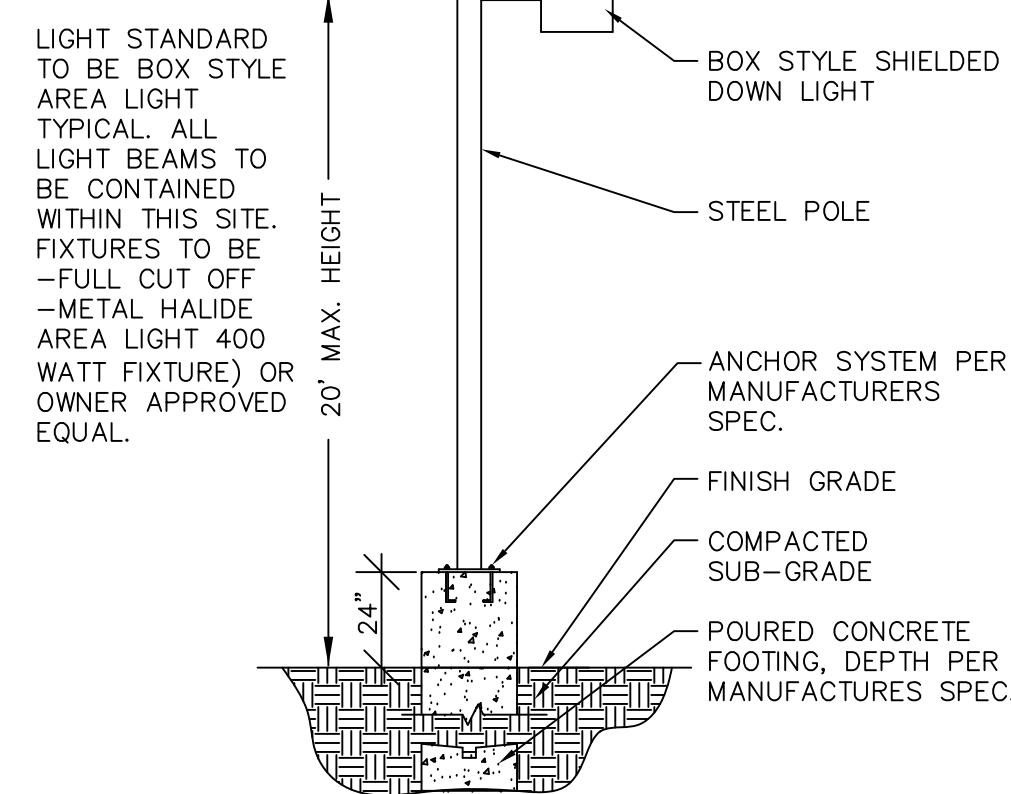
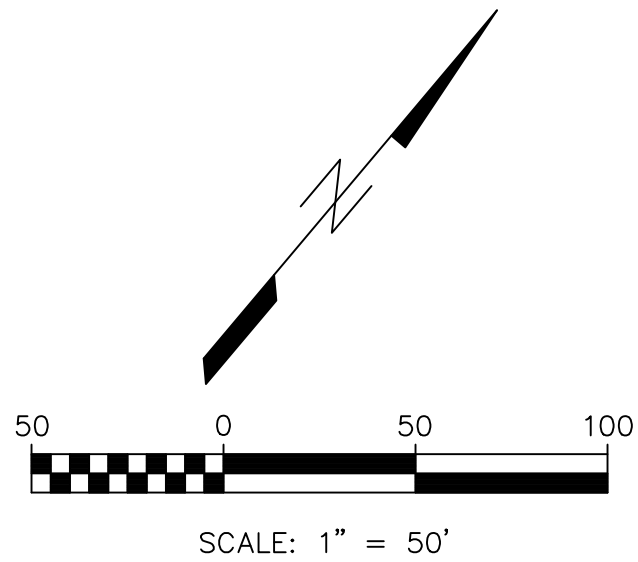


SITE DATA

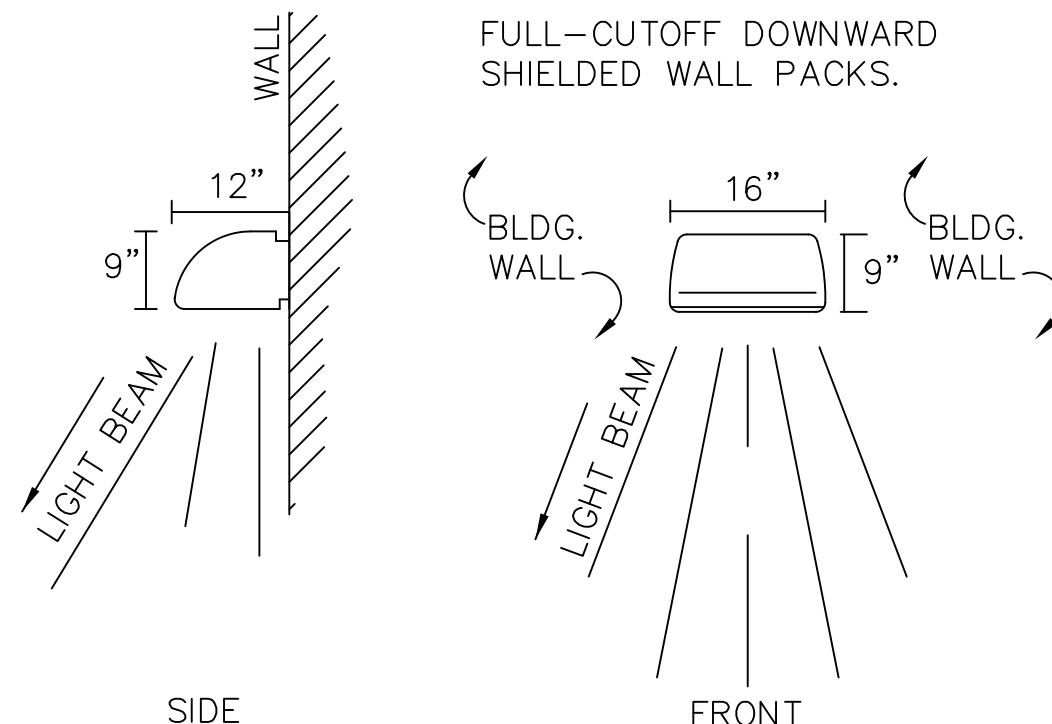
AREA: 5.424 ACRES
EXISTING ZONING: PUD
EXISTING USE: FIRE STATION
PROPOSED USE: FIRE STATION AND ADMIN BLDG
DISTURBED AREA: 3.56 ACRES
TAX SCHEDULE NO.: 53124-00-014 & 015
DEVELOPMENT SCHEDULE: 2020-2021

LOT DATA

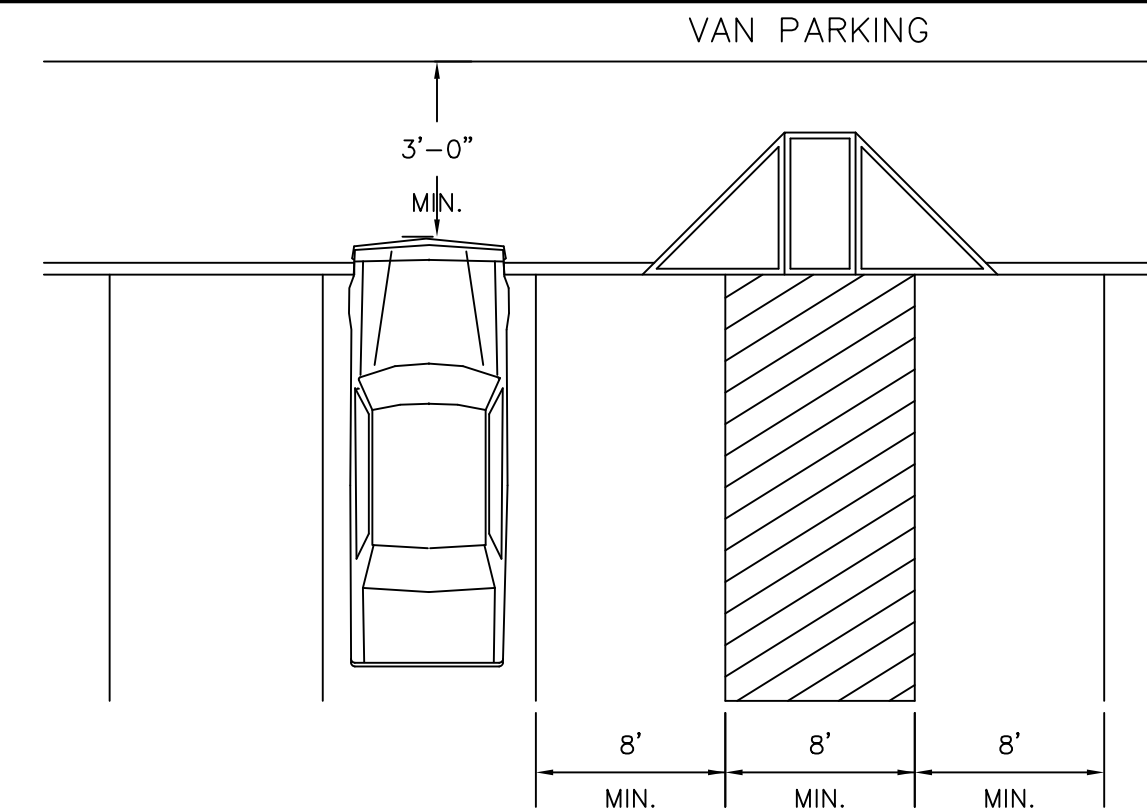
AREA: 5.424 ACRES
PROPOSED USE: FIRE STATION and ADMINISTRATION BUILDING
TOTAL BLDG. AREA: 8,382 SF NEW FIRE STATION
MAX. BLDG. HEIGHT: BLDG. HEIGHT @ SETBACK IS 25' PLUS 1' VERT PER 2' HORIZ FROM PROPERTY LINE = 47' 35'
PROP. BLDG. HEIGHT: 35'
BLDG. SETBACKS: FRONT 25', SIDE 10', REAR 25'
LANDSCAPE AREAS AS SHOWN
PARKING: 4 SPACES/SHIFT WITH ONE SHIFT OVERLAP = 8 SPACES
REQUIRED FIRE STATION: 5,000 SF WITH 1 SPACE/400 SF OFFICE AND 1 SPACE/8 SEATS FOR THE CONFERENCE ROOM = 19 SPACES
REQUIRED ADMIN BLDG: 27 SPACES
TOTAL REQUIRED: 27 SPACES
TOTAL PROPOSED: 39 SPACES PLUS 3 HANDICAPPED SPACES



1 PARKING AREA LIGHT
1.0 LDC/LD-7 N.T.S.

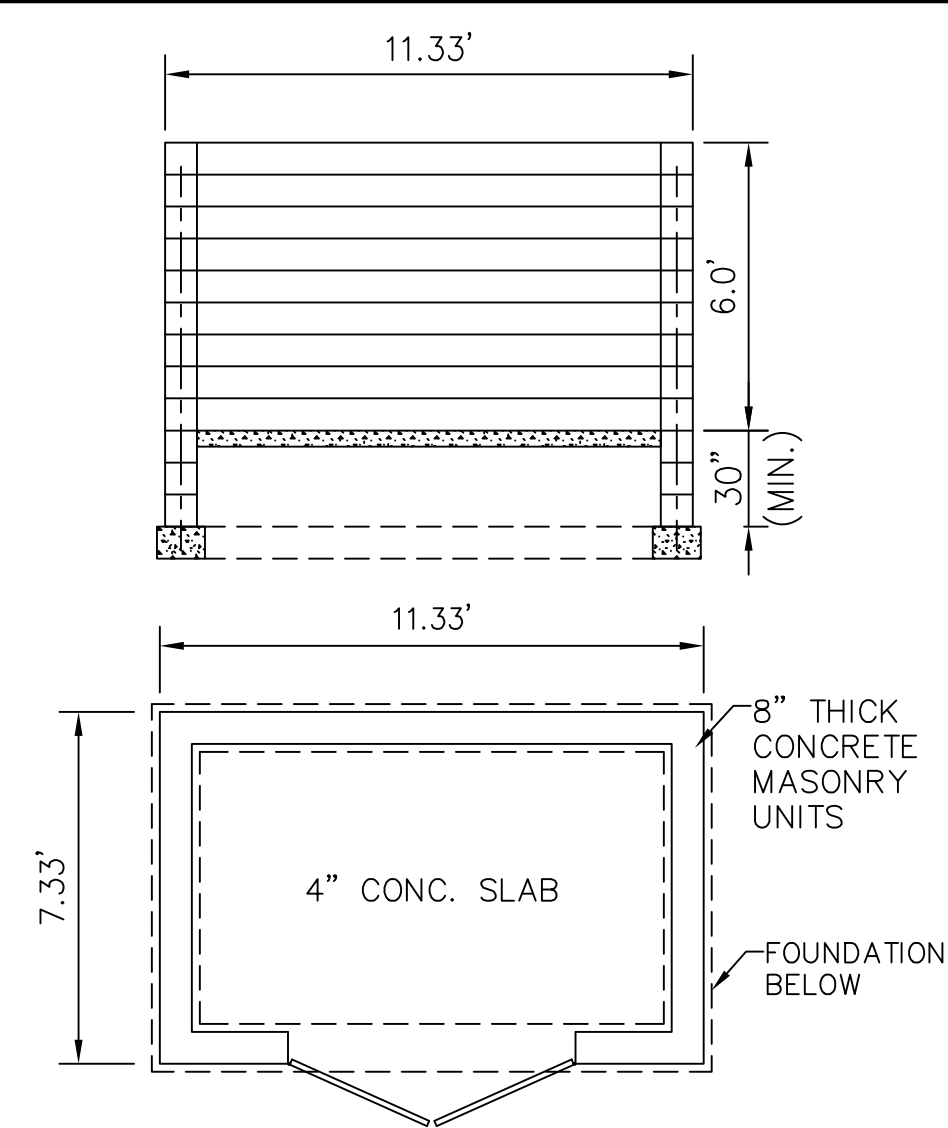


2 WALL MOUNTED LIGHTING
1.1 LDC/LD-10 N.T.S.

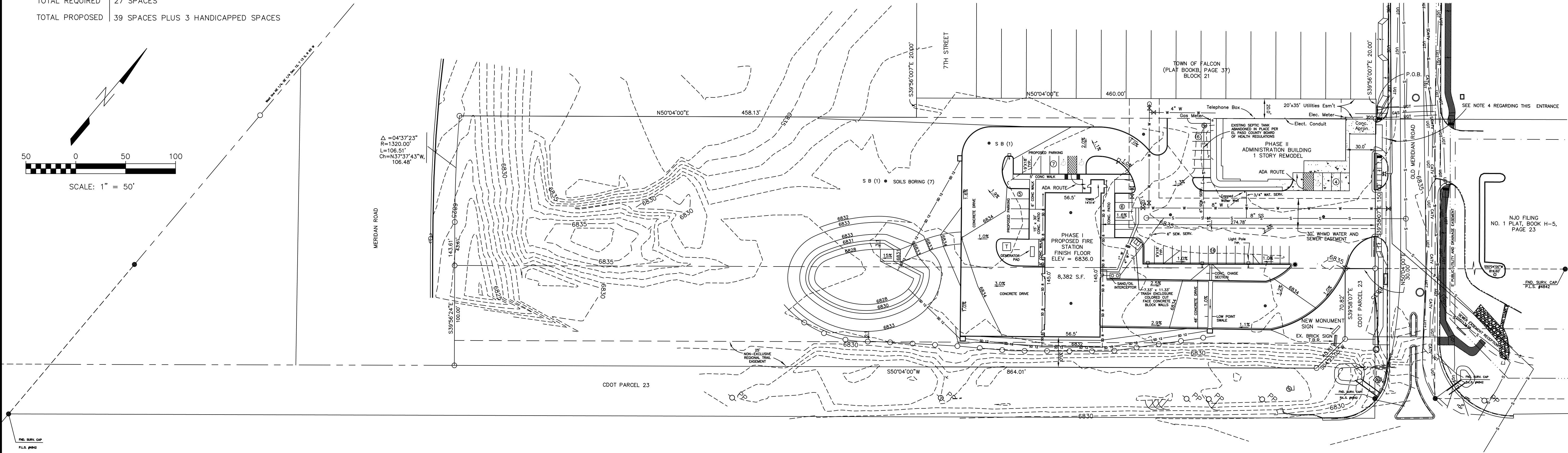


PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 1:50 SLOPE IN ANY DIRECTION

3 TYP. HANDICAP PARKING LAYOUT
1.3 LDC/LD-10 N.T.S.



4 TRASH ENCLOSURE DETAIL
1.4 LDC/FD-17 N.T.S.



LEGEND:

- — — — — PROPOSED LOCATION OF STORM DRAIN
- G — — — PROPOSED LOCATION OF GAS SERVICE LINE
- — — — — PROPOSED LOCATION OF SANITARY SEWER SERVICE LINE
- — — — — PROPOSED LOCATION OF WATER SERVICE LINE
- DT0.2-5 — DECIDUOUS TREE
- ★ CT6-9 — CONIFEROUS TREE
- DT0.2-5 — TRUNK RADIUS-DRIPLINE RADIUS (INCHES) (FEET)

The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

LEGAL DESCRIPTION:

A tract of land in the East Half of Section 12, Township 13 South, Range 65 West of the 6th PM, County of El Paso, State of Colorado, said tract being a portion of the former Chicago, Rock Island and Pacific Railroad Right-of-Way (CRI&P) more particularly described as follows:

LOT 1, FALCON FIRE PROTECTION DISTRICT STATION NO. 3 EXEMPTION PLAT, as recorded at Reception No. 220714578 of the records of the Clerk and Recorder's Office of said El Paso County.

The above tract of land contains 5.424 Acres, more or less.

NOTES:

1. WATER AND SEWER PROVIDED BY WOODMEN HILLS METRO DISTRICT. GAS SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES. ELECTRIC PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION.
2. ALL CURB ALONG DRIVES AND PARKING AREAS TO BE COLORADO SPRINGS STANDARD MEDIAN CURB- 6" CURB AND 1' GUTTER.
3. ALL WORK IN OLD MERIDIAN ROAD IS CURRENTLY UNDER CONSTRUCTION BY EL PASO COUNTY CONTRACTOR.
4. THIS ENTRANCE TO BE CLOSED WITH PHASE II COMPLETION AND TERMINATION OF FIRE STATION ACTIVITIES.

NOTE:

FEDERAL EMERGENCY MANAGEMENT AGENCY, Flood Insurance Rate Map Number 08041C0575 G, effective date December 7, 2018, indicates the area in the vicinity of this parcel of land to be a Zone X (area determined to be out of the 500 year flood plain).

Approved

By: Craig Dossey, Executive Director

Date: 11/09/2020

El Paso County Planning & Community Development



The site development plan approval includes the approval of an alternative landscape plan per Section 6.2.2.A.4 of the Land Development Code.

OWNER:
FALCON FIRE PROTECTION DISTRICT
ATTN: CHIEF TRENT HARWIG
7030 OLD MERIDIAN ROAD
FALCON, CO 80831
(719) 495-4050
COUNTY FILE NO: PPR-20-024

NEW FALCON FIRE STATION NO. 3

NEW STATION SITE PLAN
FALCON, COLORADO

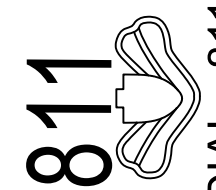
Project No.:

20005

Sheet:

1 of 1

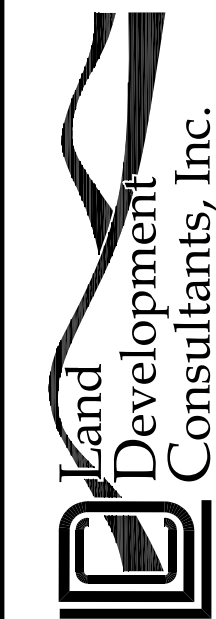
CALL BEFORE YOU DIG ...



DIAL 811
48 HOURS BEFORE YOU DIG. CALL UTILITY LOCATORS FOR LOCATING GAS, WATER, ELECTRIC, AND WASTEWATER.

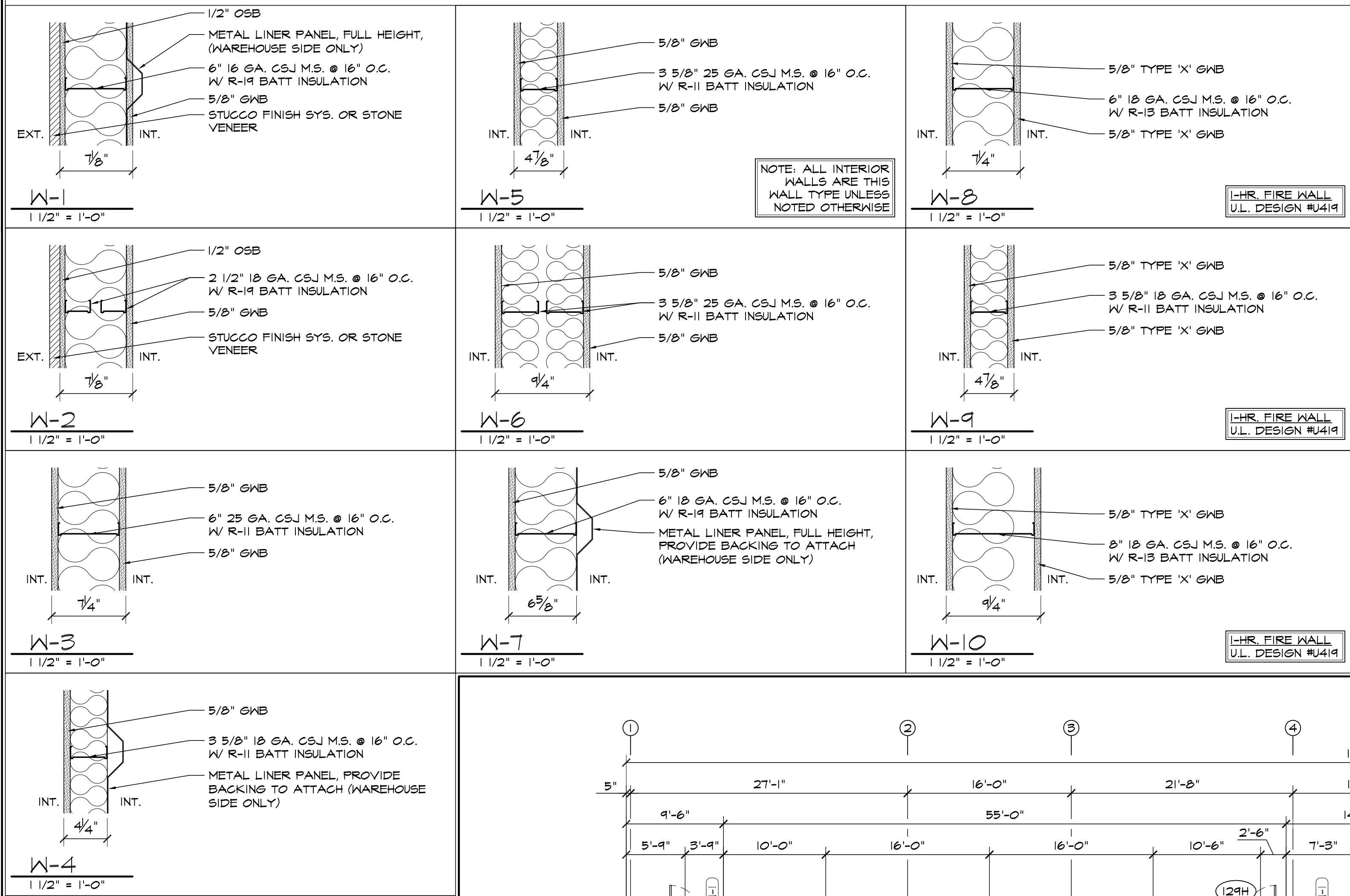
No.	Description	By	Date
1	REVISED PER COUNTY COMMENTS	DLK	8/19/2020
2	ADDED ADARTE AND EXT. NOTE	DLK	10/12/2020

H Scale:	1" = 30'
V Scale:	N/A
Designed By:	BRH
Drawn By:	DLK
Checked By:	
Date:	12/24/19



PLANNING - SURVEYING
www.ldc-inc.com • TEL (719) 528-6133 • FAX (719) 528-6646
3888 MAZELAND ROAD • COLORADO SPRINGS, CO 80909

WALL TYPE DETAILS



NOTE: ALL INTERIOR WALLS ARE THIS WALL TYPE UNLESS NOTED OTHERWISE

I-HR. FIRE WALL
U.L. DESIGN #U419

I-HR. FIRE WALL
U.L. DESIGN #U419

I-HR. FIRE WALL
U.L. DESIGN #U419

I-HR. FIRE WALL
U.L. DESIGN #U419

ENLARGED FLOOR PLAN

SCALE: 1/4"=1'-0"

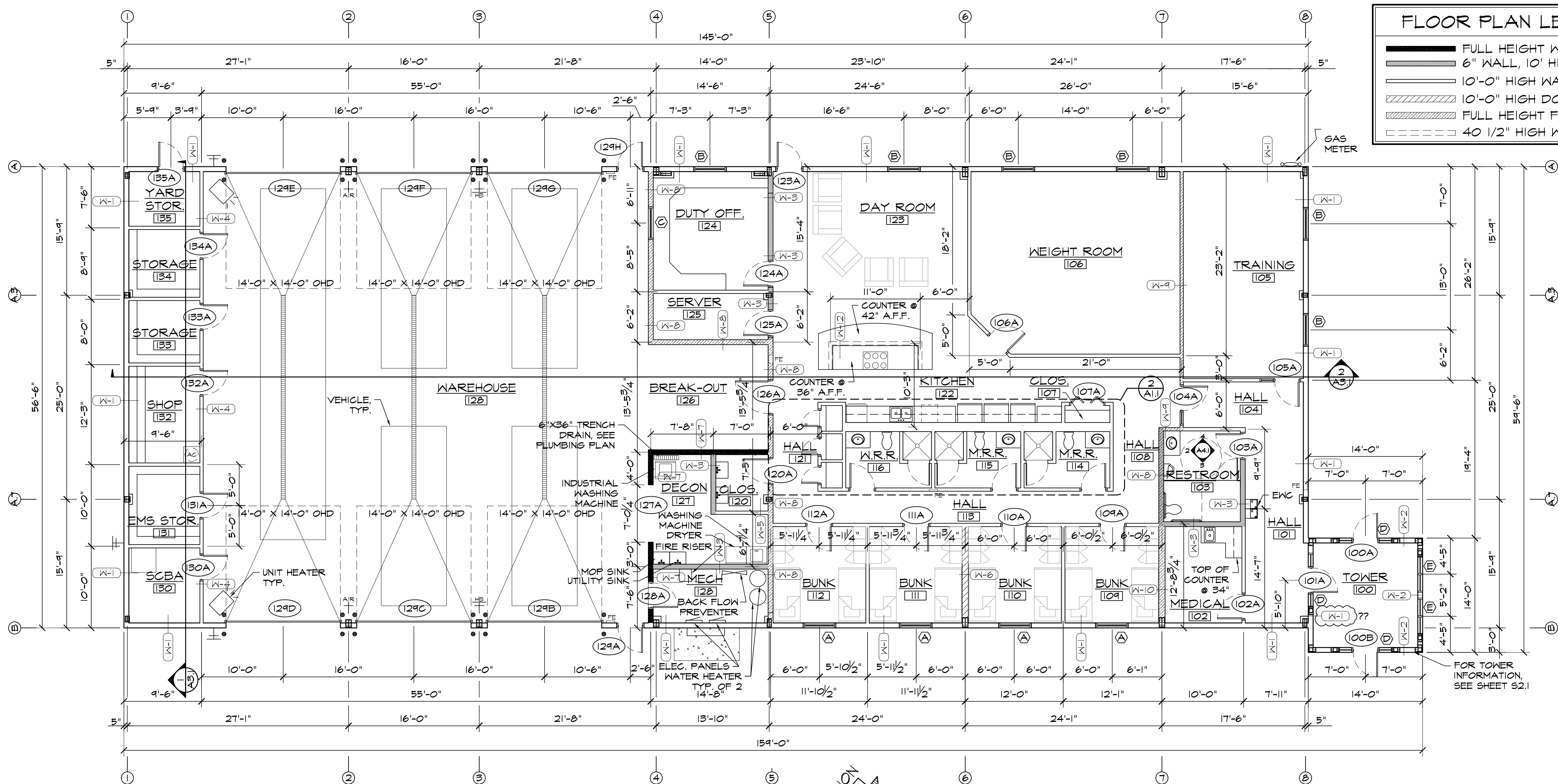
FLOOR PLAN LEGEND	
	FULL HEIGHT WALL
	6" WALL, 10' HIGH
	10'-0" HIGH WALL
	10'-0" HIGH DOUBLE WALL
	FULL HEIGHT FIRE WALL
	40 1/2" HIGH WALL

GENERAL FLOOR PLAN NOTES

- REFERENCE DOOR SCHEDULE FOR ALL DOOR TYPES, HARDWARE AND ETC.
- EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING ANY HAZARDOUS AREA OR WHEN SERVING AN OCCUPANT LOAD OF 50 OR MORE.
- ALL GLAZING IN DOORS OR WITHIN TWENTY FOUR INCHES (24") OF DOORS AND WITHIN EIGHTEEN INCHES (18") OF WALKING SURFACE SHALL BE TEMPERED.
- PROVIDE CONTROL JOINTS AT A MIN. OF 30'-0" AT ALL GYP. BD. WALLS.
- PROVIDE TRANSITION STRIPS AT ALL FLOOR MATERIAL CHANGES.
- FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE, UNLESS NOTED OTHERWISE. FLOOR SLABS ARE TO BE LEVEL WITHIN CLASS B TOLERANCES. REFER TO CIVIL & STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
- REFER TO PLUMBING PLANS FOR HOSE BIB LOCATIONS AND LANDSCAPE METER/STUB LOCATIONS.
- DOOR OPENINGS IN PARTITIONS NOT DIMENSIONED ARE TO BE LOCATED WITHIN 4" OF ADJACENT PERPENDICULAR PARTITION. PROVIDE 18" CLEAR AT STRIKE SIDE AND 12" ON PUSH SIDE OF DOOR OPENING.
- ALL INTERIOR WALLS AND PARTITIONS SHALL BE TAPED AND SANDED SMOOTH TO RECEIVE PAINT OR WALL FINISH MATERIAL.
- FURNISH AND INSTALL 16 GAUGE METAL STRAP FOR WALL BACKING AT DOOR STOPS, HANGING WALL, EQUIPMENT, ETC. VERIFY EXACT BACKING LOCATIONS PRIOR TO INSTALLATION.
- PROVIDE AND LOCATE ACCESS DOORS AND PANELS IN THE WALL AS REQUIRED TO PROVIDE ACCESS TO FIRE SPRINKLER, PLUMBING AND ELECTRICAL WORK.
- ALL PLUMBING CLEANOUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE. THE CONTRACTOR SHALL COORDINATE ALL CLEAN-OUT LOCATIONS WITH EQUIPMENT. PROPER CAPS MUST BE INSTALLED PRIOR TO COMPLETION OF INTERIOR AND EXTERIOR.
- PROVIDE AND INSTALL STIFFENERS, BRACING, BACK-UP PLATES AND/OR SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF WALL MOUNTED OR SUSPENDED, ELECTRICAL AND MISC. EQUIPMENT.
- ALL EXTERIOR DOORS MUST OPEN OVER A LANDING NOT MORE THAN 1/2" BELOW THRESHOLD.
- PROVIDE A SLIP-TRACK ASSEMBLY AT ALL PARTITION WALLS THAT GO TO BOTTOM OF DECK OR STRUCTURE.
- PREPARE ALL FLOOR SURFACES AND WALLS AS REQUIRED TO RECEIVE FINISHES.
- REFER TO CIVIL AND SITE PLAN FOR ALL EXTERIOR SIDEWALK LOCATIONS.
- ALL MECH., ELEC. & PLUMB. REQUIREMENTS FOR EQUIPMENT SHOWN TO BE VERIFIED & COORD. W/ G.C. PRIOR TO INSTALLATION.
- REFER TO MECH., ELEC. & PLUMB. FOR BUILDING SYSTEMS EQUIPMENT.
- PROVIDE SAW CUT IN CONCRETE SLAB AT A MIN. OF 10'-0" O.C.
- VERIFY DOOR & WINDOW ROUGH OPENINGS WITH MANUFACTURER PRIOR TO FRAMING.

FLOOR PLAN

SCALE: 1/8"=1'-0"



HAMMERS CONSTRUCTION INC.
COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN-BUILD
PRESIDENT: STEVE R. HAMMERS
VICE PRES: DAVID J. HAMMERS
1411 WOOLSEY HEIGHTS
COLORADO SPRINGS, CO 80915
(719) 570-1569 FAX (719) 570-7008
www.hammersconstruction.com

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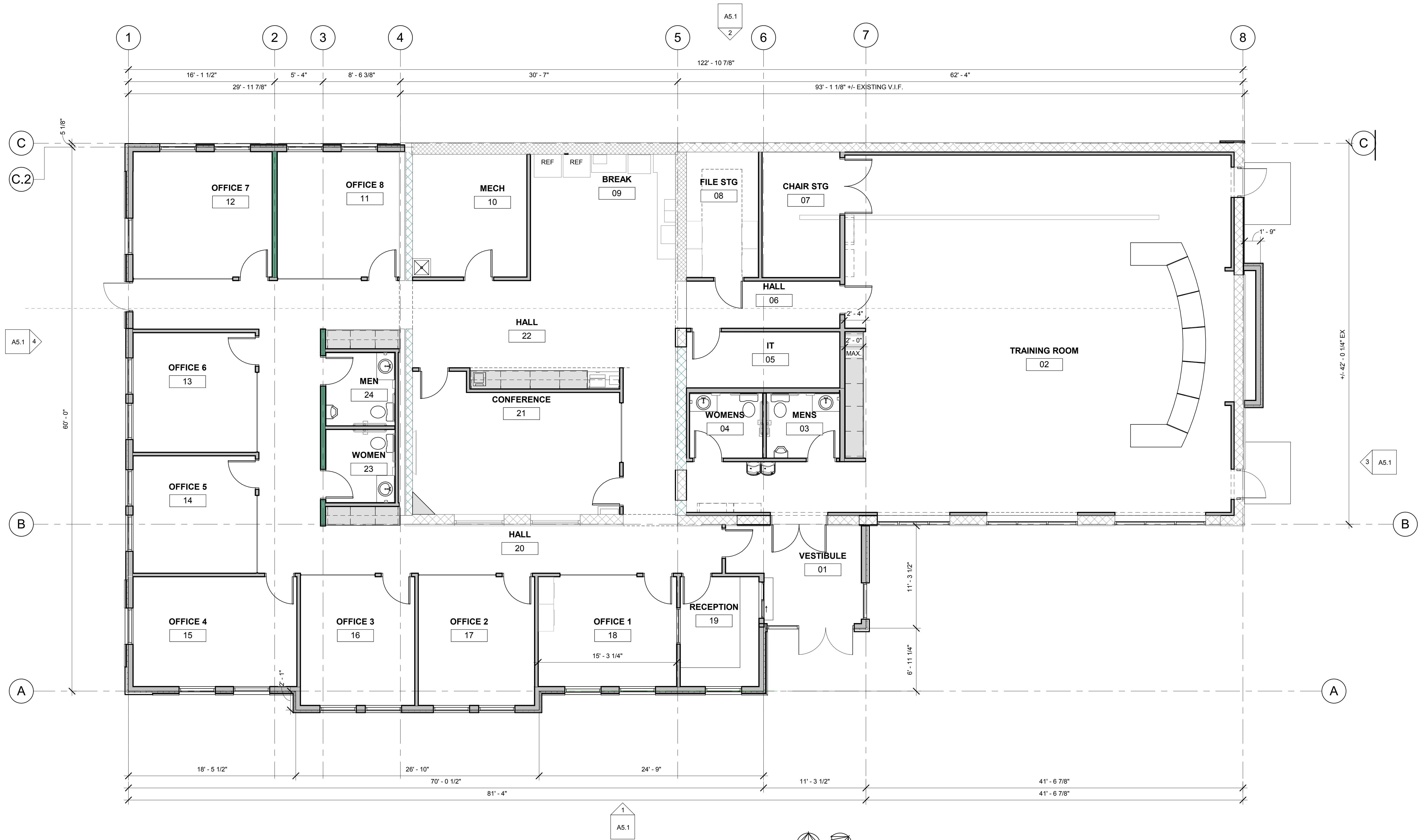
FALCON FIRE PROTECTION DISTRICT
7030 OLD MERIDIAN RD
PEYTON, CO
EL PASO COUNTY, COLORADO

DATE: JUNE 25, 2020
DRAWN BY: A. BURTON
PROJ. MGR: J. BUTLER
SCALE: SEE PLAN
APPROVED BY:
JOB NO: 1198

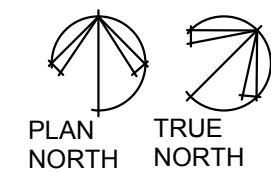
REVISIONS:	
1	7/28/20 For DP Review Only
2	
3	
4	
5	

A1.1
FLOOR PLANS

7/10/2020 2:58:38 PM



1 FLOOR PLAN
3/16" = 1'-0"



YOW Architects PC
Architecture & Planning
115 S. Weber Colorado Springs, Colorado 719-475-8133

Revision Schedule

SCHEMATIC DESIGN
NOT FOR
CONSTRUCTION

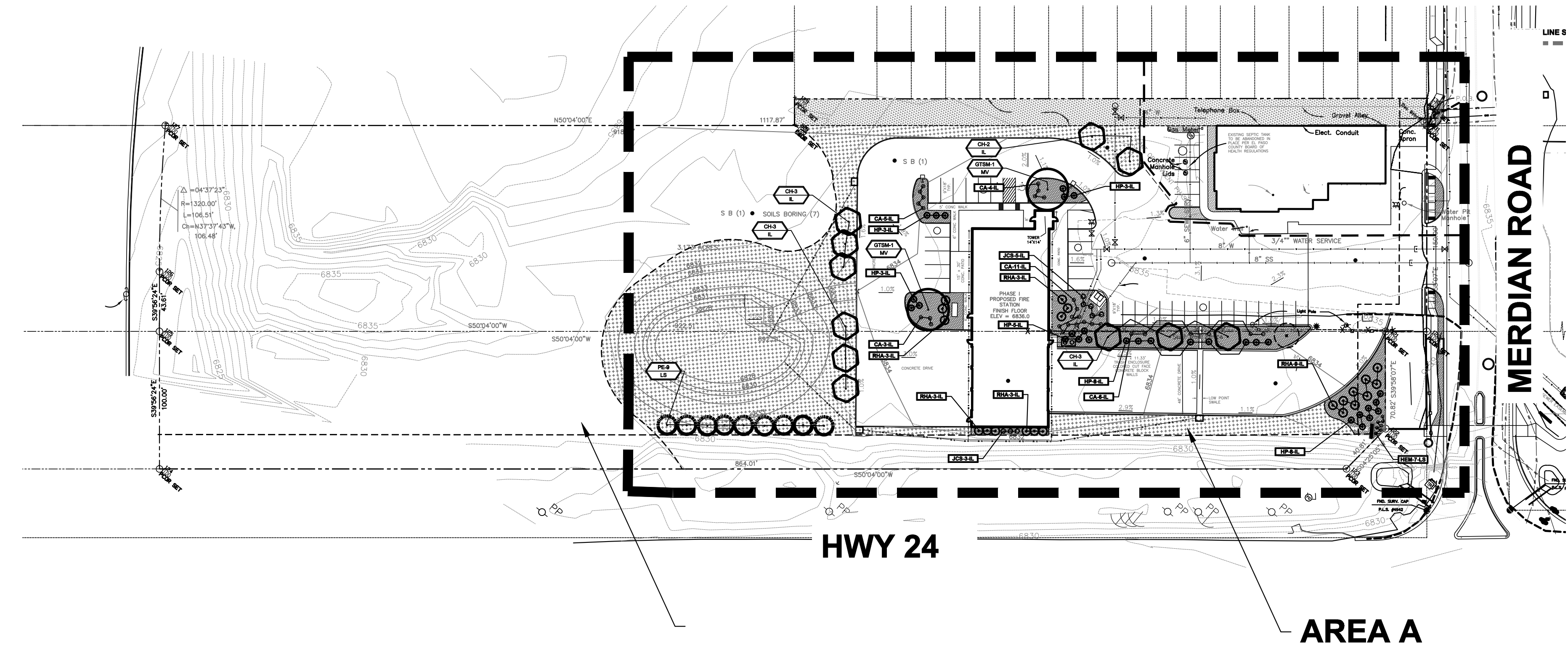
Falcon Fire Dept Admin Bldg
7030 OLD MERIDIAN RD
PEYTON, CO 80831

Project Number
20.147

Date
06/10/2020

Drawn By
KRM
Checked By
YOW

A2.1
FLOOR PLAN
Scale
As indicated



OVERALL LANDSCAPE PLAN

UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER LOCAL CODE AND ALL SHRUBS TO BE LOCATED MINIMUM 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE. REFER TO LOCAL CODES.

DOCUMENT NOTE

IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAMS, OR FOR ANOTHER PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DOCUMENTS.

CODE REQUIREMENTS

LANDSCAPE SETBACKS (LS) (L.F IS BASED ON DEVELOPED AREA)					
STREET NAME OR ZONE BOUNDARY (ELEV.)	STREET CLASSIFICATION	WIDTH (FT.) REQ./PROV.	LINEAR FOOTAGE	TREE/FEET REQUIRED	NO. OF TREES REQ./PROVIDED
HWY 24	MAJOR ARTERIAL	25/25	612	1/20 FT	31/15 (RELIEF REQUEST DUE TRAIL EASEMENT)
MERIDIAN ROAD	MINOR ARTERIAL	20/20	150	1/30 FT	5/0 (RELIEF REQUEST DUE SIGHTLINES)

MOTOR VEHICLE LOTS (MV)			
NO. OF VEHICLE SPACES PROVIDED	SHADE TREES (1/15 SPACES) REQ./PROV.	VEHICLE LOT FRONTAGE(S)	2/3 LENGTH OF FRONTAGE (FT)
32	2/2	NOT REQUIRED	NOT REQUIRED
MIN. 3' SCREENING PLANTS REQ./PROV.	EVERGREEN PLANTS REQ. 50%/PROV.		
NOT REQUIRED	NOT REQUIRED		

INTERNAL LANDSCAPING (IL)			
INTERNAL LANDSCAPE AREA INCLUDES ALL LANDSCAPE AREAS NOT INCLUDING SETBACKS, BUFFERS OR MOTOR VEHICLE ISLANDS.			
NET SITE AREA (SF) (LESS PUBLIC R.O.W.)	PERCENT MINIMUM INTERNAL AREA (%)	INTERNAL AREA (SF) REQ./PROV.	INTERNAL TREES (1/50 SF) (EXCLUDING DRIVEWAYS)
136,684 (DEV. AREA)	NON-RESIDENTIAL	6,830 SF/ 6,900 SF	14/11
SHRUB SUBSTITUTES REQ./PROV.	INTERNAL PLANT ABBR. DENOTED ON PLAN	PERCENT GROUND PLANE VEG. REQ./PROV.	
30/30	IL	50%/50%	

LANDSCAPE BUFFERS AND SCREENS (LB)				
STREET NAME OR PROPERTY LINE (ELEV.)	LINEAR FOOTAGE	SETBACK BUFFER REQ. / PROV.	BUFFER TREES (1/25') REQ./PROV.	EVERGREEN TREES (1/3) REQ./PROV.
NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED

IRRIGATION SYSTEM DESCRIPTION NOTE

AN UNDERGROUND IRRIGATION SYSTEM WITH SURFACE DRIP COMPONENTS WILL BE USED TO IRRIGATE ALL PLANT MATERIAL AS REQUIRED PER PLAN. IRRIGATION SYSTEM TO BE DESIGN/BUILD. AS-BUILT PLAN SHALL BE PROVIDED TO OWNER ONCE INSTALLATION IS COMPLETE AND APPROVED.

HIGHER GROUND DESIGNS, INC.

LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5350 NORTH ACADEMY BLVD. STE. 207
COLORADO SPRINGS, CO 80918
Phone 719-477-1646
Fax 719-488-1122



FALCON FIRE STATION NO. 3

FALCON, COLORADO
EL PASO COUNTY, COLORADO

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PREPARED FOR:

NOT FOR CONSTRUCTION

JOB NUMBER 928-20

REVISIONS

7-8-20 PER COMMENTS
8-24-20 PER COMMENTS

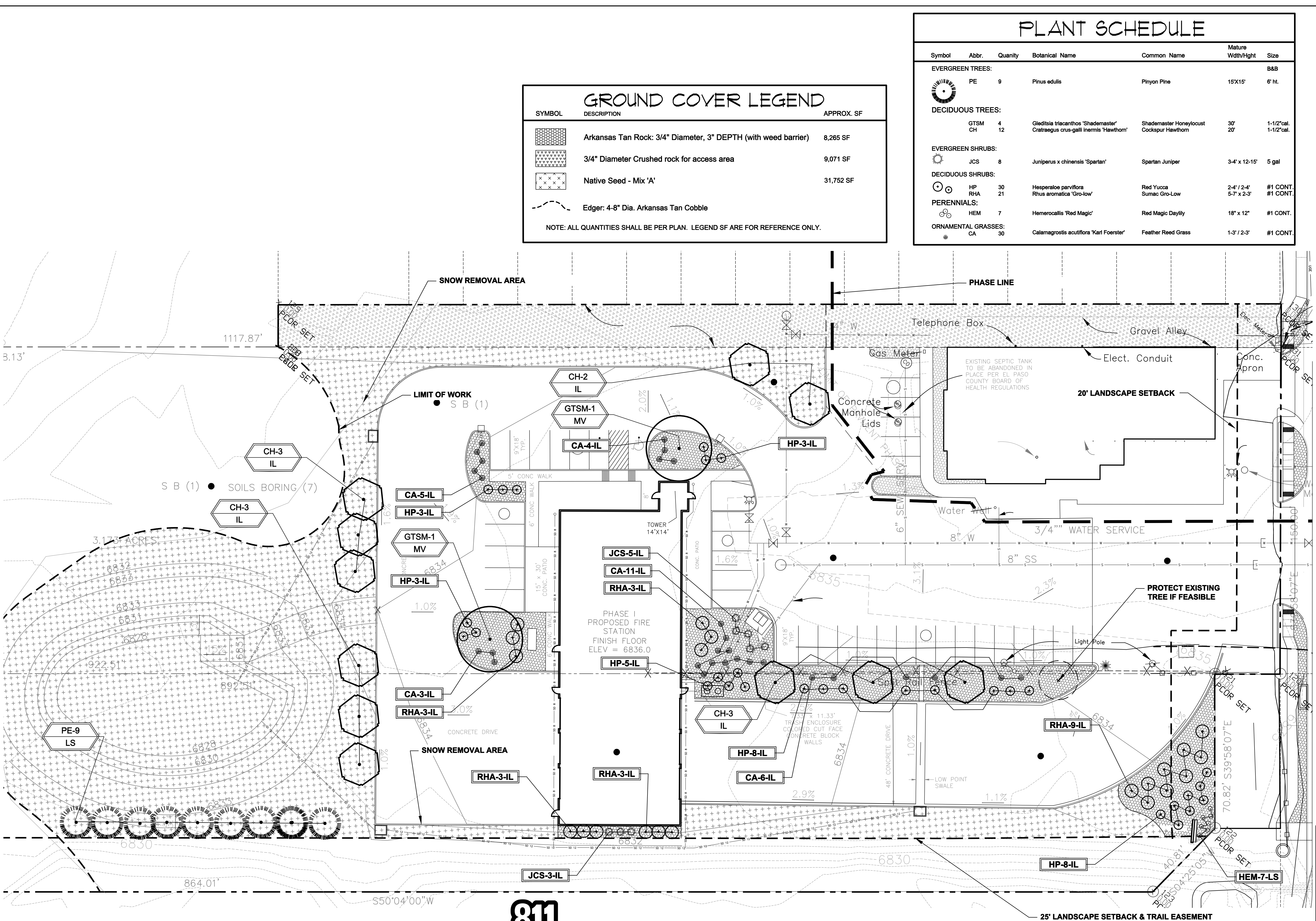
ORIGINAL DATE 6-23-20

DRAWN BY JIM

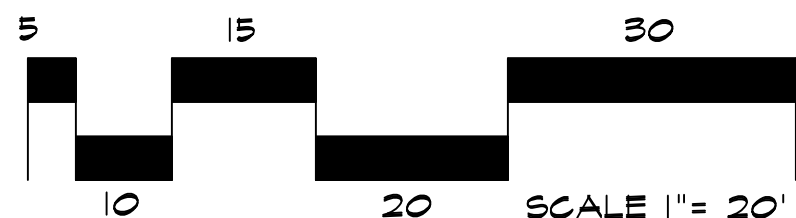
DESCRIPTION
LANDSCAPE
PLAN

SHEET NO. L1.1

PCD FILE NO. PPR-20-024



LANDSCAPE PLAN AREA A



Know what's below.
Call before you dig.

UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER LOCAL CODE AND ALL SHRUBS TO BE LOCATED MINIMUM 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE. REFER TO LOCAL CODES.

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NOT FOR CONSTRUCTION	JOB NUMBER	928-20
	REVISIONS	
	7-8-20	PER COMMENTS
	8-24-20	PER COMMENTS
NOT FOR CONSTRUCTION	ORIGINAL DATE	6-23-20
	DRAWN BY	JM
	DESCRIPTION	LANDSCAPE PLAN
	SHEET NO.	L1.2
PCD FILE NO. PPR-20-024		

FALCON FIRE STATION NO. 3

FALCON, COLORADO
EL PASO COUNTY, COLORADO

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PREPARED FOR:

HIGHER GROUND DESIGNS, INC.
LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5350 NORTH ACADEMY BLVD., STE. 207
COLORADO SPRINGS, CO 80918
Phone 719-477-1646
Fax 719-568-1122



LAYOUT NOTE

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. DEVIATIONS FROM THE APPROVED PLAN MAY REQUIRE APPROVAL BY EL PASO COUNTY AND OWNER REPRESENTATIVE.

INSTALLATION NOTES

REMOVE EXISTING TREES, DEBRIS AND WEEDS FROM SITE PRIOR TO CONSTRUCTION (AS SHOWN PER PLAN).

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE DURING CONSTRUCTION. WEEDS AND TRASH SHALL BE REMOVED DAILY AS REQUIRED.

EXISTING TOPSOIL TO BE STOCKPILED ON-SITE AND USED DURING CONSTRUCTION TO ESTABLISH GRADES WITHIN LANDSCAPE AREAS AS SHOWN PER PLAN.

CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCC) , 2007 REVISED EDITION FOR ALL CONSTRUCTION FOR THIS SITE.

QUANTITIES SHOWN IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER PLAN.

ALL EDGING SEPARATING TURF, PLANTER, DECORATIVE ROCK, OR MULCH AREAS TO BE ROLL-TOP STEEL (1/8" x 4" x 10') WITH STAKES. EDGING TO BE EXPOSED 1/2" MAXIMUM ABOVE FINISHED GRADES. INSTALL PER MANUFACTURE RECOMMENDATIONS. SEE PLAN FOR EDGING LOCATIONS.

ALL ROCK COVER AREAS ONLY TO BE PREPARED WITH 3 OZ POLYSPUN WEED BARRIER WITH STAPLES AT 5' O.C. FABRIC SEAMS TO BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES.

GROUND COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT PROJECT SITE. REFER TO PLANTING DETAILS.

TREES AND SHRUBS TO RECEIVE ORGANIC MULCH PER DETAILS, INCLUDING ROCK AREAS-SEE DETAILS, UNLESS OTHERWISE SPECIFIED. ORGANIC MULCH TO BE 'CASCADE CEDAR' PER NO LANDSCAPE FABRIC 4" DEPTH.

DO NOT PLANT SHRUBS OR TREES OF INCOMPATIBLE WATER REQUIREMENTS IMMEDIATELY ADJACENT (MINIMUM 5') TO ONE ANOTHER.

PLANT BACKFILL SHALL BE 70% NATIVE ON-SITE SOIL, AND 30% BREW-GRO BIOCOMP CLASS 1 (OR CITY APPROVED EQUAL).

LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF STORM DRAINAGE FROM ADJACENT LANDSCAPE AREAS OR BUILDING DOWNSPOUTS WILL ADVERSELY AFFECT LANDSCAPED AREAS PER THE PLAN.

DECORATIVE BOULDERS SHALL BE BURIED 1/3 BELOW GRADE AND SHALL NOT OBSTRUCT VEHICULAR SIGHTLINES IF APPLICABLE.

PRIOR TO INSTALLING PLANTS OR GROUND COVER BROADCAST PLANT SAFE PREEN WEED PRE-EMERGENT IN ALL PLANTING AREAS PER MANUFACTURE RECOMMENDATIONS. WWW.PREEN.COM

MAINTENANCE NOTE

ON-GOING MAINTENANCE DURING CONSTRUCTION:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ON-GOING MAINTENANCE OF ALL COMPLETED LANDSCAPE AND IRRIGATION WORK AS DEFINED UNDER CONTRACT WITH OWNER.

BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL LANDSCAPE WORK IS COMPLETED, ACCEPTED BY OWNER, AND IF REQUESTED A FORMAL MAINTENANCE PERIOD IS INITIATED. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING REPLANTING AS REQUIRED THROUGH CONSTRUCTION PERIOD. REMULCH WITH NEW MULCH IN AREAS WHERE MULCH HAS BEEN DISTURBED BY CONSTRUCTION OPERATIONS SUFFICIENTLY TO NULLIFY ITS PURPOSE. CONTRACTOR SHALL REPAIR SEEDED AREAS DAMAGED BY TRAFFIC AND/OR VANDALISM DURING THE CONSTRUCTION PERIOD.

IF THE IRRIGATION SYSTEM IS NOT AVAILABLE FOR PROPER WATERING AT THE TIME OF INSTALLATION, PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN WATERING EQUIPMENT AS REQUIRED TO CONVEY WATER FROM SOURCES AND TO KEEP THE LAWN AREAS UNIFORMLY MOIST AS REQUIRED FOR PROPER GROWTH. FAILURE OF THE IRRIGATION SYSTEM SHALL NOT RELIEVE THE INSTALLER OF THE RESPONSIBILITY TO PROVIDE THE REQUIRED WATER. COORDINATE WITH OWNER.

ONE-YEAR WARRANTY

AS AGREED WITH OWNER, CONTRACTOR SHALL PROVIDE ONE-YEAR WARRANTY ON ALL PLANT MATERIAL, GRASSES AND IRRIGATION SYSTEM. REPLACEMENT OF DEAD, DISEASED OR SUBSTANTIALLY DAMAGED PLANT MATERIALS SHALL BE OF THE SAME OR SIMILAR TYPE AS SET FORTH IN THE LANDSCAPE PLAN. REPLACEMENT SHALL BE MADE IN A TIME PERIOD NOT EXCEEDING 15 DAYS. PLANT MATERIAL NEEDING REPLACEMENT DURING WINTER MONTHS SHALL BE REPLACED AT THE START OF THE NEXT GROWING SEASON.

THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION SYSTEM MAINTENANCE OF THIS SITE AND ANY RIGHT-OF-WAY AREAS BETWEEN THE CURB AND PROPERTY BOUNDARIES OF THIS SITE. MAINTENANCE OF THIS INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZING, WOOD MULCH AND ROCK ADDITIONS, PRUNING AND PLANT MATERIAL REPLACEMENTS. ALL MAINTENANCE SHALL BE DONE IN ACCORDANCE WITH THE ALCC SPECIFICATIONS HANDBOOK REV EDITION 2007. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION SYSTEM.

SOIL PREP NOTES

SOIL PREPARATION FOR UNDISTURBED OR COMPACTED AREAS:

A. IF UNDISTURBED RIP EXISTING SOIL TO A DEPTH OF NINE (9) INCHES MINIMUM IN ONE DIRECTION USING AN AGRICULTURAL RIPPER WITH TINES SPACED NO FURTHER THAN EIGHTEEN (18) INCHES APART OR TILL TO 6" DEPTH. AREAS ADJACENT TO WALKS, STRUCTURES, CURBS, ETC., WHERE THE USE OF LARGE MECHANICAL EQUIPMENT IS DIFFICULT SHALL BE WORKED WITH SMALLER EQUIPMENT OR BY HAND.

B. REMOVE ALL RUBBLE, STONES AND EXTRANEOUS MATERIAL OVER TWO (2) INCHES IN DIAMETER FROM THE SITE.

SEEDING NOTES

SEED MIX 'A': NATIVE SEED TO BE PAWNEE BUTTES SEED COMPANY (OR APPROVED EQUAL) - "NATIVE PRAIRIE MIX". SEED TO BE APPLIED AT 15 LBS/ACRE USING DRILL SEED PROCESS. SOIL SHALL BE AMENDED BREW-GRO BIOCOMP CLASS 1 (OR APPROVED EQUAL) AT 2 C.Y./1000 SF TILLED INTO TOP 4-6" OF SOIL PRIOR TO SEEDING. CONTACT PAWNEE BUTTES FOR CURRENT SEED MIX.

DEPENDING ON WEATHER, SEED SHALL BE INSTALLED WITHIN THE FOLLOWING TIME FRAMES: SEPTEMBER 1 UNTIL CONSISTENT GROUND FREEZE FOR SPRING ESTABLISHMENT (DORMANT SEEDING); SPRING THAW UNTIL JUNE 1 FOR SPRING AND SUMMER ESTABLISHMENT (ACTIVE SEEDING).

FOR HYDRO-SEEDING ALL SEEDED AREAS SHALL RECEIVE NOT LESS THAN 1 TON PER ACRE (2000 LBS) OF VIRGIN WOOD CELLULOSE HYDRO-MULCH AND 100 LBS PER ACRE OF ORGANIC TACKIFIER.

SEEDED LANDSCAPE AREAS SHALL HAVE NO BARE AREAS LARGER THAN SIX (6) SQUARE INCHES 15 DAYS AFTER GERMINATION.

DRILL SEEDING: SEEDING EQUIPMENT USED FOR APPLYING SEED MIXTURES SHALL BE DESIGNED, MODIFIED OR EQUIPPED TO REGULATE THE APPLICATION RATE AND PLANTING DEPTH OF THE SEED MIXTURE. SEED SHALL BE UNIFORMLY DISTRIBUTED IN THE DRILL HOPPER DURING THE DRILLING OPERATION. A RANGELAND DRILL CAPABLE OF MIXING DIFFERENT SIZES AND WEIGHTS OF SEEDS SHALL BE USED. THE DRILL SHALL BE EQUIPPED WITH DOUBLE DISK FURROW OPENERS, DEPTH BANDS, PRESS WHEELS OR DRAG CHAINS.

THE SEED SHALL BE DRILLED APPROXIMATELY 1/2" INCH BELOW THE SOIL SURFACE. HALF OF THE TOTAL RATE OF SEED APPLICATION SHALL BE DRILLED IN 1 DIRECTION, WITH THE REMAINDER OF THE SEED RATE DRILLED AT 90 DEGREES FROM THE FIRST DIRECTION DO NOT DRILL OR SOW SEED DURING HIGH WINDS OR WHEN THE GROUND IS FROZEN OR OTHERWISE UNABLE TO BE WORKED.

ALL SEEDED AREAS LESS THAN 3:1 SHALL RECEIVE NO LESS THAN 2 TONS PER ACRE (400 LBS) OF CERTIFIED WEED FREE STRAW MULCH. STRAW MULCH SHALL BE APPLIED IN A UNIFORM MANNER BY MULCH SPREADER OR BY HAND. STRAW MULCH SHALL BE CRIMPED OR ANCHORED INTO THE SEEDBED IMMEDIATELY FOLLOWING SPREADING BY USING A MULCH TILLER (CRIMPER). MULCH TILLERS SHALL HAVE ROUND, NOTCHED-BLADES SPACED 8-INCHES APART (MIN.) AND SHALL HAVE SUFFICIENT WEIGHT TO FORCE THE VEGETATIVE MULCH A MINIMUM DEPTH OF 3-INCHES INTO THE SOIL. ALL MULCH TILLING SHALL BE DONE PERPENDICULAR TO THE FLOW-LINE OF THE SLOPE (ALONG CONTOURS). HAND CRIMPING SHALL BE PERFORMED ON AREAS WHERE MECHANICAL METHODS CANNOT BE USED.

MULCH SHALL BE APPLIED TO SEEDED AREAS (INCLUDING DAMP GROUND) WITHIN 24 HOURS FOLLOWING THE COMPLETION OF SEEDING OPERATIONS FOR THE AREA. MULCHING SHALL NOT BE PERFORMED DURING ADVERSE WEATHER CONDITIONS OR WHEN WIND PREVENTS UNIFORM DISTRIBUTION. APPLICATION SHALL BE IN A MANNER TO NOT SERIOUSLY DISTURB THE SEEDBED SURFACE.

NATIVE GRASS MANAGEMENT NOTE

ON-GOING MAINTENANCE RECOMMENDATIONS FOR NATIVE GRASS

WELL ESTABLISHED SEEDED LAWN SHALL BE A HEALTHY, WELL-ROOTED, EVEN-COLORED, AND FREE OF WEEDS, BARE AREAS, AND SURFACE IRREGULARITIES.

THE MATURE HEIGHT OF NATIVE GRASS IS EXPECTED TO BE MAINTAINED AT ABOUT 6" HIGH AND MOWED TO 3" ONCE ANNUALLY IN THE LATE WINTER OR EARLY SPRING, AND IRRIGATED ON REDUCED WATER SCHEDULE.

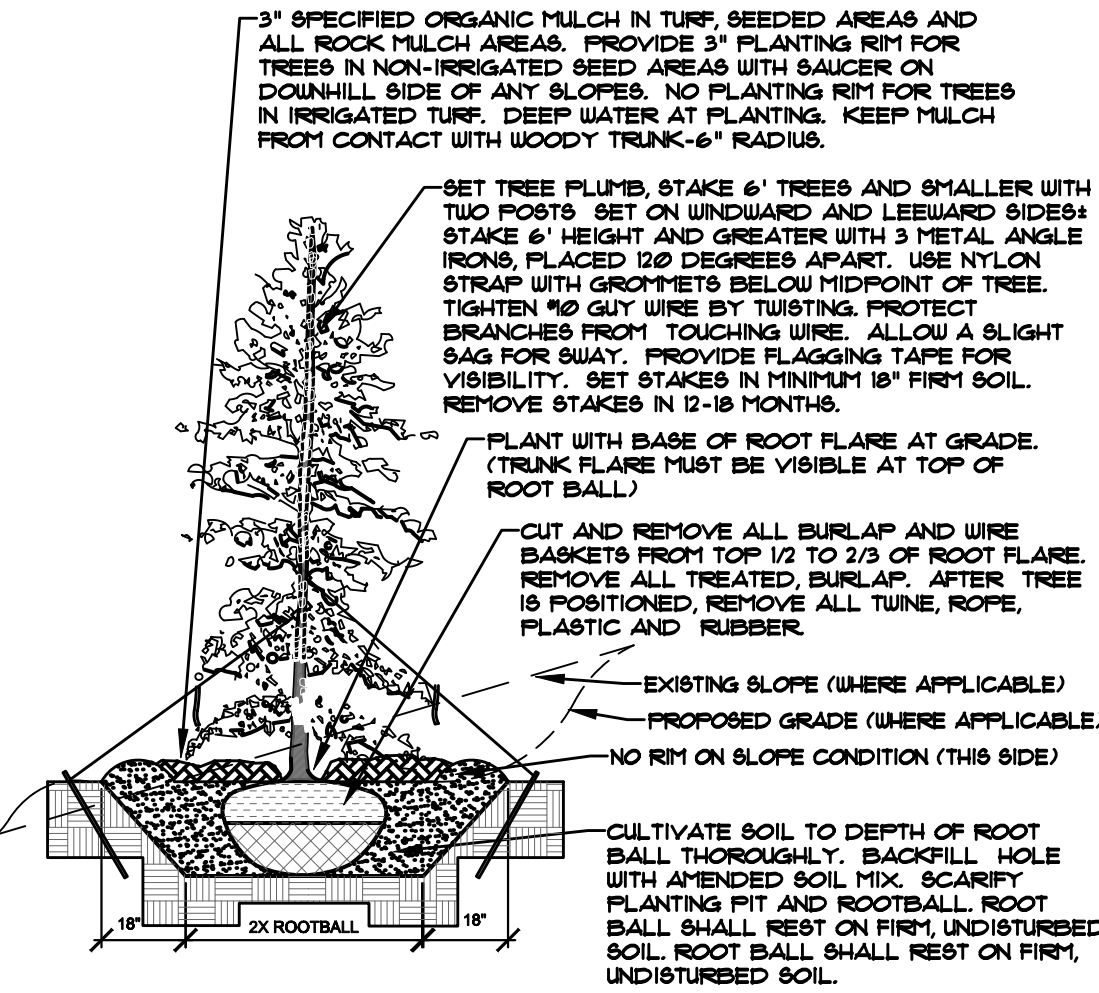
THE SUCCESS OF PERMANENT NATIVE GRASS SEEDING CAN RARELY BE EVALUATED ACCURATELY PRIOR TO THE END OF ITS SECOND FULL GROWING SEASON. SEEDING SUCCESS DEPENDS UPON CONTROL OF WEED COMPETITION DURING THE FIRST TWO GROWING SEASONS. IN ADDITION, THE SITE SHOULD BE MONITORED ANNUALLY FOR UNDESIRABLE PLANT SPECIES.

THE SITE SHOULD BE MONITORED FOR UNDESIRABLE PLANT SPECIES. IF WEED CONTROL NEEDS TO BE PERFORMED DURING THE FIRST YEAR OF PLANT GROWTH, UTILIZE ONE OF TWO METHODS. REGARDLESS OF WHICH METHOD OF WEED CONTROL IS USED, COMPLETE BEFORE FLOWERING OF WEED SEED HEADS. SINCE WEED SPECIES MAY DEVELOP MATURE SEED HEADS AT DIFFERENT TIME OF THE GROWING SEASON, WEED CONTROL EFFORTS WILL BE REQUIRED.

- HAND PULL NOXIOUS WEEDS, REMOVING AS MUCH OF THE ROOT SYSTEM AS POSSIBLE.
- USE WEED EATERS TO SELECTIVELY CUT OFF THE SEED HEADS OF NOXIOUS WEEDS. USE SELECTIVE BROADLEAF HERBICIDE SUCH AS 2-4-D WITH A BACKPACK SPRAYER OR WICK APPLICATOR. BE CAREFUL NOT TO APPLY HERBICIDE ON MORE THAN ONE SQUARE FOOT IN ANY GIVEN AREA. CONTRACTOR TO NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE OF ANY SUSPECTED SOIL PROBLEMS AT THE END OF THE FIRST GROWING SEASON. BROADBAND APPLICATIONS OF HERBICIDE CAN BE COMPLETED AFTER NATIVE GRASS SPECIES REACH MATURE HEIGHT.

NOTES:

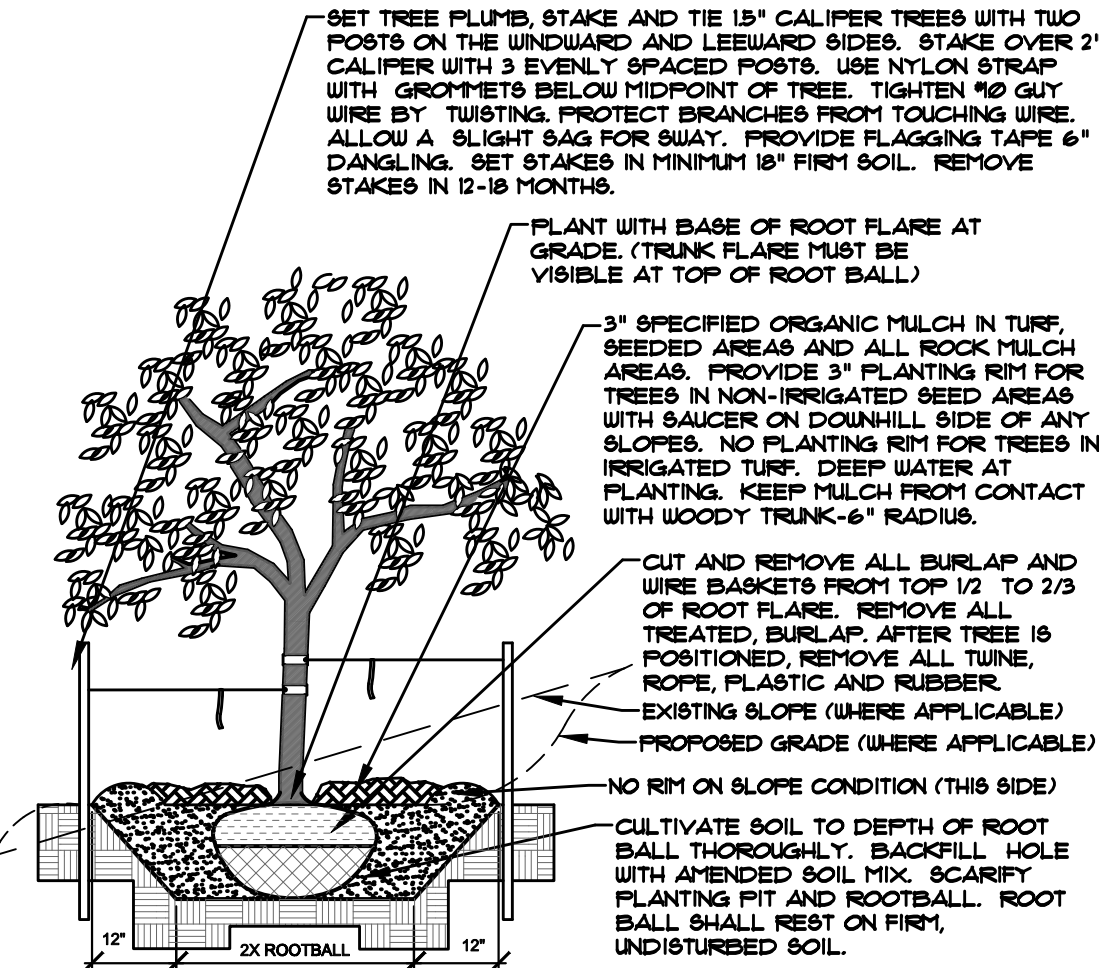
- MARK NORTH SIDE OF TREE AT NURSERY AND ALIGN TREE TO NORTH WHEN PLANTING.
- DO NOT REMOVE OR CUT LEADER.
- PRUNE ONLY DEAD, BROKEN, CROSSING, OR WEAK BRANCHES (OR NARROW CROTCHES) IMMEDIATELY PRIOR TO PLANTING.
- REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- AVOID FALL PLANTING IF POSSIBLE.
- AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
- PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING (SEE CONIFEROUS TREE NOTE ON PLANTING NOTES SHEET)



A EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

NOTES:

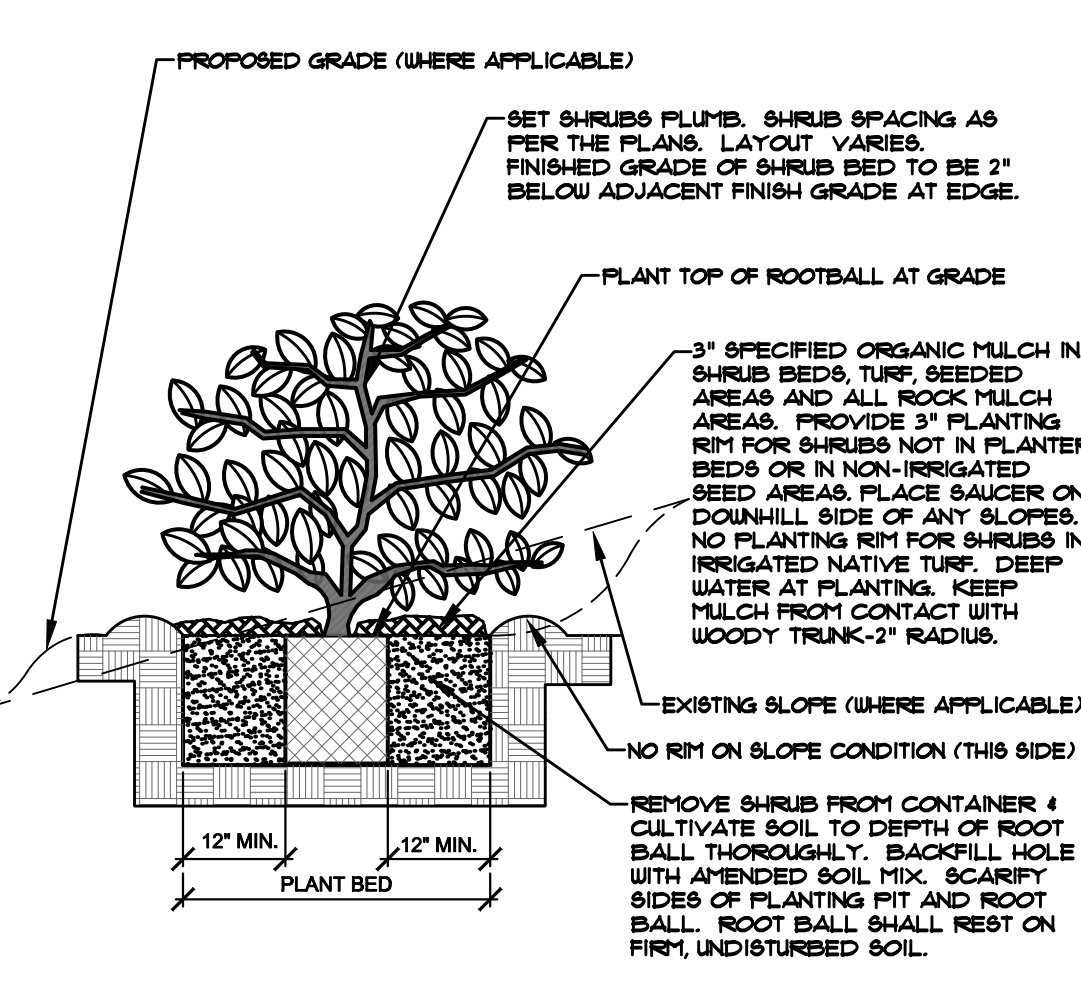
- MARK NORTH SIDE OF TREE AT NURSERY AND ALIGN TREE TO NORTH WHEN PLANTING.
- DO NOT REMOVE OR CUT LEADER.
- PRUNE ONLY DEAD, BROKEN, CROSSING, OR WEAK BRANCHES (OR NARROW CROTCHES) IMMEDIATELY PRIOR TO PLANTING.
- DO NOT STRUCTURAL PRUNING OF TREE UNTIL AFTER ESTABLISHMENT PERIOD (2 GROWING SEASONS).
- REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING. AVOID FALL PLANTING IF POSSIBLE.
- AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
- WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE, NOT TUNE, WRAP OCTOBER 15 AND REMOVE BY MARCH 31.
- DO NOT FERTILIZE TREE DURING THE FIRST GROWING SEASON.
- COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT & DISEASE RECOMMENDATIONS PRIOR TO PLANTING.



B DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

NOTES:

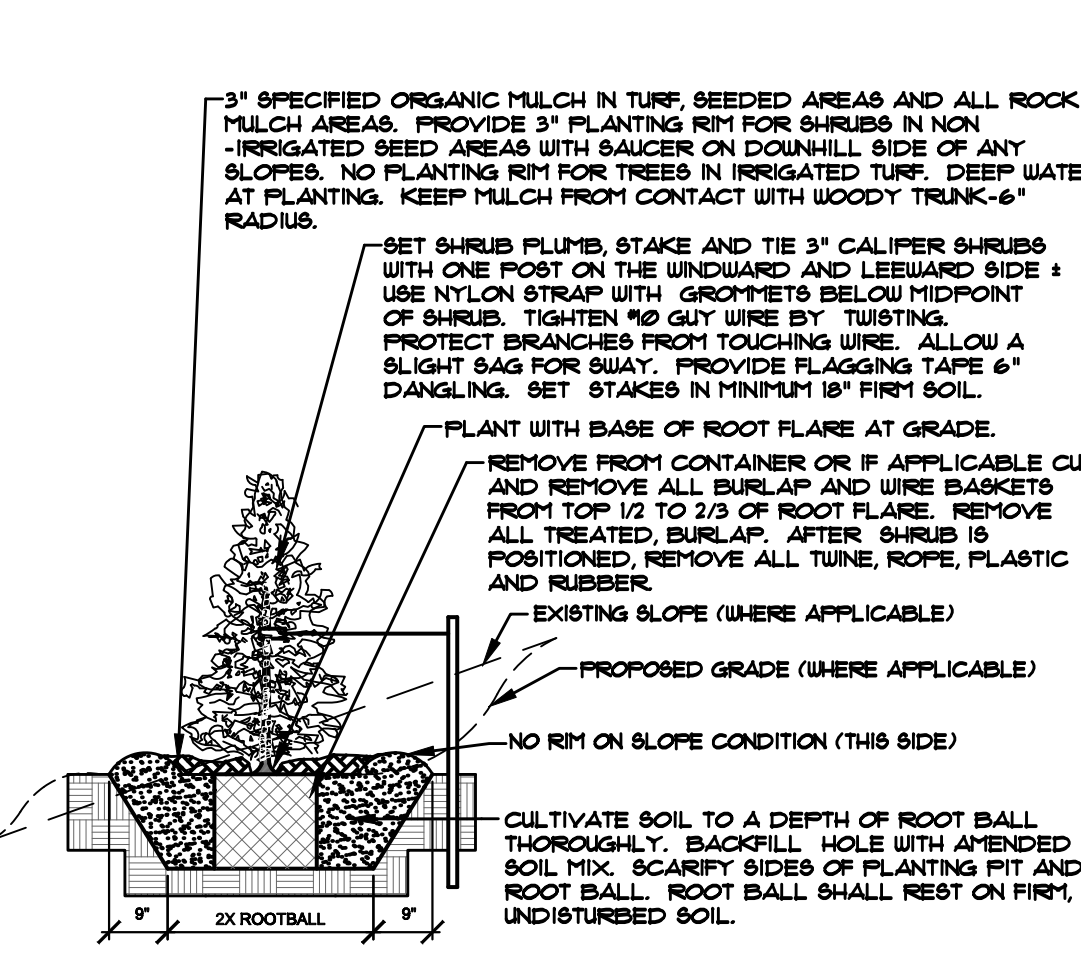
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
- AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
- FOR ROOT BIND AT BOTTOM OF BALL, SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT.
- FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOT BALL 1" DEEP. PLANT IMMEDIATELY.



C SHRUB PLANTING DETAIL
NOT TO SCALE

NOTES:

- DO NOT REMOVE OR CUT LEADER.
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
- REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
- FOR ROOT BIND (CONTAINER PLANTS ONLY): AT BOTTOM OF BALL, SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT.
- FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOT BALL 1" DEEP. PLANT IMMEDIATELY. (CONTAINER PLANTS ONLY)



D UPRIGHT EVERGREEN SHRUB PLANTING DETAIL
NOT TO SCALE

HIGHER GROUND DESIGNS, INC.
LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5350 NORTH ACADEMY BLVD., STE. 207
COLORADO SPRINGS, CO 80918
Phone 719-477-1646
Fax 719-588-1122



FALCON FIRE STATION NO. 3

FALCON, COLORADO
EL PASO COUNTY, COLORADO

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PREPARED FOR:

NOT FOR CONSTRUCTION

JOB NUMBER		928-20	
REVISIONS			
7-8-20	PER	COMMENTS	
8-24-20	PER	COMMENTS	
ORIGINAL DATE		6-23-20	
DRAWN BY		JIM	
DESCRIPTION			
DETAILS AND NOTES			
SHEET NO.			
L1.3			
PCD FILE NO. PPR-20-024			

UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER LOCAL CODE AND ALL SHRUBS TO BE LOCATED MINIMUM 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE. REFER TO LOCAL CODES.

DOCUMENT NOTE

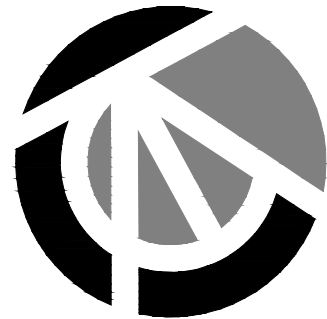
IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAMS, OR FOR ANY OTHER PARTIES' ERRORS OR OMISSIONS OR FOR ANY OTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DOCUMENTS.

LIGHT FIXTURE SCHEDULE									
TYPE	MFR	CATALOG NO.	LAMPS		MTG	DESCRIPTION	NOTES	VOLTS	TOTAL WATTS
			LUMENS	COLOR TEMP					
FL	LITHONIA	QTE LED P2 40K 120 THK DDB	4,000	3500K	RECESSED	LED FLOOD LIGHT FOR FLAG POLE		120	39.8
L50	ECOSENSE	L50 E 12 04 04 80 MULT-120	302	4000K	WALL	LOGO WALL WASH LIGHT		120	4
WL	LUMINAIRE LED	OLW 23	2613	5000K	WALL	WALL MOUNTED LED UPDATED OPTICS		120	32.98
WS	LITHONIA	OLW14	1493	5000K	WALL	GENERAL PURPOSE LED WALLPACK		120	18
PP	LITHONIA	RSX1 LED P2 50K R4 HS	7245	5000K	POLE & BASE 20' POLE 3' BASE	RSX AREA FIXTURE SIZE 1 P2 LUMEN PACKAGE 500K CCT TYPE R4 DISTRIBUTION WITH HS SHIELD		120	72.9
PP2	LITHONIA	RSX1 LED P2 50K R4 HS	7245	5000K	POLE & BASE 20' POLE 3' BASE	REX AREA FIXTURE SIZE 1 P2 LUMEN PACKAGE 5000K CCT TYPE R4 DISTRIBUTION WITH HS SHIELD		120	146.9

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Beyond Property	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Calc Zone #2	+	0.6 fc	12.5 fc	0.0 fc	N/A	N/A

GENERAL NOTES:

1. ALL SITE AND BUILDING LIGHTS TO BE CONTROLLED BY TIME CLOCK.
2. ALL LIGHTS TO BE FULL CUT-OFF.



Chavez Tiffany & Ayers
Engineering Corporation

611 North Nevada Avenue
Colorado Springs, Colorado 80903
P (719)636-0021

FALCON FIRE
PROTECTION DISTRICT
7020 OLD MERIDIAN ROAD
PEYTON, COLORADO

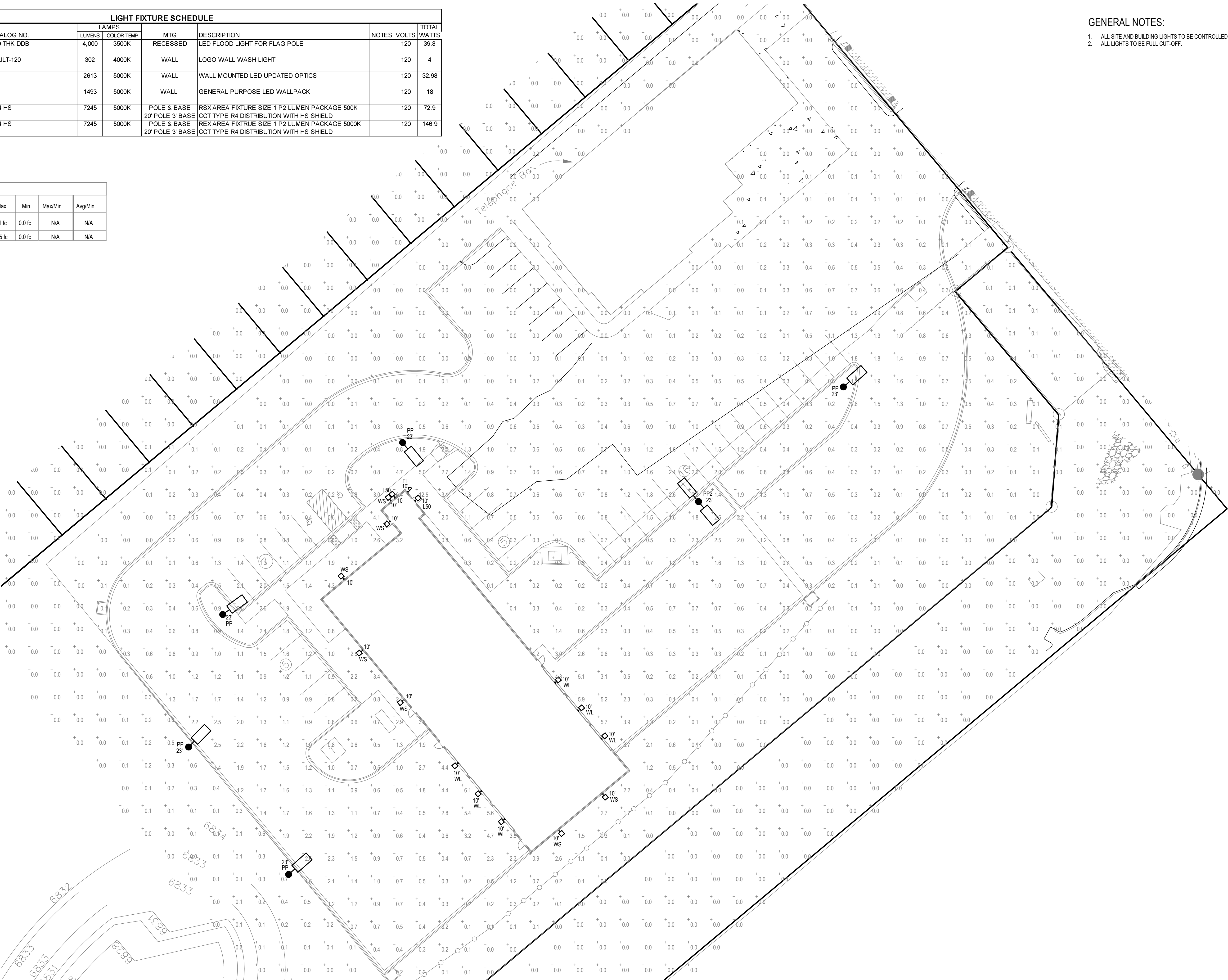
ISSUE HISTORY:

REVISION	COMMENTS	DATE
1		9/22/2020

DRAWN BY	MTC
CHECKED BY	JJA
DATE	7/27/20

DRAWING TITLE
DEVELOPMENT PLAN

DRAWING NO.
DP-1



1
DP-1
SCALE: 1"=20'-0"

PHOTOMETRIC SITE PLAN

