

ACADEMY GATEWAY SUBDIVISION FILING NO. 1 LOT 2
A SUBDIVISION OF A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1,
TOWNSHIP 12 SOUTH, RANGE 67 AND THE SOUTHWEST QUARTER OF SECTION 6
TOWNSHIP 12 SOUTH RANGE 66, ALL WEST OF THE SIXTH PRINCIPAL
MERIDIAN, EL PASO COUNTY, COLORADO
MAJOR SITE DEVELOPMENT PLAN

SCHEDULE NOTES

- PROPOSED 2,200 SQ. FT. RESTAURANT WITH DRIVE-THRU. SEE ARCHITECTURAL ELEVATIONS.
- PROPOSED ORDER POINT CANOPY WITH DIGITAL ORDER SCREEN AND MENU BOARD TO BE INSTALLED PER TENANT STANDARDS. SEE SIGNAGE DETAILS.
- PROPOSED PRE-MENU BOARD TO BE INSTALLED PER TENANT STANDARDS. SEE SIGNAGE DETAILS.
- PROPOSED 2.0-FOOT MAXIMUM HEIGHT RETAINING WALL. REFER TO GRADING PLAN FOR APPROXIMATE ELEVATIONS AT TOP AND BASE OF WALL. WALL IS TO BE DESIGN / BUILD BY CONTRACTOR. CONTRACTOR TO SUBMIT TO THE ARCHITECT AND OWNER/DEVELOPER A COLOR AND TEXTURE SAMPLE OF THE WALL MATERIAL TO BE USED PRIOR TO INSTALLATION.
- PROPOSED CLEARANCE BAR TO BE INSTALLED PER TENANT STANDARDS. SEE SIGNAGE DETAILS.
- CONTRACTOR TO PAINT OR INSTALL WHITE (OUTGOING) AND GREEN (INCOMING) VEHICLE DIRECTIONAL ARROWS. SEE SITE DETAILS.
- NOT USED.
- NOT USED.
- PROPOSED R1-1 "STOP" SIGN ON STEEL POST. SEE SITE DETAILS.
- PROPOSED ASPHALT PAVING (SEE PAVING NOTE, THIS SHEET).
- PROPOSED CONCRETE PAVING (SEE PAVING NOTE, THIS SHEET).
- PROPOSED CONCRETE SIDEWALK (SEE PAVING NOTE, THIS SHEET). SEE SITE DETAILS.
- NOT USED.
- PROPOSED SITE LIGHT. SEE PHOTOMETRIC PLAN.
- PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS.
- PROPOSED OUTDOOR PATIO AREA. SEE ARCHITECTURAL PLANS.
- PROPOSED ADA PARKING AREA, STRIPING AND SYMBOLS. SEE SITE DETAILS.
- PROPOSED ADA PARKING SIGNAGE ON STEEL POST. SEE SITE DETAILS.
- PROPOSED 6.0-FOOT WIDE CONCRETE CROSSSPAN. SEE SITE DETAILS.
- PROPOSED PEDESTRIAN CROSSWALK STRIPING. CONTRACTOR TO PAINT OR INSTALL 1.5-FOOT WIDE BY 6-FEET LONG WHITE PEDESTRIAN CROSSWALK BARS 4-FEET ON CENTER.
- PROPOSED 6" CURB AND 12" GUTTER. SEE SITE DETAILS.
- PROPOSED PIPE BOLLARD. SEE SITE DETAILS.
- PROPOSED PRIVATE ADA-ACCESSIBLE CURB RAMP. SEE SITE DETAILS.
- FIRE HYDRANT BY OTHERS TO REMAIN.
- CURB AND GUTTER BY OTHERS.
- PROPOSED 9.0' X 19.0' REGULAR PARKING STALL WITH 4" WIDE, WHITE PARKING STRIPING.
- PROPOSED 8.0' X 15.0' COMPACT PARKING STALL WITH 4" WIDE, WHITE PARKING STRIPING AND "COMPACT CARS ONLY" SIGNAGE ON STEEL POST. SEE SITE DETAILS.
- PROPOSED 2.0-FOOT WIDE BY 10.0-FOOT LONG WHITE STOP BAR STRIPING.
- PROPOSED DETECTOR LOOP CENTERED ON ORDER POINT AND/OR DRIVE-THROUGH WINDOW 2-INCHES BELOW FINISHED GRADE. CONTRACTOR TO EXTEND CONDUIT TO DRIVE-THROUGH / ORDER POINT / MENU BOARD / ELECTRICAL PANEL. CONTRACTOR SHALL INSTALL ALL WORK IN ACCORDANCE WITH TENANT STANDARDS.
- PROPOSED TRANSFORMER LOCATION. SEE UTILITY PLAN.
- PROPOSED BIKE RACK (SEE SITE DETAILS)
- PROPOSED 6" VERTICAL CONCRETE CURB. CONTRACTOR MAY ELECT TO POUR MONOLITHICALLY TO THE ADJOINING CONCRETE PAVING. SEE SITE DETAILS.
- PROPOSED PATIO RAILING / SCREEN FENCE. SEE ARCHITECTURAL PLANS.
- PROPOSED MONUMENT SIGN. SEE SIGNAGE DETAILS.
- APPROXIMATE LOCATION OF PROPOSED PIPE BOLLARD. CONTRACTOR TO COORDINATE LOCATION WITH ELECTRIC SERVICE PROVIDER.
- PROPOSED COMBINATION TYPE 13 INLET. SEE UTILITY DETAILS.
- SITE DISTANCE TRIANGLE.

Sterling Design Associates, Inc
CIVIL ENGINEERS - LANDSCAPE ARCHITECTS

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www.SterlingDesignAssociates.com

PREPARED UNDER THE DIRECT SUPERVISION OF
JOSEPH SCHIEL, PE
COLORADO REGISTRATION 0048332
FOR & ON BEHALF OF STERLING DESIGN ASSOCIATES, LLC

PRELIMINARY
NOT FOR CONSTRUCTION

STERLING DESIGN ASSOCIATES, LLC

ISSUES & REVISIONS			
NO.:	1	DATE: 5/16/2017	BY: JDS
DESCRIPTION: 1ST MAJOR SDP SUBMITTAL			
NO.:	2	DATE: 8/24/2017	BY: JDS
DESCRIPTION: 2ND MAJOR SDP SUBMITTAL			
NO.:	3	DATE: -	BY: -
DESCRIPTION: -			
NO.:	4	DATE: -	BY: -
DESCRIPTION: -			
NO.:	5	DATE: -	BY: -
DESCRIPTION: -			
NO.:	6	DATE: -	BY: -
DESCRIPTION: -			

DATE: 8/24/2017	SCALE: 1" = 20'
PROJECT MANAGER: JDS	PROJECT NO.: -
DRAWN BY: -	DRAWING FILE: -

PROJECT:

PROPOSED COFFEE SHOP
STRUTHERS RD.
COLORADO SPRINGS, CO

CLIENT:
VERTICAL CONSTRUCTION MANAGEMENT
1209 SOUTH WHITE CHAPEL BLVD, SUITE 180
SOUTHLAKE, TX 76092

TEL: (817) 527-8421

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

3 OF 19

C201

COUNTY PROJECT NUMBER PPR-17-030

LEGAL DESCRIPTION

LOT 2, ACADEMY GATEWAY SUBDIVISION FILING NO. 1
EL PASO COUNTY, COLORADO

BASIS OF BEARINGS

BEARINGS ARE BASED ON A PORTION OF THE EASTERLY BOUNDARY OF THE UNITED STATES AIR FORCE ACADEMY AS RECORDED IN PLAT BOOK O-2 AT PAGE 84, RECORDS OF EL PASO COUNTY, COLORADO, BEING MONUMENTED AT THE NORTHERLY END BY A3.5" BRASS CAP STAMPED "BOY 43" IS ASSUMED TO BEAR N 56°38'25"W, A DISTANCE OF 630.29 FEET.

PAVING NOTE

ALL PAVING, INCLUDING CURB, GUTTER, AND SIDEWALK, TO BE INSTALLED OUTSIDE OF THE RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PAVEMENT RECOMMENDATIONS INCLUDING, BUT NOT LIMITED TO, THE PAVEMENT SECTION, MATERIALS SELECTION, AND SUBGRADE PREPARATION. COORDINATE ANY DESIRED MODIFICATIONS WITH THE DEVELOPER'S CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO CONSTRUCTION. FOR GEOTECHNICAL REPORTS WHICH DO NOT SPECIFICALLY ADDRESS CURB, GUTTER, SIDEWALK AND SIMILAR IMPROVEMENTS NOT SUBJECT TO VEHICULAR LOADS, CONCRETE SHALL BE CDOT CLASS B, IN ACCORDANCE WITH CDOT STANDARDS AND SPECIFICATIONS.

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

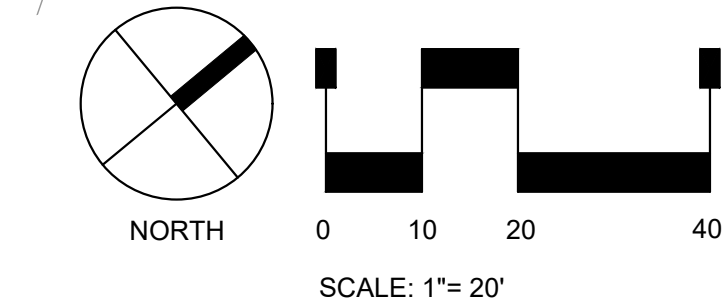
THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

LEGEND

	PROPERTY LINE
	EXIST. EASEMENT LINE
	PROPOSED BY OTHERS
	EXIST. SIGN
	LANDSCAPE AREA
	PROP. RETAINING WALL
	FIRE HYDRANT BY OTHERS
	PARKING COUNT
	COMPACT PARKING SPACE
	CONCRETE PAVING BY OTHERS
	PROPOSED CONCRETE PAVING
	PROPOSED STORM INLET

SITE DATA

LOT AREA	0.985 ACRES
ZONING	(CS) COMMERCIAL SERVICES
BUILDING SQUARE FOOT	2,200 (SF)
OVERALL LOT COVERAGE	26,052 SF (60.72%)
LANDSCAPE COVERAGE (EXCLUDING BUFFER)	7,324 (SF)
LANDSCAPE BUFFER AREA	9,530 (SF)
PARKING REQUIRED	22 SPOTS 1PER 100 SF BUILDING
PARKING PROVIDED	20 REGULAR, 2 COMPACT, 1 HANDICAP SPOT
	23 TOTAL PARKING SPOTS
BIKE RACKS PROVIDED	3 BIKE RACKS EQUALS 6 BIKE PARKING SPOTS



CONSTRUCTION MANAGER
COORDINATION NOTE

THE CONTRACTOR IS TO COORDINATE THE MATERIALS PROVISION, PLACEMENT, AND INSTALLATION OF ANY STARBUCKS PROTOTYPICAL SITE APPURTENANCES WITH THE OWNER PRIOR TO CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, SITE DIRECTIONAL/RESTRICTION/COMPLIMENTARY SIGNAGE, CLEARANCE BAR, PRE-MENU BOARD, ORDER POINT CANOPY, DIGITAL ORDER SCREEN, MENU BOARD, DETECTOR LOOPS, DIRECTIONAL PAVEMENT MARKINGS, AND THE ORDER POINT STAR PATTERN PAVEMENT MARKINGS.

GENERAL NOTES

- THE CONTRACTOR SHALL REFER TO THE GRADING PLAN FOR CURB TYPES AND FLOWLINE ELEVATIONS.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, STAIRS, PRECISE BUILDING DIMENSIONS, AND BUILDING ENTRANCES.
- ALL SIGNING AND STRIPING WILL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND LOCAL CODES.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING SIGNAGE LOCATIONS.
- REFER TO ARCHITECTURAL PLANS FOR SITE ELECTRICAL INSTALLATION REQUIREMENTS INCLUDING, BUT NOT LIMITED TO LOCATION, TYPE, SIZE AND MATERIAL OF WIRING, CONDUIT, TRENCH, AND CONNECTION POINTS FOR SITE LIGHTING, SITE SIGNAGE, AND OTHER SITE IMPROVEMENTS.
- SIGNAGE TO BE ON TIME CLOCK SYNCHRONIZED WITH EXTERIOR SITE LIGHTING.
- CONTRACTOR SHALL COORDINATE SIGNAGE PERMIT, INSTALLATION, AND SPECIFICATIONS WITH OWNER.
- CONTRACTOR SHALL COORDINATE WIRELESS COMMUNICATIONS PACKAGE, INCLUDING VEHICLE DETECTION LOOP, WIRELESS COMMUNICATION, MONITORS, ETC. WITH OWNER OR THEIR REPRESENTATIVE. CONTRACTOR SHALL VERIFY REQUIREMENTS WITH OWNER OR THEIR REPRESENTATIVE.
- SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE WITH OWNER AND PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION TO OWNER FOR APPROVAL.
- ALL RADIUS DIMENSIONS SHOWN ARE TO FLOWLINES UNLESS OTHERWISE NOTED. ALL RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
- PROVIDE JOINTS AT 30 X DEPTH OF CONCRETE MAXIMUM SPACING IN VEHICULAR AREAS UNLESS OTHERWISE INDICATED. JOINTS SHOULD EXTEND THROUGH THE ADJACENT CURB.
- MAXIMUM JOINT SPACING IN PEDESTRIAN AREAS (I.E. SIDEWALKS AND PATIOS) SHALL BE 5' UNLESS OTHERWISE INDICATED. CONTROL JOINTS THEREIN SHALL BE TOOL FINISHED.
- THE CONTRACTOR SHALL SELECT AND USE A BOND BREAKER AT INLETS, MANHOLES, AND SIMILAR SIZE STRUCTURES. SMALLER STRUCTURES SUCH AS VALVE COVERS AND MONUMENT BOXES SHALL NOT REQUIRE A BOND BREAKER, UNLESS SPECIFIED OTHERWISE.
- PROVIDE A CONTINUOUS ISOLATION JOINT AT THE BUILDING FOUNDATION. REFERENCE THE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.



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NO. 6	DATE: -	BY: -	
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DATE:	SCALE:
2/22/2017	1" = 20'
PROJECT MANAGER:	PROJECT NO.:
JDS	-
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-	-

PROJECT:

PROPOSED COFFEE SHOP
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COLORADO SPRINGS, CO

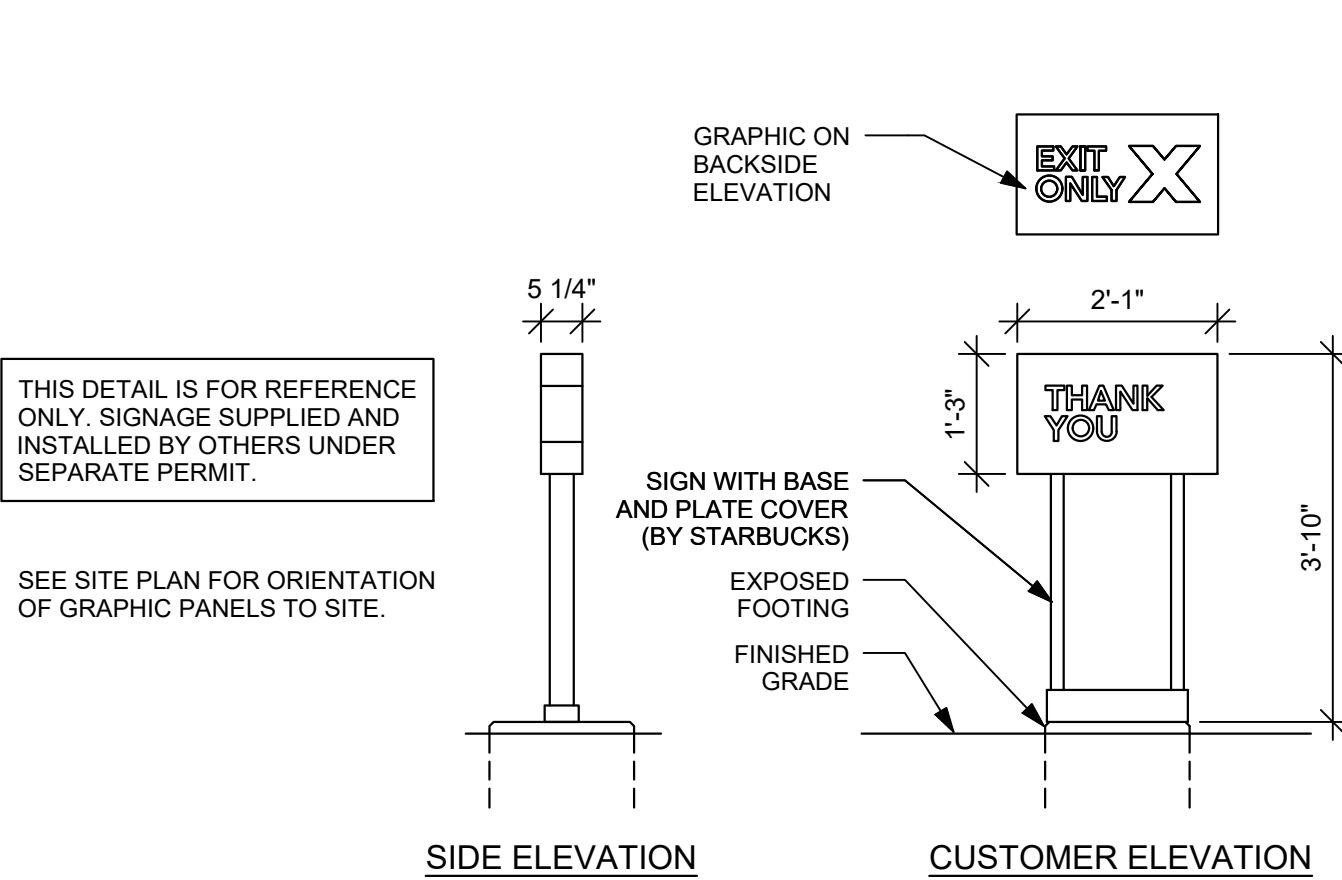
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TEL: (817) 527-8421

SHEET TITLE:
SIGNAGE DETAILS

SHEET NUMBER:
16 OF 19 (C701)

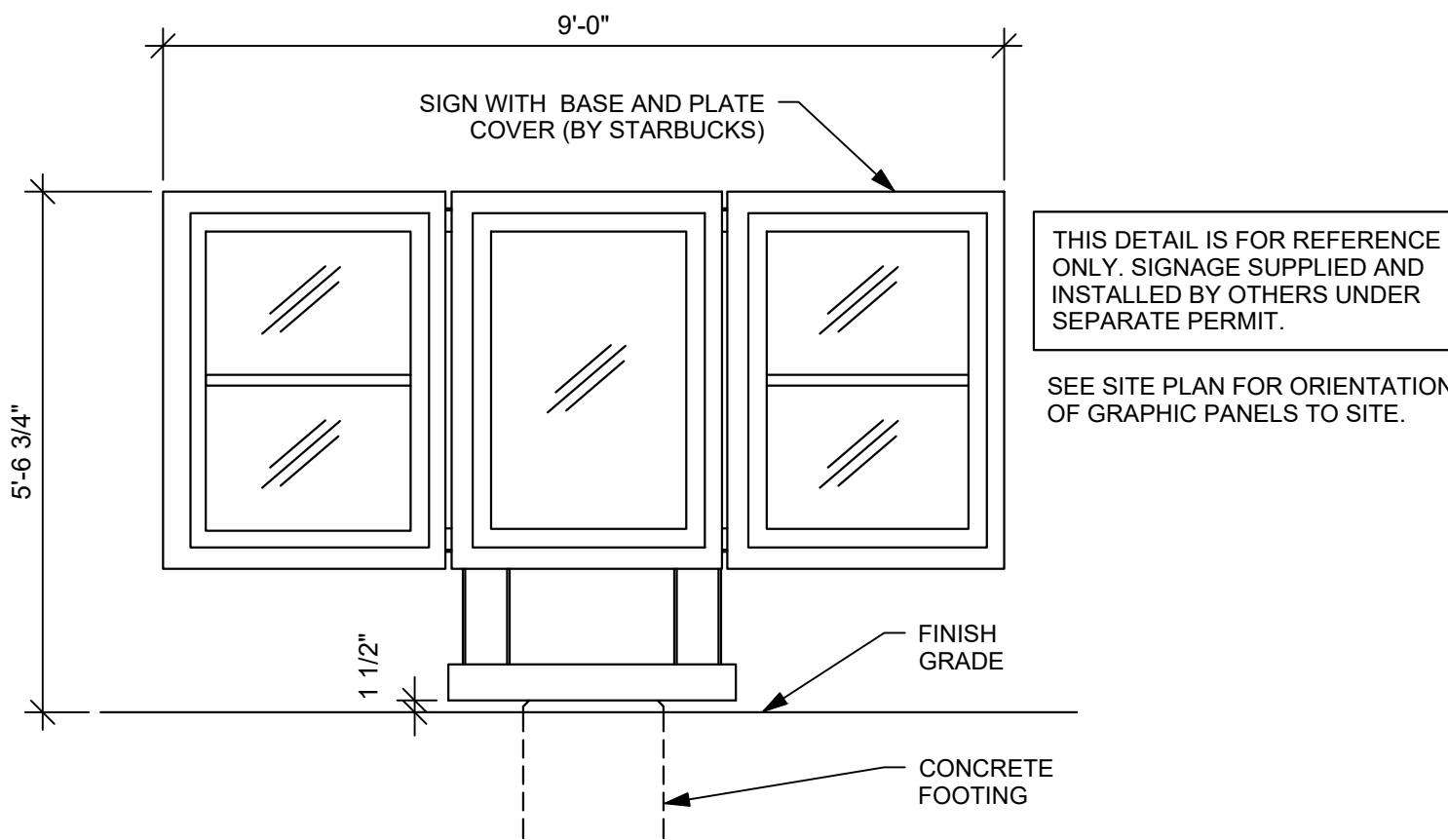
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DIRECTIONAL SIGN - EXIT

NOT TO SCALE

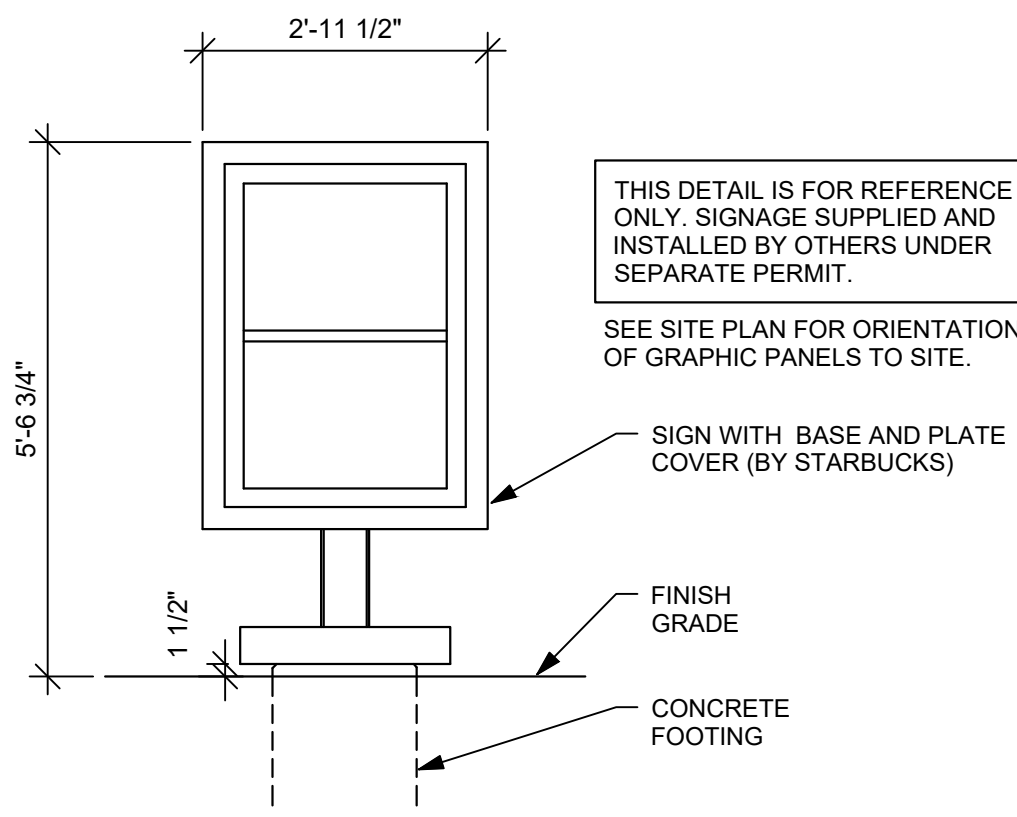
(A)



5 PANEL MENU BOARD

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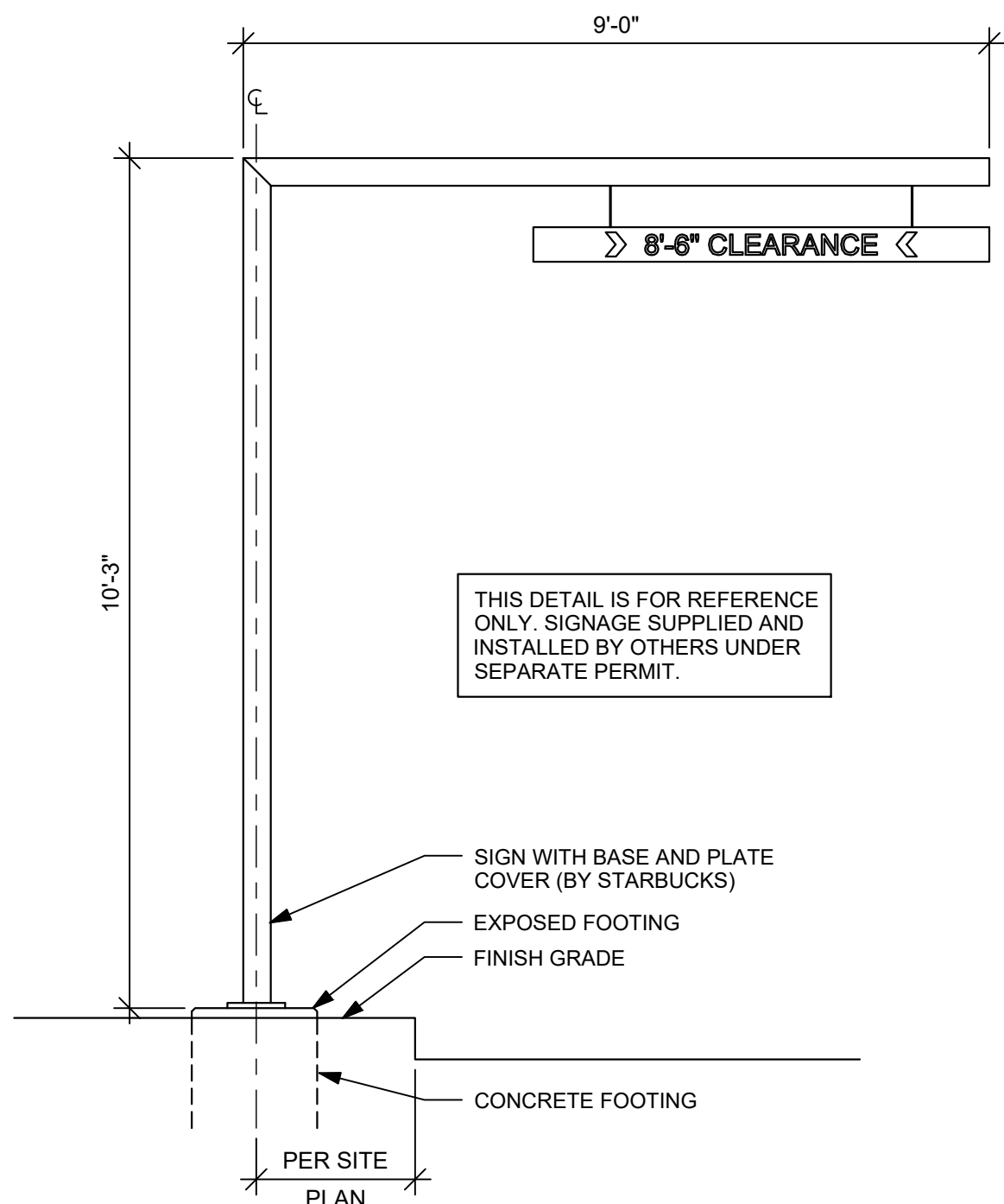
(B)



FREESTANDING PRE-MENU BOARD

NOT TO SCALE

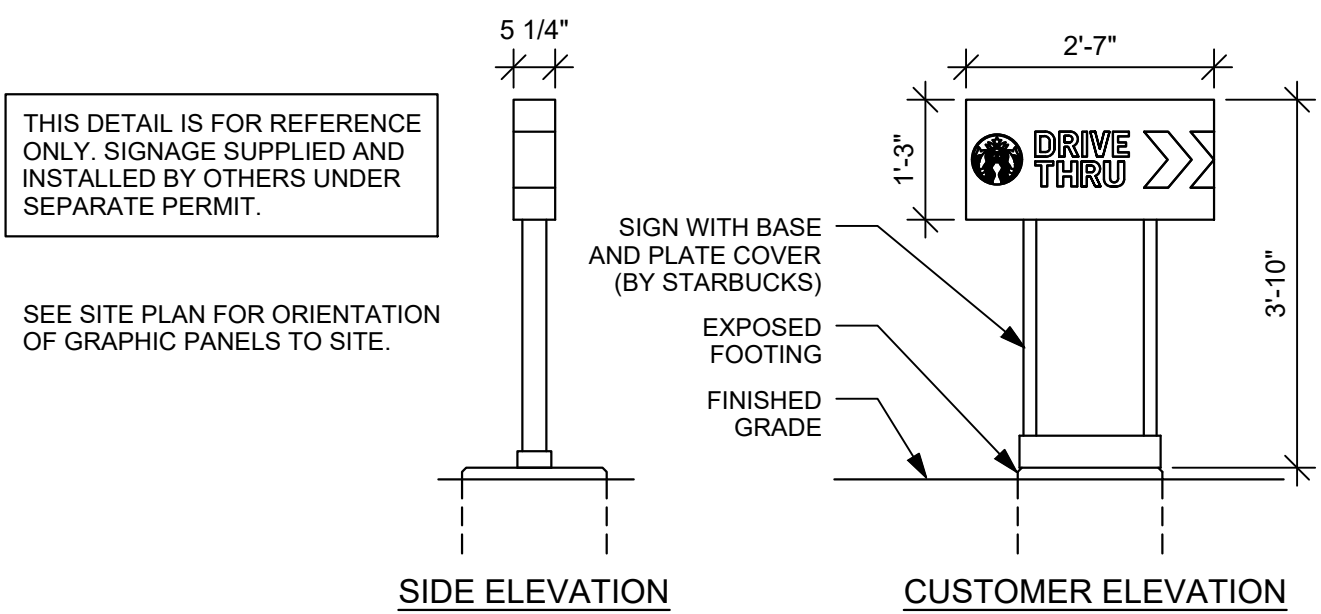
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CLEARANCE BAR

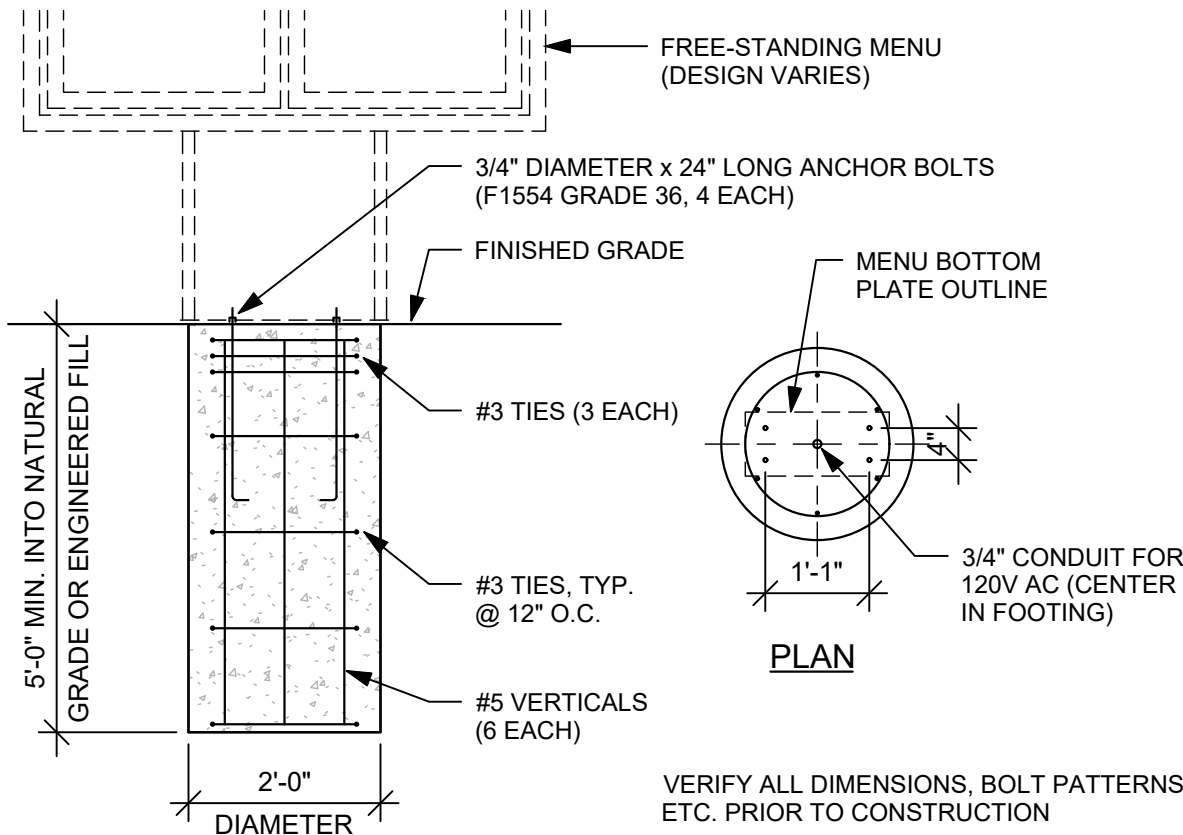
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(D)



DIRECTIONAL SIGN - ENTRY

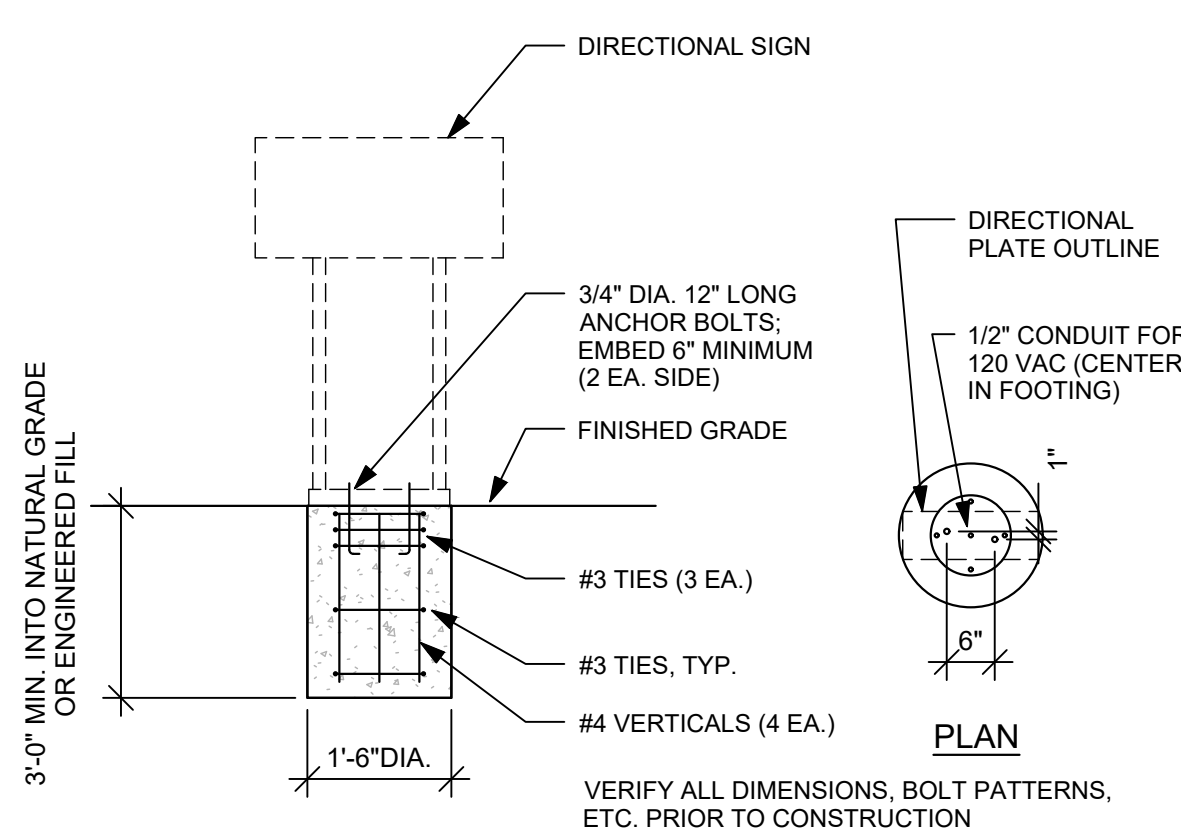
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MENU BOARD FOOTING

NOT TO SCALE

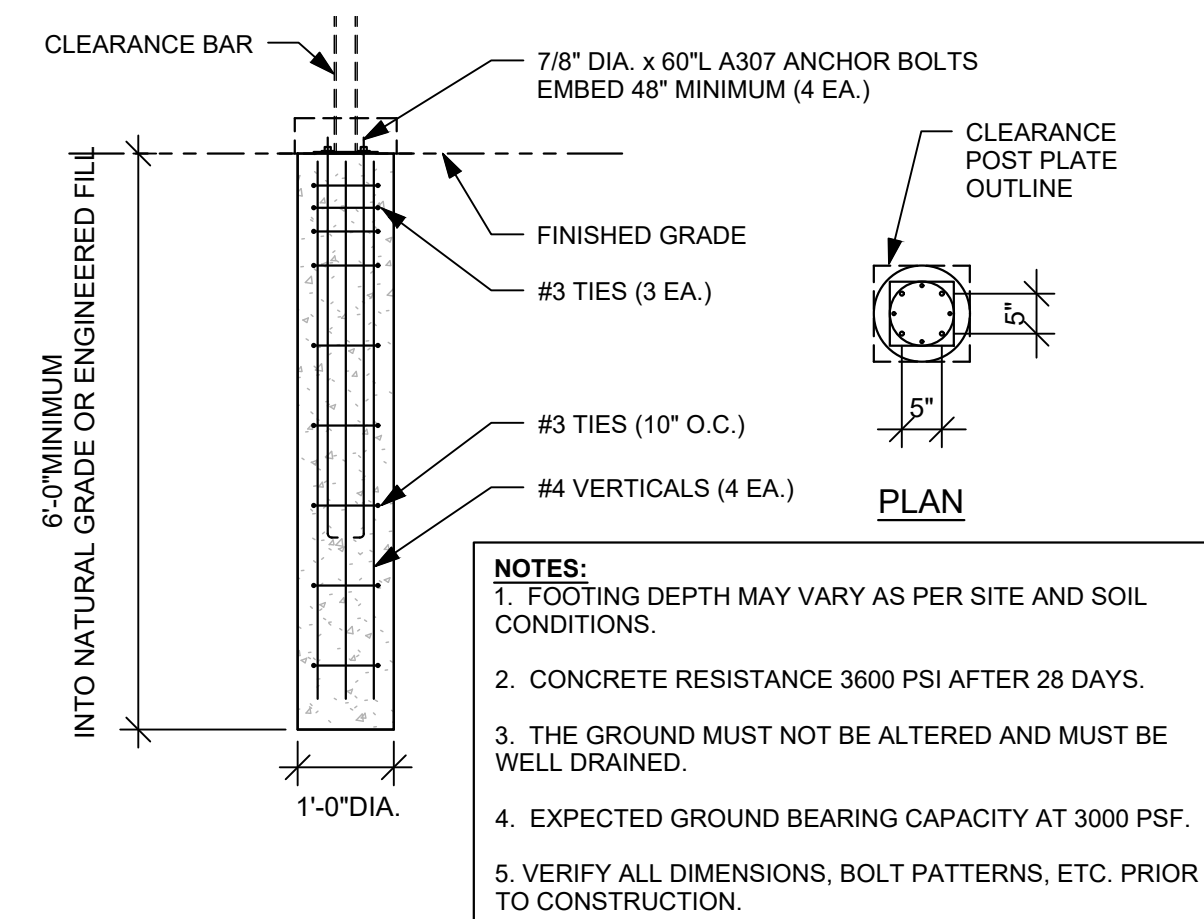
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DIRECTIONAL SIGN FOOTING

NOT TO SCALE

(G)

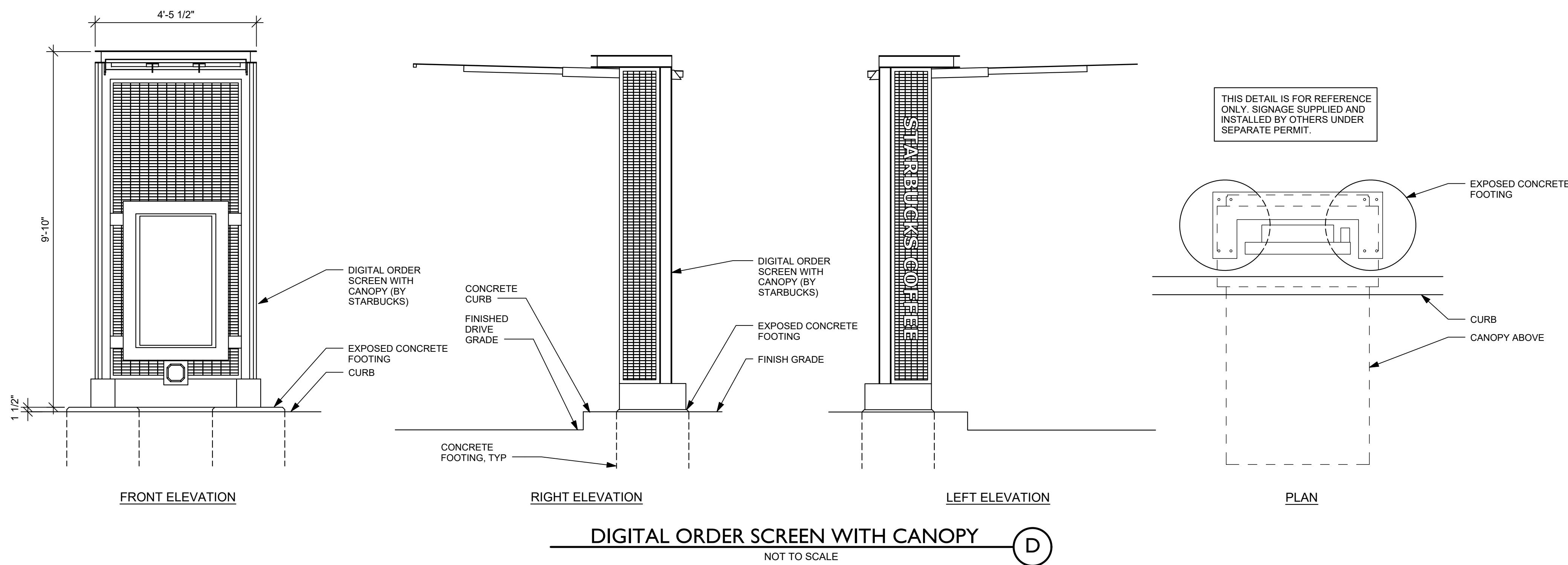
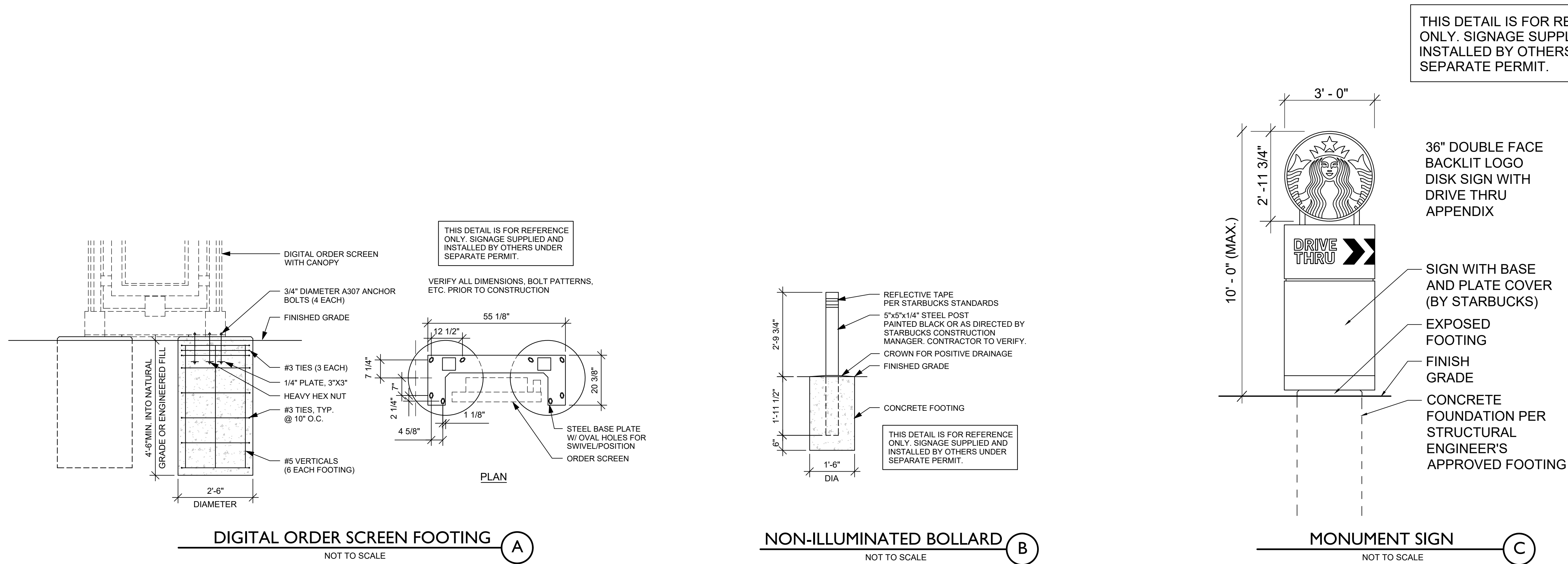


CLEARANCE BAR FOOTING

NOT TO SCALE

(H)

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SHEET NUMBER:
SIGNAGE DETAILS

17 OF 19 (C702)

COUNTY PROJECT NUMBER PPR-17-030

