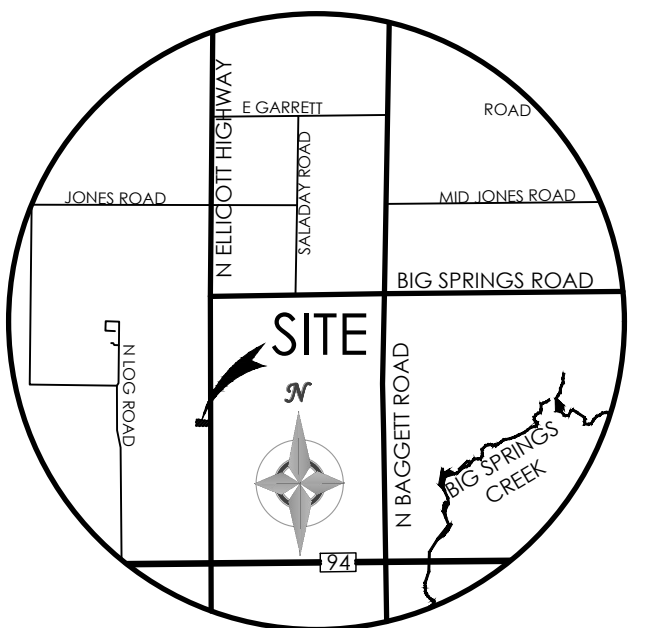


# SITE DEVELOPMENT PLAN

## FOR

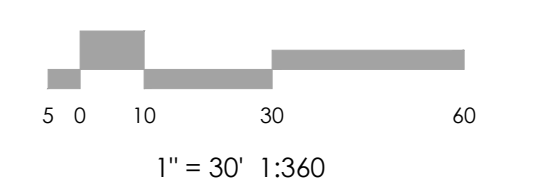
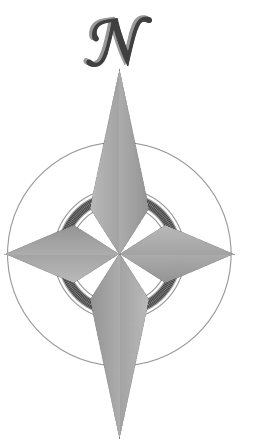
# ROCKY MOUNTAIN CALVARY CHAPEL - ELLICOTT

LOCATED IN THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 14 SOUTH, RANGE 63 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



VICINITY MAP  
NOT TO SCALE

BENCHMARK



**MVE, INC.**  
ENGINEERS / SURVEYORS

1903 Laramie Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

ROCKY MOUNTAIN CALVARY  
CHAPEL - ELLICOTT

SITE DEVELOPMENT  
PLAN  
DP-1 COVER SHEET

MVE PROJECT 61182  
MVE DRAWING -DEV-CS

**JANUARY 29, 2024**  
SHEET 1 OF 2

### SITE DATA

#### ZONING

CURRENT ZONING: A-5

#### SETBACKS

FRONT - 25' SETBACK  
SIDE - 25' SETBACK  
REAR - 25' SETBACK

#### MAX BUILDING HEIGHT

30' (PROPOSED = 25'-6")

#### PARKING DATA

##### REQUIRED PARKING

PROPOSED CHURCH BUILDING:  
230 SEATS @ 1 SPACE PER 4 SEATS  
= 58 SPACES  
58 STANDARD SPACES PER 51-75  
STANDARD SPACES  
= 3 ADA SPACES

##### PROVIDED PARKING

58 STANDARD SPACES  
5 ADA SPACES

Include "total: 63 spaces"

Add ROW width

Please indicate the east/west boundary of the new ROW and the new property line. This shows the new ROW inside the property line. Please clarify linework

Please include sight distance triangle

Please label what this is

Please correct line-work, turn lanes don't line up with access. Show lane linework

Label this road or access easement. Provide recorded access easement. Rec #. Discuss this in the LOI

Label fire tank and provide easement.

CDs will need to show full detail of cross section

Dumpster must be screened, 6.2.2.G.b

provide label (playground?)

Please correct Proposed is 10Ksqft Bldg

Please include dimensions

Include "total: 63 spaces"

Include "total: 63 spaces"

Include "total: 63 spaces"

Include "total: 63 spaces"

Include "total: 63 spaces"

Include "total: 63 spaces"

Include "total: 63 spaces"

Include "total: 63 spaces"

Include "total: 63 spaces"

Include "total: 63 spaces"

Include "total: 63 spaces"

Include "total: 63 spaces"

Include "total: 63 spaces"

Include "total: 63 spaces"

Include "total: 63 spaces"

Include "total: 63 spaces"

Include "total: 63 spaces"

Include "total: 63 spaces"

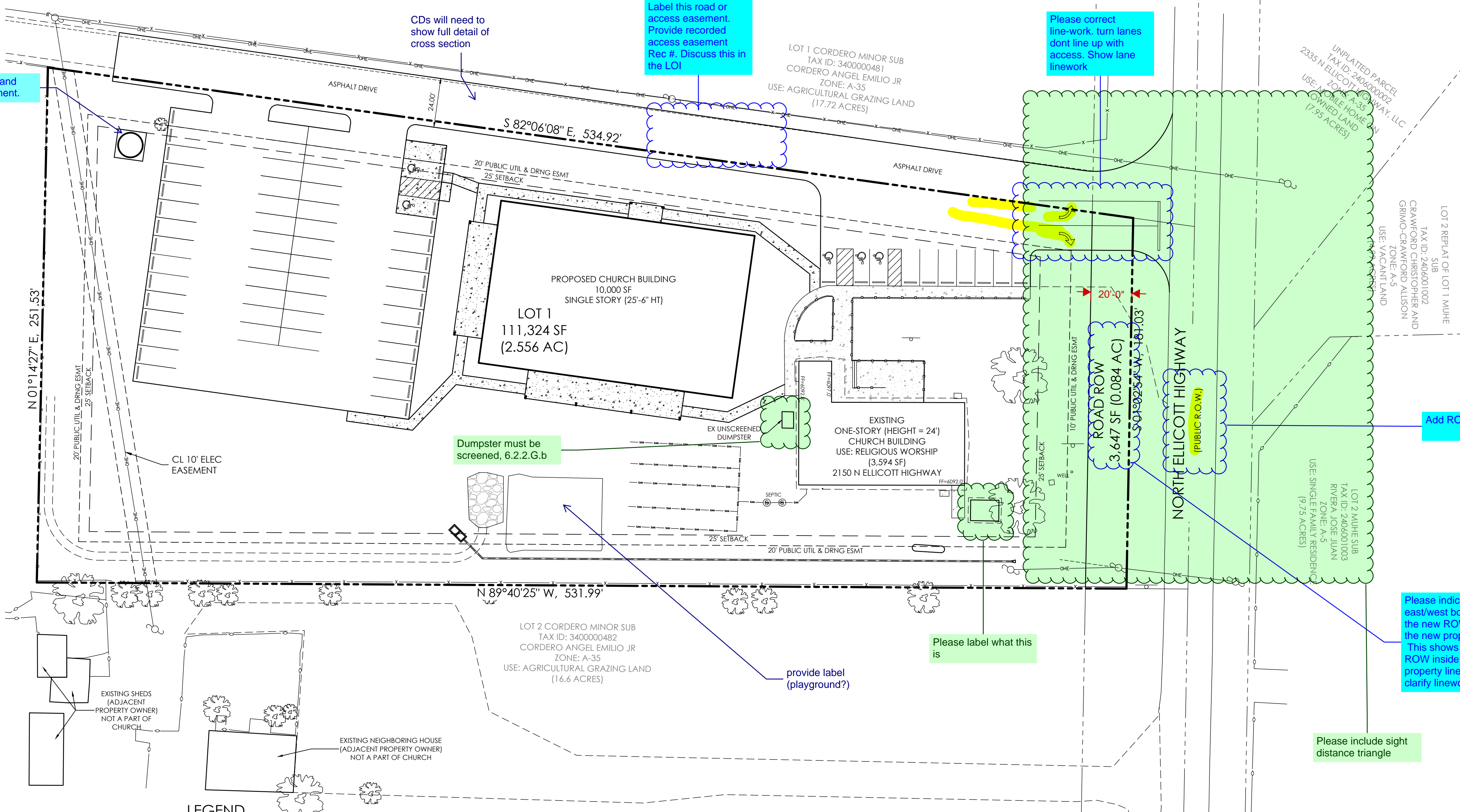
Include "total: 63 spaces"

Include "total: 63 spaces"

Include "total: 63 spaces"

Include "total: 63 spaces"

Include "total: 63 spaces"



COVERAGE DATA	
EXISTING BLDG	= 10,000 SF
EXISTING SHED	= 140 SF
PROPOSED BLDG	= 3,594 SF
TOTAL BLDG	= 13,734 SF 12.3%
PAVED AREA	= 31,760 SF 28.7%
OPEN SPACE & LANDSCAPE	= 65,830 SF 59.0%
TOTAL	= 111,324 SF 100.0%

#### LEGEND

--- PROPERTY LINE	--- EASEMENT LINE	--- LOT LINE	--- BUILDING SETBACK LINE	--- ADJACENT PROPERTY LINE
--- EXISTING INDEX CONTOUR	--- EXISTING INTERMEDIATE CONTOUR	--- CONCRETE AREA	--- ASPHALT AREA	--- CURB AND GUTTER
--- BUILDING/BUILDING OVERHANG	--- DECK	--- RETAINING WALL - SOLID/ROCK	--- SIGN	--- BOLLARD
--- CHAIN LINK FENCE	--- BARBED WIRE FENCE	--- TREE (EVERGREEN/DECIDUOUS)	--- ASPHALT DRIVE	--- BUILDING ADDRESS (100)
--- UNIT ADDRESS	--- UNIT ADDRESS	--- UNIT ADDRESS	--- UNIT ADDRESS	--- UNIT ADDRESS

Please provide height for:  
-retaining wall  
-fencing

#### PROPOSED

--- 5985	INDEX CONTOUR
--- 84	INTERMEDIATE CONTOUR
--- CONCRETE AREA	CONCRETE AREA
--- ASPHALT AREA	ASPHALT AREA
--- CURB AND GUTTER	CURB AND GUTTER
--- BUILDING/BUILDING OVERHANG	BUILDING/BUILDING OVERHANG
--- DECK	DECK
--- RETAINING WALL - SOLID/ROCK	RETAINING WALL - SOLID/ROCK
--- SIGN	SIGN
--- BOLLARD	BOLLARD
--- BUILDING ADDRESS (100)	BUILDING ADDRESS (100)
--- UNIT ADDRESS	UNIT ADDRESS

#### ABBREVIATION LEGEND

ASPH	ASPHALT
CONC	CONCRETE
C & G	CURB & GUTTER
DET.	DETAIL
ESMT	EASEMENT
ME	MATCH EXISTING
P.B., PG.	PLAT BOOK, PAGE
PVMT	PAVEMENT
RET. WALL	RETAINING WALL
REC. NO.	RECEPTION NUMBER
R.O.W.	RIGHT-OF-WAY
SQ. FOOT	SQUARE FOOT
STBK	SETBACK
SW	SIDEWALK
UTIL	UTILITY
C	CATCH CURB
S	SPILL CURB

Please include width of sidewalk

Please include:  
-traffic flow/ingress and egress for property

#### FLOODPLAIN STATEMENT

THIS PROPERTY IS LOCATED WITHIN FEMA DESIGNATED ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0807G, EFFECTIVE DECEMBER 7, 2018.

#### ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

The subdivider(s) agree on behalf of him/herself and any developer of builder successors and assignees shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program (Resolution No. 19-471), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documents on all sales documents and in plat notes to ensure that a title search would find the fee obligation before sale of the property.

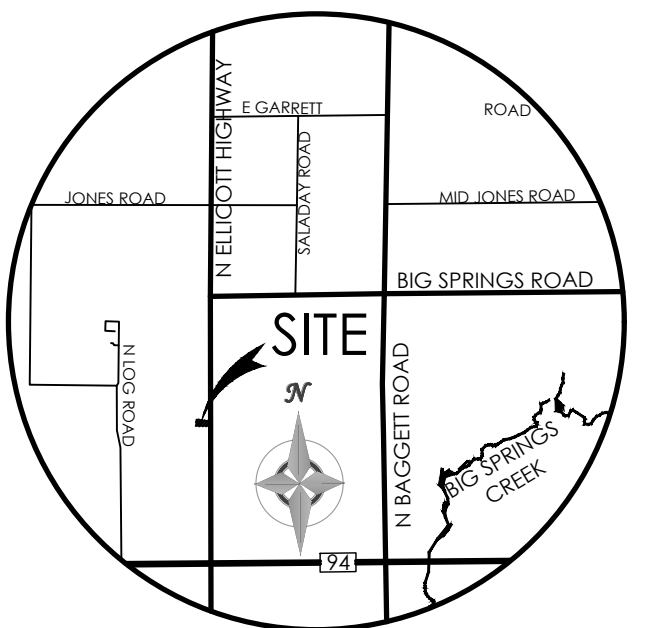
PPR2420

PCD FILE #



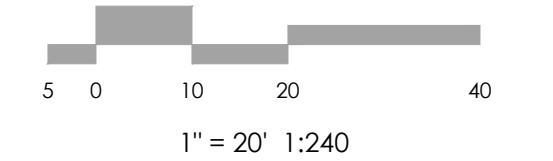
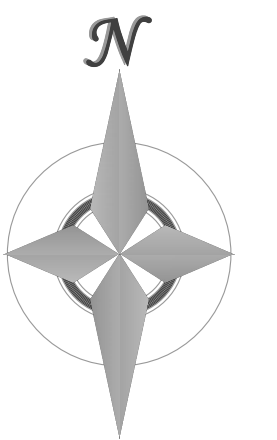
**FLOODPLAIN STATEMENT**

THIS PROPERTY IS LOCATED WITHIN FEMA DESIGNATED ZONE 'X' (AREA OF MINIMAL FLOOD HAZARD) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0807, EFFECTIVE DECEMBER 7, 2018.



VICINITY MAP  
NOT TO SCALE

BENCHMARK



**MVE, INC.**  
ENGINEERS / SURVEYORS

1903 Iones Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS

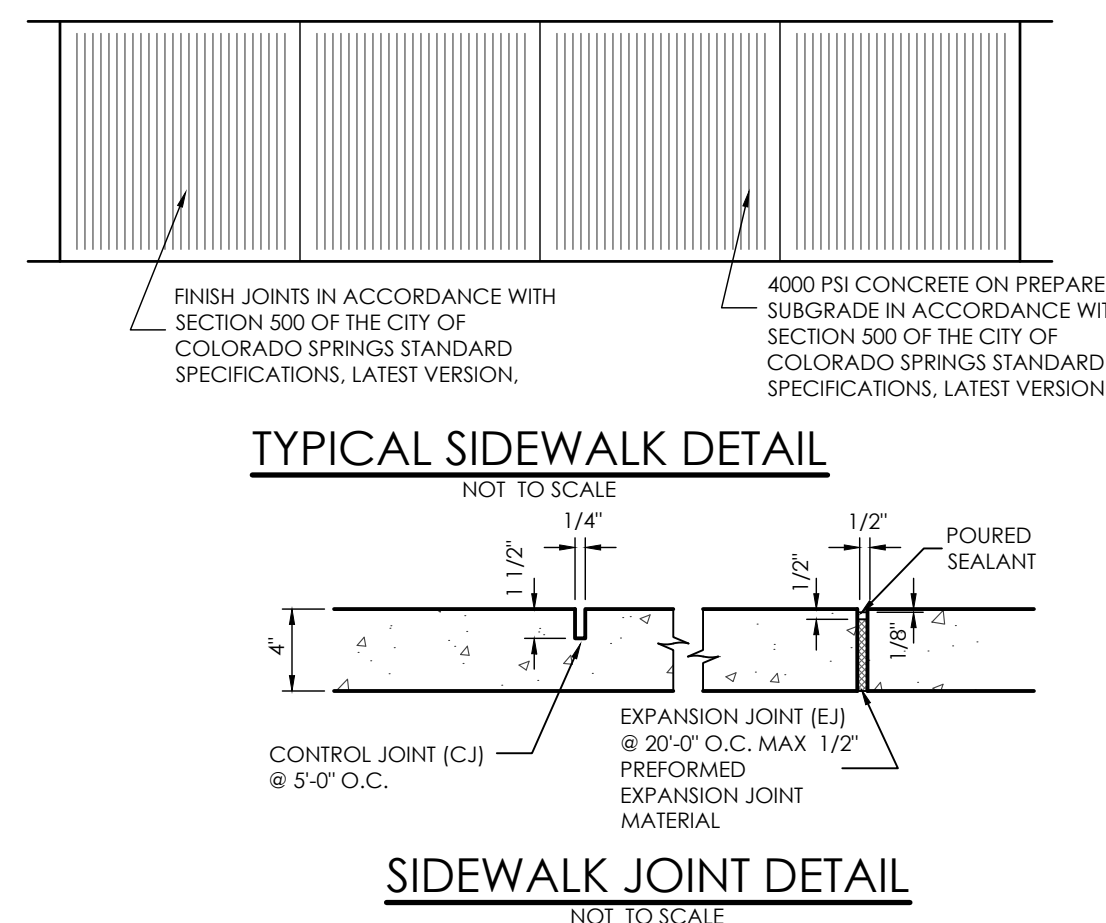
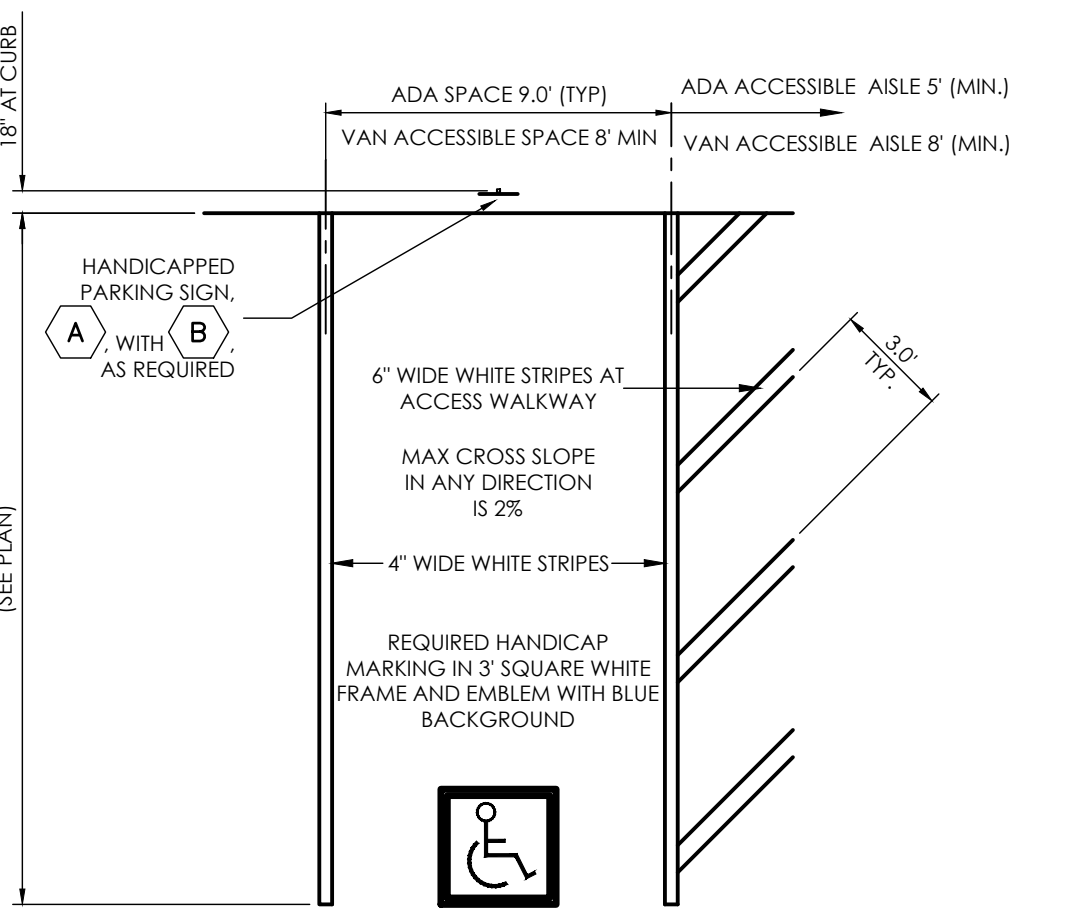
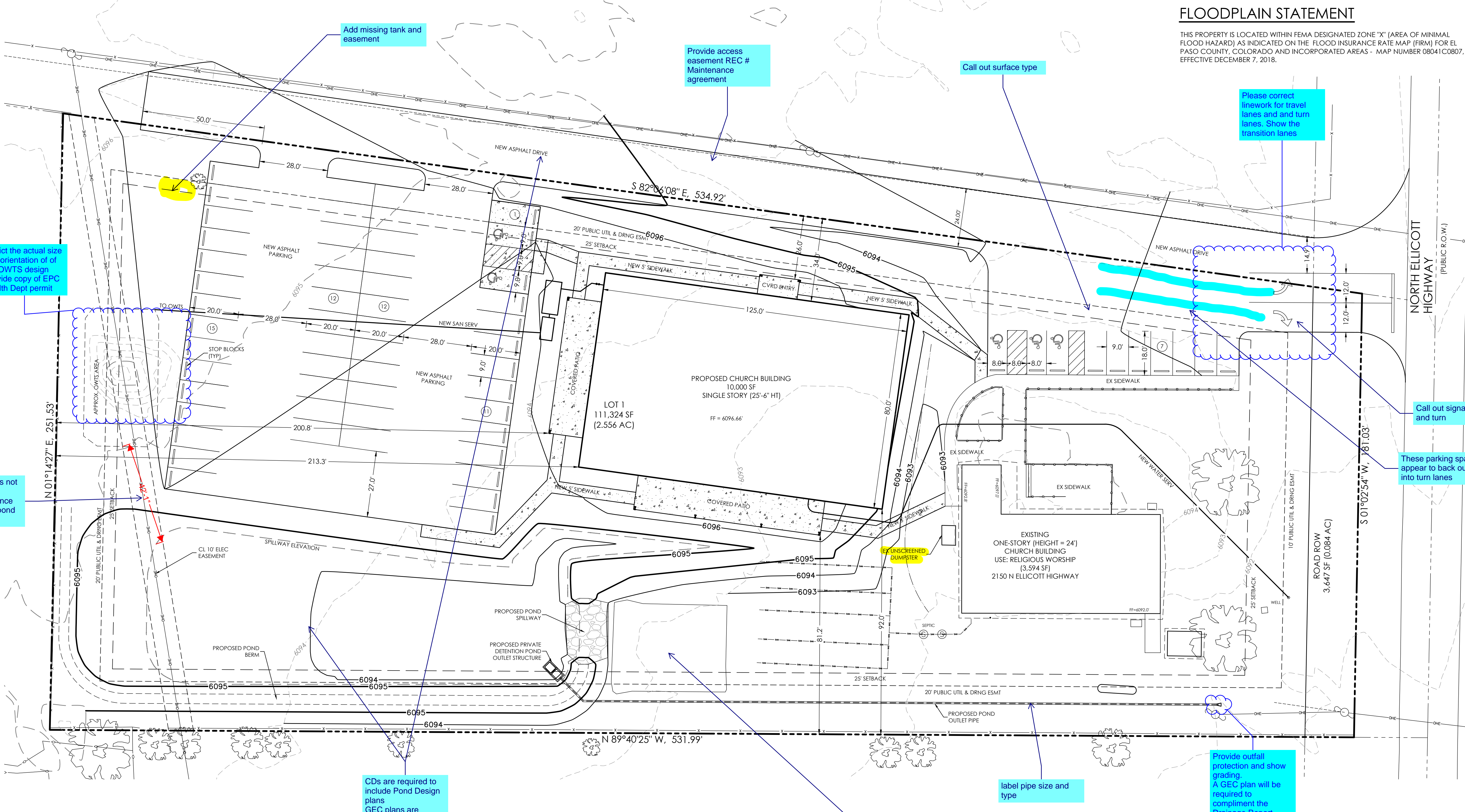
DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

ROCKY MOUNTAIN CALVARY  
CHAPEL - ELLICOTT

**SITE DEVELOPMENT  
PLAN  
DP-2 SITE PLAN**

MVE PROJECT 61182  
MVE DRAWING -DEV-SP

**JANUARY 29, 2024**  
SHEET 2 OF 2



Where is the new dumpster location

PCD FILE #