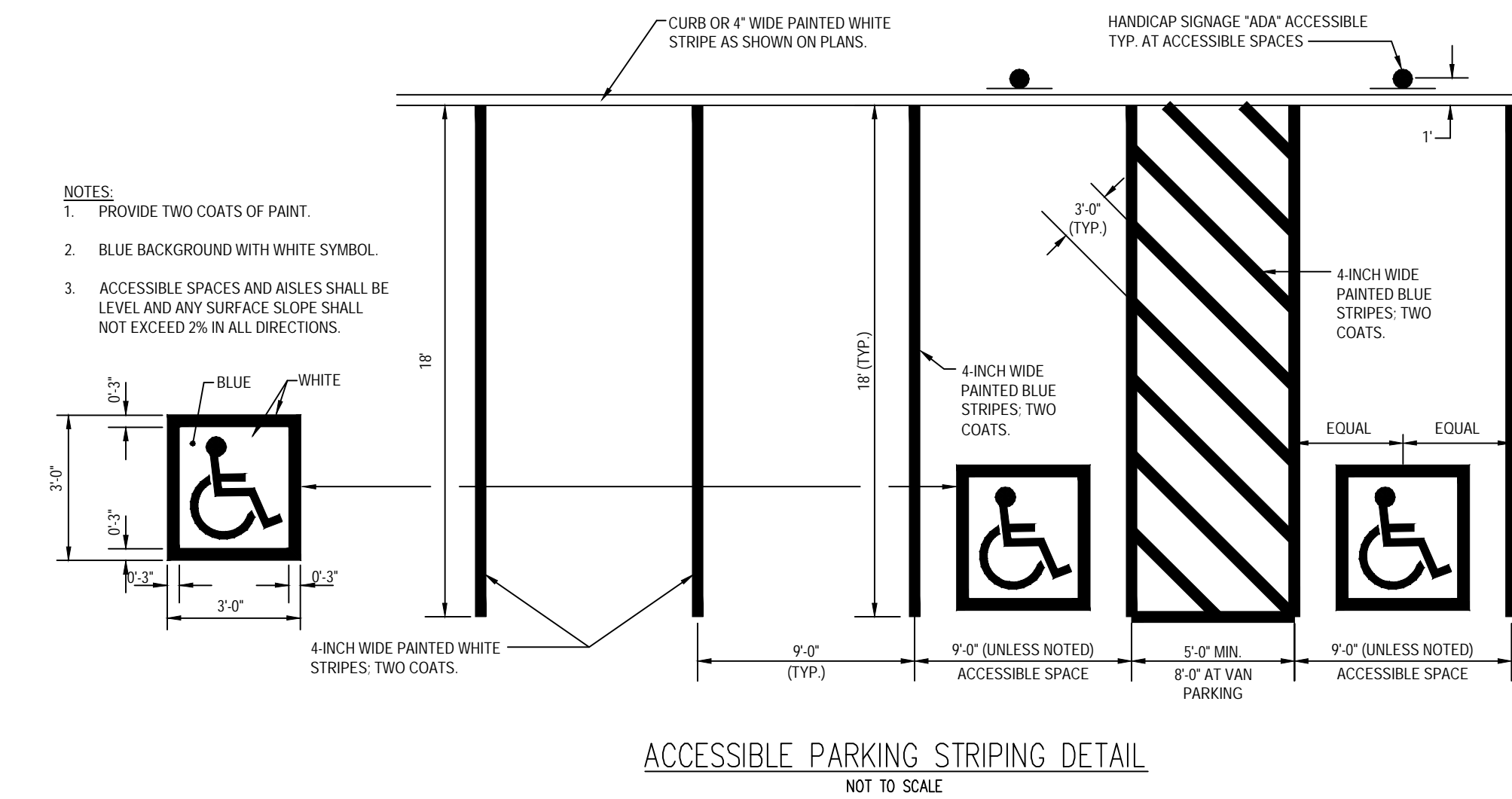
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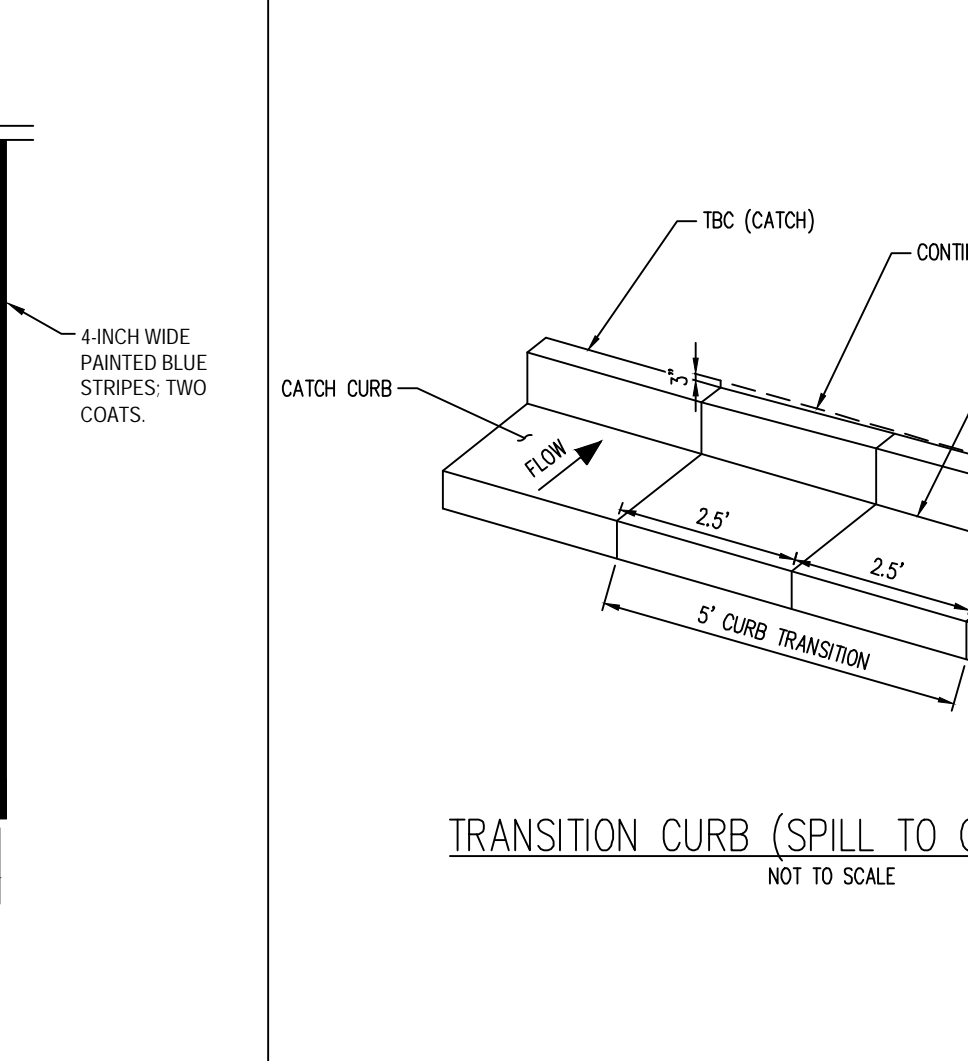
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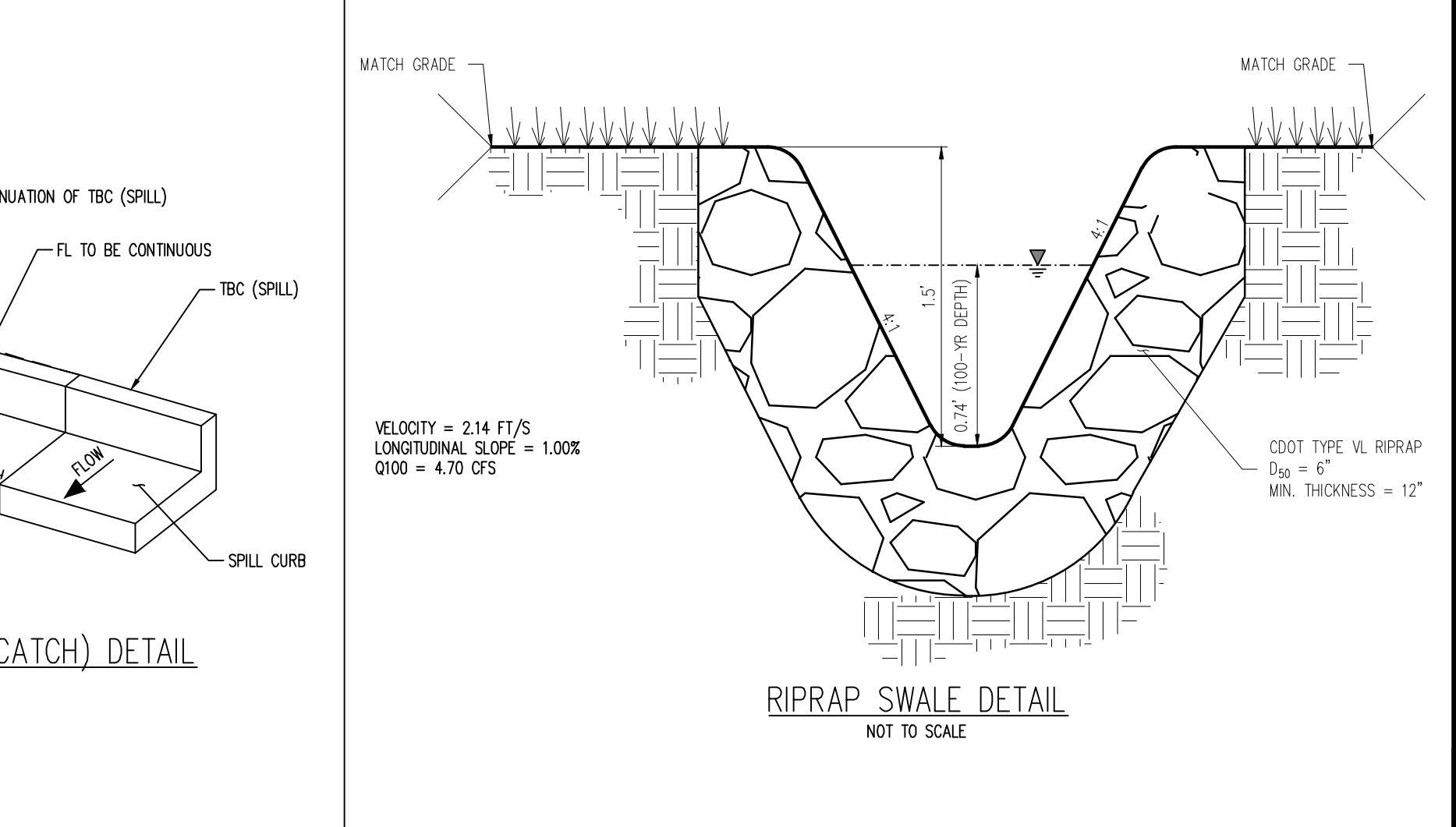
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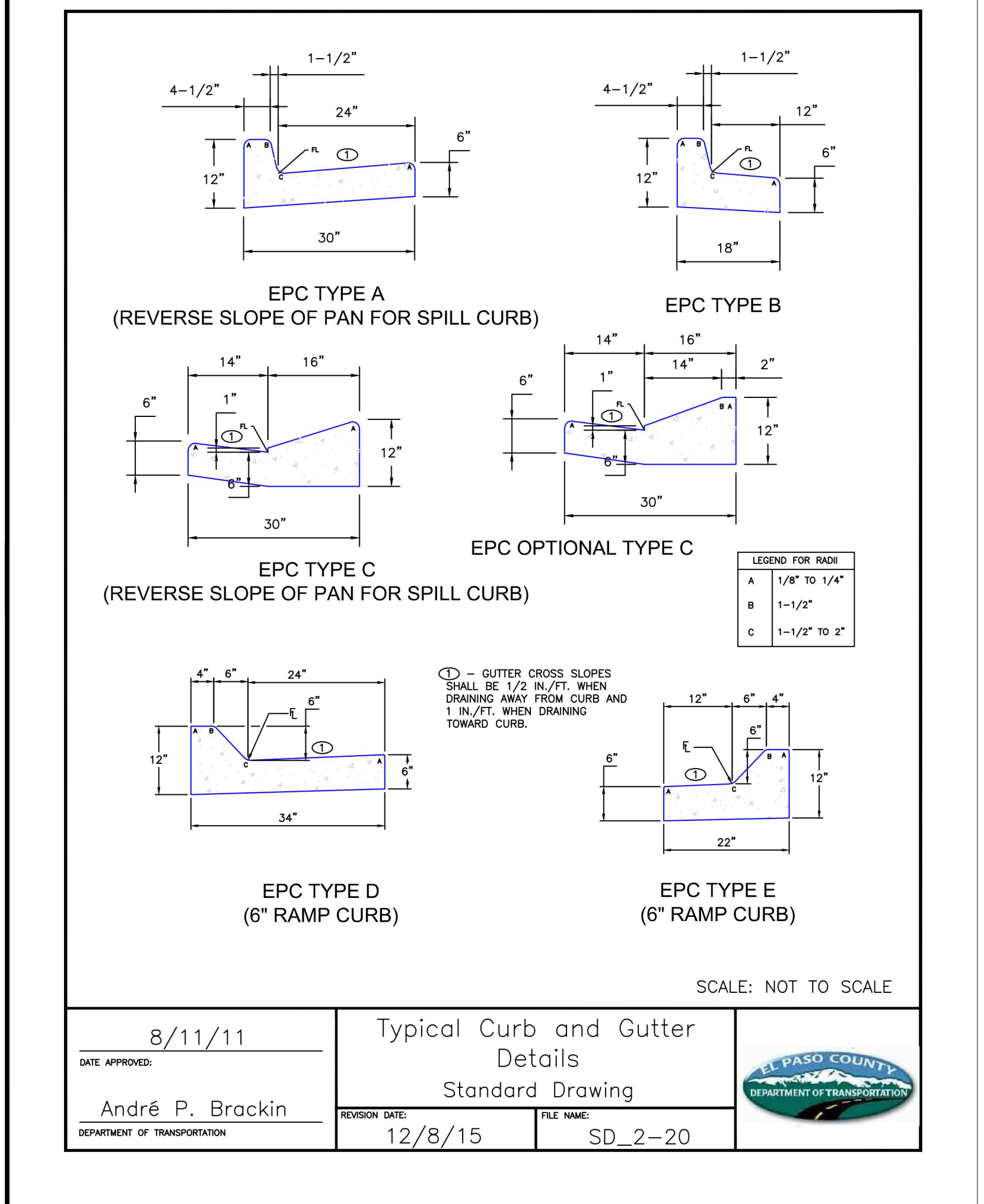
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NOT TO SCALE



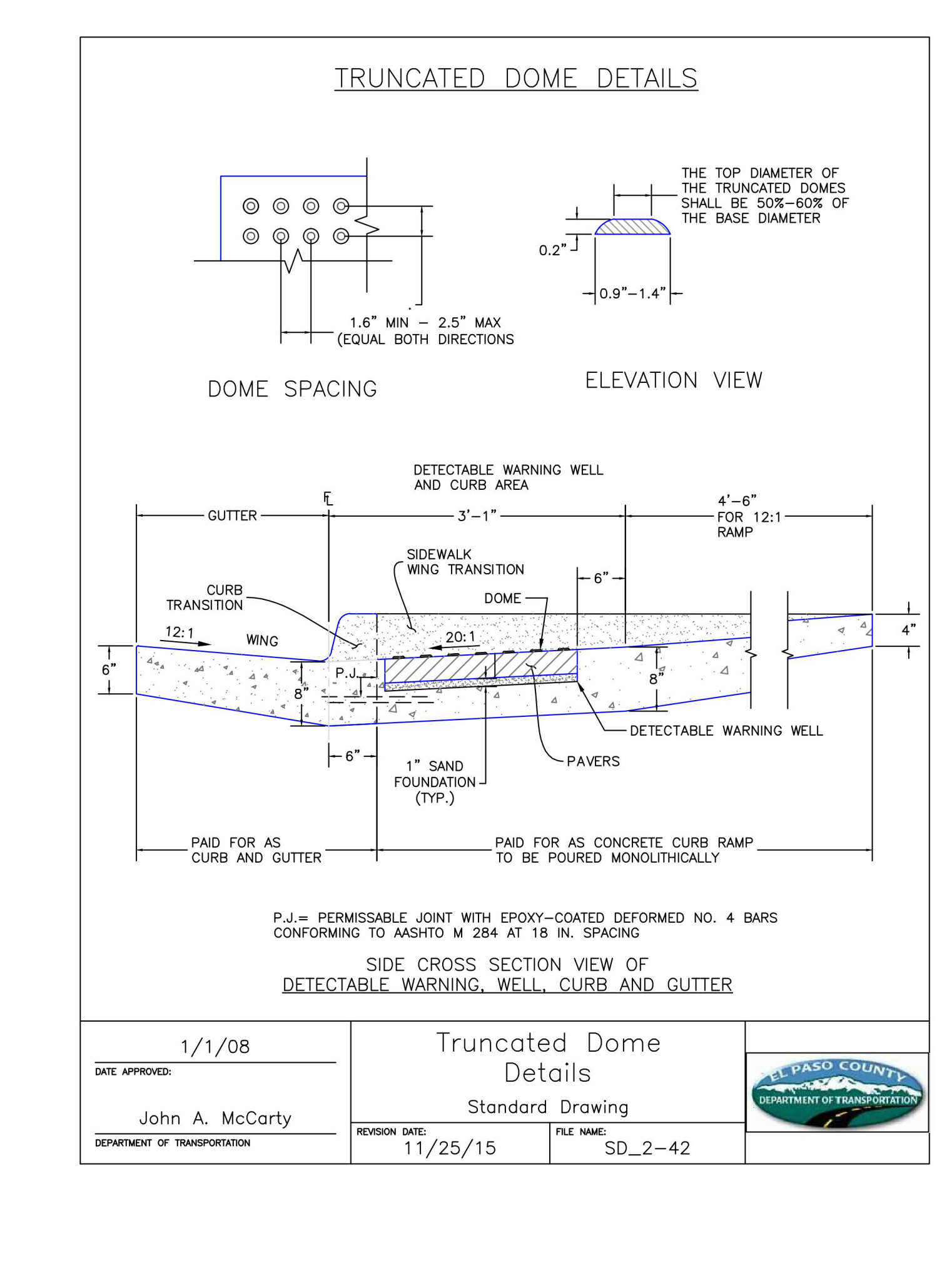
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NOT TO SCALE



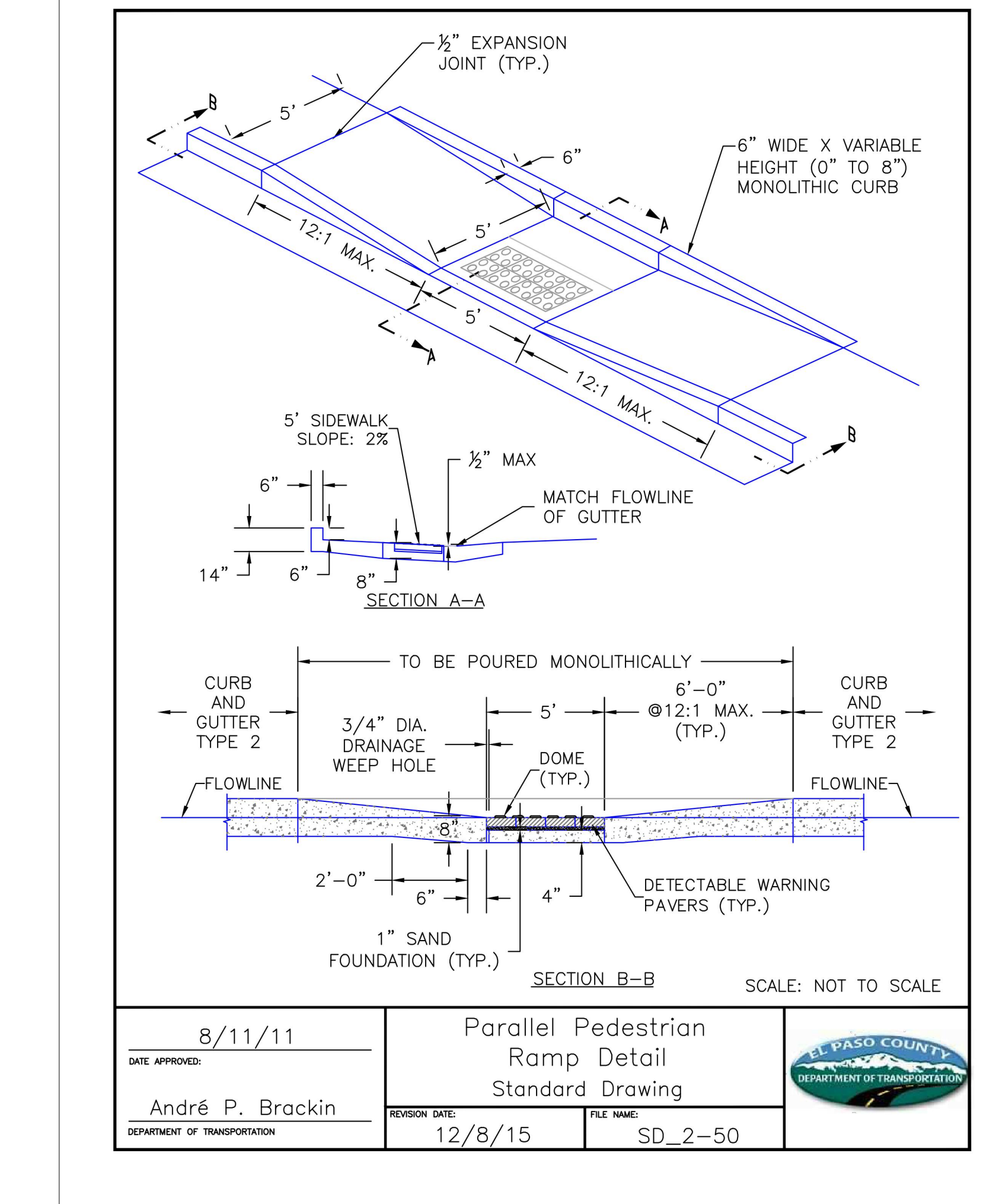
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NOT TO SCALE



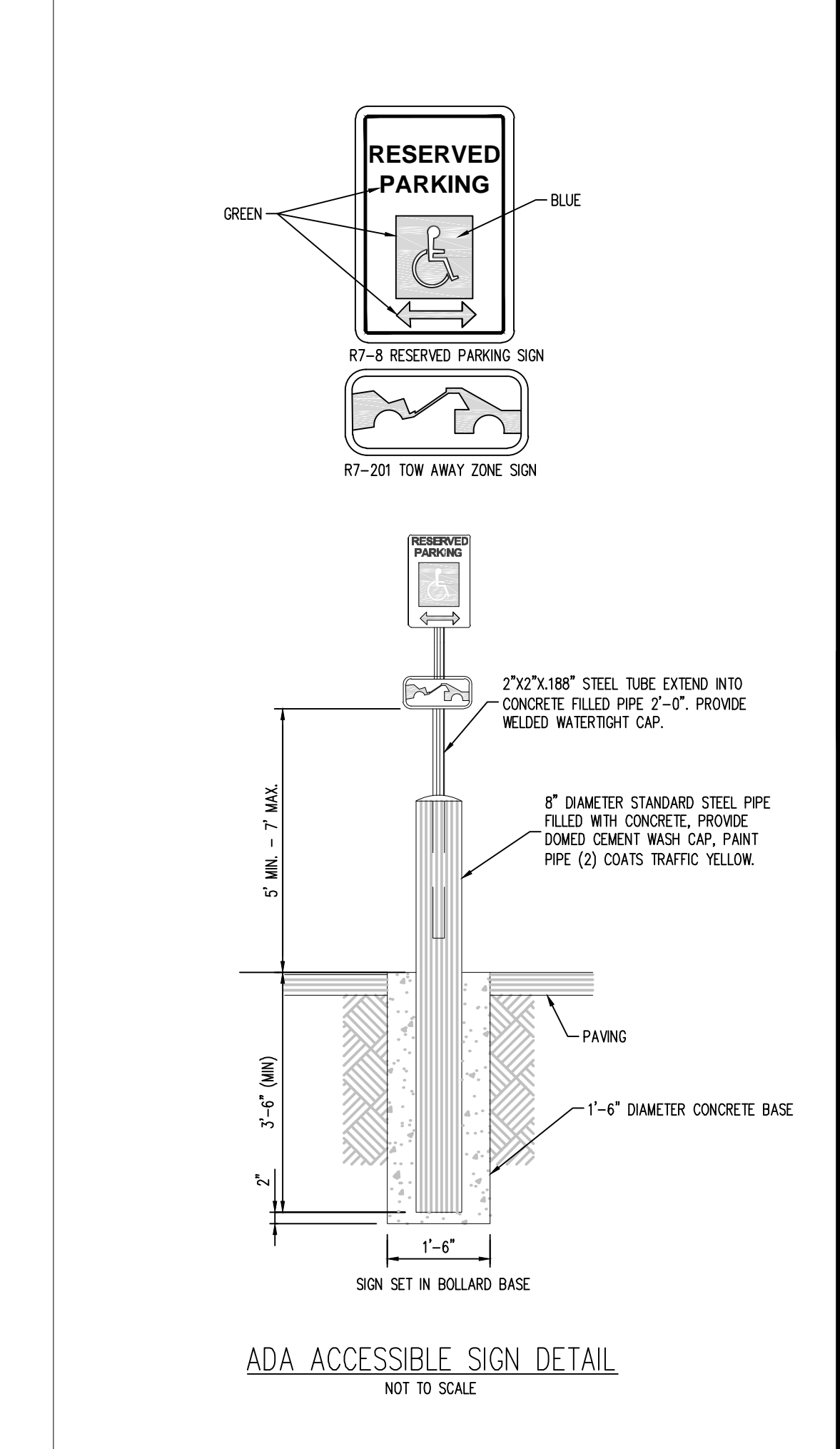
**Typical Curb and Gutter Details Standard Drawing**  
DATE APPROVED: 8/11/11  
DRAWN BY: André P. Brackin  
REVISION DATE: 12/8/15  
FILE NAME: SD\_2-20



**Truncated Dome Details Standard Drawing**  
DATE APPROVED: 1/1/08  
DRAWN BY: John A. McCarty  
REVISION DATE: 11/25/15  
FILE NAME: SD\_2-42



**Parallel Pedestrian Ramp Detail Standard Drawing**  
DATE APPROVED: 8/11/11  
DRAWN BY: André P. Brackin  
REVISION DATE: 12/8/15  
FILE NAME: SD\_2-50



**ADA ACCESSIBLE SIGN DETAIL**  
NOT TO SCALE

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1155 Kelly Johnson Blvd., Suite 305  
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719.900.7220  
GallowayUS.com

**HAMMERS CONSTRUCTION**  
QUALITY COMMERCIAL CONSTRUCTION SINCE 1983

CONSTRUCTION DOCUMENTS  
SMITH PLUMBING & HEATING  
FOR  
HAMMERS CONSTRUCTION, LLC  
1875 MAIN STREET  
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

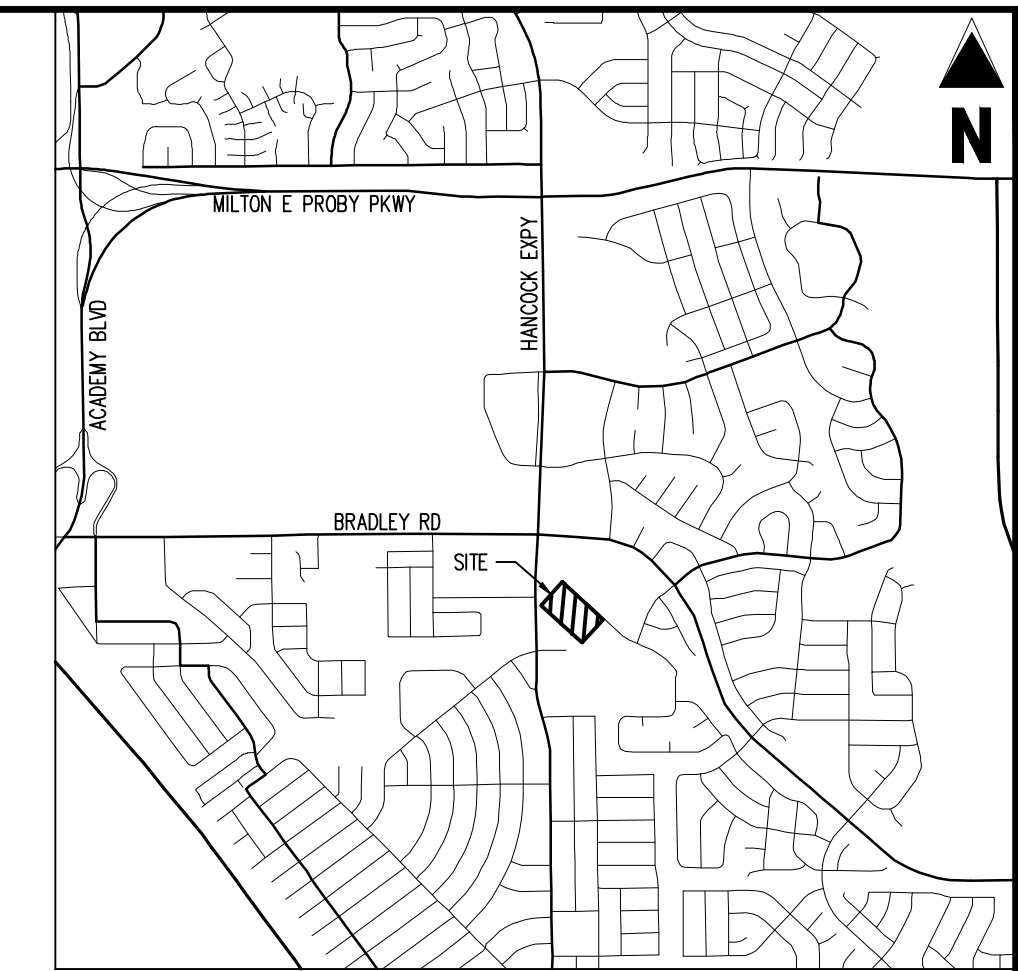
# Date Issue / Description Init.


Project No: HCl000008  
Drawn By: TPPT  
Checked By:   
Date: 05/20/2021

**SITE DETAILS**

PCD FILING NO. PRR2143  
**C1.5**  
Sheet 7 of 18

# ENGINEERING RECORD DRAWINGS AS-BUILT DRAWINGS



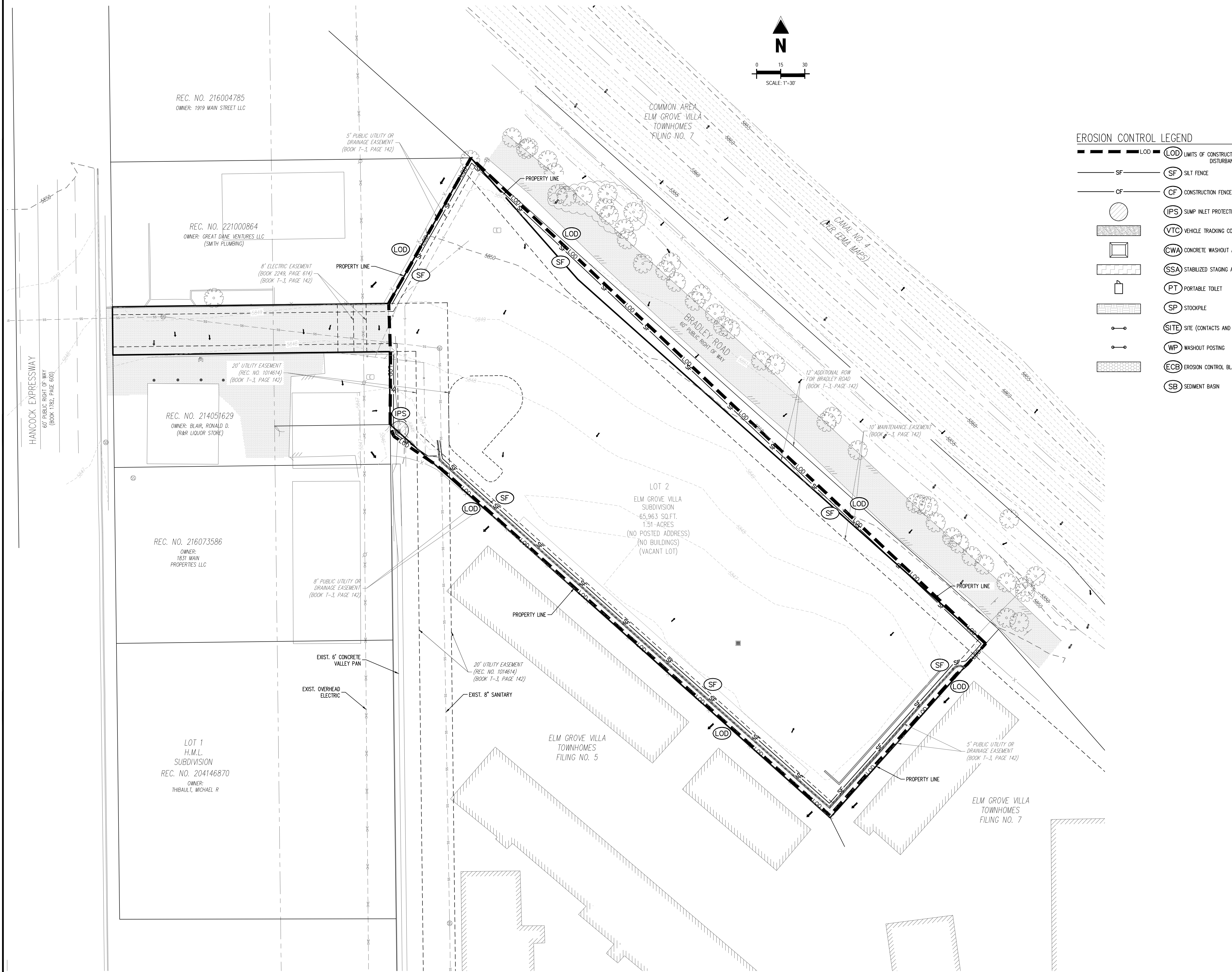
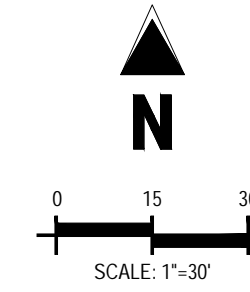
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**EROSION CONTROL LEGEND**

	<b>LOD</b> LIMITS OF CONSTRUCTION / DISTURBANCE
	<b>SF</b> SILT FENCE
	<b>CF</b> CONSTRUCTION FENCE
	<b>IPS</b> SUMP INLET PROTECTION
	<b>VTC</b> VEHICLE TRACKING CONTROL
	<b>CWA</b> CONCRETE WASHOUT AREA
	<b>SSA</b> STABILIZED STAGING AREA
	<b>PT</b> PORTABLE TOILET
	<b>SP</b> STOCKPILE
	<b>SITE</b> SITE (CONTACTS AND PERMITS)
	<b>WP</b> WASHOUT POSTING
	<b>ECB</b> EROSION CONTROL BLANKET
	<b>SB</b> SEDIMENT BASIN

**GRADING LEGEND**

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	PROPOSED SETBACK
	EXISTING EASEMENT LINE
	PROPOSED BUILDING OUTLINE
	EXISTING ASPHALT EDGE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED WATER LINE
	EXISTING WATER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED STORM DRAIN LINE
	EXISTING STORM DRAIN LINE
	PROPOSED DRAINAGE FEATURE OUTLINE
	PROPOSED SWALE WITH FLOW DIRECTION
	EXISTING TOE SLOPE
	EXISTING TOP SLOPE
	CUT / FILL
	PROPOSED RETAINING WALL
	EXISTING RETAINING WALL
	PROPOSED RIP RAP
	EXISTING ASPHALT PAVING
	SPOT ELEVATION - HIGH POINT
	SPOT ELEVATION - LOW POINT
	SPOT ELEVATION - FINISH GRADE
	PROPOSED SLOPE (PERCENT)
	PROPOSED SLOPE (RISE-RUN)
	FLOW ARROW

**NOTES**

- ADD 5800 TO ALL SPOT ELEVATIONS
- THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.
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- ALL TEMPORARY OR PERMANENT GRADING DISTURBANCES SHALL BE RE-SEEDING AND MULCHED PER EL PASO COUNTY CRITERIA AND SPECIFICATIONS.
- EXISTING VEGETATION CONSISTS OF NATURAL GRASSES AND SHRUBS.

**EROSION CONTROL PHASING SCHEDULE**

PHASE	DESCRIPTION
INITIAL	INSTALL SILT FENCE, ALL INLET PROTECTION MEASURES ON EXISTING INLETS, AND CURB SOCKS.
INTERIM	INSTALL PROPOSED WATER QUALITY CAPTURE VOLUME DETENTION BASIN W/ ALL PERMANENT CONTROL MEASURES; THEN, INSTALL STABILIZED STAGING AREA, VEHICLE TRACKING CONTROL AT ENTRANCE, AND CONCRETE WASHOUT AREA. FINALLY, INSTALL PROPOSED STORM SEWER.
FINAL	CONSTRUCT CURB/GUTTER AND PAVEMENT. REMOVE CONSTRUCTION BMP'S ONCE VERTICAL CONSTRUCTION AND APPLICABLE LANDSCAPING IS COMPLETE.

**BASIS OF BEARINGS**

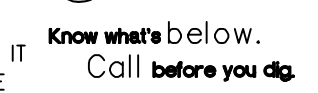
BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6" WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, "T245 R66W W.C. 6.00' S 35 S36 S2 S1 1/4 S R55W 2012 PLS 24313" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, "RMP5 19625", AND IS CONSIDERED TO BEAR N00°42'04"W.

**BENCHMARK**

PUBLISHED BENCHMARK  
FMS MONUMENT F335  
ELEVATION = 5980.39 (NAVD88)

**CAUTION - NOTICE TO CONTRACTOR**

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.



Project No: HCI000008  
Drawn By: TPPT  
Checked By: [Signature]  
Date: 05/20/2024  
EROSION CONTROL PLAN

CONSTRUCTION DOCUMENTS  
SMITH PLUMBING & HEATING  
FOR  
HAMMERS CONSTRUCTION, LLC

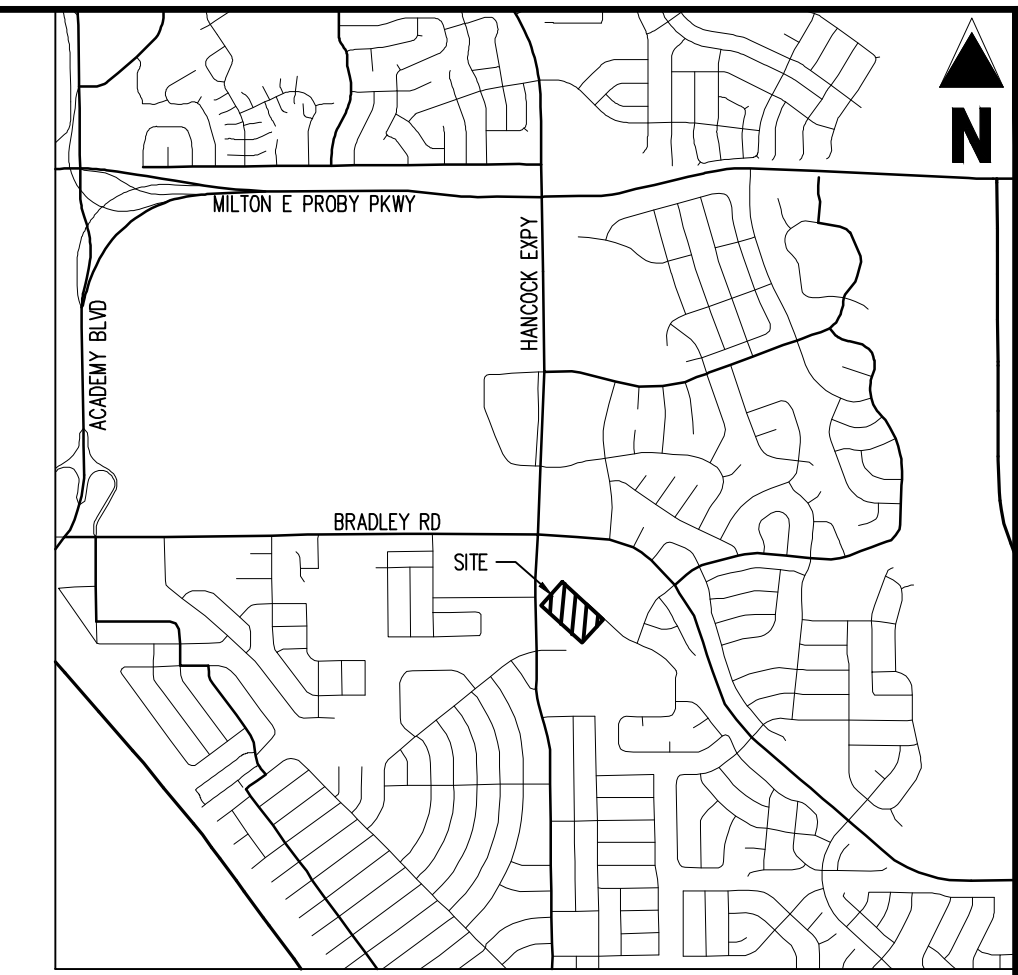
1875 MAIN STREET  
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

PCD FILING NO. PPR2143

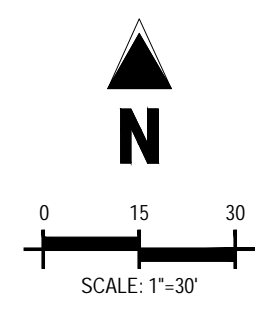
**C2.1**  
Sheet 8 of 18



# ENGINEERING RECORD DRAWINGS AS-BUILT DRAWINGS



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### VICINITY MAP

SCALE: 1"=500'

EROSION CONTROL LEGEND	
--- LOD	LOD LIMITS OF CONSTRUCTION / DISTURBANCE
---	SF SILT FENCE
---	CF CONSTRUCTION FENCE
○ IPS	IPS SUMP INLET PROTECTION
▭ VTC	VTC VEHICLE TRACKING CONTROL
▭ CWA	CWA CONCRETE WASHOUT AREA
▭ SSA	SSA STABILIZED STAGING AREA
▭ PT	PT PORTABLE TOILET
▭ SP	SP STOCKPILE
○ SITE	SITE (CONTACTS AND PERMITS)
○ WP	WP WASHOUT POSTING
▭ ECB	ECB EROSION CONTROL BLANKET
○ SB	SB SEDIMENT BASIN

GRADING LEGEND	
---	PROPERTY BOUNDARY LINE
---	ADJACENT PROPERTY BOUNDARY LINE
---	PROPOSED SETBACK
---	EXISTING EASEMENT LINE
---	PROPOSED BUILDING OUTLINE
---	EXISTING ASPHALT EDGE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED WATER LINE
---	EXISTING WATER LINE
---	PROPOSED SANITARY SEWER LINE
---	EXISTING SANITARY SEWER LINE
---	PROPOSED STORM DRAIN LINE
---	EXISTING STORM DRAIN LINE
---	PROPOSED DRAINAGE FEATURE OUTLINE
---	PROPOSED SWALE WITH FLOW DIRECTION
---	EXISTING TOE SLOPE
---	CUT / FILL
---	PROPOSED RETAINING WALL
---	EXISTING RETAINING WALL
---	PROPOSED RIP RAP
---	EXISTING ASPHALT PAVING
55.00 HP	SPOT ELEVATION - HIGH POINT
55.00 LP	SPOT ELEVATION - LOW POINT
55.00 FG	SPOT ELEVATION - FINISH GRADE
2.00%	PROPOSED SLOPE (PERCENT)
4:1	PROPOSED SLOPE (RISE-RUN)
→	FLOW ARROW

- ### NOTES
- ADD 5800 TO ALL SPOT ELEVATIONS
  - THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.
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  - EXISTING VEGETATION CONSISTS OF NATURAL GRASSES AND SHRUBS.

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FINAL	CONSTRUCT CURB/GUTTER AND PAVEMENT. REMOVE CONSTRUCTION BMP'S ONCE VERTICAL CONSTRUCTION AND APPLICABLE LANDSCAPING IS COMPLETE.

### BASIS OF BEARINGS

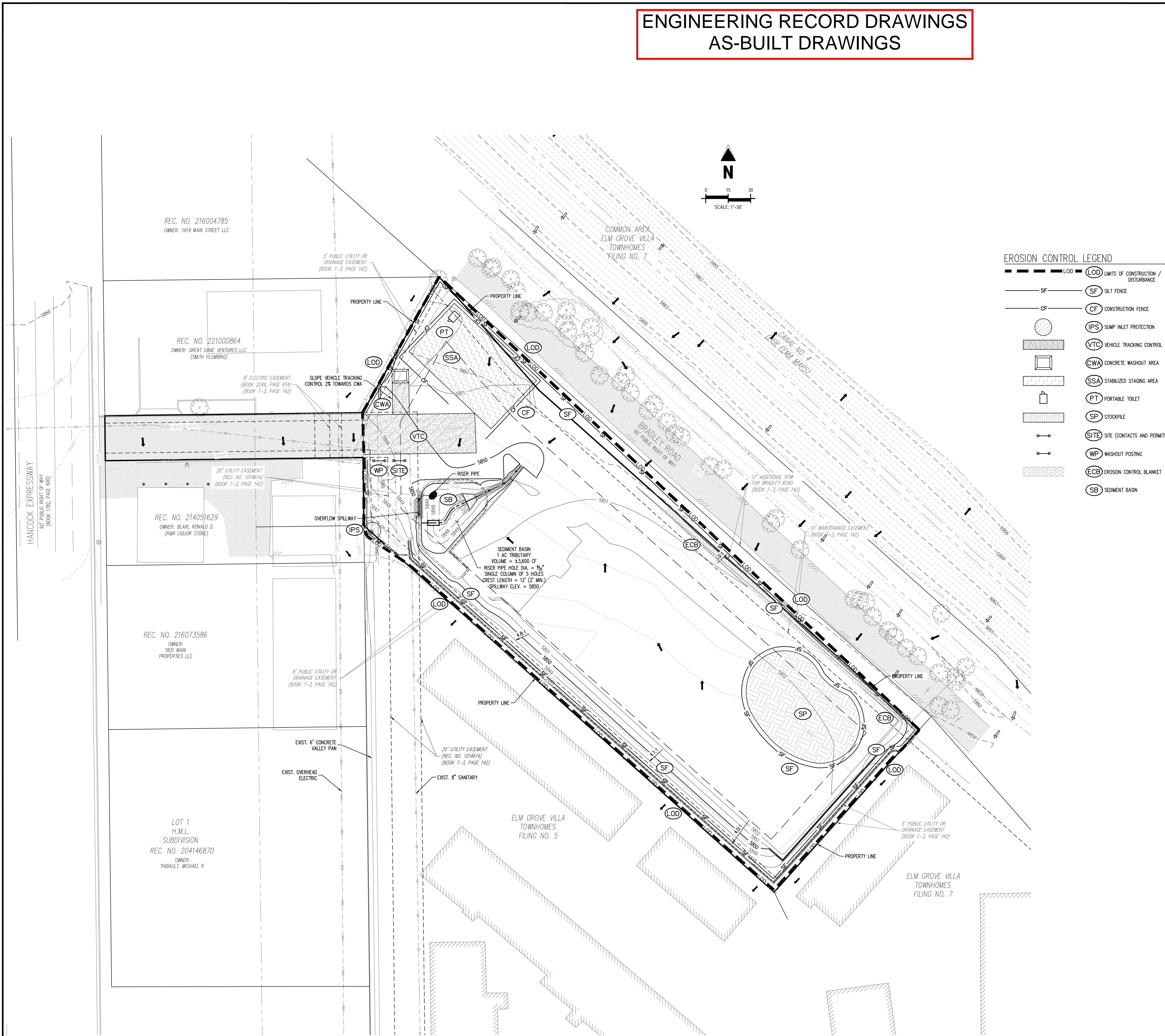
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### BENCHMARK

PUBLISHED BENCHMARK  
FMS MONUMENT F335  
ELEVATION = 5980.39 (NAVD88)

### CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLDING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



CONSTRUCTION DOCUMENTS  
SMITH PLUMBING & HEATING  
FOR  
HAMMERS CONSTRUCTION, LLC  
1875 MAIN STREET  
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

#	Date	Issue / Description	Init.

Project No: HCI000008  
Drawn By: TPT  
Checked By: [Signature]   
Date: 05/29/2024

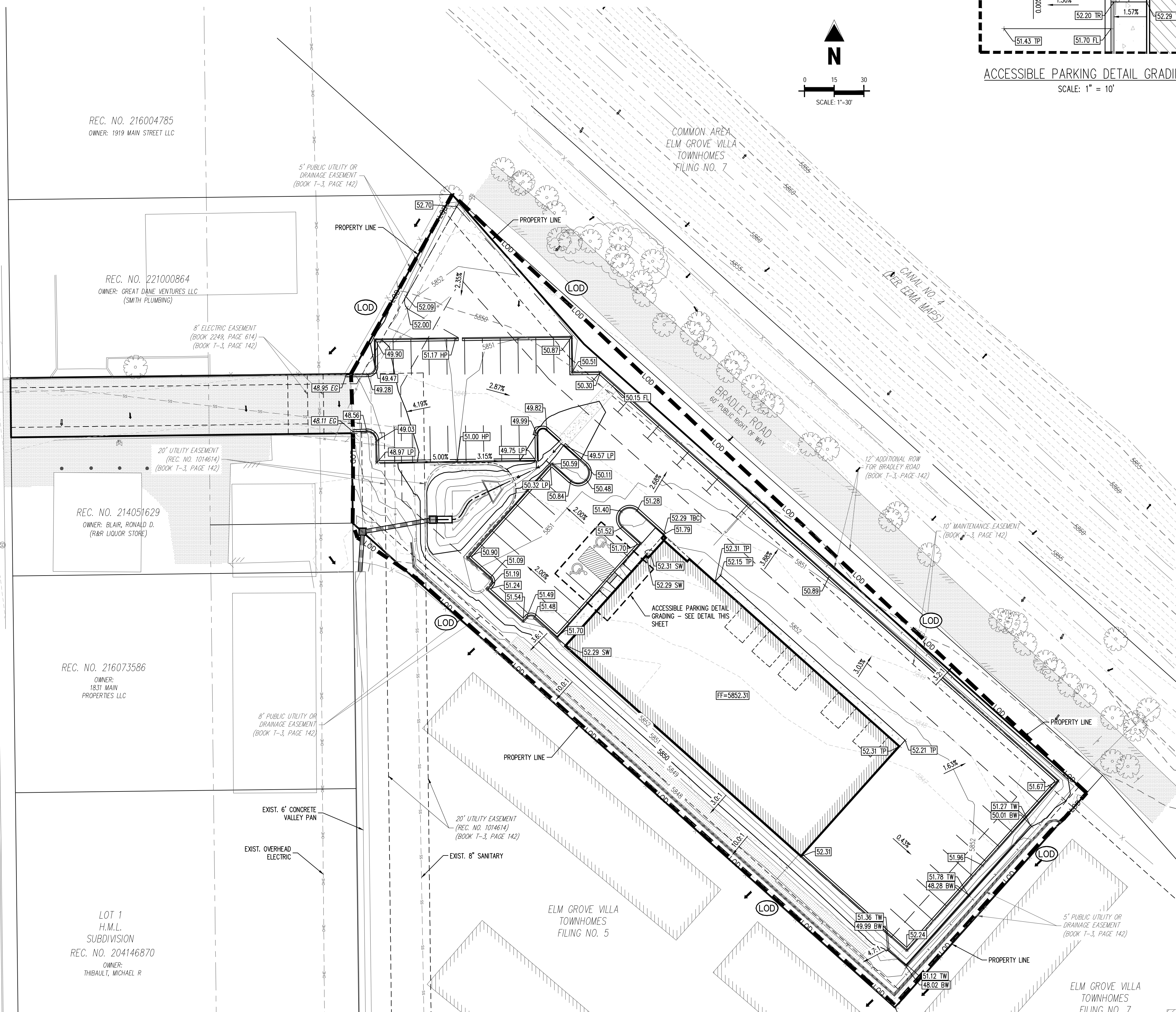
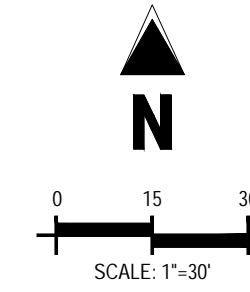
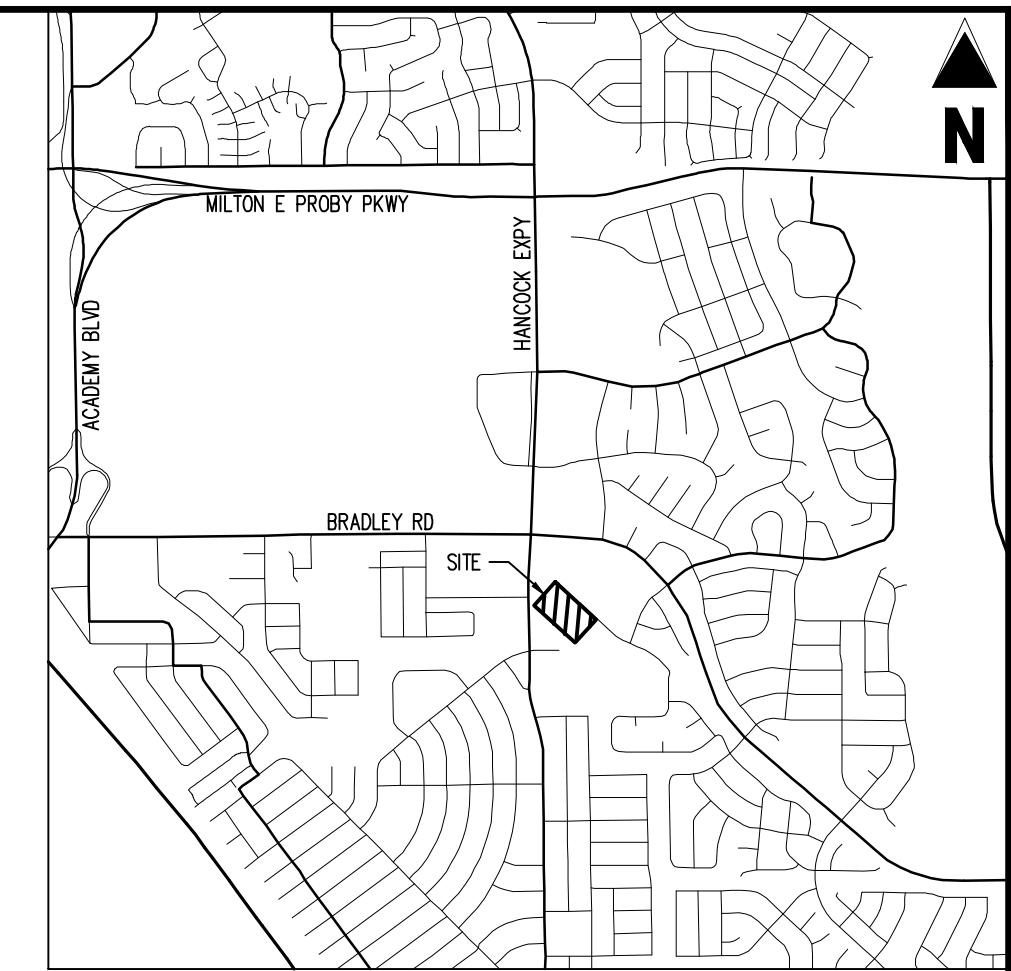
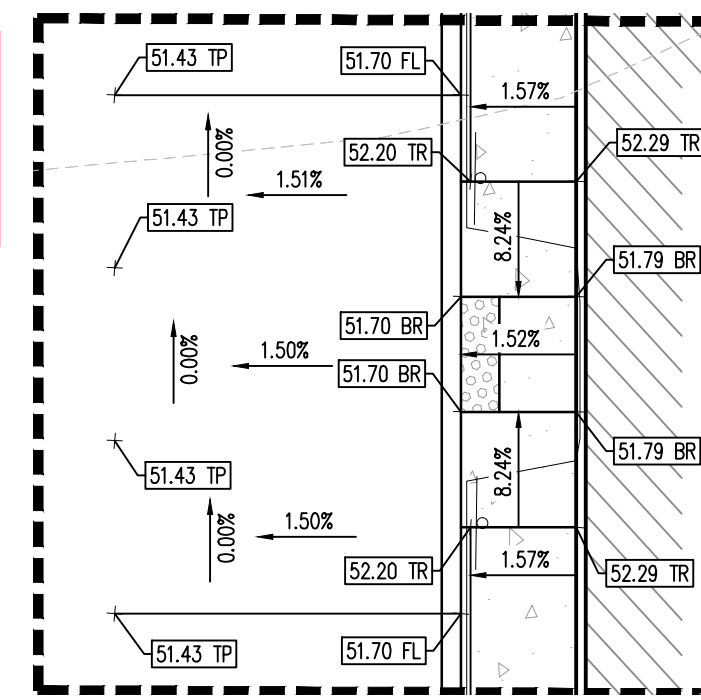
**EROSION CONTROL INTERIM PLAN**

PCD FILING NO. PPR2143

**C2.2**

Sheet 9 of 18

# ENGINEERING RECORD DRAWINGS AS-BUILT DRAWINGS



**EROSION CONTROL LEGEND**

LOD	LIMITS OF CONSTRUCTION / DISTURBANCE
SF	SILT FENCE
CF	CONSTRUCTION FENCE
IPS	SUMP INLET PROTECTION
VTC	VEHICLE TRACKING CONTROL
CWA	CONCRETE WASHOUT AREA
SSA	STABILIZED STAGING AREA
PT	PORTABLE TOILET
SP	STOCKPILE
SITE	SITE (CONTACTS AND PERMITS)
WP	WASHOUT POSTING
ECB	EROSION CONTROL BLANKET
SB	SEDIMENT BASIN

**GRADING LEGEND**

---	PROPERTY BOUNDARY LINE
---	ADJACENT PROPERTY BOUNDARY LINE
---	PROPOSED SETBACK
---	EXISTING EASEMENT LINE
---	PROPOSED BUILDING OUTLINE
---	EXISTING ASPHALT EDGE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED WATER LINE
---	EXISTING WATER LINE
---	PROPOSED SANITARY SEWER LINE
---	EXISTING SANITARY SEWER LINE
---	PROPOSED STORM DRAIN LINE
---	EXISTING STORM DRAIN LINE
---	PROPOSED DRAINAGE FEATURE OUTLINE
---	PROPOSED SWALE WITH FLOW DIRECTION
---	EXISTING TOE SLOPE
---	CUT / FILL
---	PROPOSED RETAINING WALL
---	EXISTING RETAINING WALL
---	PROPOSED RIP RAP
---	EXISTING ASPHALT PAVING
55.00 EG	SPOT ELEVATION - EXISTING GRADE
55.00 HP	SPOT ELEVATION - HIGH POINT
55.00 LP	SPOT ELEVATION - LOW POINT
55.00 SW	SPOT ELEVATION - SIDEWALK
55.00 FL	SPOT ELEVATION - FLOW LINE
55.00 TOW	SPOT ELEVATION - TOP OF WALL
55.00 BOW	SPOT ELEVATION - BOTTOM OF WALL
55.00 TR	SPOT ELEVATION - TOP OF RAMP
55.00 BR	SPOT ELEVATION - BOTTOM OF RAMP
55.00 TP	SPOT ELEVATION - TOP OF PAVEMENT
2.00%	PROPOSED SLOPE (PERCENT)
4:1	PROPOSED SLOPE (RISE:RUN)
→	FLOW ARROW

**EROSION CONTROL PHASING SCHEDULE**

PHASE	DESCRIPTION
INITIAL	INSTALL SILT FENCE, ALL INLET PROTECTION MEASURES ON EXISTING INLETS, AND CURB SOCKS.
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**BASIS OF BEARINGS**  
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**BENCHMARK**  
PUBLISHED BENCHMARK  
FMS MONUMENT FX35  
ELEVATION = 5980.39 (NAVD88)

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- NOTES**
- ADD 5800 TO ALL SPOT ELEVATIONS. SPOT ELEVATIONS ARE AT FLOWLINE OF CURB AND GUTTER OF PAVEMENT UNLESS OTHERWISE NOTED.
  - THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PLAN, MUST BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE/PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.
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FOR  
HAMMERS CONSTRUCTION, LLC**

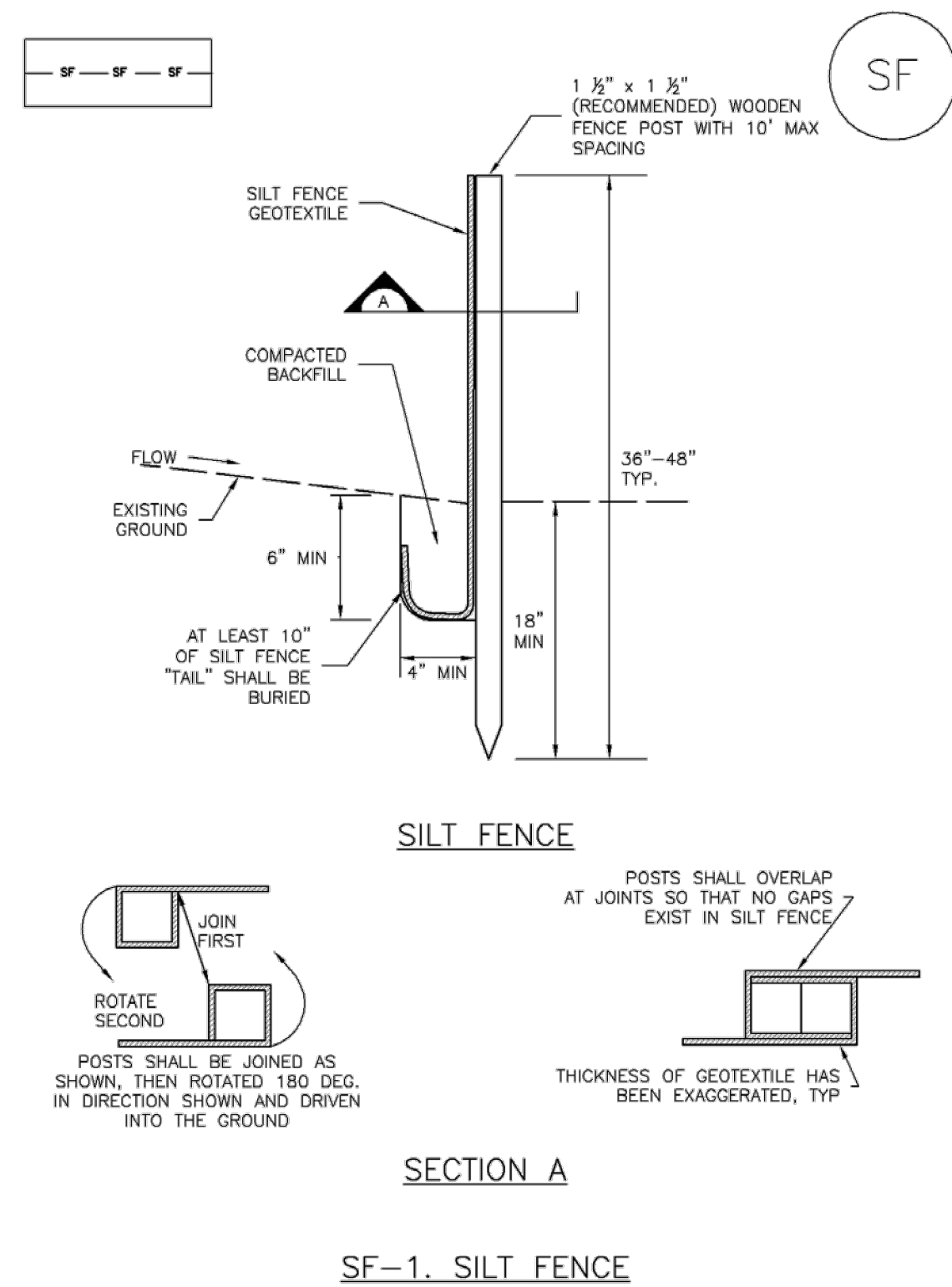
1875 MAIN STREET  
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

#	Date	Issue / Description	Init.

Project No: HCI000008  
Drawn By: TPT  
Checked By: [Signature]  
Date: 05/20/2024

**Silt Fence (SF)**

**SC-1**



November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SF-3

**SC-1**

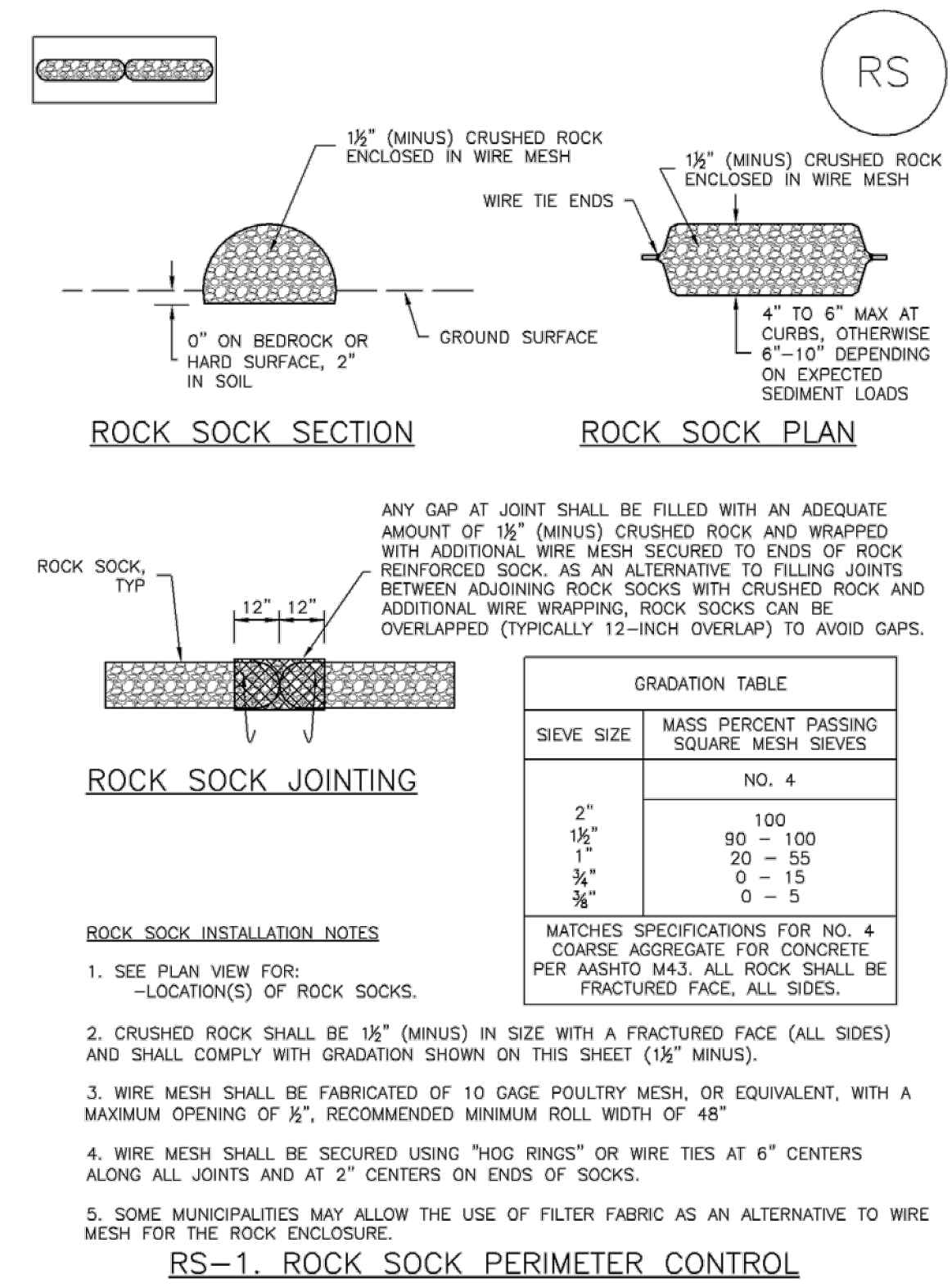
**Silt Fence (SF)**

- SILT FENCE INSTALLATION NOTES**
- SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
  - A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
  - COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
  - SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
  - SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
  - AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK." THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
  - SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- SILT FENCE MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
  - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
  - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
  - SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".
  - REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
  - SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
  - WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.
- (DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF ALBORA, NOT AVAILABLE IN AUTOCAD)  
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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**SC-5**

**Rock Sock (RS)**



RS-2 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

**Construction Fence (CF)**

**SM-3**

- CONSTRUCTION FENCE MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
  - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
  - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
  - CONSTRUCTION FENCE SHALL BE REPAIRED OR REPLACED WHEN THERE ARE SIGNS OF DAMAGE SUCH AS RIPS OR SAGS. CONSTRUCTION FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
  - WHEN CONSTRUCTION FENCES ARE REMOVED, ALL DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE FENCE SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.
- (DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)  
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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**Construction Fence (CF)**

**SM-3**

- CONSTRUCTION FENCE MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
  - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
  - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
  - CONSTRUCTION FENCE SHALL BE REPAIRED OR REPLACED WHEN THERE ARE SIGNS OF DAMAGE SUCH AS RIPS OR SAGS. CONSTRUCTION FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
  - WHEN CONSTRUCTION FENCES ARE REMOVED, ALL DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE FENCE SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.
- (DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)  
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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**Rock Sock (RS)**

**SC-5**

- ROCK SOCK MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
  - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
  - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
  - ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED BEYOND REPAIR.
  - SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE ROCK SOCK.
  - ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
  - WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.
- (DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF ALBORA, COLORADO, NOT AVAILABLE IN AUTOCAD)  
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.
- (DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF ROCK SOCK INSTALLATION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY OTHER SIMILAR PROPRIETARY PRODUCTS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY PROTECTION PRODUCTS. HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.)

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**ENGINEERING RECORD DRAWINGS  
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CONSTRUCTION DOCUMENTS  
SMITH PLUMBING & HEATING  
FOR  
HAMMERS CONSTRUCTION, LLC  
1875 MAIN STREET  
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

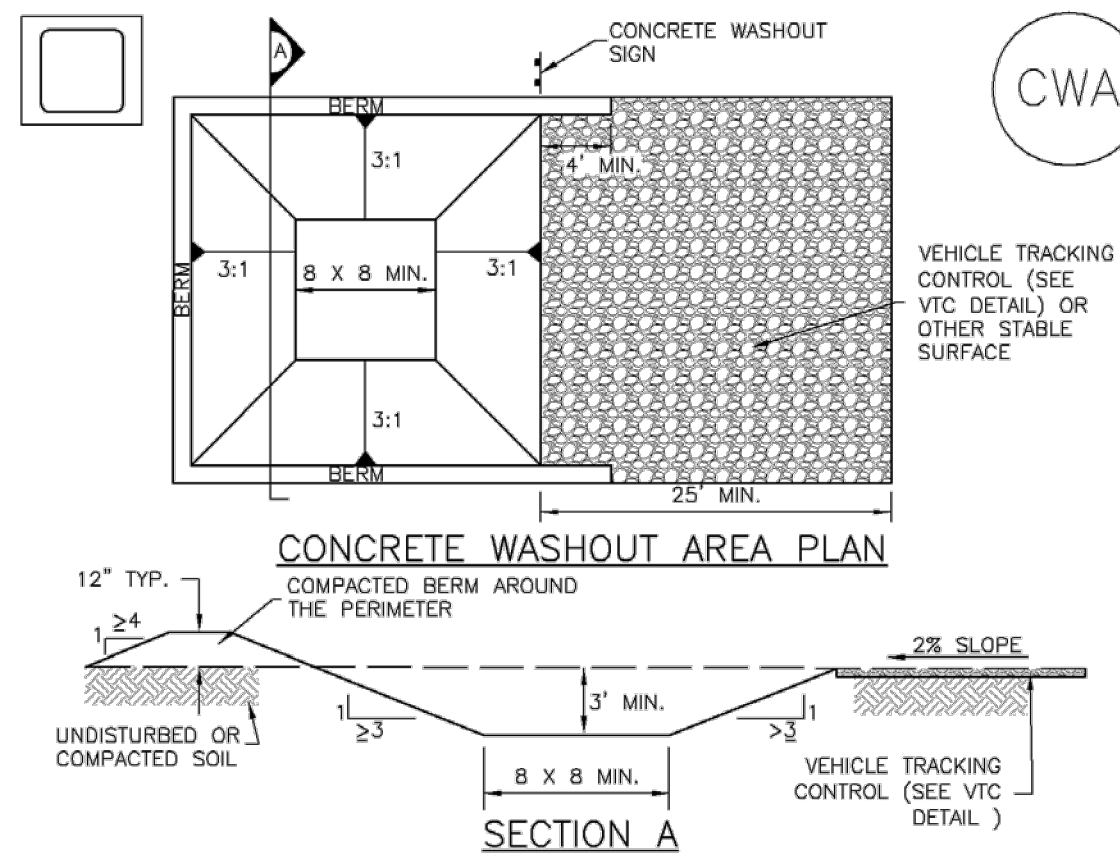
#	Date	Issue / Description	Init.

Project No: HCI000008  
Drawn By: TPT  
Checked By: [Signature]  
Date: 05/20/2024  
GEC DETAILS

HAMMERS CONSTRUCTION, 1155 KELLY JOHNSON BLVD., SUITE 305, COLORADO SPRINGS, CO 80920. SCOTT R. GALLOWAY, PROFESSIONAL ENGINEER, LICENSE NO. 38164, EXPIRES 07/2024.

Concrete Washout Area (CWA)

MM-1



CWA-1. CONCRETE WASHOUT AREA

CWA INSTALLATION NOTES

- 1. SEE PLAN VIEW FOR: -CWA INSTALLATION LOCATION.
2. DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY...
3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
4. CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER...
5. BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
6. VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
7. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
8. USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

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Concrete Washout Area (CWA)

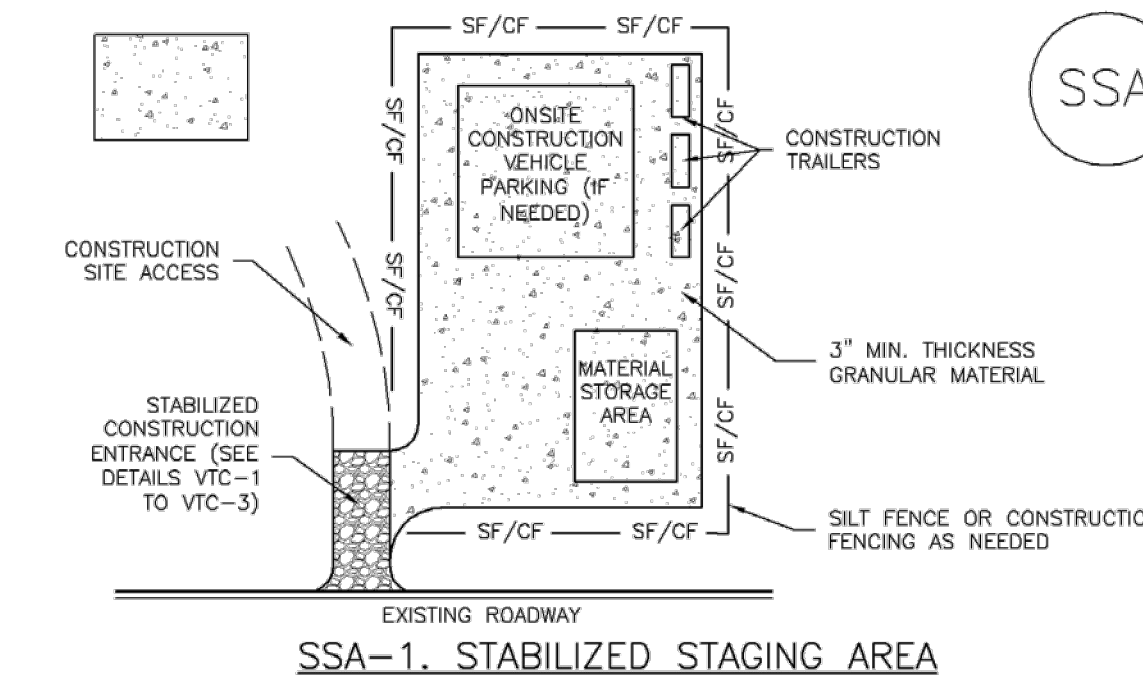
CWA MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE...
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION...
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE...
5. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE...
6. THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
7. WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

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Stabilized Staging Area (SSA)

SM-6



SSA-1. STABILIZED STAGING AREA

STABILIZED STAGING AREA INSTALLATION NOTES

- 1. SEE PLAN VIEW FOR: -LOCATION OF STAGING AREA(S). -CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
2. STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
3. STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
4. THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
5. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
6. ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

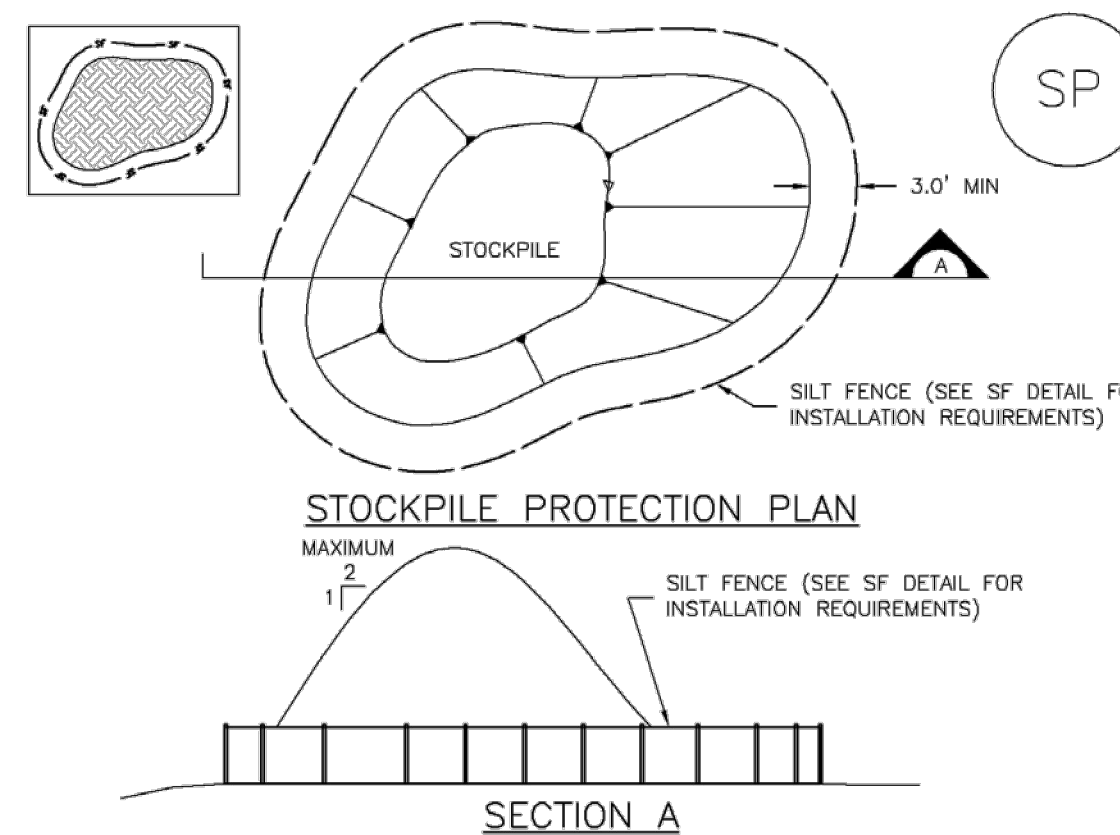
STABILIZED STAGING AREA MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE...
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION...
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

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Stockpile Management (SP)

MM-2



SP-1. STOCKPILE PROTECTION

STOCKPILE PROTECTION INSTALLATION NOTES

- 1. SEE PLAN VIEW FOR: -LOCATION OF STOCKPILES. -TYPE OF STOCKPILE PROTECTION.
2. INSTALL PERIMETER CONTROLS IN ACCORDANCE WITH THEIR RESPECTIVE DESIGN DETAILS. SILT FENCE IS SHOWN IN THE STOCKPILE PROTECTION DETAILS; HOWEVER, OTHER TYPES OF PERIMETER CONTROLS INCLUDING SEDIMENT CONTROL LOGS OR ROCK SOCKS MAY BE SUITABLE IN SOME CIRCUMSTANCES...
3. STABILIZE THE STOCKPILE SURFACE WITH SURFACE ROUGHENING, TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS, OR SOIL BINDERS...
4. FOR TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNGRADE CONTROLS, INCLUDING PERIMETER CONTROL, ARE IN PLACE, STOCKPILE PERIMETER CONTROLS MAY NOT BE REQUIRED.

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Stockpile Management (SM)

STOCKPILE PROTECTION MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE...
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION...
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

STOCKPILE PROTECTION INSTALLATION NOTES

- 4. IF PERIMETER PROTECTION MUST BE MOVED TO ACCESS SOIL STOCKPILE, REPLACE PERIMETER CONTROLS BY THE END OF THE WORKDAY.
5. STOCKPILE PERIMETER CONTROLS CAN BE REMOVED ONCE ALL THE MATERIAL FROM THE STOCKPILE HAS BEEN USED.
(Details adapted from Parker, Colorado, not available in AutoCAD)
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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Stabilized Staging Area (SSA)

STABILIZED STAGING AREA MAINTENANCE NOTES

- 5. STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.
6. THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEEDING AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.
NOTE: MANY MUNICIPALITIES PROHIBIT THE USE OF RECYCLED CONCRETE AS GRANULAR MATERIAL FOR STABILIZED STAGING AREAS DUE TO DIFFICULTIES WITH RE-ESTABLISHMENT OF VEGETATION IN AREAS WHERE RECYCLED CONCRETE WAS PLACED.
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.
(Details adapted from Douglas County, Colorado, not available in AutoCAD)

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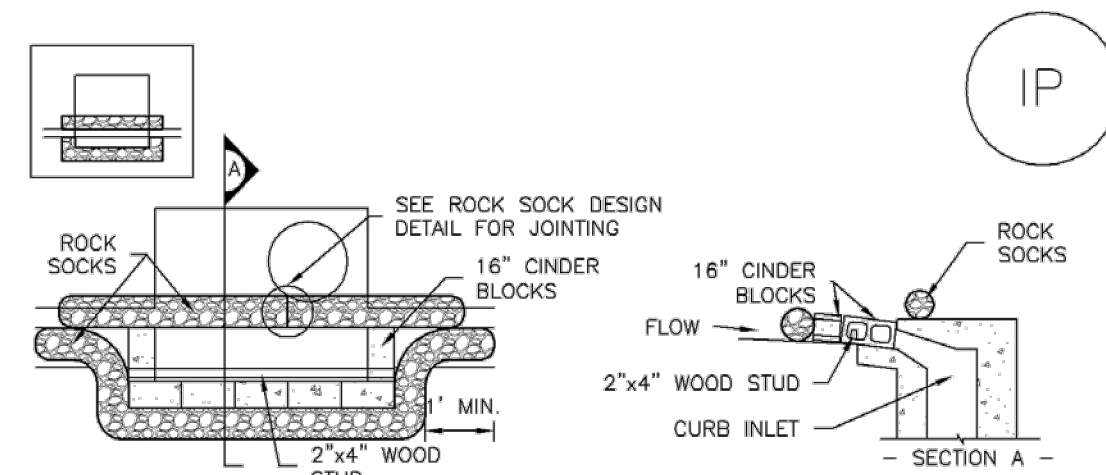
CONSTRUCTION DOCUMENTS SMITH PLUMBING & HEATING FOR HAMMERS CONSTRUCTION, LLC 1875 MAIN STREET COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

Table with 3 columns: #, Date, Issue / Description, Init. It contains several rows of empty space for tracking changes.

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SC-6

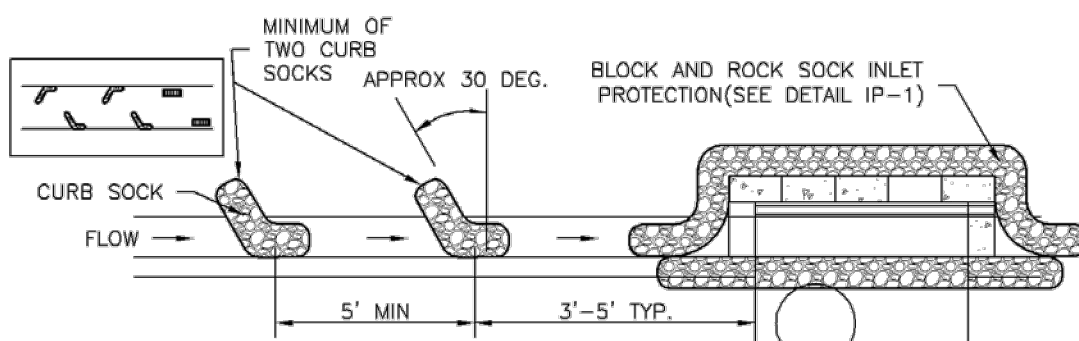
Inlet Protection (IP)



IP-1. BLOCK AND ROCK SOCK SUMP OR ON GRADE INLET PROTECTION

BLOCK AND CURB SOCK INLET PROTECTION INSTALLATION NOTES

- 1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. CONCRETE "CINDER" BLOCKS SHALL BE LAID ON THEIR SIDES AROUND THE INLET IN A SINGLE ROW, ABUTTING ONE ANOTHER WITH THE OPEN END FACING AWAY FROM THE CURB.
3. GRAVEL BAGS SHALL BE PLACED AROUND CONCRETE BLOCKS, CLOSELY ABUTTING ONE ANOTHER AND JOINED TOGETHER IN ACCORDANCE WITH ROCK SOCK DESIGN DETAIL.



IP-2. CURB ROCK SOCKS UPSTREAM OF INLET PROTECTION

CURB ROCK SOCK INLET PROTECTION INSTALLATION NOTES

- 1. SEE ROCK SOCK DESIGN DETAIL INSTALLATION REQUIREMENTS.
2. PLACEMENT OF THE SOCK SHALL BE APPROXIMATELY 30 DEGREES FROM PERPENDICULAR IN THE OPPOSITE DIRECTION OF FLOW.
3. SOCKS ARE TO BE FLUSH WITH THE CURB AND SPACED A MINIMUM OF 5 FEET APART.
4. AT LEAST TWO CURB SOCKS IN SERIES ARE REQUIRED UPSTREAM OF ON-GRADE INLETS.

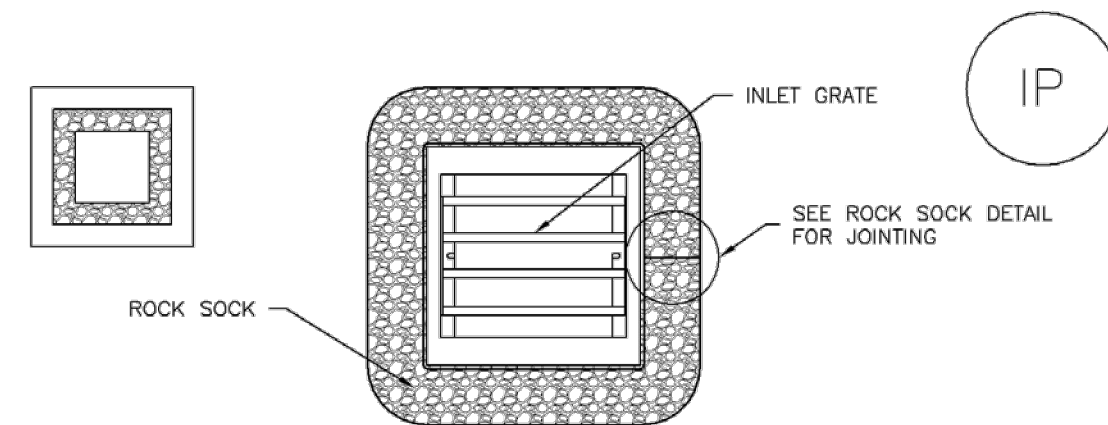
IP-4

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Inlet Protection (IP)

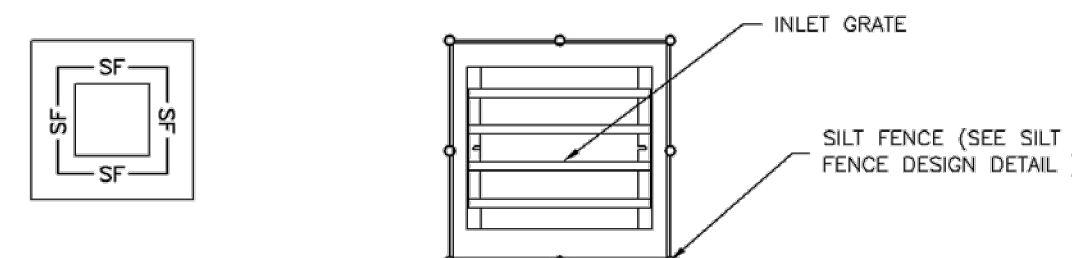
SC-6



IP-3. ROCK SOCK SUMP/AREA INLET PROTECTION

ROCK SOCK SUMP/AREA INLET PROTECTION INSTALLATION NOTES

- 1. SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF ROCK SOCKS FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.



IP-4. SILT FENCE FOR SUMP INLET PROTECTION

SILT FENCE INLET PROTECTION INSTALLATION NOTES

- 1. SEE SILT FENCE DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
2. POSTS SHALL BE PLACED AT EACH CORNER OF THE INLET AND AROUND THE EDGES AT A MAXIMUM SPACING OF 3 FEET.
3. STRAW WATTLES/SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF SILT FENCE FOR INLETS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.

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Inlet Protection (IP)

GENERAL INLET PROTECTION INSTALLATION NOTES

- 1. SEE PLAN VIEW FOR:
- LOCATION OF INLET PROTECTION.
- TYPE OF INLET PROTECTION (IP-1, IP-2, IP-3, IP-4, IP-5, IP-6)
2. INLET PROTECTION SHALL BE INSTALLED PROMPTLY AFTER INLET CONSTRUCTION OR PAVING IS COMPLETE (TYPICALLY WITHIN 48 HOURS). IF A RAINFALL/RUNOFF EVENT IS FORECAST, INSTALL INLET PROTECTION PRIOR TO ONSET OF EVENT.
3. MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

INLET PROTECTION MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF INLET PROTECTION SHALL BE REMOVED AS NECESSARY TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN STORAGE VOLUME REACHES 50% OF CAPACITY, A DEPTH OF 6" WHEN SILT FENCE IS USED, OR 1/4 OF THE HEIGHT FOR STRAW BALES.
5. INLET PROTECTION IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED, UNLESS THE LOCAL JURISDICTION APPROVES EARLIER REMOVAL OF INLET PROTECTION IN STREETS.
6. WHEN INLET PROTECTION AT AREA INLETS IS REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOP SOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF INLET PROTECTION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY PROPRIETARY INLET PROTECTION METHODS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY INLET PROTECTION; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

NOTE: SOME MUNICIPALITIES DISCOURAGE OR PROHIBIT THE USE OF STRAW BALES FOR INLET PROTECTION. CHECK WITH LOCAL JURISDICTION TO DETERMINE IF STRAW BALE INLET PROTECTION IS ACCEPTABLE.

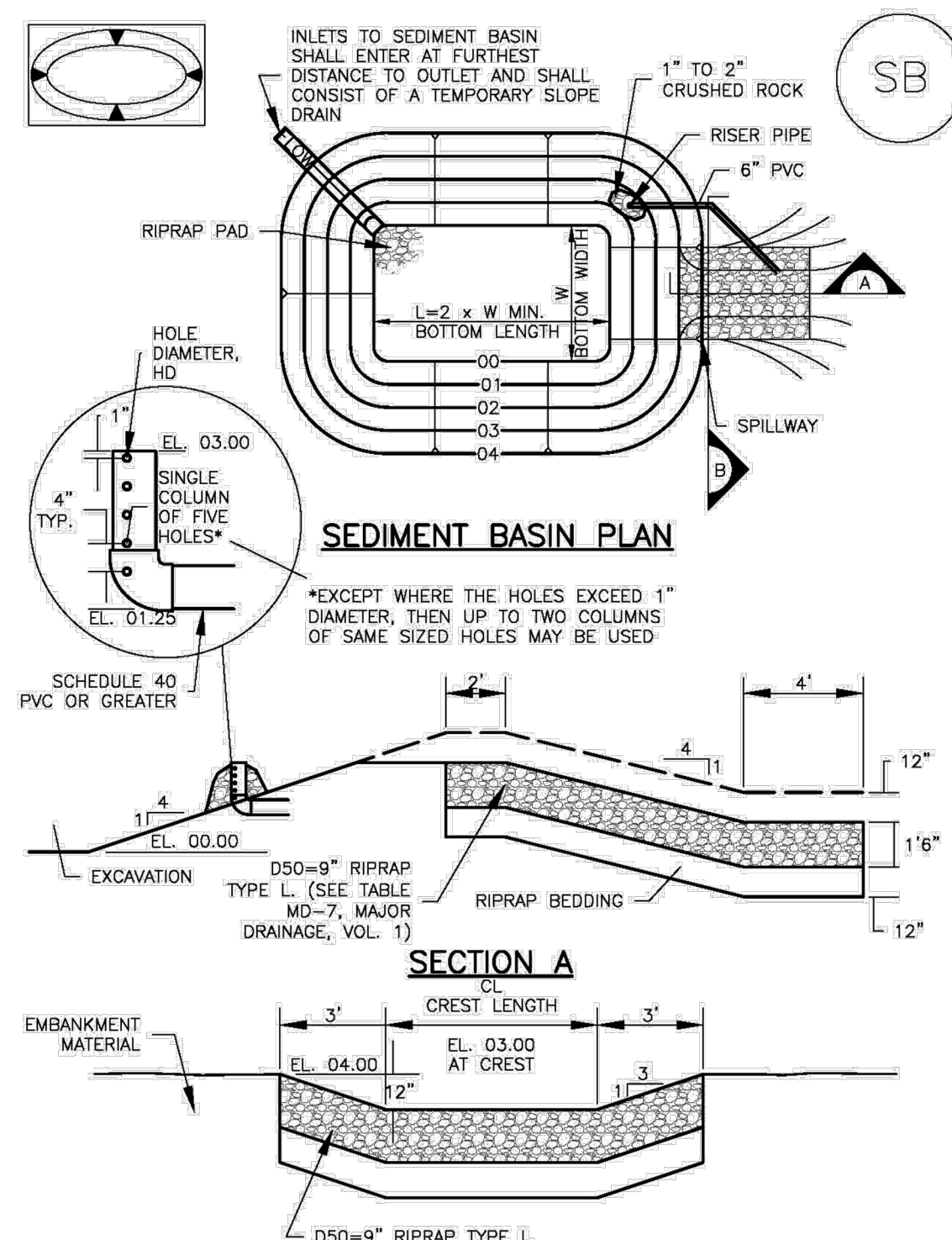
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Sediment Basin (SB)

SC-7



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Sediment Basin (SB)

Table SB-1. SIZING INFORMATION FOR STANDARD SEDIMENT BASIN. Columns: Upstream Drainage Area (ac), Basin Bottom Width (ft), Spillway Crest Length (ft), Hole Diameter (in).

SEDIMENT BASIN INSTALLATION NOTES

- 1. SEE PLAN VIEW FOR:
- LOCATION OF SEDIMENT BASIN.
- TYPE OF BASIN (STANDARD BASIN OR NONSTANDARD BASIN).
- FOR STANDARD BASIN, BOTTOM WIDTH W, CREST LENGTH CL, AND HOLE DIAMETER, HD.
- FOR NONSTANDARD BASIN, SEE CONSTRUCTION DRAWINGS FOR DESIGN OF BASIN INCLUDING RISER HEIGHT H, NUMBER OF COLUMNS N, HOLE DIAMETER HD AND PIPE DIAMETER D.
2. FOR STANDARD BASIN, BOTTOM DIMENSION MAY BE MODIFIED AS LONG AS BOTTOM AREA IS NOT REDUCED.
3. SEDIMENT BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER LAND-DISTURBING ACTIVITY THAT RELIES ON BASINS AS A STORMWATER CONTROL.
4. EMBANKMENT MATERIAL SHALL CONSIST OF SOIL FREE OF DEBRIS, ORGANIC MATERIAL, AND ROCKS OR CONCRETE GREATER THAN 3 INCHES AND SHALL HAVE A MINIMUM OF 15 PERCENT BY WEIGHT PASSING THE NO. 200 SIEVE.
5. EMBANKMENT MATERIAL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D698.
6. PIPE SCH 40 OR GREATER SHALL BE USED.
7. THE DETAILS SHOWN ON THESE SHEETS PERTAIN TO STANDARD SEDIMENT BASIN(S) FOR DRAINAGE AREAS LESS THAN 15 ACRES. SEE CONSTRUCTION DRAWINGS FOR EMBANKMENT, STORAGE VOLUME, SPILLWAY, OUTLET, AND OUTLET PROTECTION DETAILS FOR ANY SEDIMENT BASIN(S) THAT HAVE BEEN INDIVIDUALLY DESIGNED FOR DRAINAGE AREAS LARGER THAN 15 ACRES.

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Sediment Basin (SB)

SC-7

SEDIMENT BASIN MAINTENANCE NOTES

- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED IN BASIN SHALL BE REMOVED AS NEEDED TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN SEDIMENT DEPTH REACHES ONE FOOT (I.E., TWO FEET BELOW THE SPILLWAY CREST).
5. SEDIMENT BASINS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND GRASS COVER IS ACCEPTED BY THE LOCAL JURISDICTION.
6. WHEN SEDIMENT BASINS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

August 2013

Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3

SB-7

ENGINEERING RECORD DRAWINGS
AS-BUILT DRAWINGS



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CONSTRUCTION DOCUMENTS
SMITH PLUMBING & HEATING
FOR
HAMMERS CONSTRUCTION, LLC

1875 MAIN STREET
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

Table with columns: #, Date, Issue / Description, Init. It contains several rows of empty entries for tracking changes.

Project No: HCI000008
Drawn By: TPT
Checked By:
Date: 05/20/2024

GEC DETAILS

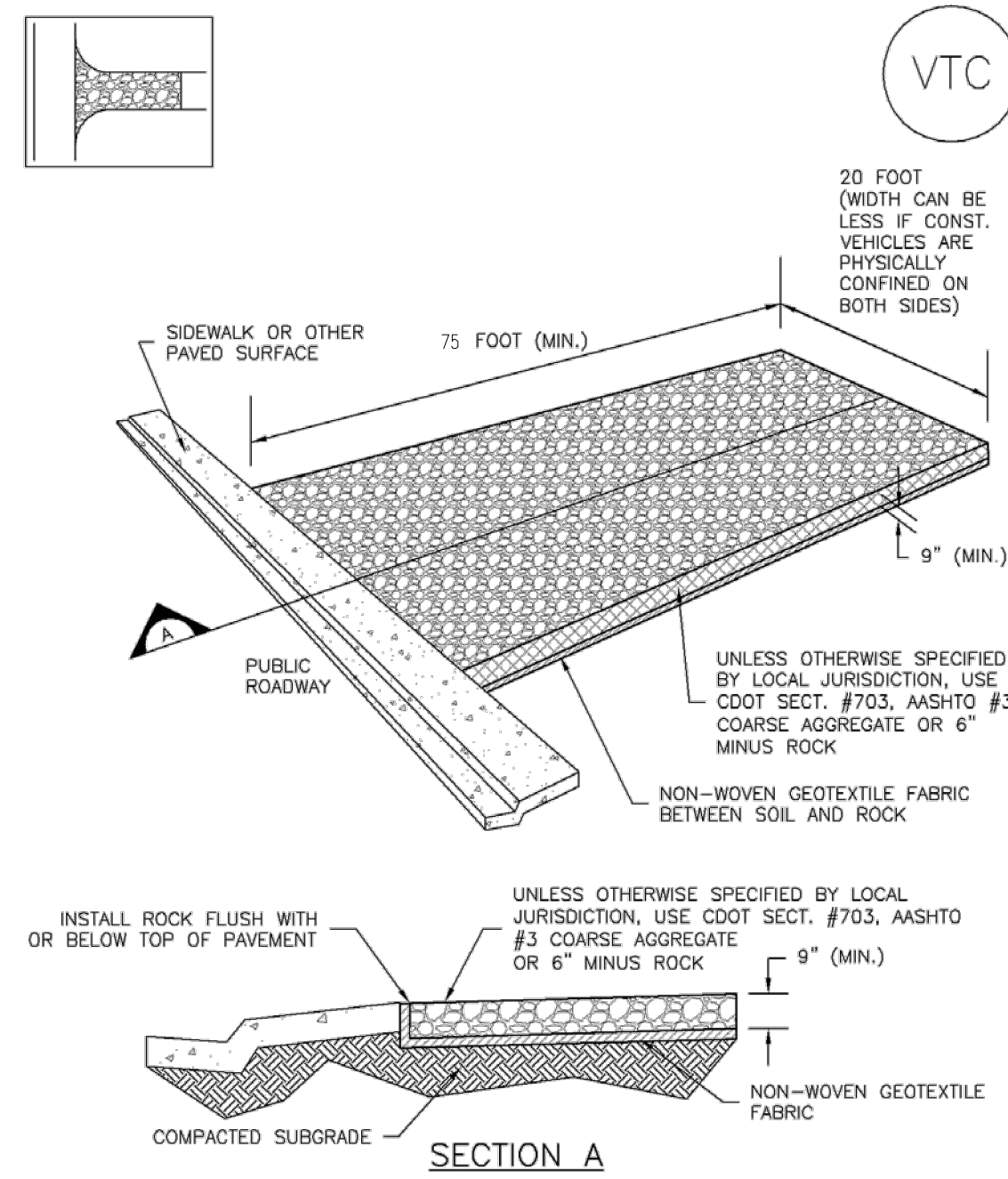
PCD FILING NO. PPR2143

C2.6

Sheet 13 of 18

**Vehicle Tracking Control (VTC)**

**SM-4**



VTC-1. AGGREGATE VEHICLE TRACKING CONTROL

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 VTC-3

**SM-4 Vehicle Tracking Control (VTC)**

**STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S).
  - TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
- CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
- A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
- STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

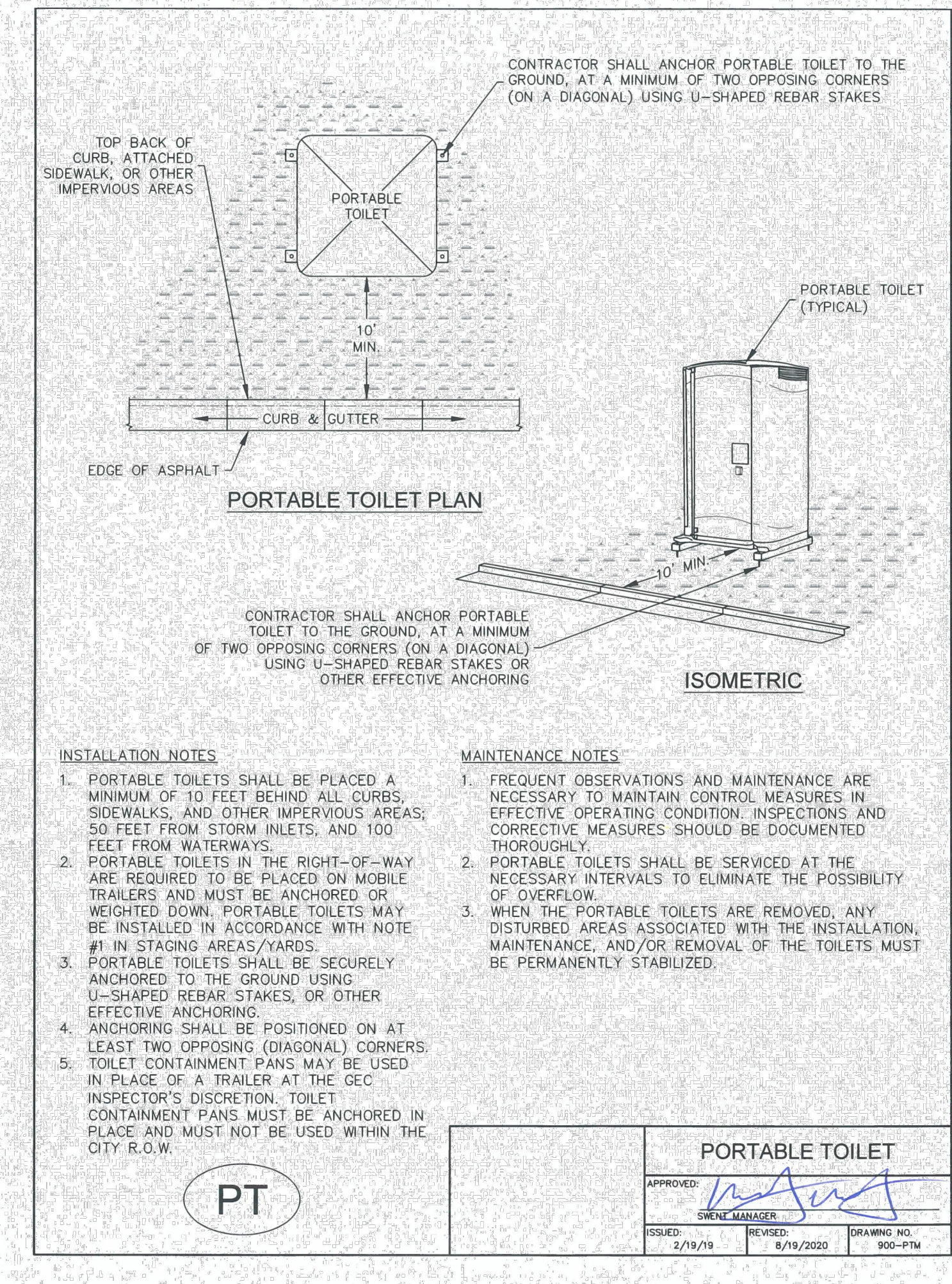
**STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES**

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
- SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AUTOCAD)

VTC-6 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

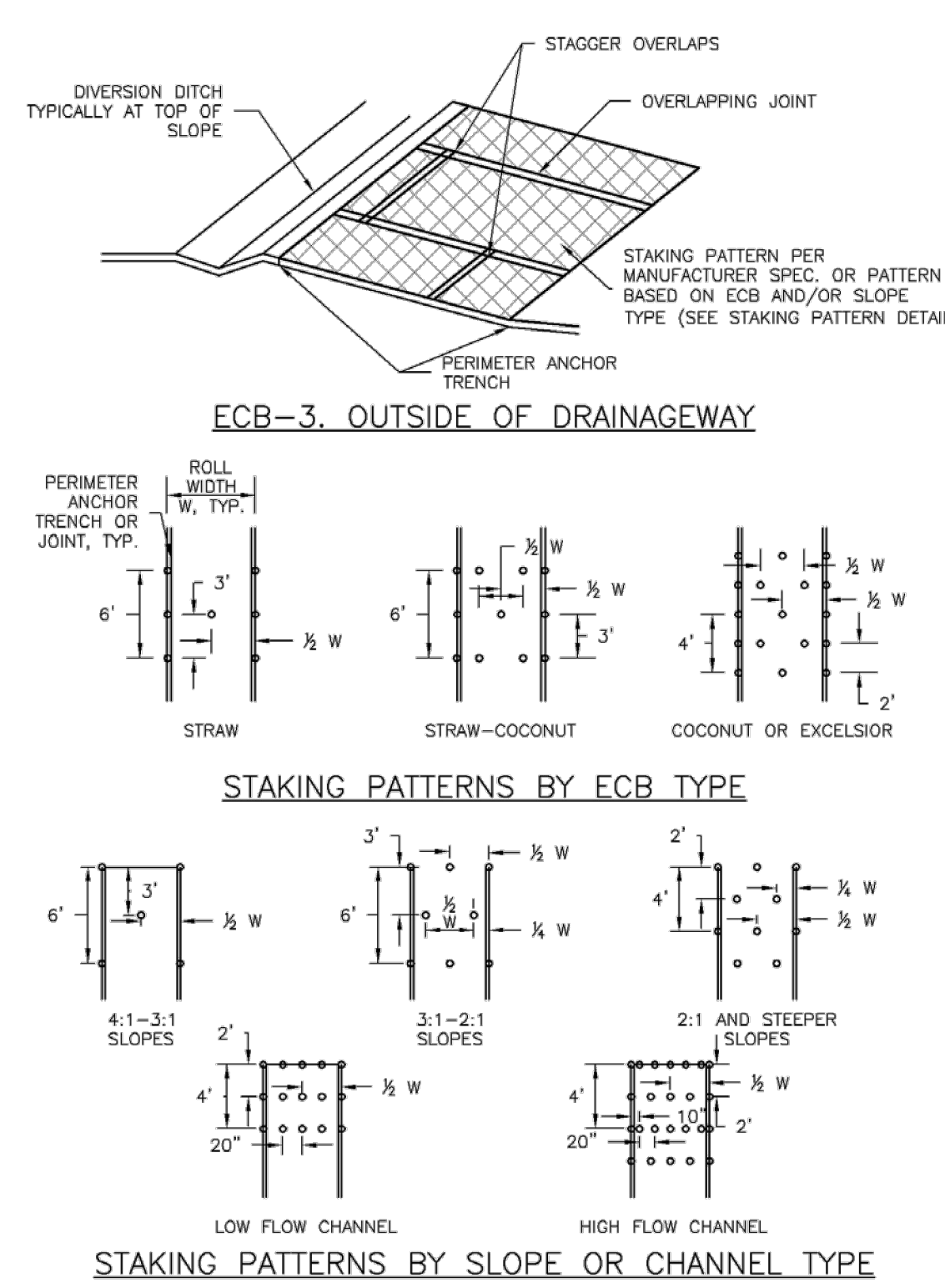


- INSTALLATION NOTES**
- PORTABLE TOILETS SHALL BE PLACED A MINIMUM OF 10 FEET BEHIND ALL CURBS, SIDEWALKS, AND OTHER IMPERVIOUS AREAS, 50 FEET FROM STORM INLETS, AND 100 FEET FROM WATERWAYS.
  - PORTABLE TOILETS IN THE RIGHT-OF-WAY ARE REQUIRED TO BE PLACED ON MOBILE TRAILERS AND MUST BE ANCHORED OR WEIGHTED DOWN. PORTABLE TOILETS MAY BE INSTALLED IN ACCORDANCE WITH NOTE #1 IN STAGING AREAS/YARDS.
  - PORTABLE TOILETS SHALL BE SECURELY ANCHORED TO THE GROUND USING U-SHAPED REBAR STAKES, OR OTHER EFFECTIVE ANCHORING.
  - ANCHORING SHALL BE POSITIONED ON AT LEAST TWO OPPOSING (DIAGONAL) CORNERS OF TWO OPPOSING CORNERS (ON A DIAGONAL) USING U-SHAPED REBAR STAKES OR OTHER EFFECTIVE ANCHORING.
  - TOILET CONTAINMENT PANS MAY BE USED IN PLACE OF A TRAILER AT THE GEC INSPECTOR'S DISCRETION. TOILET CONTAINMENT PANS MUST BE ANCHORED IN PLACE AND MUST NOT BE USED WITHIN THE CITY R.O.W.
- MAINTENANCE NOTES**
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
  - PORTABLE TOILETS SHALL BE SERVICED AT THE NECESSARY INTERVALS TO ELIMINATE THE POSSIBILITY OF OVERFLOW.
  - WHEN THE PORTABLE TOILETS ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE TOILETS MUST BE PERMANENTLY STABILIZED.

PORTABLE TOILET			
APPROVED:			
ENGINEER:	DATE:	REVISION:	DRAWING NO.:
2/19/19	8/19/2020		900-PTM

**Rolled Erosion Control Products (RECP) EC-6**

**Rolled Erosion Control Products (RECP) EC-6**



STAKING PATTERNS BY SLOPE OR CHANNEL TYPE

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 RECP-7

**EC-6 Rolled Erosion Control Products (RECP)**

**EROSION CONTROL BLANKET INSTALLATION NOTES**

- SEE PLAN VIEW FOR:
  - LOCATION OF ECB.
  - TYPE OF ECB (STRAW, STRAW-COCONUT, COCONUT, OR EXCELSIOR).
  - AREA, A, IN SQUARE YARDS OF EACH TYPE OF ECB.
- 100% NATURAL AND BIODEGRADABLE MATERIALS ARE PREFERRED FOR RECPs, ALTHOUGH SOME JURISDICTIONS MAY ALLOW OTHER MATERIALS IN SOME APPLICATIONS.
- IN AREAS WHERE ECBs ARE SHOWN ON THE PLANS, THE PERMITTEE SHALL PLACE TOPSOIL AND PERFORM FINAL GRADING, SURFACE PREPARATION, AND SEEDING AND MULCHING. SUBGRADE SHALL BE SMOOTH AND MOIST PRIOR TO ECB INSTALLATION AND THE ECB SHALL BE IN FULL CONTACT WITH SUBGRADE. NO GAPS OR VOIDS SHALL EXIST UNDER THE BLANKET.
- PERIMETER ANCHOR TRENCH SHALL BE USED ALONG THE OUTSIDE PERIMETER OF ALL BLANKET AREAS.
- JOINT ANCHOR TRENCH SHALL BE USED TO JOIN ROLLS OF ECBs TOGETHER (LONGITUDINALLY AND TRANSVERSELY) FOR ALL ECBs EXCEPT STRAW WHICH MAY USE AN OVERLAPPING JOINT.
- INTERMEDIATE ANCHOR TRENCH SHALL BE USED AT SPACING OF ONE-HALF ROLL LENGTH FOR COCONUT AND EXCELSIOR ECBs.
- OVERLAPPING JOINT DETAIL SHALL BE USED TO JOIN ROLLS OF ECBs TOGETHER FOR ECBs ON SLOPES.
- MATERIAL SPECIFICATIONS OF ECBs SHALL CONFORM TO TABLE ECB-1.
- ANY AREAS OF SEEDING AND MULCHING DISTURBED IN THE PROCESS OF INSTALLING ECBs SHALL BE RESEEDED AND MULCHED.
- DETAILS ON DESIGN PLANS FOR MAJOR DRAINAGEWAY STABILIZATION WILL GOVERN IF DIFFERENT FROM THOSE SHOWN HERE.

TYPE	COCONUT CONTENT	STRAW CONTENT	EXCELSIOR CONTENT	RECOMMENDED NETTING**
STRAW*	-	100%	-	DOUBLE/NATURAL
STRAW-COCONUT	30% MIN	70% MAX	-	DOUBLE/NATURAL
COCONUT	100%	-	-	DOUBLE/NATURAL
EXCELSIOR	-	-	100%	DOUBLE/NATURAL

RECP-8 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

**ENGINEERING RECORD DRAWINGS  
AS-BUILT DRAWINGS**

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 RECP-9



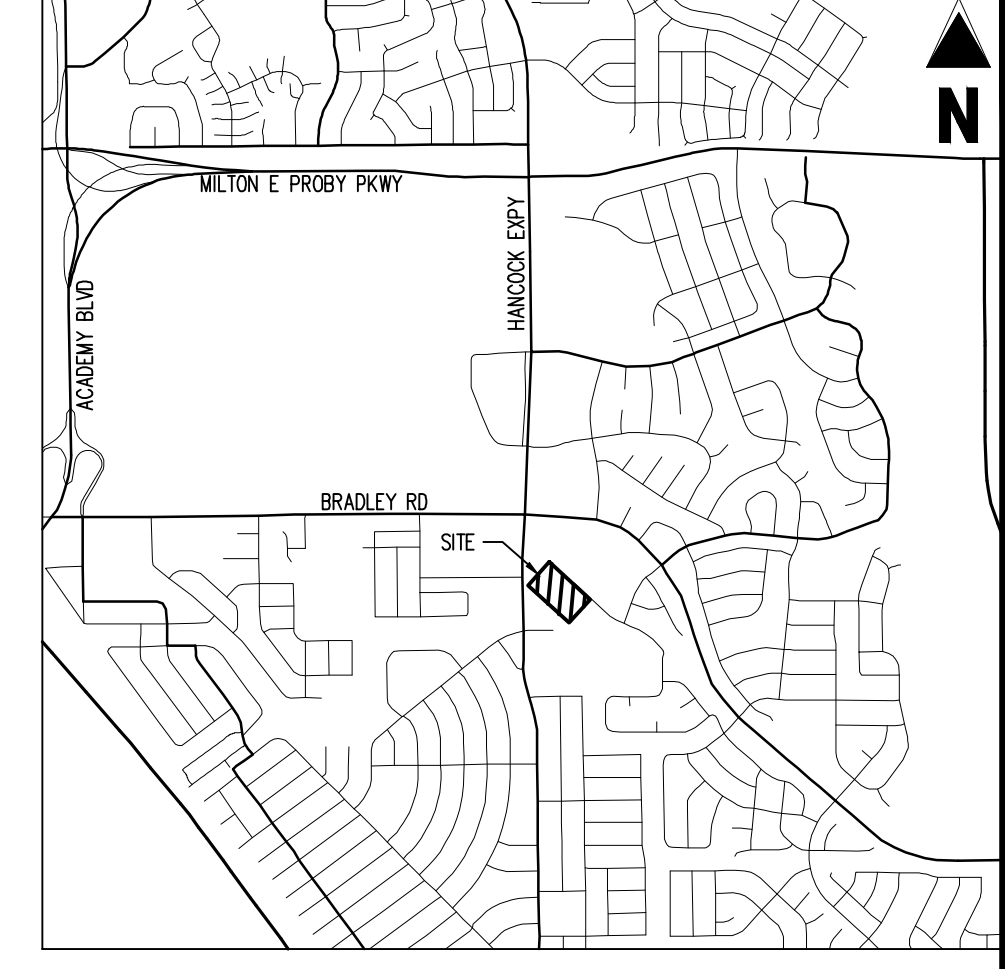
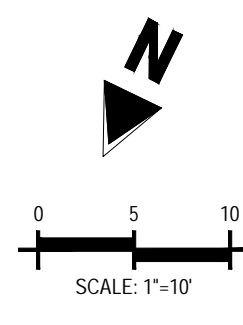
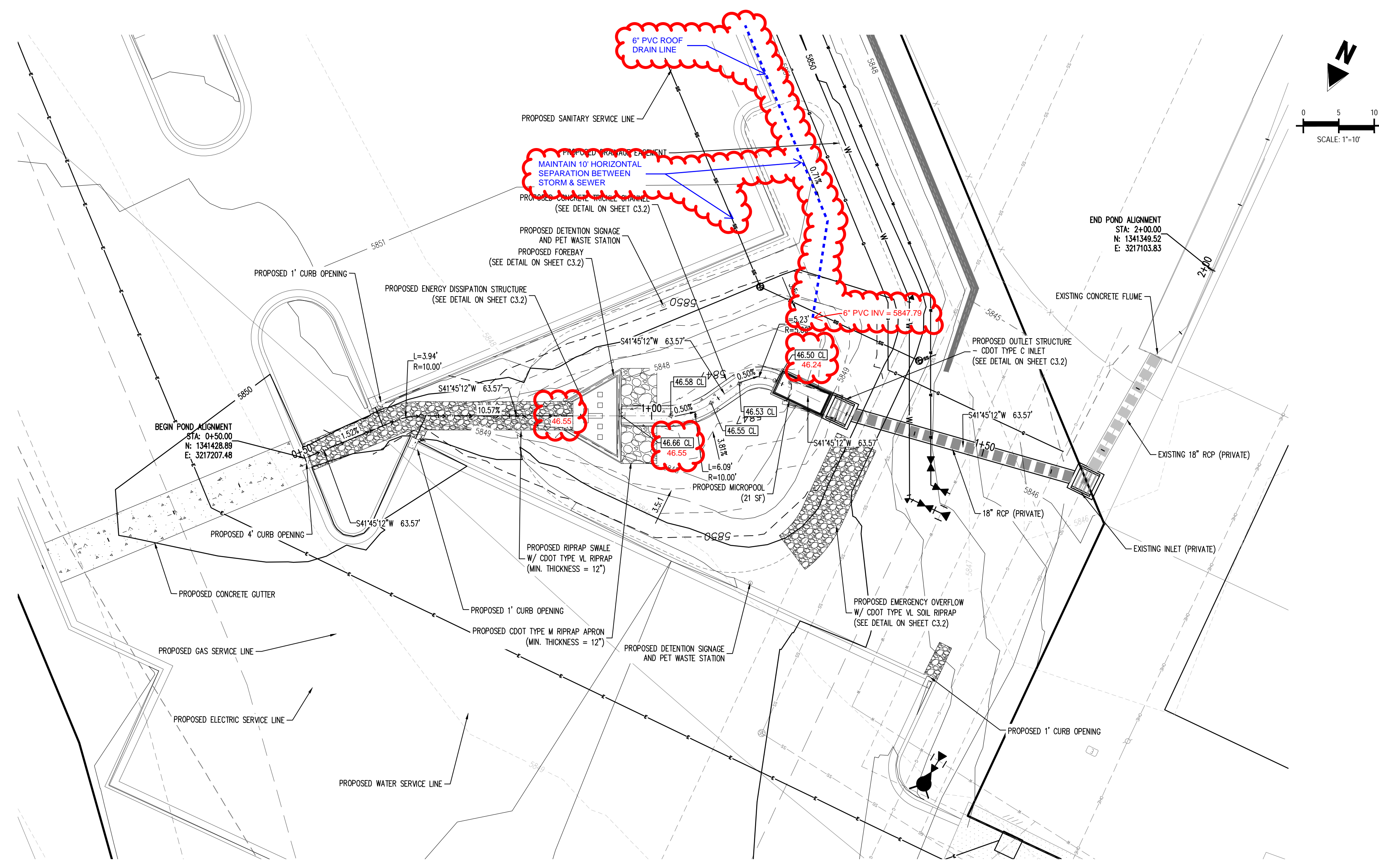
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CONSTRUCTION DOCUMENTS  
SMITH PLUMBING & HEATING  
FOR  
HAMMERS CONSTRUCTION, LLC  
1875 MAIN STREET  
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

#	Date	Issue / Description	Init.

Project No: HCI000008  
Drawn By: TPT  
Checked By:  
Date: 05/20/2024  
GEC DETAILS

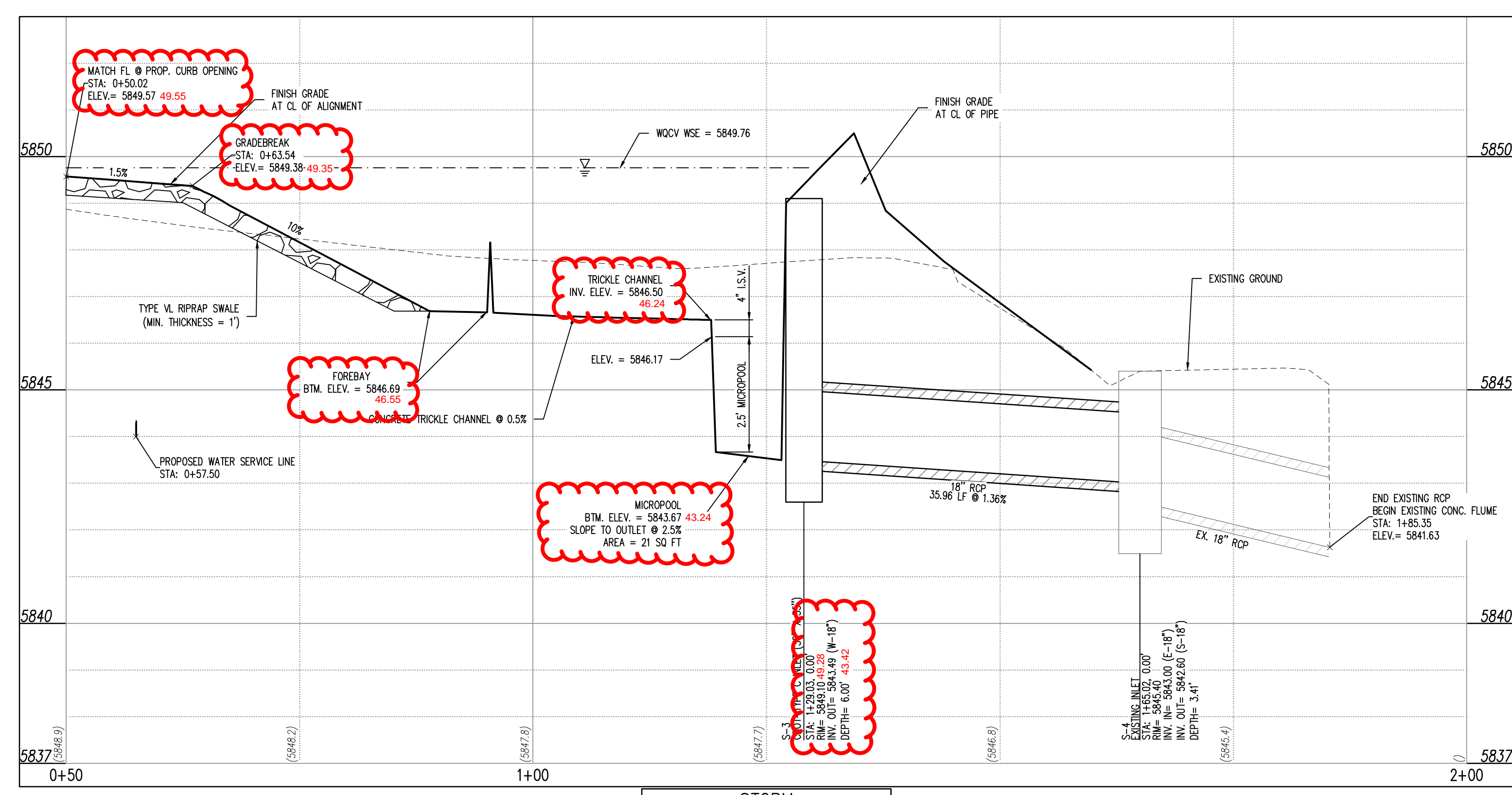


**LEGEND**

[Line symbol]	PROPERTY BOUNDARY LINE
[Dashed line symbol]	PROPOSED EASEMENT LINE
[Dotted line symbol]	EXISTING EASEMENT LINE
[Dash-dot line symbol]	PROPOSED BUILDING OUTLINE
[Dotted line symbol]	EXISTING MAJOR CONTOUR
[Dotted line symbol]	EXISTING MINOR CONTOUR
[Dotted line symbol]	PROPOSED MAJOR CONTOUR
[Dotted line symbol]	PROPOSED MINOR CONTOUR
[Arrow symbol]	PROPOSED STORM DRAIN LINE
[Arrow symbol]	PROPOSED SWALE WITH FLOW DIRECTION
[Hatched area symbol]	PROPOSED RETAINING WALL
[Hatched area symbol]	EXISTING RETAINING WALL
[Hatched area symbol]	PROPOSED RIP RAP
[Hatched area symbol]	PROPOSED CONCRETE

- NOTES**
1. ADD 5800 TO ALL SPOT ELEVATIONS
  2. ALL STORM PIPE SHALL BE CLASS 3 RCP OR HOPE IN ACCORDANCE WITH COUNTY STANDARD SPECIFICATIONS, UNLESS OTHERWISE NOTED.

ENGINEERING RECORD DRAWINGS  
AS-BUILT DRAWINGS



STORM  
STA: 0+50 - 2+00  
SCALE: H: 1"=10' V: 1"=2'



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Project No: HC1000008  
Drawn By: TPPT  
Checked By: [Signature]  
Date: 05/20/2024



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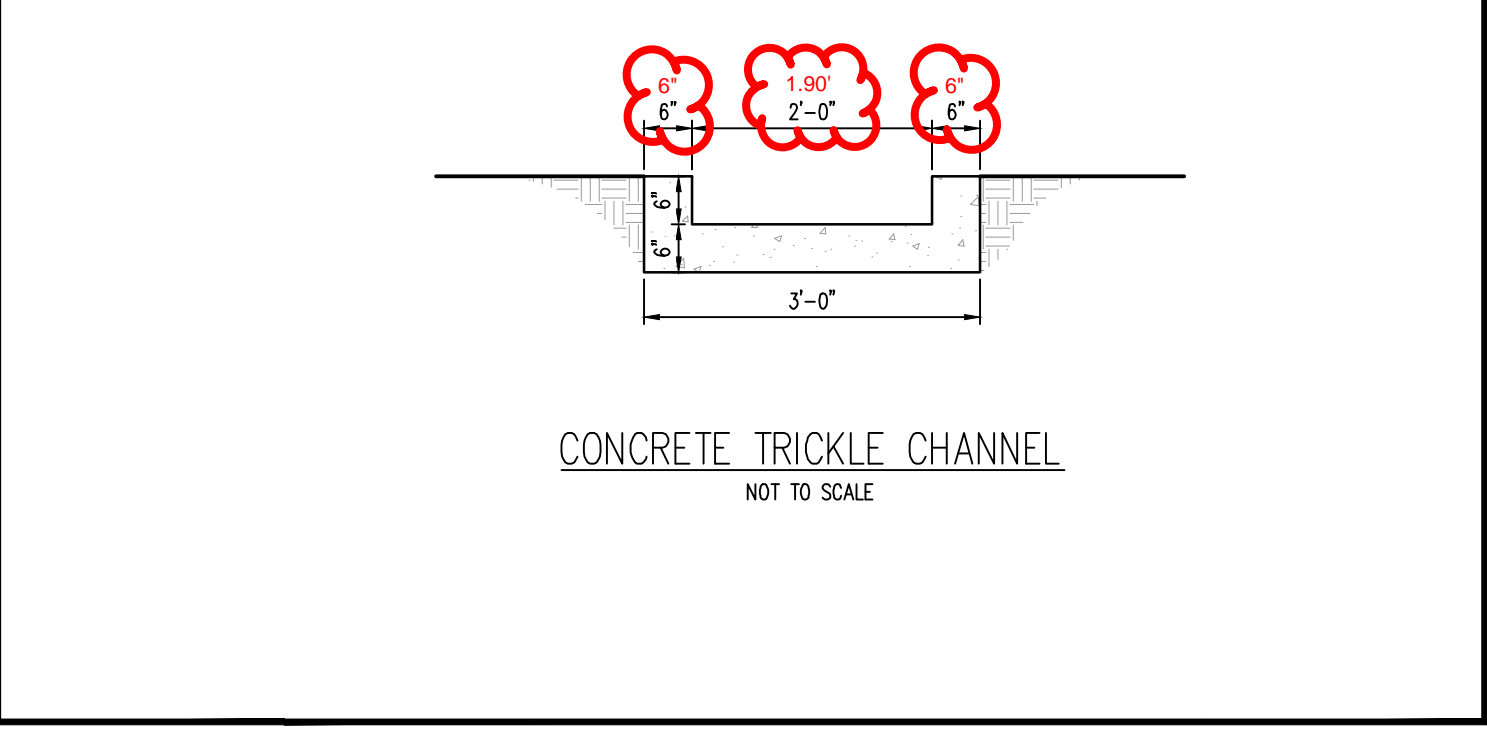
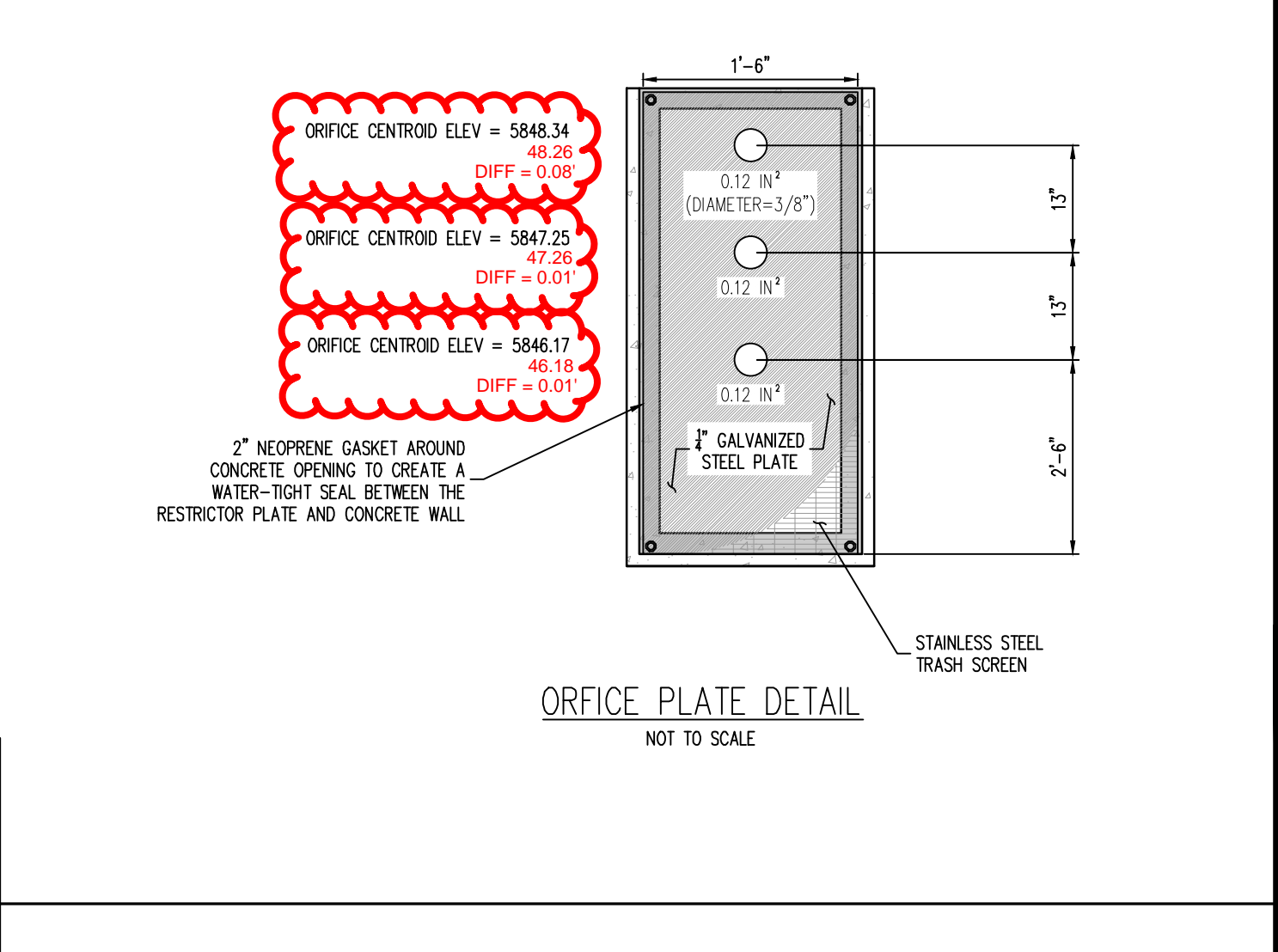
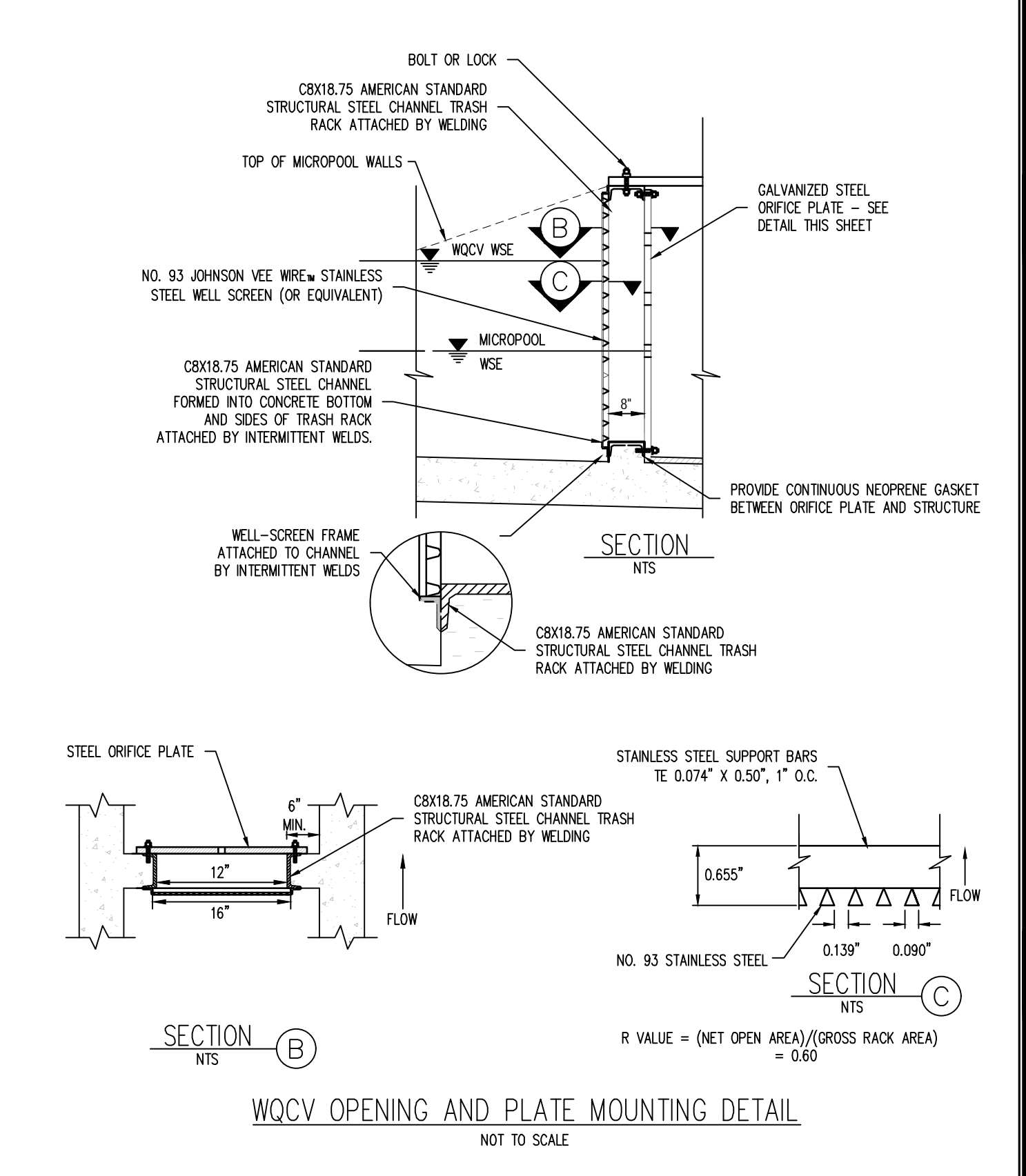
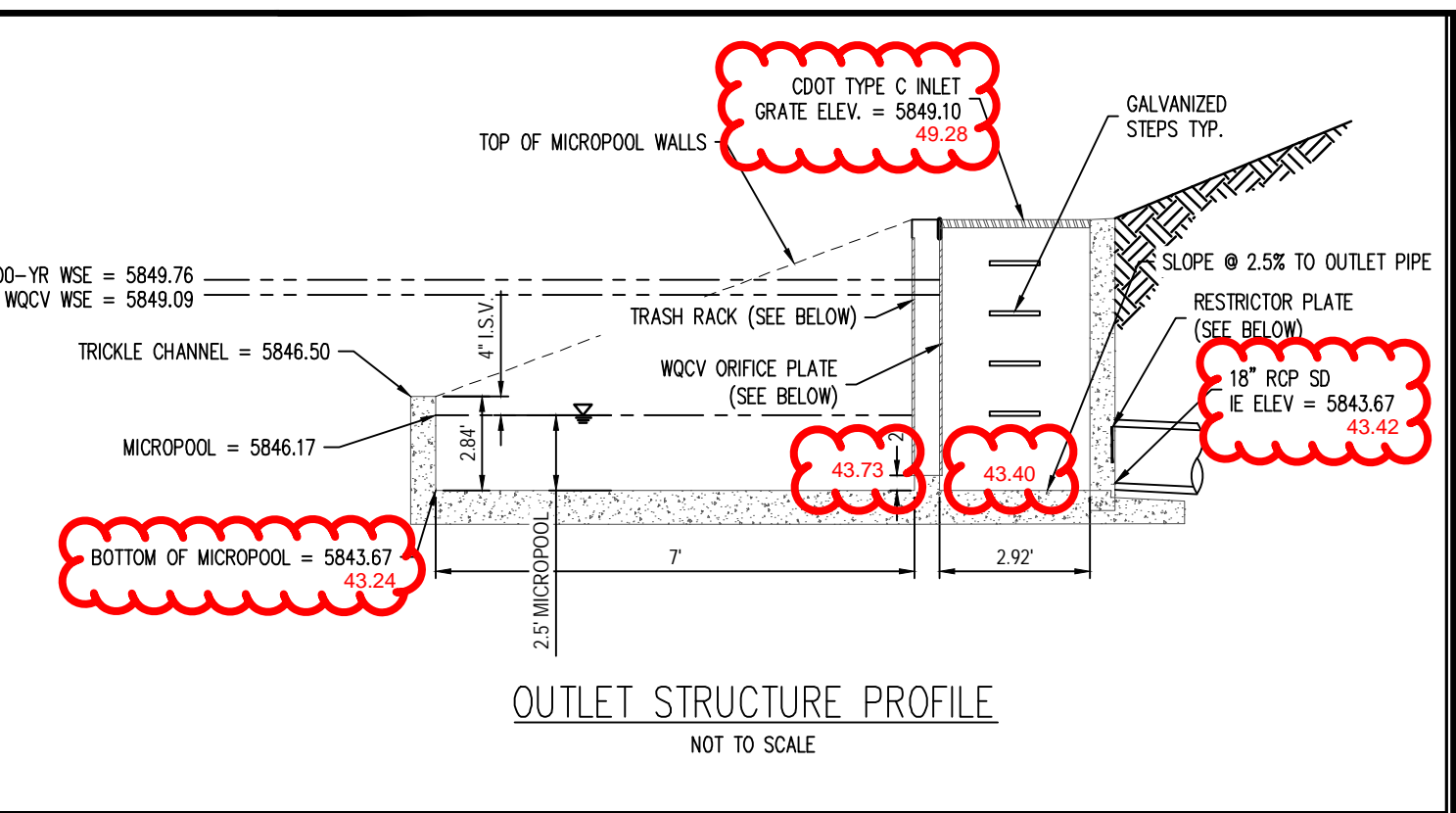
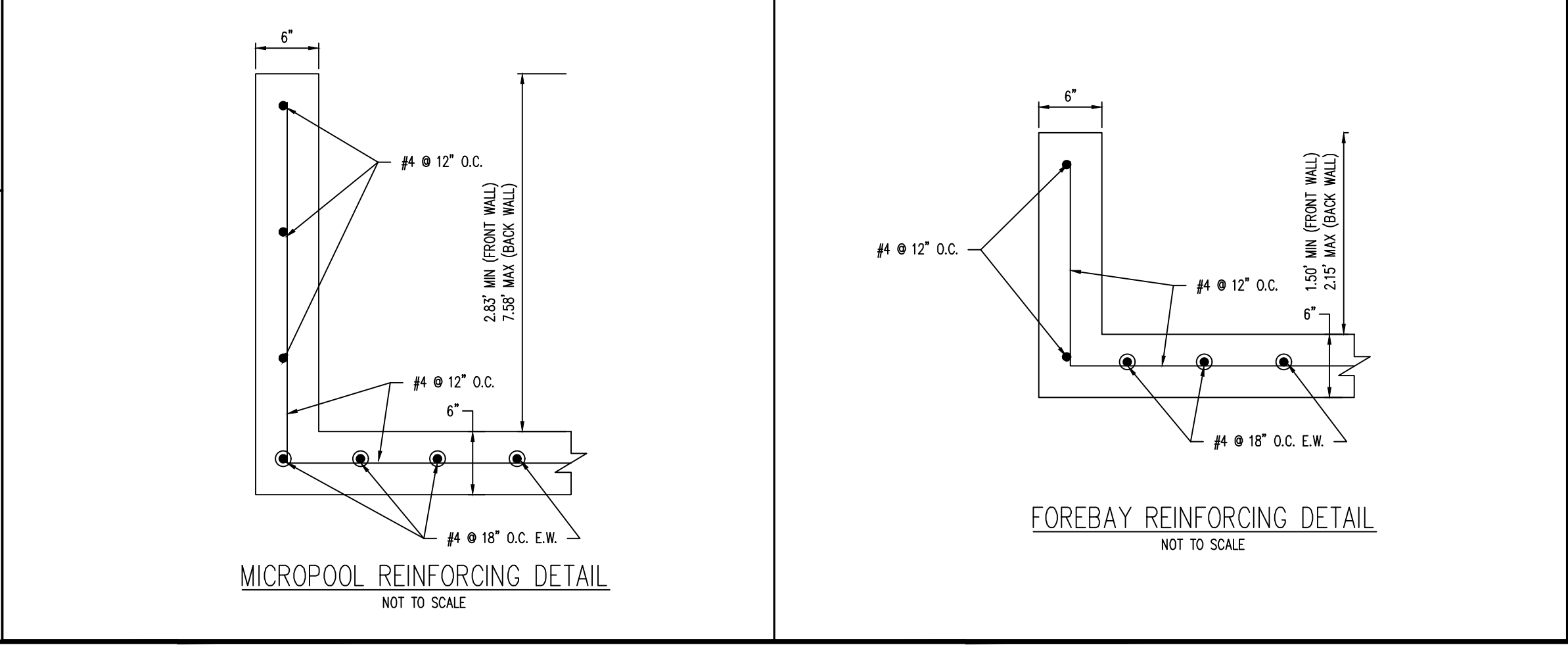
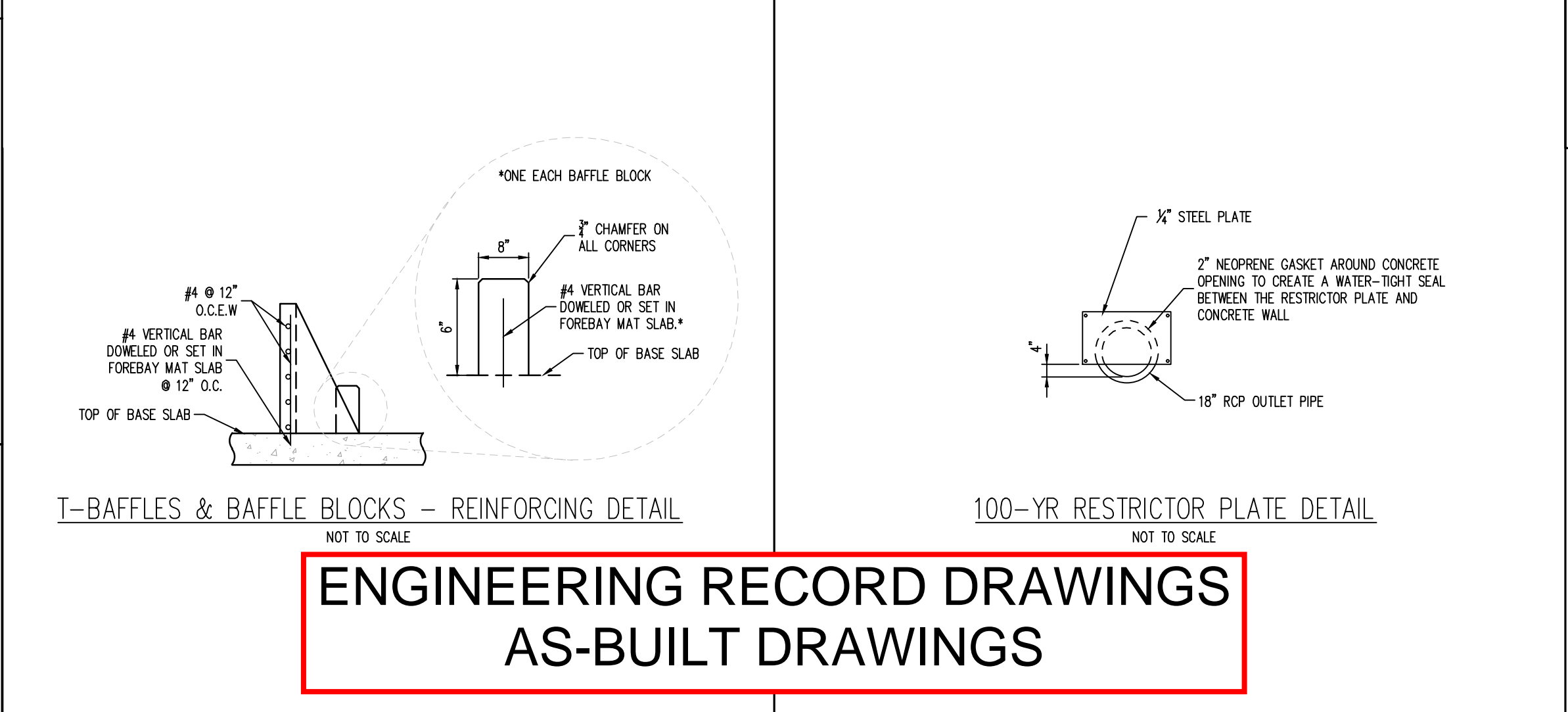
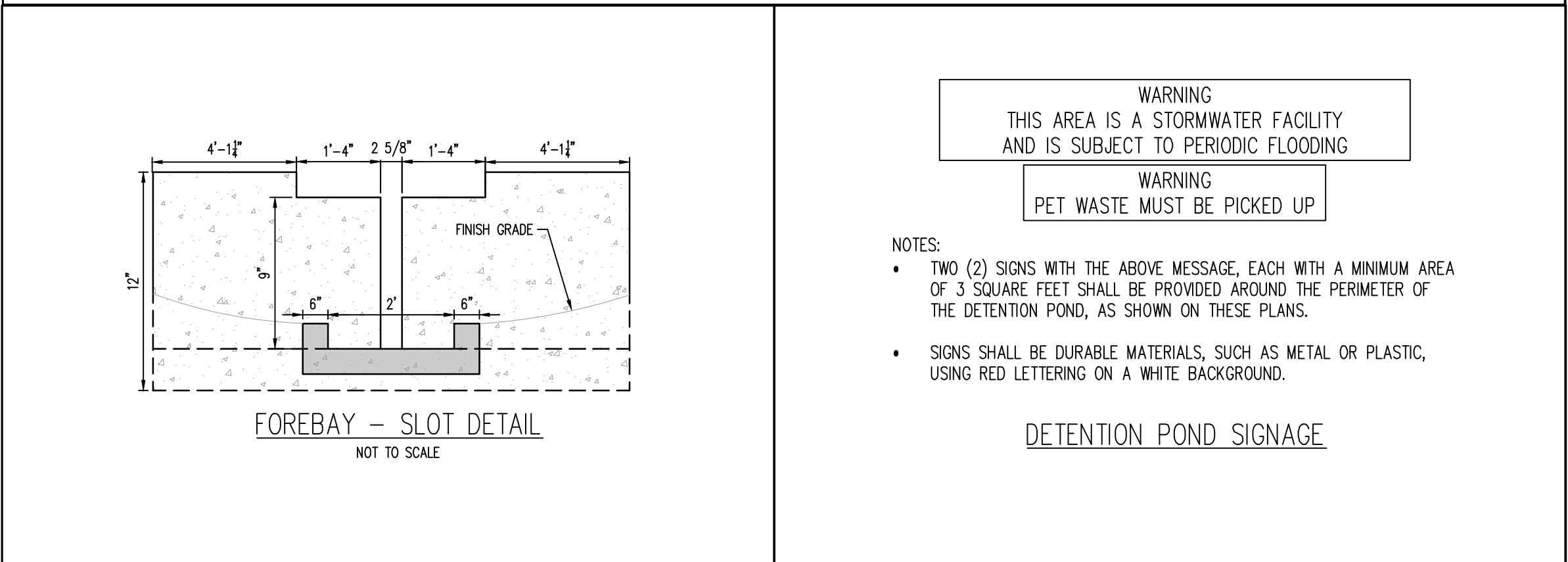
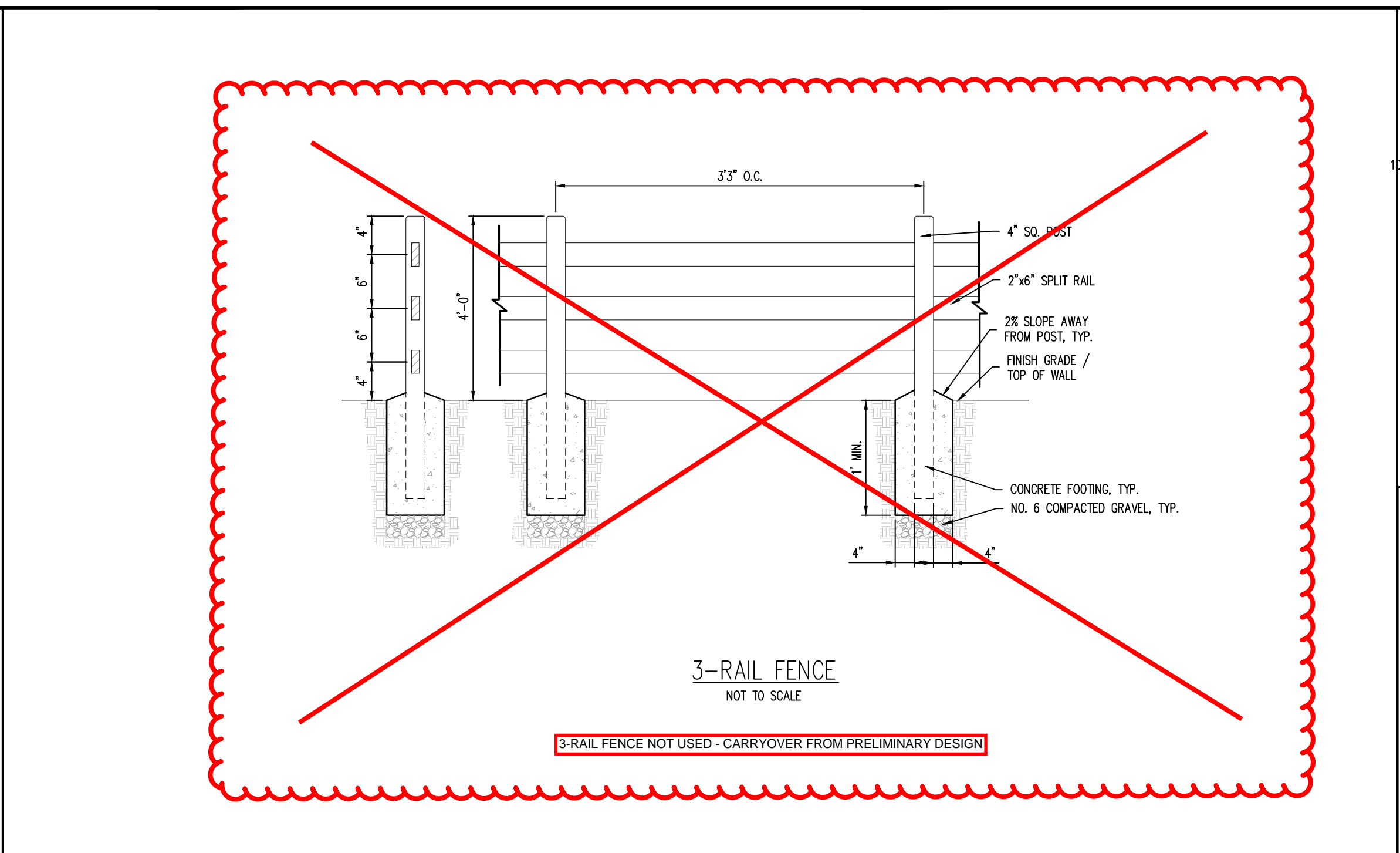
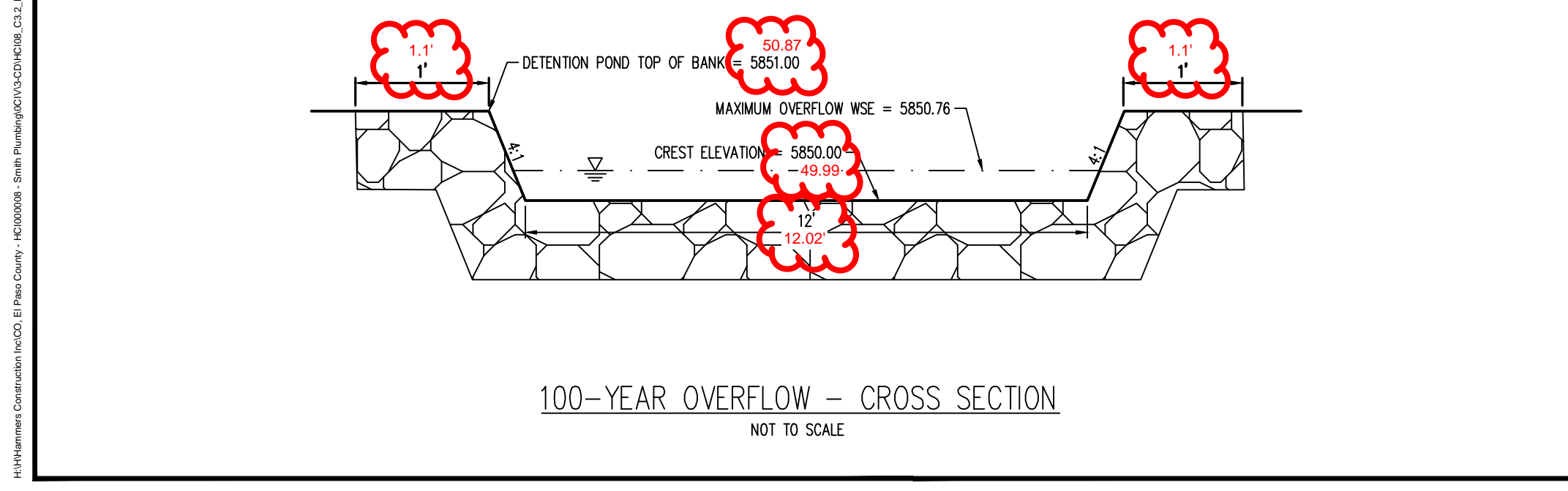
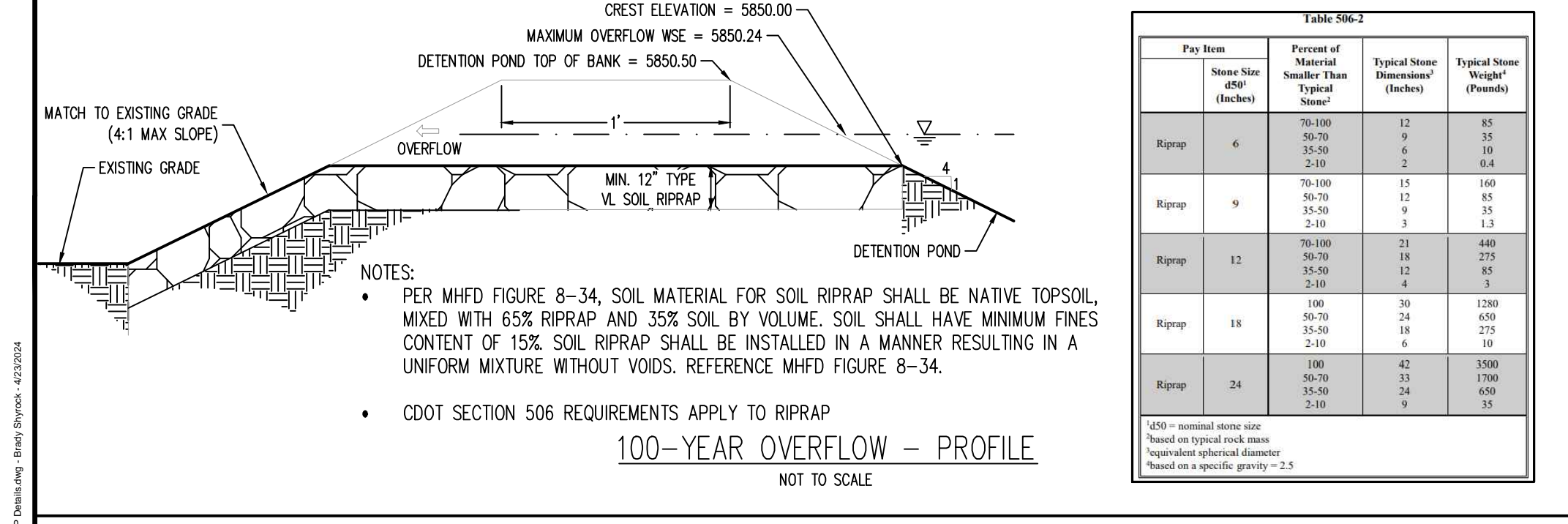
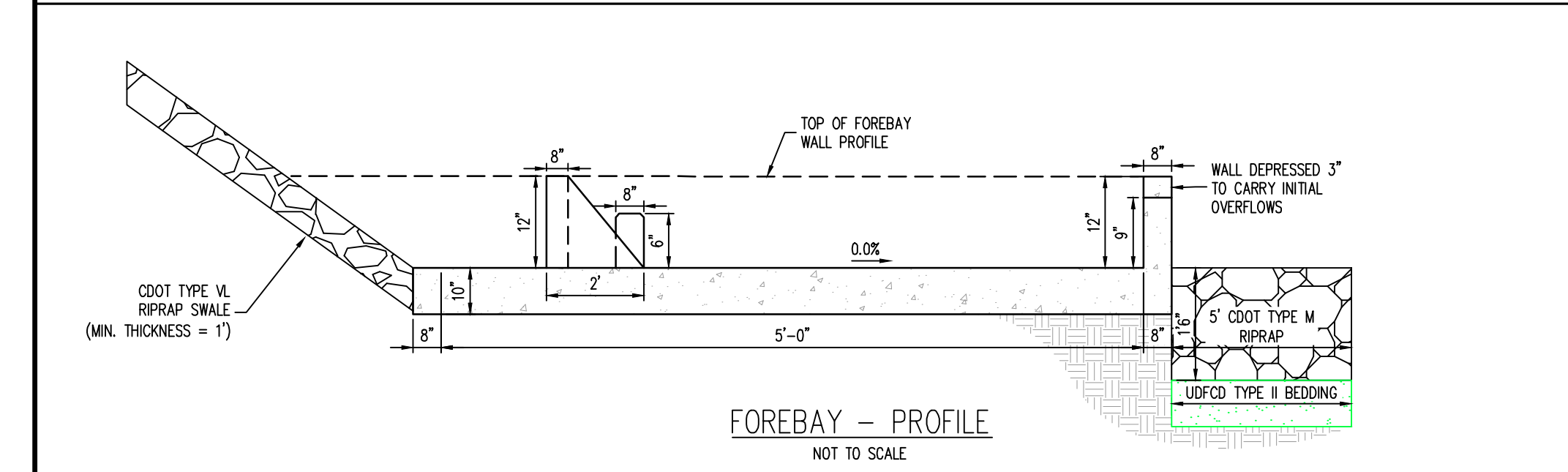
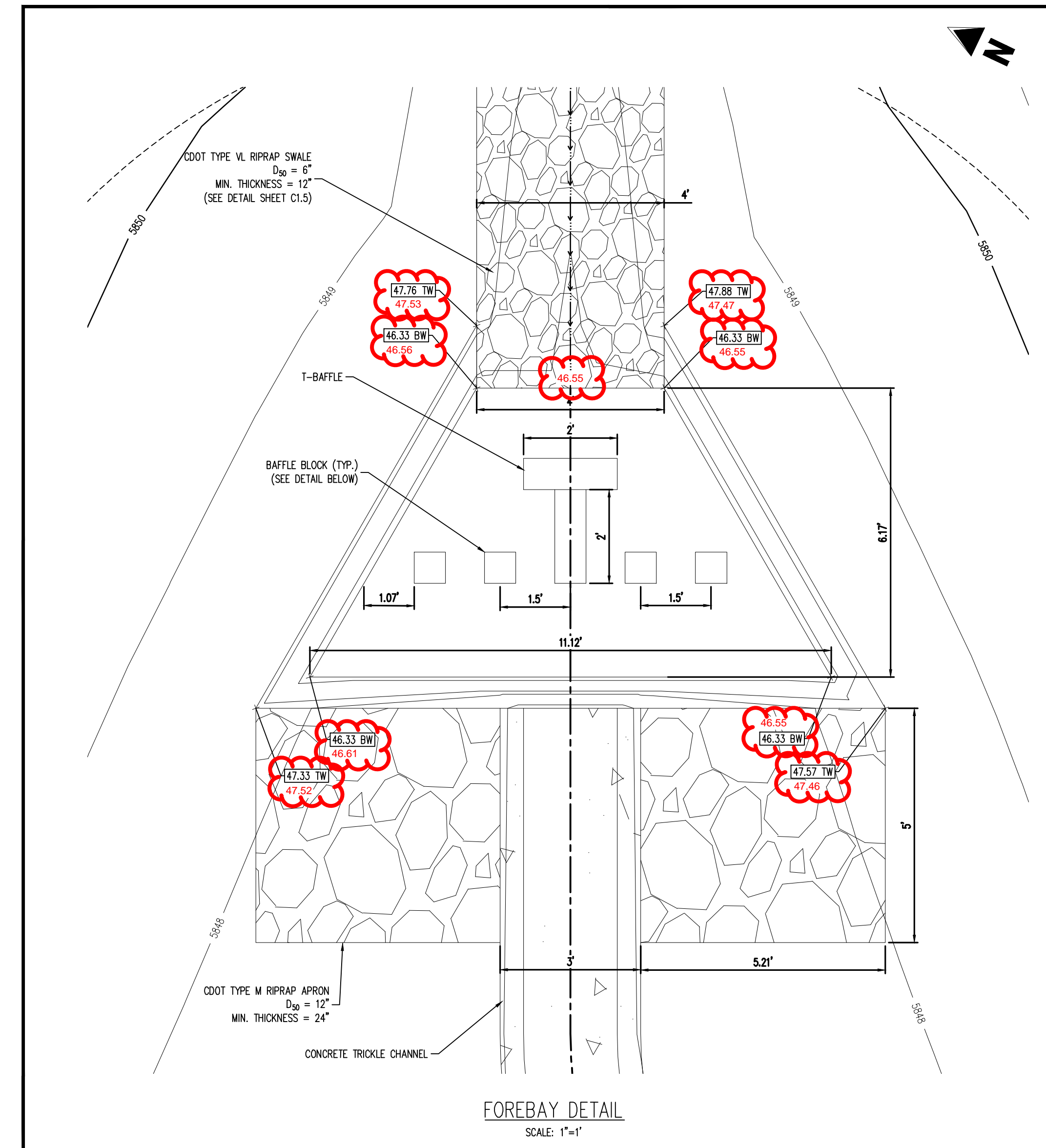


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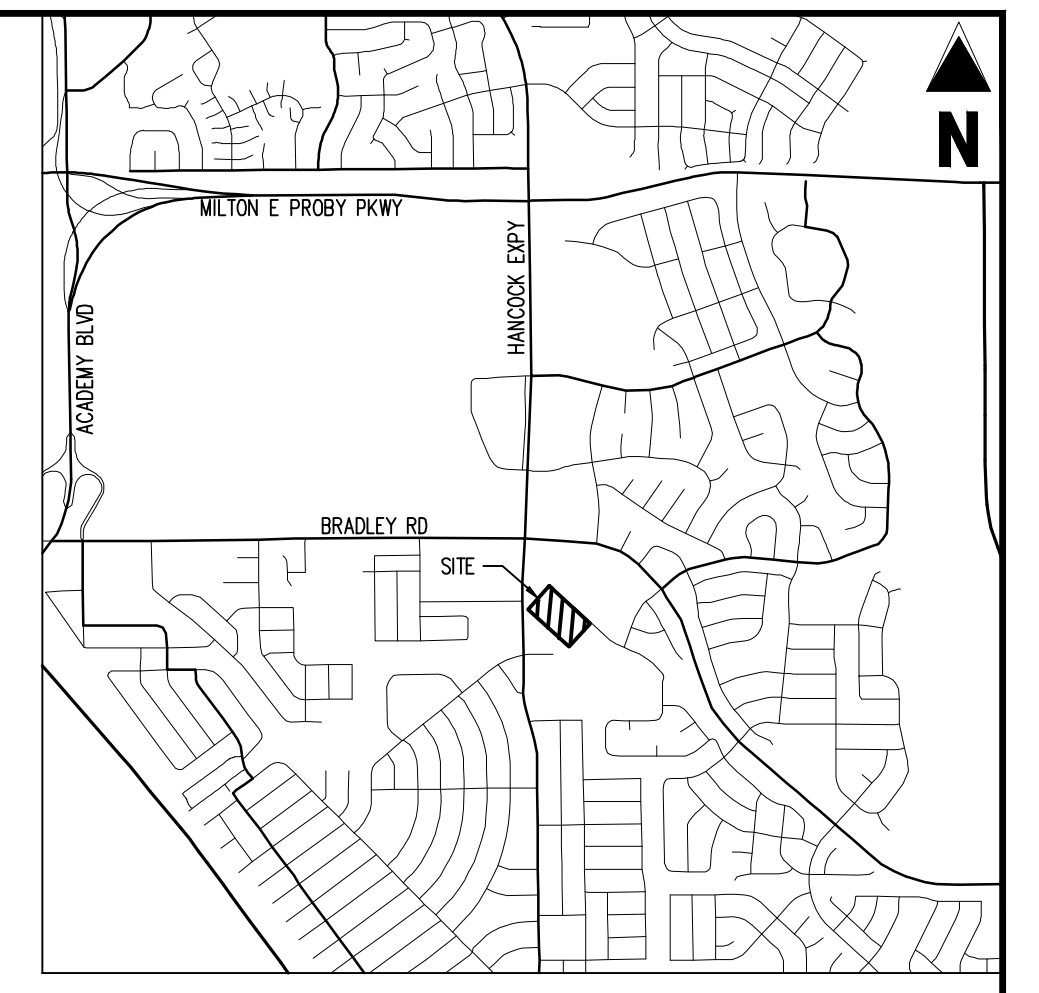
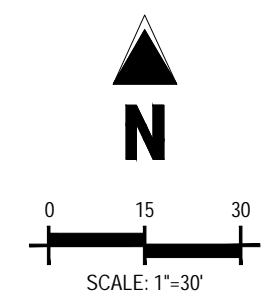
Project No: HCI000008  
Drawn By: TPPT  
Checked By:  
Date: 05/20/2024

**POND DETAILS**





# ENGINEERING RECORD DRAWINGS AS-BUILT DRAWINGS



VICINITY MAP  
SCALE: 1"=500'



1155 Kelly Johnson Blvd., Suite 305  
Colorado Springs, CO 80920  
719.900.7220  
GallowayUS.com



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UTILITY LEGEND	
---	PROPERTY BOUNDARY LINE
---	ADJACENT PROPERTY BOUNDARY LINE
---	PROPOSED EASEMENT
---	EXISTING EASEMENT LINE
---	PROPOSED BUILDING OUTLINE
---	PROPOSED WATER LINE
---	EXISTING WATER LINE
---	PROPOSED SANITARY SEWER LINE
---	EXISTING SANITARY SEWER LINE
---	PROPOSED STORM DRAIN LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING STORM DRAIN LINE
---	PROPOSED RIP RAP
---	EXISTING ASPHALT PAVING
+	PROPOSED FIRE HYDRANT
+	PROPOSED GATE VALVE
+	PROPOSED REDUCER
+	PROPOSED WATER BEND/TEE
+	PROPOSED SANITARY MANHOLE
+	PROPOSED FEES
+	PROPOSED STORM MANHOLE
+	PROPOSED CDOT TYPE R STORM INLET

### WIDEFIELD WATER AND SANITATION DISTRICT WASTEWATER DESIGN APPROVAL

THE WIDEFIELD WATER AND SANITATION DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.  
DATE: \_\_\_\_\_ BY: \_\_\_\_\_  
PROJECT NO. \_\_\_\_\_  
IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE RULES AND REGULATIONS FOR INSTALLATION OF WASTEWATER MAINS AND SERVICES SHALL RULE.  
APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL.

### WIDEFIELD WATER AND SANITATION DISTRICT WATER DESIGN APPROVAL

THE WIDEFIELD WATER AND SANITATION DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.  
DATE: \_\_\_\_\_ BY: \_\_\_\_\_  
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APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL.

### BASIS OF BEARINGS

BEARINGS ARE BASED ON WEST LINE OF SECTION 1, TOWNSHIP 15 SOUTH, RANGE 66 WEST, MONUMENTED ON THE NORTH END BY A 6" WITNESS CORNER, FOUND, 3.5" ALUMINUM CAP, T24S R66W W.C. 6.00' S 35 S36 S2 S1 T 1 S R55W 2012 PLS 24313" AND ON THE SOUTH END BY A 3.5" ALUMINUM CAP, FOUND, T9MP5 19625", AND IS CONSIDERED TO BEAR 002°42'04"W.

### BENCHMARK

PUBLISHED BENCHMARK  
FMS MONUMENT F035  
ELEVATION = 5980.39 (NAVD88)

### CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



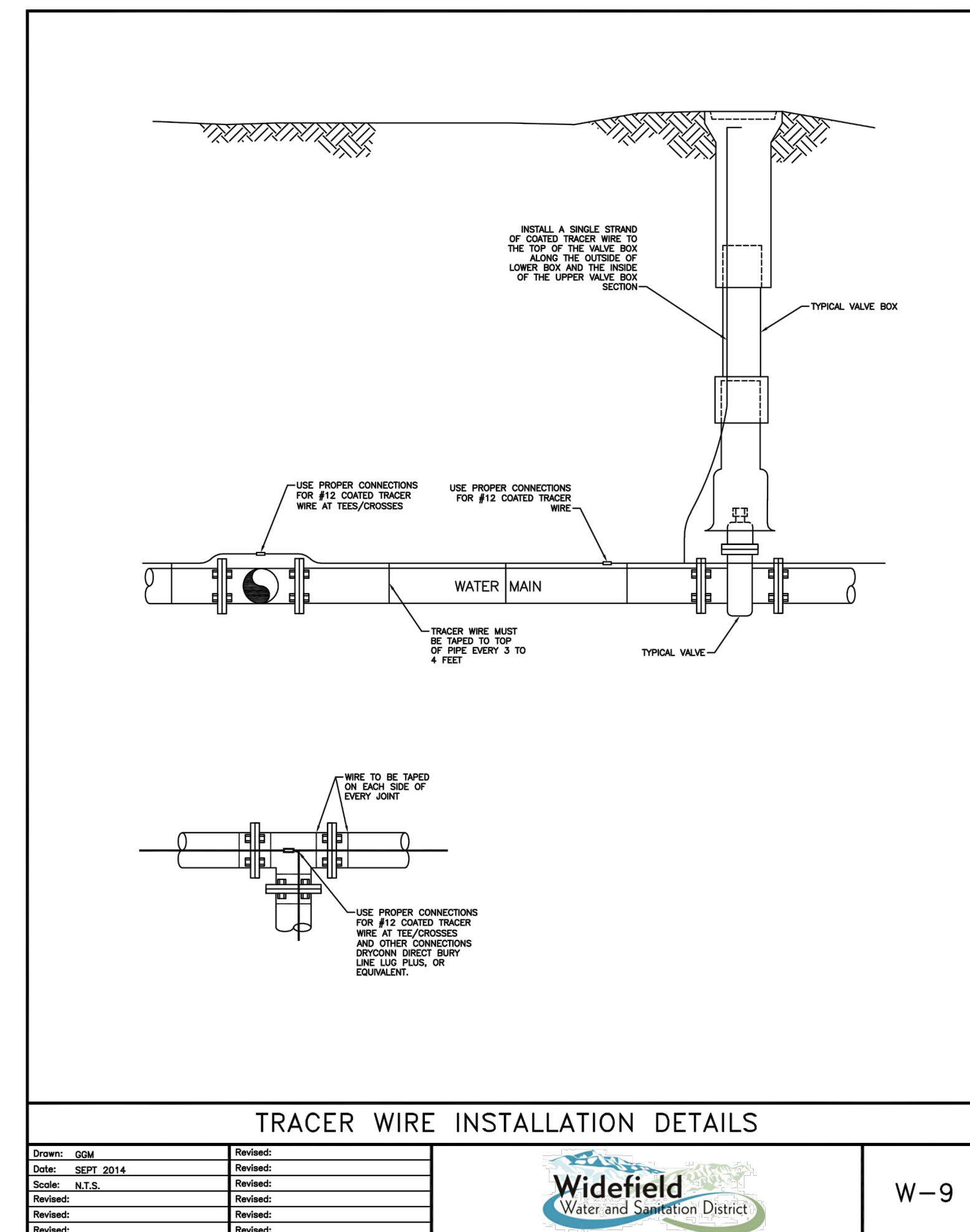
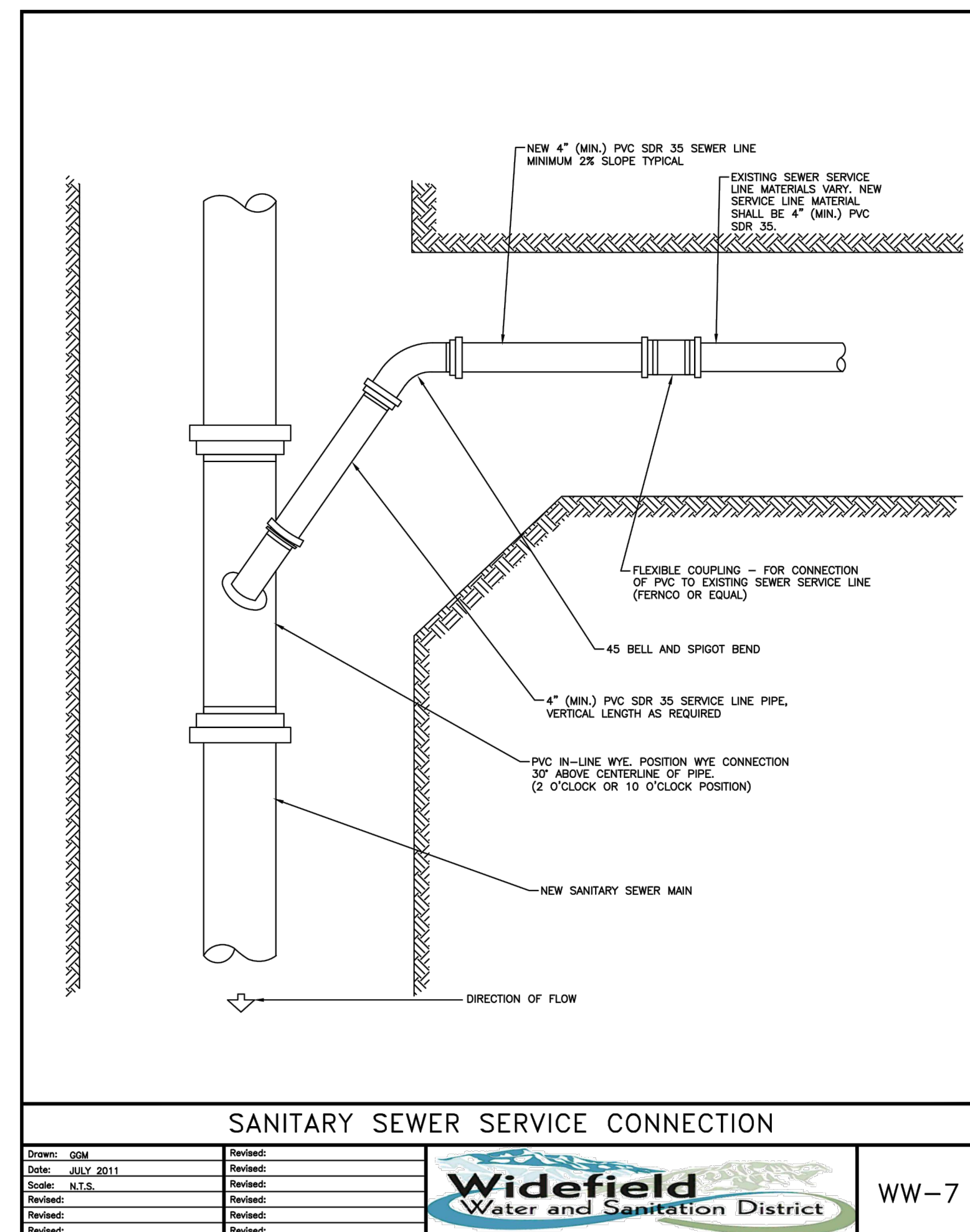
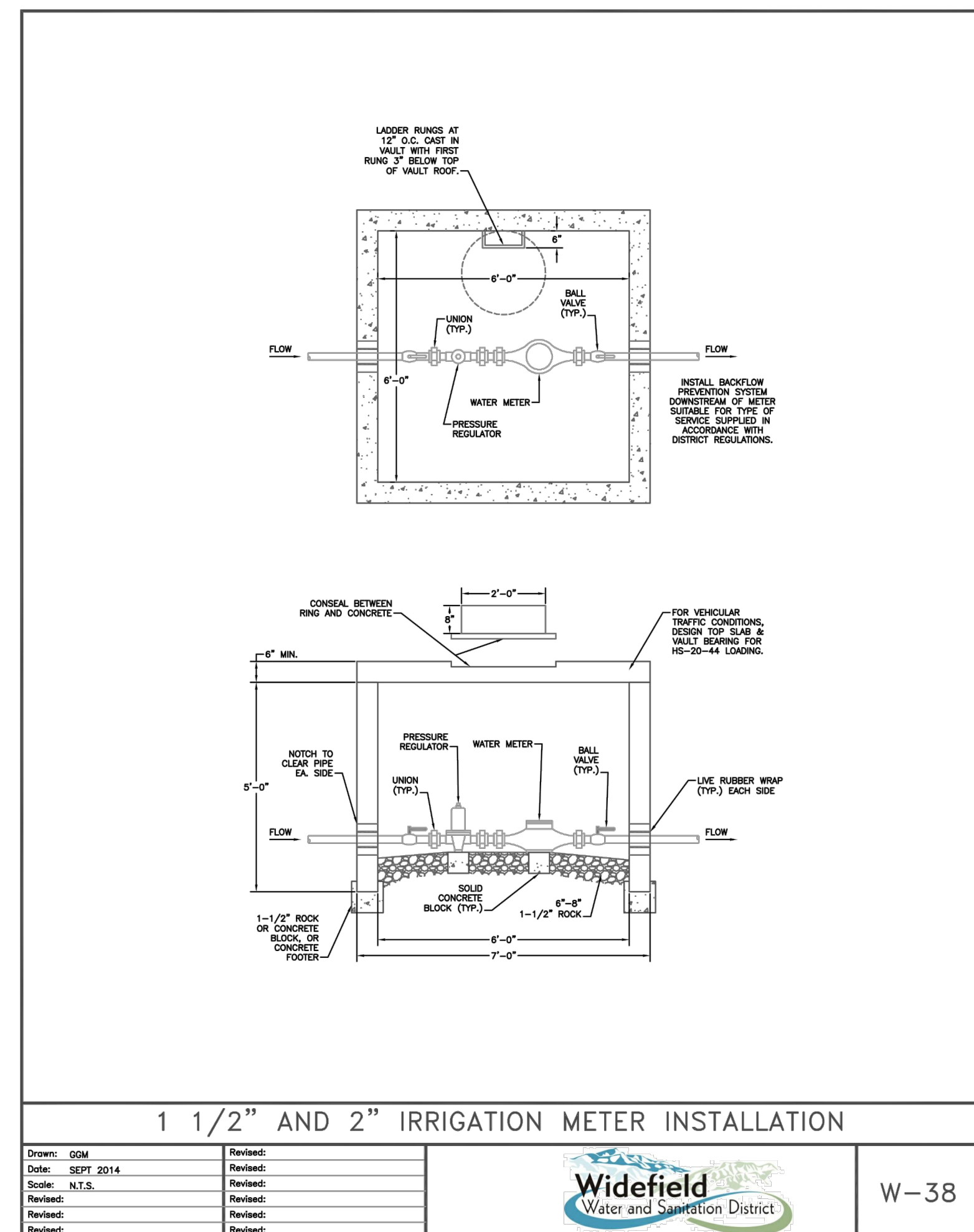
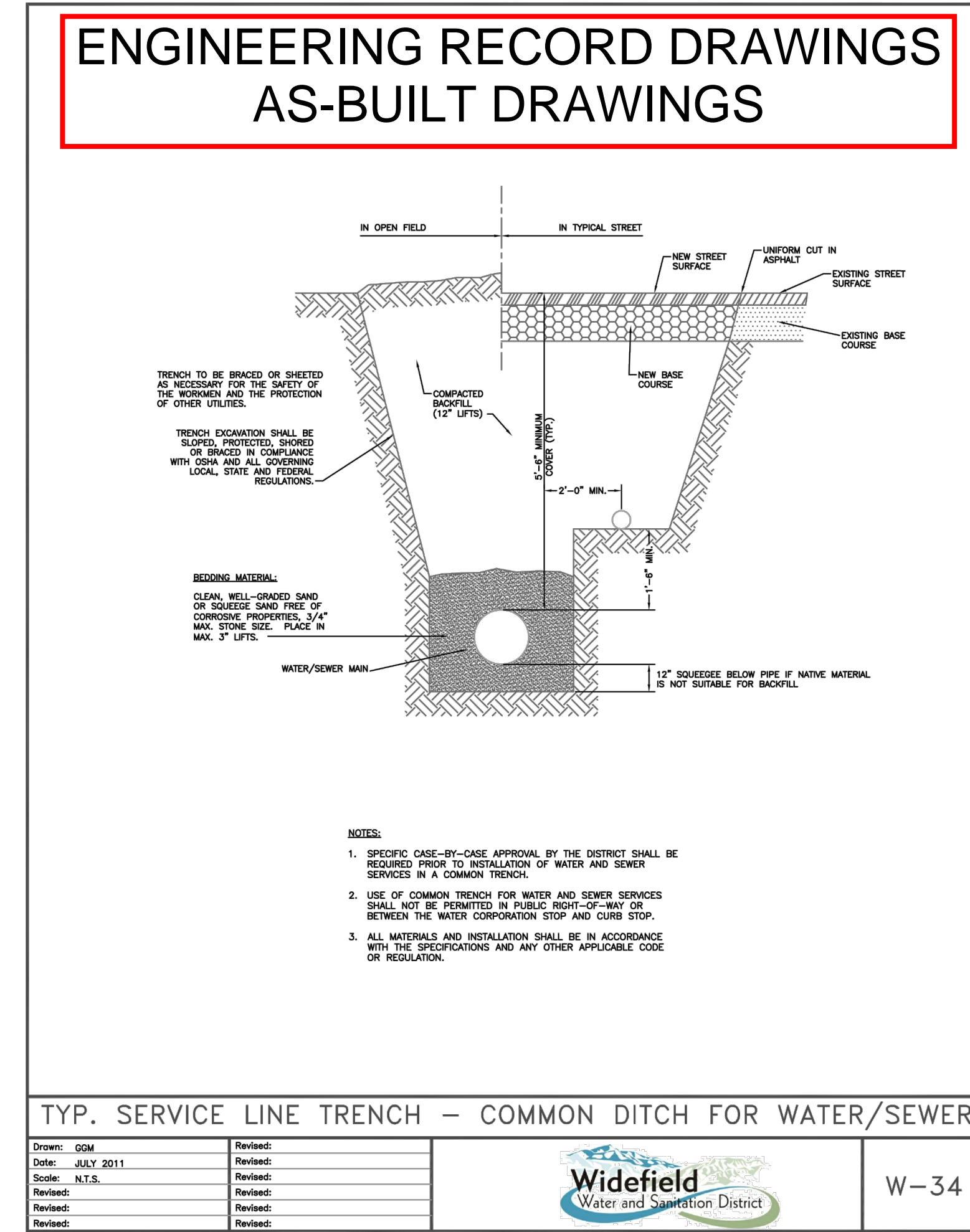
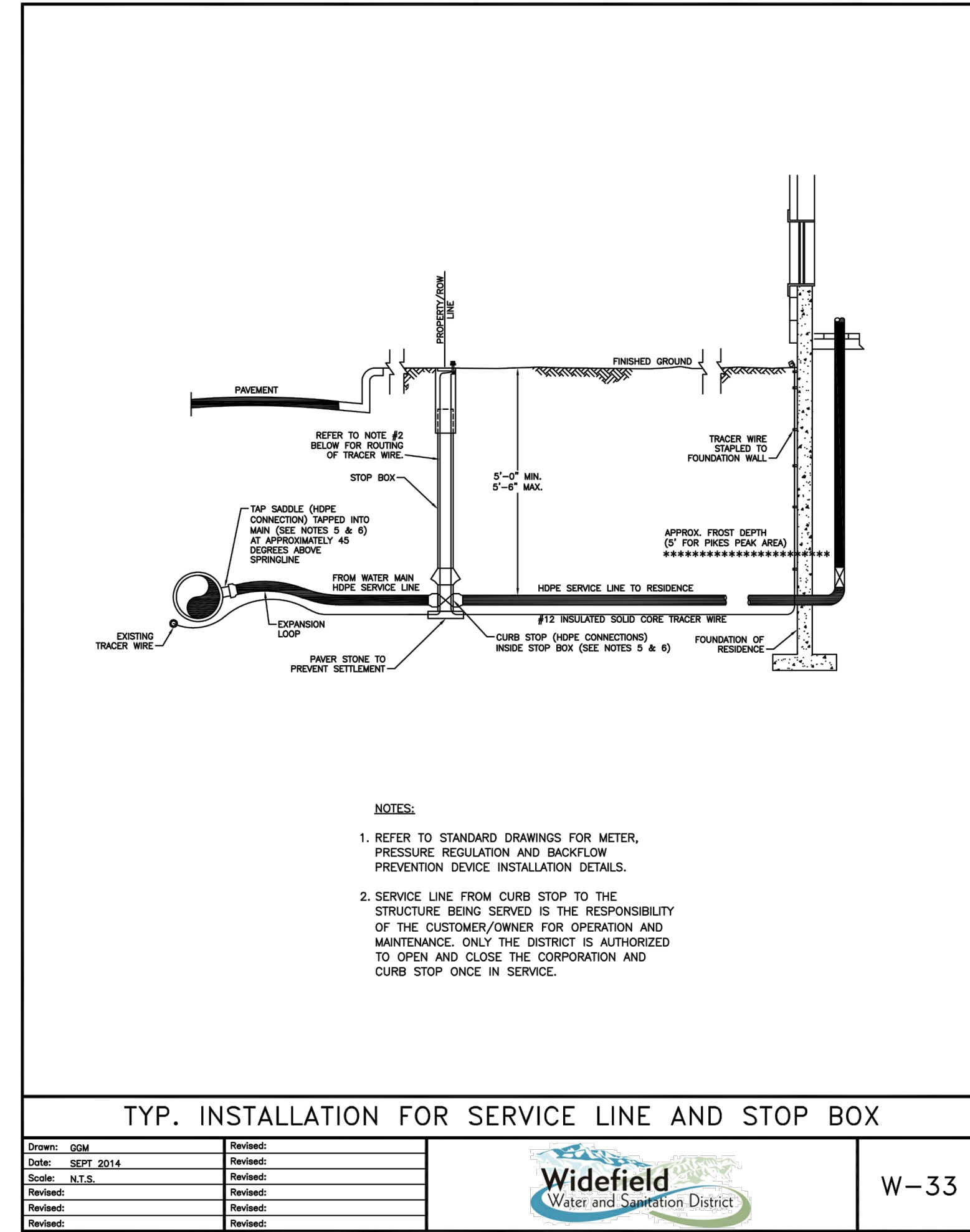
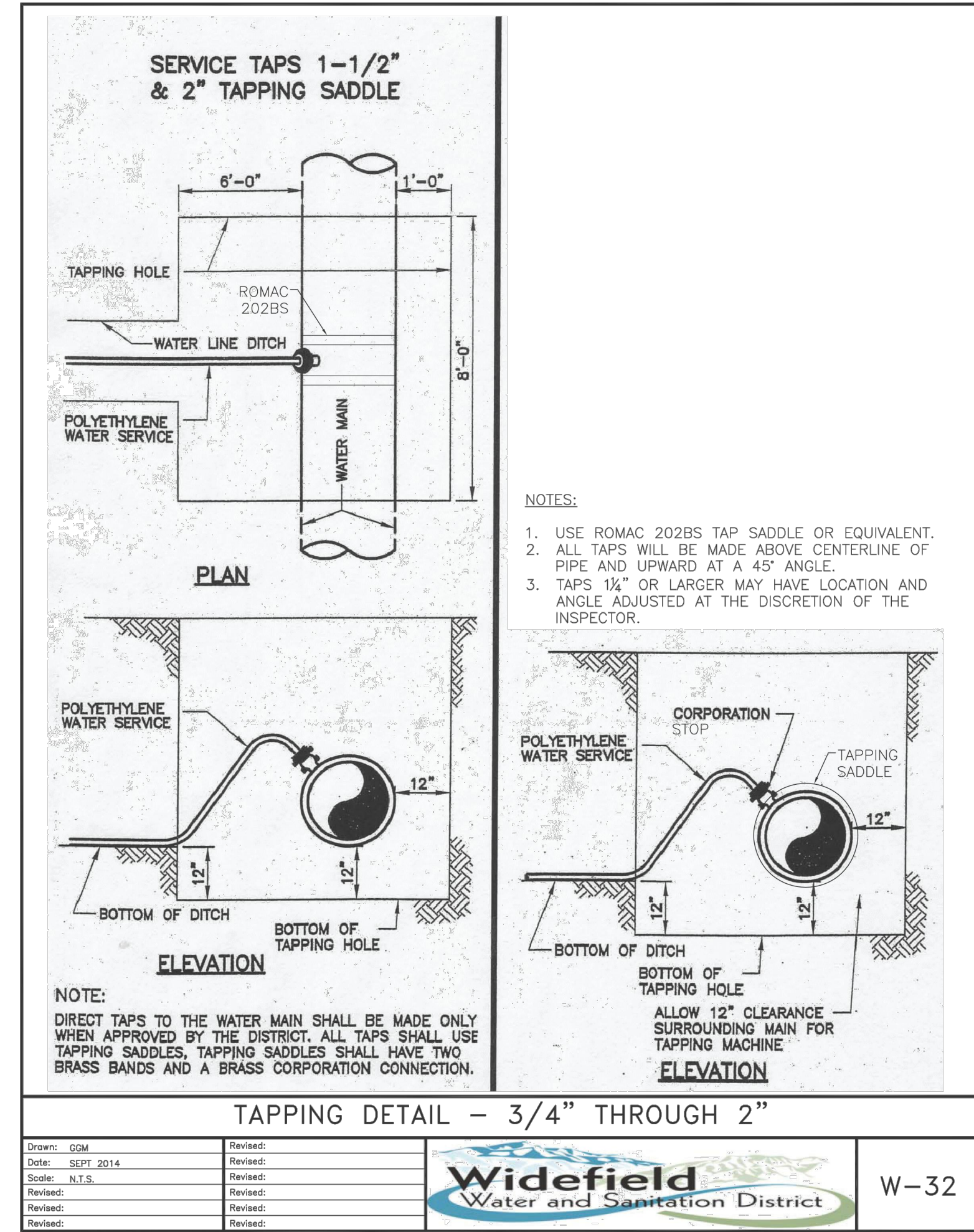
Know what's below.  
Call before you dig.

CONSTRUCTION DOCUMENTS  
SMITH PLUMBING & HEATING  
FOR  
HAMMERS CONSTRUCTION, LLC  
1875 MAIN STREET  
COLORADO SPRINGS, CO 80911 - EL PASO COUNTY

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Checked By: \_\_\_\_\_  
Date: 05/20/2024  
UTILITY SERVICE PLAN

PCD FILING NO. PPR2143  
**C4.1**  
Sheet 17 of 18



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