



Add "PCD File No. PPR-17-037 and VR-17-009"

August 15, 2017

El Paso County
Planning and Community Development Department
2880 International Circle, Suite 110
Colorado Springs, CO 80910

Add a section discussing conformity with the Fisher's Canyon DBPS. Is there concerns regarding bank stabilization since the property is at the outside bend?

Re: Drainage Letter for Bunting MultiFamily Filing No. 1
Project No. 61072

Planning and Community Development Department:

The purpose of this Drainage Letter is to address the County's Drainage Report requirements for the proposed replat of Lot 5, a portion of Lot 4 and a portion on Lot 6, Stratmoor South Subdivision in El Paso County, Colorado. The replat is to be known as "Bunting MultiFamily Filing No. 1". The site is located within the Southeast Quarter of Section 5, Township 15 South, Range 66 West of the 6th P.M. The site is located west of Interstate 25, approximately one-half mile north of South Academy Boulevard and includes the existing street addresses of 1724 and 1728 Hampton South. The parcels being replatted have existing El Paso County Assessor Parcel Numbers 65054-08-034 and 65054-08-035. A Vicinity Map is attached with this letter.

The site is 0.51+/- acres in area and is vacant residential property, zoned RM-30 (Residential Multi-Dwelling). The public street, Hampton South (60' R.O.W.), is adjacent on the south side of the site. The street contains an existing 15 ft long grated inlet near the southwest corner of the site. The developed multi-family residential property of 1720 Hampton South is adjacent on the west side. An unplatted tract of land, zoned RS-5000 (Residential Suburban), is adjacent to the north. This unplatted tract contains the Clover Ditch drainage way. The developed multi-family residential property of 1732 Hampton South is adjacent on the east side. The site is vacant and vegetated with natural grasses and small brush. The site generally drains from the sides towards the center and then to the north. The Flows exiting the north edge of the site enter the Clover Ditch, located in the off-site property to the north. A strip along the southern portion of the site also drains south to the curb line on Hampton South roadway. These flows gather and are collected at the existing 15 ft long grated inlet located in the curb near the southwest corner of the site. Existing grades on the site range from about 2% to about 8%.

Attached the NRCS soils map

The neighborhood was platted in 1967 as "Stratmoor South Subdivision". The drainage report for the original subdivision was prepared by Karcich & Weber Inc., titled "Hydrological Engineering Study for Stratmoor South Subdivision, El Paso County and is dated June 1967. The site was platted with a Drainage Easement between lots 5 and 6, which was meant to contain an open ditch draining to the north. The ditch was never constructed and notations on the County's record copy of the recorded subdivision plat indicate that the easement was vacated.

According to the National Resource Conservation Service, the soil in the area of the Bunting MultiFamily site is made up of Razor-Midway complex (map unit 75). Razor-Midway complex is moderately deep. Include the document noted on the plat you received from the clerk. The plat copy PCD has or the title work does not reflect the handwritten notes.

Engineers • Surveyors
1903 Lelaray Street, Suite 200 • Colorado Springs, CO 80909 • Phone 719-635-5736
Fax 719-635-5450 • e-mail mve@mvecivil.com

Revise to El Paso County

and well drained. Permeability is slow, surface runoff is medium, and the hazard of erosion is moderate. Razor-Midway complex is classified as being part of Hydrologic Soil Group D. The soil is well suited for home sites and other urban uses.

The current Flood Insurance Study of the region includes a Flood Insurance Rate Map (FIRM), effective on March 17, 1997. The site is included in Community Panel Number 08041C0743F of the Flood Insurance Rate Maps for Elbert County, Colorado and Incorporated Areas. No portion of the site lies within FEMA designated Special Flood Hazard Areas (SFHA's). An excerpt of the current FEMA Flood Insurance Rate Maps with the site delineated is attached.

- 1. Revise the reference to Table 3-1 in Appendix L of the Engineering Criteria Manual.
- 2. Add the calculation for the 67% imperviousness.
- 3. Per ECM Appendix L Part 1 Section 3.13a, a basin drainage fee will be assessed based upon the new impervious acreage if no such fee has been previously paid. This means the fee is based on the 67% imperviousness * acre*basin rate.

the lot near the Hampton South roadway. Landscaping will be provided along the roadway frontage. The residential buildings and the northern portion of the lots will drain offsite to the north. The parking area and front landscape area will drain south to the roadway. Storm flows will continue to be collected in the existing 15 ft ling graded inlet near the southwest corner of the site.

The resulting actual percent imperviousness of the site will be 67%, which is approximately the same as the multi-family classification of 65% referenced in El Paso County resolution 99-383 concerning Drainage Fee Rates. Because there is no significant change in percent imperviousness planned for the site when it was originally platted in 1967 and the current proposed development, no Drainage Fees are due.

Identify the drainage basin (Fisher's Canyon).

The site, being 0.51 acres in area, is less than 1.0 acres in area. Therefore, in accordance with Engineering Criteria Manual treatment facilities.

Storm runoff flows from the c conditions. The proposed dev downstream drainage ways.

Respectfully submitted,

M.V.E., Inc.

- 1. Being less than an acre is insufficient justification. Provide a statement answering the following question. Is the site tributary to sensitive waters (see Table I-5) or classified as a potential high risk? If the answer to both is "No", then no additional BMPs are required.
- 2. Either include flood control detention or justify why 100yr flood control detention is not required.

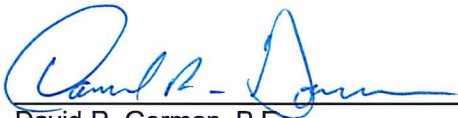
Discuss and analyze the emergency overflow path. It appears that the emergency overflow path for Stratmoor South Subdivision goes through the proposed lots. A drainage easement should be provided for the emergency overflow.

Add a section regarding the County's 4-step process identified in Appendix I Section I.7.2.

Statements and Acknowledgments

Engineer's Statement

The attached drainage plan and report were prepared under my direction and supervision and are correct to the best of my knowledge and belief. Said drainage report has been prepared according to the criteria established by El Paso County for drainage reports and said report is in conformity with the applicable aster plan of the drainage basin. I accept responsibility for any liability caused by any negligent acts, errors or omissions on my part in preparing this report.



David R. Gorman, P.E.
For and on Behalf of MVE, Inc.

Colorado No. 31672

8/15/17

Date

Developer's Statement

I, the developer have read and will comply with all of the requirements specified in this drainage report and plan.

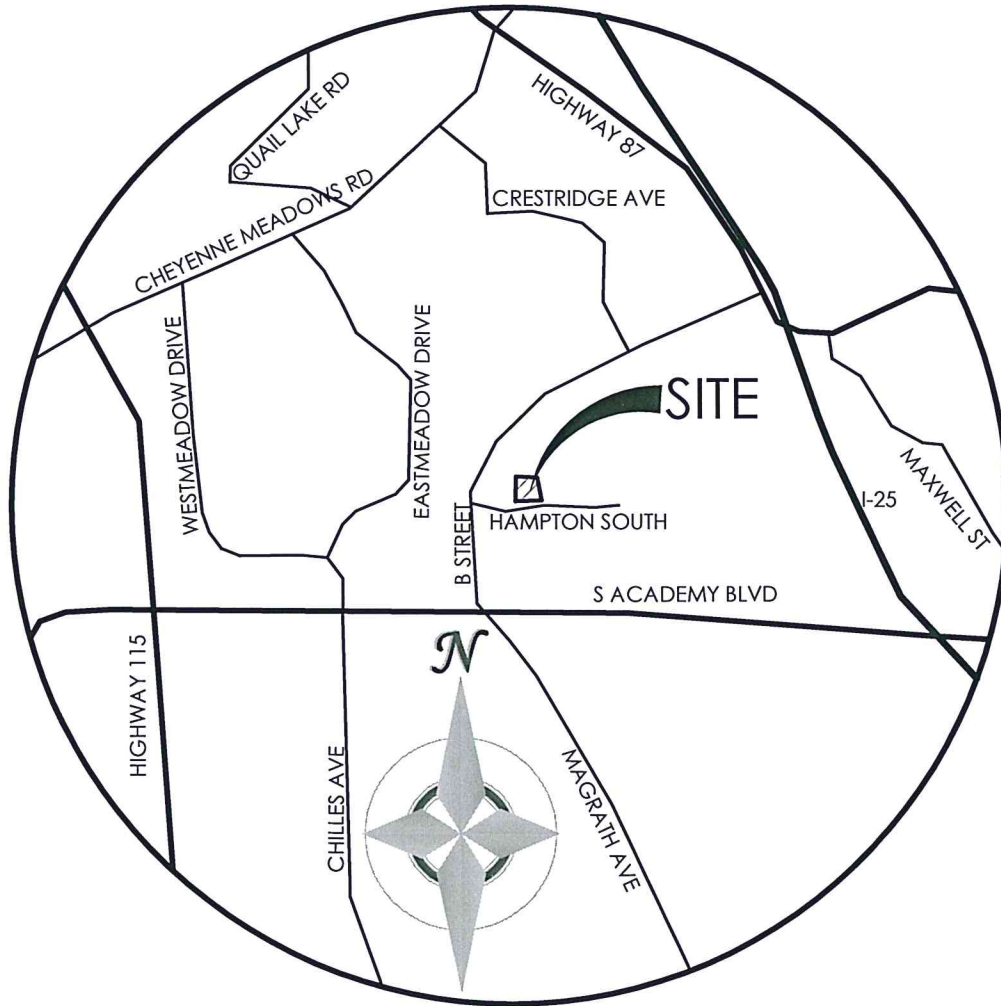
George E. Bunting
GNC Bunting LLC

Date

El Paso County

Filed in accordance with the requirements of the Drainage Criteria Manual 1 & 2, El Paso County Engineering Manual, and the Land Development Code as amended.

Jennifer E. Irvine , County Engineer / ECM Administrator Date
El Paso County



VICINITY MAP

NOT TO SCALE



APPROXIMATE SCALE IN FEET



NATIONAL FLOOD INSURANCE PROGRAM

**FIRM
FLOOD INSURANCE RATE MAP**

EL PASO COUNTY,
COLORADO AND
INCORPORATED AREAS

PANEL 743 OF 1300

(SEE MAP INDEX FOR PANELS NOT PRINTED)

CONTAINS:
COMMUNITY

NUMBER PANEL SUFFIX

COLORADO SPRINGS CITY OF 080080 0743 F
EL PASO COUNTY UNINCORPORATED AREAS 080059 0743 F

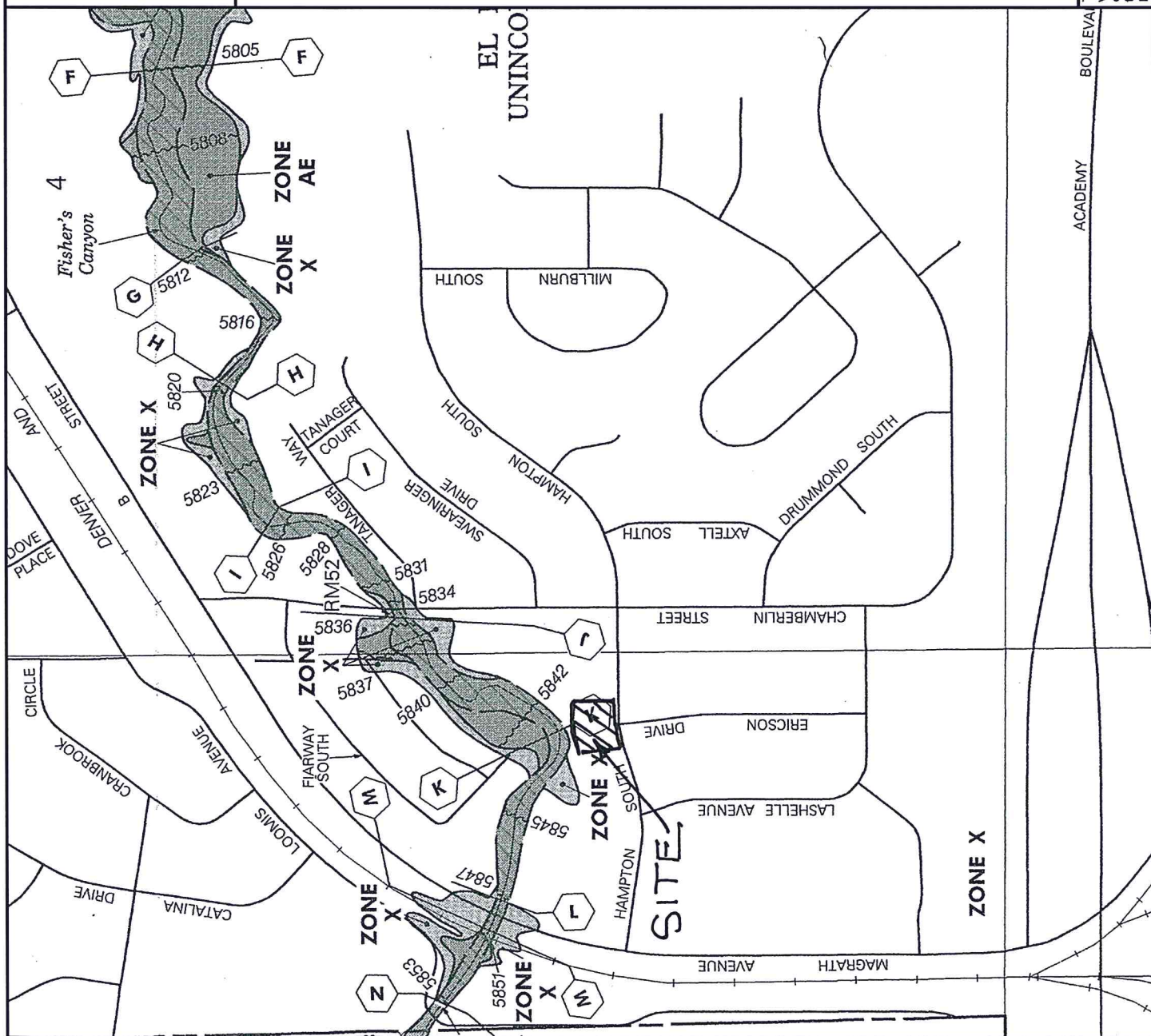
MAP NUMBER
08041C0743 F

EFFECTIVE DATE:
MARCH 17, 1997



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

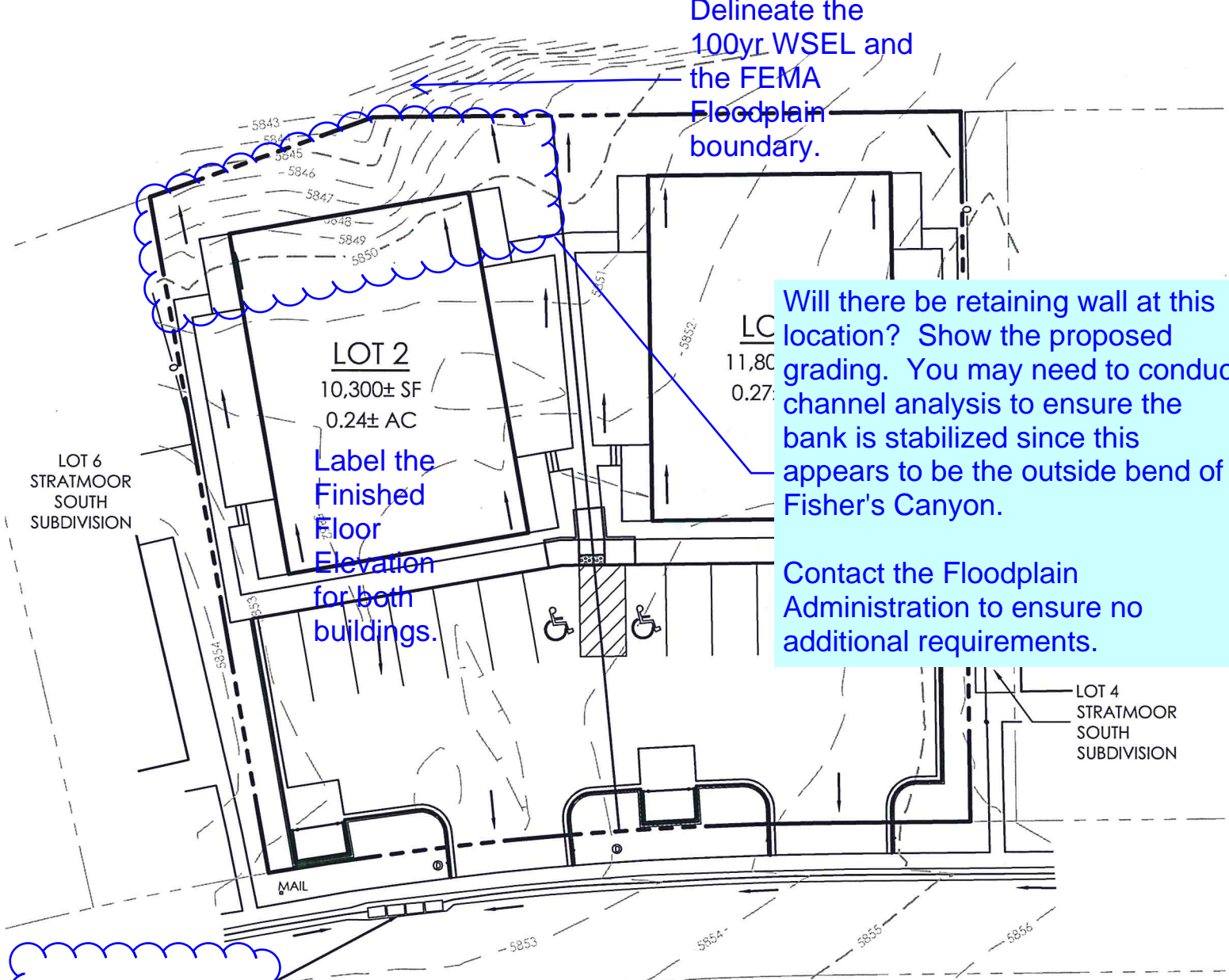


Delineate the 100yr WSEL and the FEMA Floodplain boundary.

Will there be retaining wall at this location? Show the proposed grading. You may need to conduct channel analysis to ensure the bank is stabilized since this appears to be the outside bend of Fisher's Canyon.

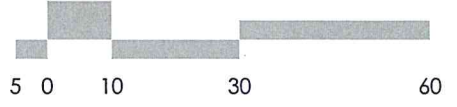
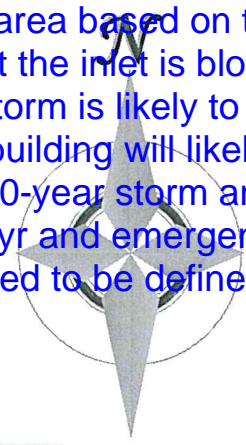
Contact the Floodplain Administration to ensure no additional requirements.

Label the Finished Floor Elevation for both buildings.



EXISTING 15 FT GRATED INLET

1. Show the direction of the outgoing storm drain.
2. This is a low point of the Stratmoor South subdivision. The original drainage report analyzed the area based on the 50-year storm frequency. In the event the inlet is blocked the emergency flow path for a 100-year storm is likely to runoff through these lots and the proposed building will likely be impacted. Provide analysis for the 100-year storm and 100-year emergency overflow. A 100yr and emergency overflow path through the lots may need to be defined and placed within a drainage easement.



1" = 30' 1:360

Bunting Multifamily
Filing No. 1
Drainage Exhibit
January 1, 2012
61072-Drain-Map

MVE, INC.
ENGINEERS SURVEYORS

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colorado springs
719.635.5736

suite 200
co 80909
www.mvecivil.com

Markup Summary

dsdlaforce (14)

Subject: Text Box
Page Label: 1
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Author: dsdlaforce

Add "PCD File No. PPR-17-037 and VR-17-009"

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dsdlaforce

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Attached the NRCS soils map

more South Subdiv. NRCS soils map report for the
Wilbur Inc. dated 11/14/2017. Engineering Study for
and is dated June 1967. The site was platted with a
was meant to contain a 1/2 acre ditch leading to the
stations on the County's record copy of the recorded
eased.

Service, the plat in the area of the Burning Multifamily
with 70'. The roadway complex is moderately deep

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Surveys
CD 88989 • Phone 719-635-5726
dsdlaforce.com

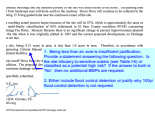
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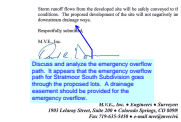
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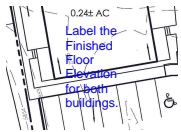
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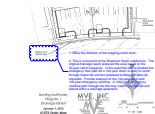
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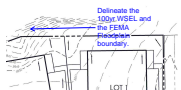
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