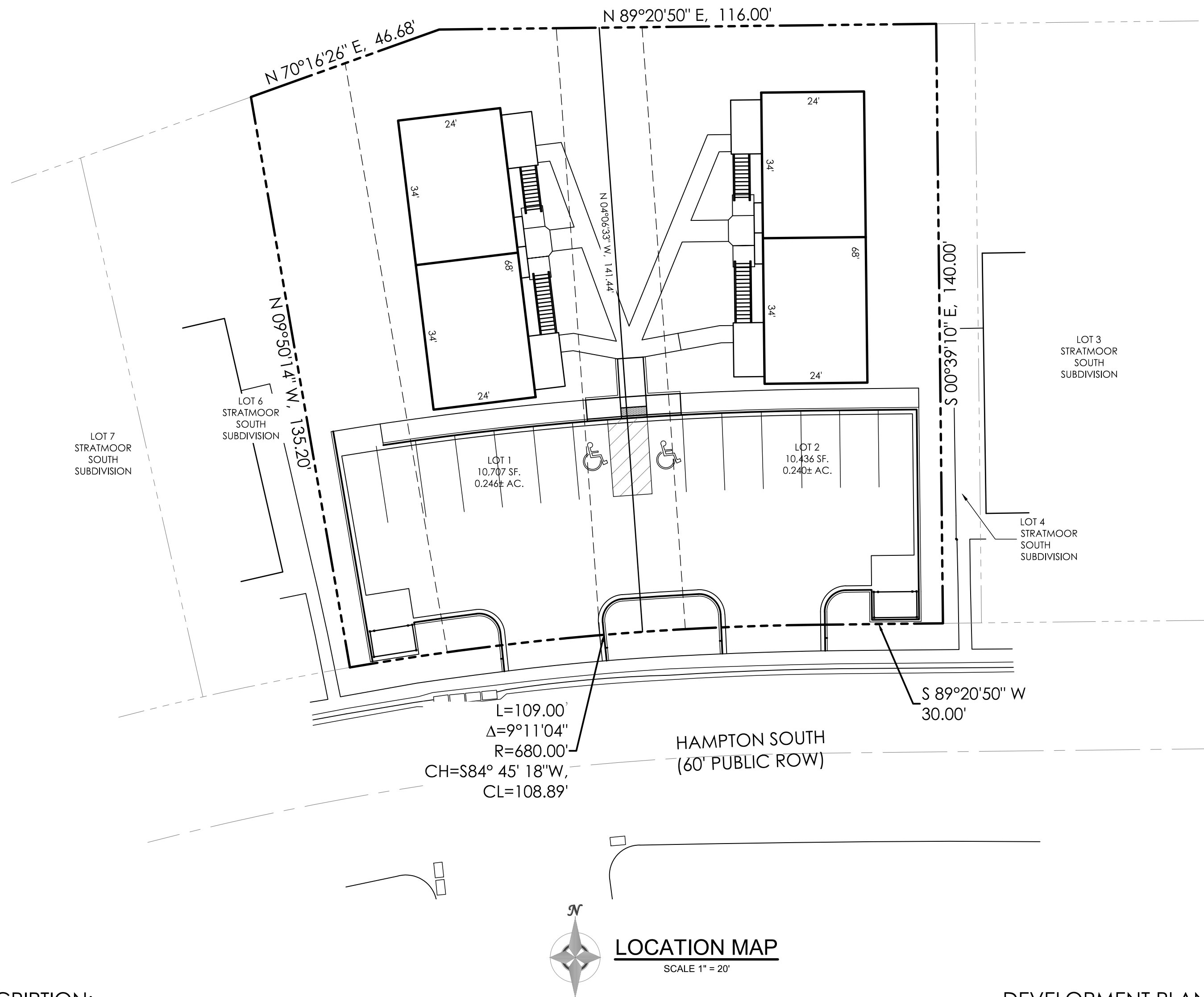


SITE DEVELOPMENT PLAN
for BUNTING MULTIFAMILY FILING NO. 1,
EL PASO COUNTY, COLORADO



LEGAL DESCRIPTION:

THAT GNC BUNTING LLC IS THE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND, TO WIT:
THAT PORTION OF THE SOUTHEAST QUARTER SECTION 5, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO;
MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE NORTH LINE OF HAMPTON SOUTH; THENCE S89°20'50" W ALONG THE NORTH LINE OF SAID HAMPTON SOUTH, A DISTANCE OF 30.00 FEET TO A POINT OF CURVE TO THE LEFT;
THENCE CONTINUING ALONG THE NORTH LINE OF SAID HAMPTON SOUTH 109.00 FEET ALONG SAID CURVE TO THE LEFT HAVING A RADIUS OF 680.00 FEET, A CENTRAL ANGLE OF 9°11'04" WHOSE LONG CHORD BEARS N84°45'18"E, A DISTANCE OF 108.89 FEET;
THENCE N09°50'14" W, A DISTANCE OF 135.20 FEET;
THENCE N70°16'25" E, A DISTANCE OF 46.68 FEET;
THENCE N89°20'50" E, A DISTANCE OF 116.00 FEET;
THENCE S00°39'10" E, A DISTANCE OF 140.00 FEET TO THE POINT OF BEGINNING
[BEARING REFERRED TO HEREIN ARE BASED ON THE NORTH LINE OF SAID HAMPTON SOUTH AS BEARING N89°20'50" W]

FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA'S) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0743 F, EFFECTIVE MARCH 17, 1997.

MAP NOTES

- 1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE NORTH LINE OF HAMPTON SOUTH, ASSUMED TO BEAR S89°20'50" W.
- 2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE, INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE CITY OF COLORADO SPRINGS CONTROL NETWORK (RMS DATUM)
- 3. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.

ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

DEVELOPMENT PLAN SHEET INDEX:

SHEET NUMBER	SHEET TITLE
SITE PLANS	
DP-1	COVER SHEET
DP-2	SITE PLAN
GRADING AND EROSION CONTROL PLANS	
C-1	COVER SHEET
C-2	GRADING PLAN
C-3	EROSION CONTROL PLAN
C-4	EROSION CONTROL DETAILS
UTILITY PLANS	
U-1	PRELIMINARY UTILITY PLAN
LANDSCAPING PLAN	
LS-1	LANDSCAPING PLAN
LIGHTING / PHOTOMETRIC PLAN	
LP-1	SITE LIGHTING MAP
ARCHITECTURAL PLANS	
A1-1	BUILDING ELEVATIONS
A1-2	BUILDING FLOOR PLAN

Approved
By: Craig Dossey, Executive Director
Date: 09/06/2018
El Paso County Planning & Community Development

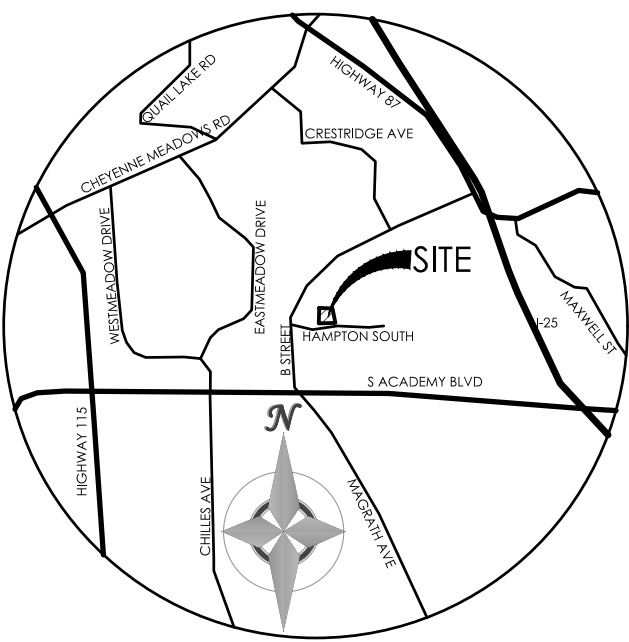
SITE DATA

OWNER/DEVELOPER GNC BUNTING LLC 205 SEDONA DR. COLORADO SPRINGS, CO 80921 (719) 641-5752	COVERAGE DATA RESIDENTIAL BUILDING 3,264 SF (15.4%) PAVEMENT (PARKING/WALK) 8,119 SF (38.4%) LANDSCAPING 9,760 SF (46.2%) TOTAL AREA 21,143 SF (100.0%) = 0.49± ACRES
APPLICANT M.V.E., INC. 1903 LELARAY STREET, SUITE 200 COLORADO SPRINGS, CO 80909 (719) 635-5736	PARKING DATA MULTI-FAMILY RESIDENTIAL - EIGHT (8) 2 BEDROOM UNITS REQUIRED: 1.7 SPACES PER UNIT + 1 GUEST SPACE PER 3 UNITS 8 UNITS x 1.7 SPACES PER UNIT = 14 SPACES + 8 UNITS/3 = 3 GUEST SPACES TOTAL REQUIRED SPACES = 14 + 3 = 17 SPACES, INCLUDING 2 HC SPACES (1 PER BUILDING) PROVIDED: 14 SPACES, INCLUDING 2 HC SPACES (ADMINISTRATIVE RELIEF REQUESTED)
CONSULTANT/ENGINEER M.V.E., INC. 1903 LELARAY STREET, SUITE 200 COLORADO SPRINGS, CO 80909 (719) 635-5736	BUILDING TYPE BUILDING AREA - 1,632 (EACH BUILDING) SF ONE STORY - TYPE II-B, FOUR-PLEX FIRE SPRINKLED
ZONING CURRENT & PROPOSED ZONING: RM-30 (RESIDENTIAL MULTI-DWELLING)	BUILDING SETBACKS FRONT: 25' SIDE: 15' REAR: 15'
BUILDING USE MULTIFAMILY RESIDENTIAL	BUILDING HEIGHT 40 FT MAX. (TWO STORY)
CONSTRUCTION SCHEDULE START: NOVEMBER 2017 FINISH: MAY 2018	
TAX SCHEDULE NO. 6505408034 AND 6505408035	
PROPERTY ADDRESS 1724 AND 1728 HAMPTON SOUTH COLORADO SPRINGS, CO 80906	

CONDITION OF APPROVAL: Sidewalk, in the area of the proposed driveways, shall be removed and replaced with 8" thick sidewalk.

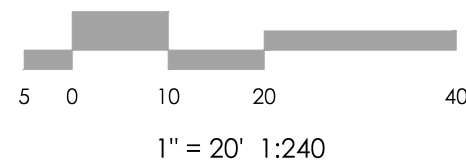
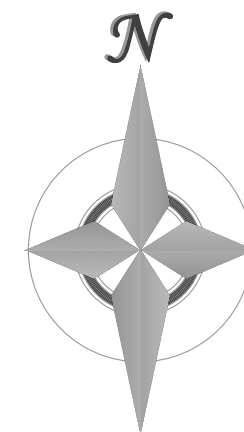
LEGEND

-----	PROPERTY LINE	-----	PROPOSED
-----	EASEMENT LINE	-----	INDEX CONTOUR
-----	LOT LINE	-----	INTERMEDIATE CONTOUR
---	BUILDING SETBACK LINE	-----	CONCRETE AREA
---	ADJACENT PROPERTY LINE	-----	ASPHALT AREA
---		-----	CURB AND GUTTER
---		-----	BUILDING/ BUILDING OVERHANG
---		-----	DECK
---		-----	4" MAX RETAINING WALL - SOLID ROCK
---		---	SIGN
---		---	BOLLARD
---		---	WOOD FENCE
---		---	CHAIN LINK FENCE
---		---	BARBED WIRE FENCE
---		---	TREE (EVERGREEN/DECIDUOUS)
---		---	SHRUB
---		---	SANITARY SEWER MANHOLE
---		---	SANITARY SEWER MAIN



VICINITY MAP
NOT TO SCALE

BENCHMARK



MVE, INC.
ENGINEERS, SURVEYORS
1903 Lelaray Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

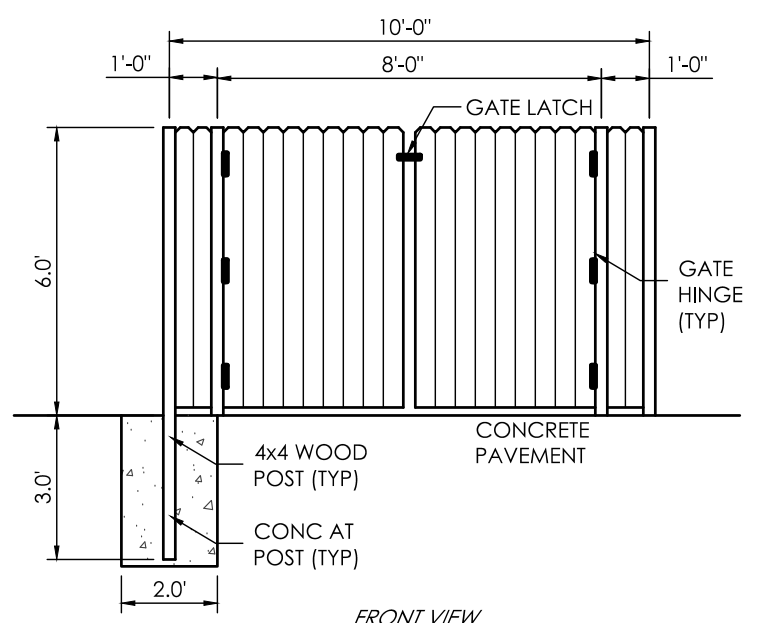
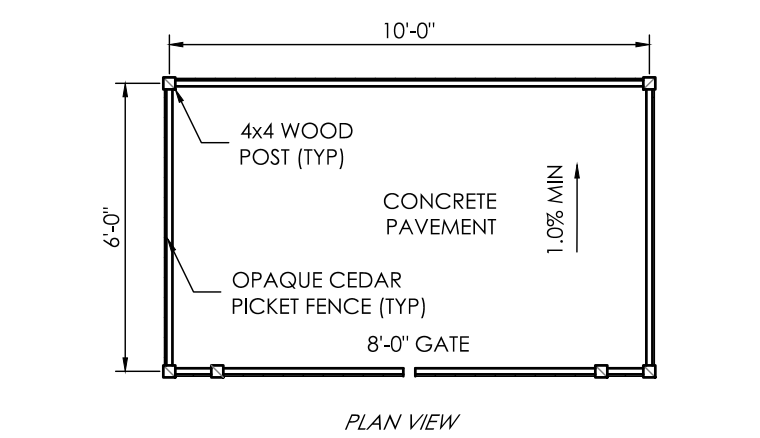
REVISIONS

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DRAWN BY
CHECKED BY
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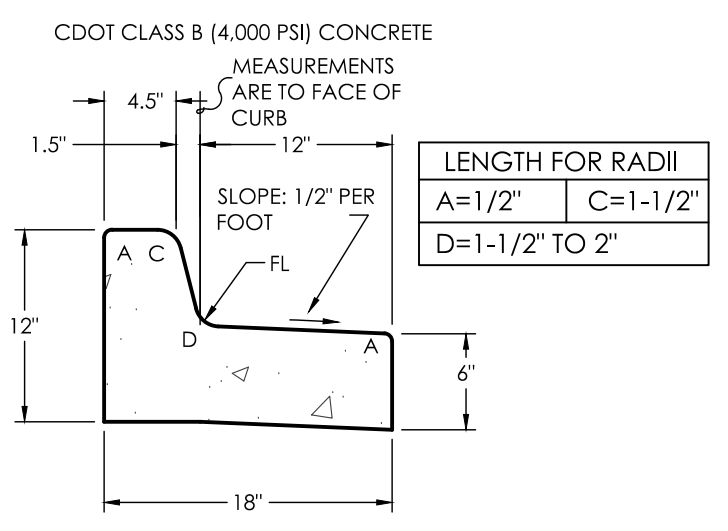
BUNTING MULTIFAMILY
SITE DEVELOPMENT PLAN

COVER SHEET

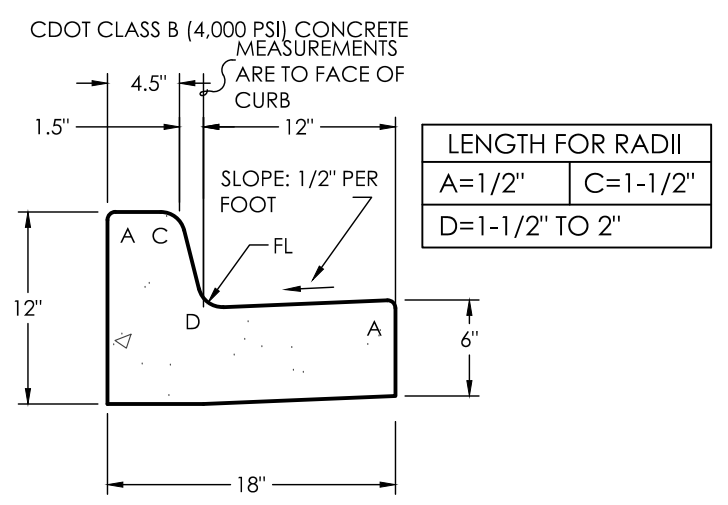
DP-1 MVE PROJECT 61072
MVE DRAWING -DEV-CS
EPC file no. PPR 17-037
July 30, 2018
SHEET 1 OF 2



TRASH ENCLOSURE
SCALE 1" = 4.0'

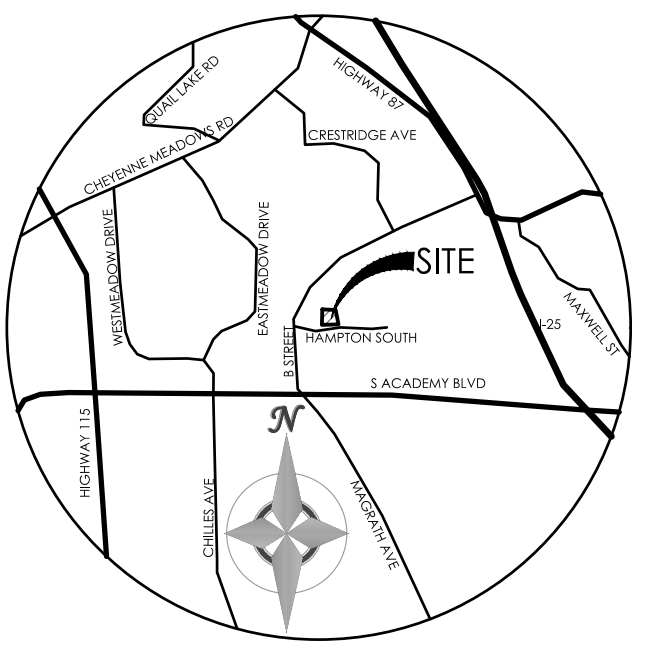


INTERIOR SITE CURB & GUTTER (SPILL)
SCALE 1" = 1.0'



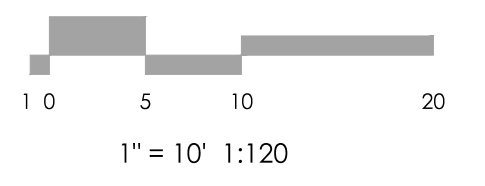
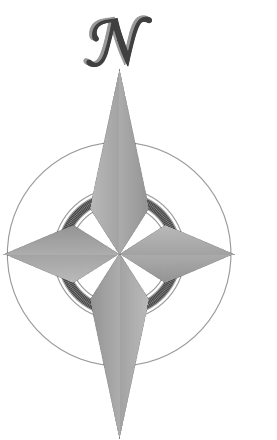
INTERIOR SITE CURB & GUTTER (CATCH)
SCALE 1" = 1.0'

Side setback and parking approved per ADR-17-012



VICINITY MAP
NOT TO SCALE

BENCHMARK



1" = 10' 1:120



1903 Library Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS

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AS-BUILT BY
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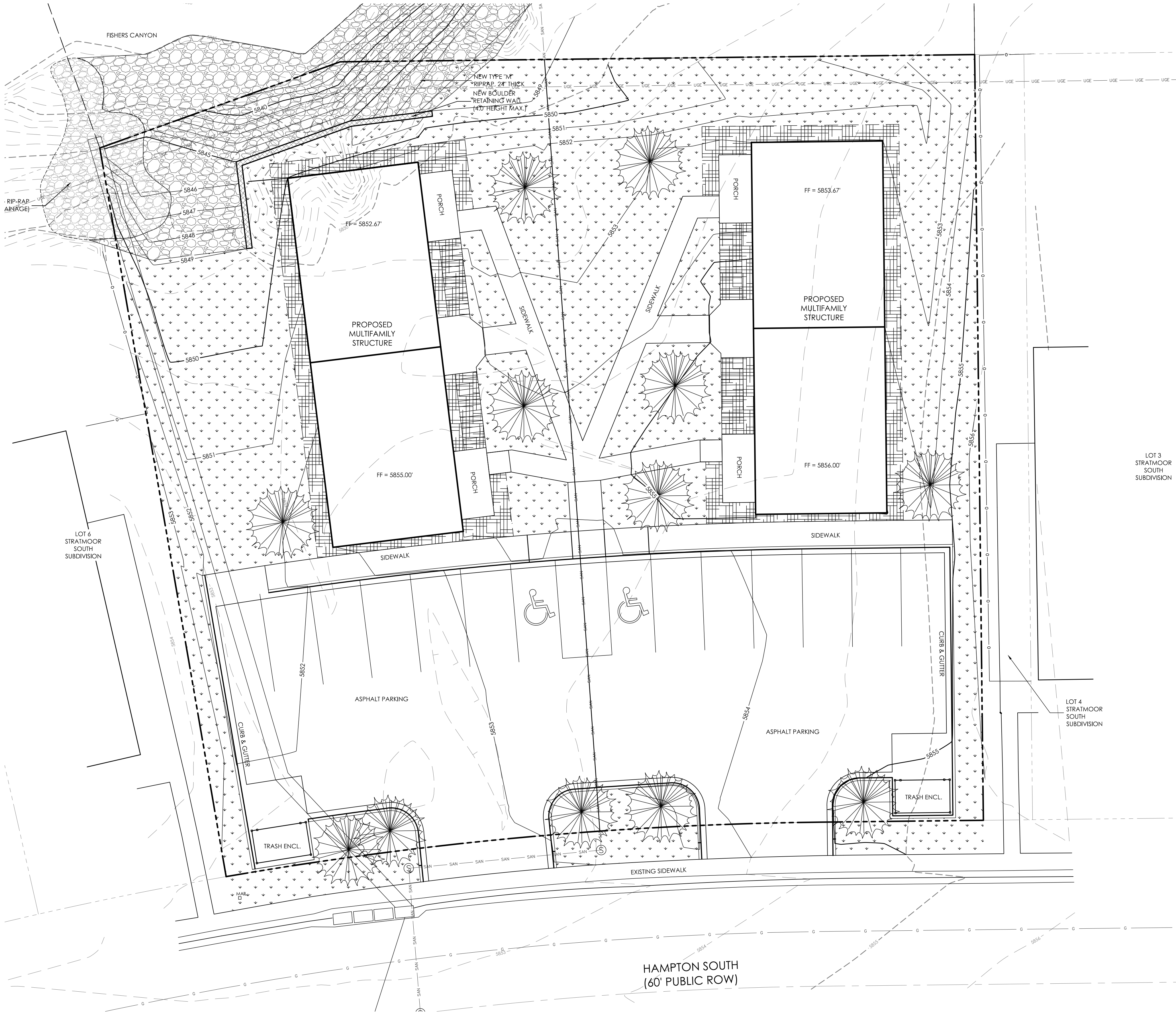
BUNTING MULTIFAMILY
SITE DEVELOPMENT PLAN

SITE PLAN

DP-2 MVE PROJECT 61072
MVE DRAWING -DEV-SP

July 30, 2018
SHEET 2 OF 11

Z:\61072_Sheet Drawg\61072-LANDSCAPE.dwg, 8/7/18 8:26:10 AM, DWG



GENERAL LANDSCAPE NOTES

- ALL PARKING LOT PLANTING ISLANDS SHALL BE EXCAVATED TO A 30" DEPTH AND FILLED WITH IMPORTED TOPSOIL.
- ALL AREAS LABELED "TURF" ARE TO BE KENTUCKY BLUEGRASS SOD.
- ALL AREAS LABELED "MAINTAINED GRASS" ARE TO RECEIVE ARKANSAS VALLEY SEED CO. "NATURE'S CHOICE MIX" (70% FAIRWAY CRESTED WHEATGRASS, 15% HARD FESCUE, 10% VANTAGE, PERENNIAL RYEGRASS, 5% KENTUCKY BLUEGRASS). SEEDING RATE IS TO BE 4 LBS. PER 1000 S.F. TO BE APPLIED BY A TWO-STEP HYDRO-MULCH PROCEDURE.
- ALL AREAS LABELED "NATIVE PRAIRIE GRASSES" ARE TO RECEIVE A CDOT "PLAINS" MIX AS PER CDOT STANDARDS. 16 LBS. PER ACRE TO BE APPLIED PER CDOT STANDARDS.
- ALL PLANTING BEDS LABELED "WOOD MULCH" ARE TO RECEIVE 3" DEPTH "CASCADE CEDAR" SHREDDED WOOD MULCH.
- ALL PLANTING BEDS LABELED "ROCK COVER" ARE TO RECEIVE 1-1/2" "RIVER ROCK" 3" DEPTH OVER LANDSCAPE FABRIC.
- EXISTING SOIL IN ALL SOD, MAINTAINED GRASS, AND PLANTING BED AREAS IS TO BE AMENDED WITH 3 CU. YDS./ 1000 S.F. OF TRI-MIX II (C & C SAND) TILLED INTO TOP 4" OF SOIL.
- SOD AREAS ARE TO BE SPRAY IRRIGATED. MAINTAINED GRASS TO BE SPRAY IRRIGATED SEPARATELY FROM SOD. ALL SHRUBS AND PERENNIALS TO BE DRIP IRRIGATED.
- ALL TREES TO HAVE 3 LBS. NITROGEN PER 1000 SQ. FT. ADDED. USE THE DRIP LINE OF TREES TO CALCULATE THE SQ. FT. TREES SHALL ALSO RECEIVE 4 LBS. OF PHOSPHOROUS, PER 1000 SQ. FT. AND 1 LBS. OF POTASSIUM PER 1000 SQ. FT.
- ALL SEEDING AND SOD AREAS TO HAVE 1 LB. NITROGEN, 4 LBS. PHOSPHOROUS, AND 1 LBS. POTASSIUM PER 1000 SQ. FT. ADDED 2 TO 3 WEEKS AFTER SEEDLING EMERGENCE. ALSO ADD 1 LB. NITROGEN PER 1000 SQ. FT. IN MID TO LATE JUNE AND IN EARLY TO MID AUGUST.
- EXISTING TOPSOIL IS TO BE STOCKPILED ON SITE AND USED TO ESTABLISH FINAL GRADES IN LANDSCAPE AREAS.
- STEEL EDGING TO BE 12 GAUGE DARK GREEN COATED EDGING. EDGING IS TO BE SECURELY STAKED AND TOP OF EDGING IS TO BE 1/2" TO 1" ABOVE SURROUNDING GRADE. EDGING IS ALSO TO HAVE RUBBER EDGING CAP ADJACENT TO ALL TURF AREAS.
- PROPOSED SLOPES ARE NOT TO BE GREATER THAN 4:1 IN LANDSCAPE AREAS.
- EXISTING TREES TO BE RETAINED AND INCORPORATED INTO SITE LANDSCAPING ARE LABELED "EXIST" ON THE PLAN. NONE OF THESE TREES ARE IN ACTIVE CONSTRUCTION AREAS AND THEREFORE REQUIRE NO PROTECTION MEASURES. TREES TO BE RETAINED WILL BE MARKED WITH FLAGGING AND LABELED "SAVE".

PLANT SCHEDULE

ABBREVIATION	QTY.	BOTANICAL NAME	COMMON NAME	APP. B KEY	MATURE WIDTH	PLANTING SIZE
TREES						
BP	10	Pinus aristata	Pine: Bristlecone	45678DA	15'	1-1/2" cal.

LEGEND:

- PROPOSED CONIFEROUS TREE
- LANDSCAPE EDGING
- ROCK COVER (SEE NOTES)
- NON-IRRIGATED NATIVE PRAIRIE GRASSES (SEE NOTES)

NOTES

IRRIGATION OF ALL LANDSCAPE AREAS BY OWNER.

COVERAGE DATA

RESIDENTIAL BUILDING	3,264 SF	(15.4%)
PAVEMENT (PARKING/WALK)	8,119 SF	(38.4%)
LANDSCAPING	9,760 SF	(46.2%)
TOTAL AREA	21,143 SF	(100.0%) = 0.49± ACRES

INTERNAL LANDSCAPING

TOTAL AREA	21,143 SF
INTERNAL LANDSCAPING REQUIRED	3,171 SF (15.0%)
LANDSCAPING PROVIDED	9,760 SF (46.2%)

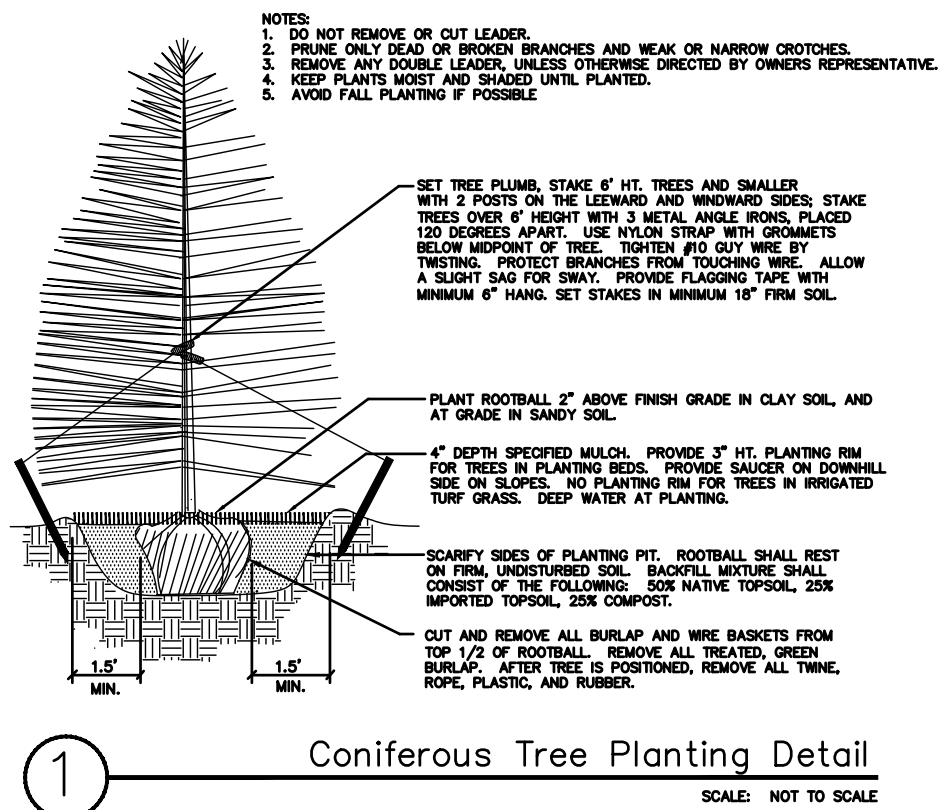
TREES REQUIRED 1/500SF	7 EA
TREES PROVIDED	7 EA

REQUIRED LIVE GROUND COVER	7,320 SF (75.0%)
LIVE GROUND COVER PROVIDED	8,520 SF (87.3%)

ROADWAY LANDSCAPING

TOTAL FRONTAGE	140 LF
REQUIRED TREES: 1/30 FT	5 EA
PROVIDED TREES	5 EA

PLANTING DETAILS



- NOTES:
- DO NOT REMOVE OR CUT LEADERS.
 - REMOVE ONLY DEAD OR BROKEN BRANCHES AND WEAK OR HOLLOW CROTCHES.
 - REMOVE ANY DOUBTLE LEADERS, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
 - KEEP PLANTS MOIST AND SHADDED UNTIL PLANTED.
 - A SHARP SHED FOR SHAW. PROVIDE FLAGGING TYPED WITH MINIMUM 8" HANG. SET STAKES IN MINIMUM 14" FIRM SOIL.
 - AVOID TALL PLANTING IF POSSIBLE.

SET TREE PLUMB, STAKE 8" HT. TREES AND SMALLER WITH 2 POINTS ON THE LEeward AND WINDWARD SIDES. STAKE TREES OVER 6' HEIGHT WITH 3 METAL ANGLE IRONS, PLACED 120 DEGREES APART. USE WELSH STRIP WITH GRADUATES BELOW MIDPOINT OF TREE STATED AND OUT WIDE BY TWENTY. WEDGED BRANCHES FROM TOUCHING WIND. ALLOW A SHARP SHED FOR SHAW. PROVIDE FLAGGING TYPED WITH MINIMUM 8" HANG. SET STAKES IN MINIMUM 14" FIRM SOIL.

PLANT ROOTBALL 2" ABOVE FINISH GRADE IN CLAY SOIL, AND AT GRADE IN SANDY SOIL.

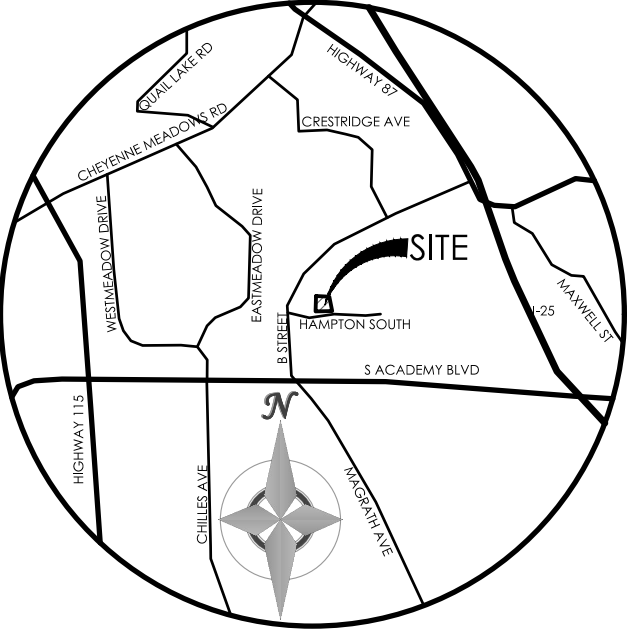
4" DEPTH SPECIFIED MULCH. PROVIDE 3" HT. PLANTING RIM FOR TREES IN PLANTING BEDS. PROVIDE SAUCER ON DOWNHILL SIDE ON SLOPES. NO PLANTING RIM FOR TREES IN BROADCAST TURF GRASS. DEEP WATER AT PLANTING.

SCAFFOLD SIDES OF PLANTING PIT. ROOTBALL SHALL REST ON FIRM UNDISTURBED SOIL. BACKFILL MATURE SHALL CONSIST OF THE FOLLOWING: 50% NATIVE TOPSOIL, 50% TURF GRASS. DEEP WATER AT PLANTING.

CUT AND REMOVE ALL BURLAP AND WIRE BASKETS FROM TOP 1/2 OF ROOTBALL. REMOVE ALL TREATED GREEN BURLAP. AFTER TREE IS POSITIONED, REMOVE ALL TWINE, ROPE, PLASTIC, AND RUBBER.

Coniferous Tree Planting Detail

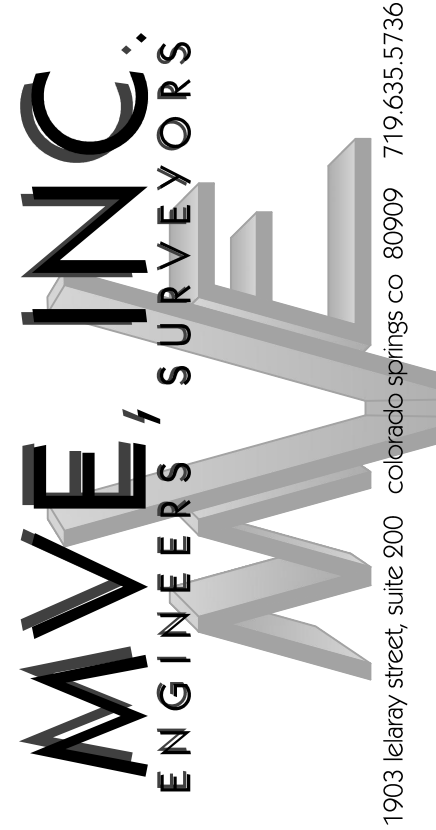
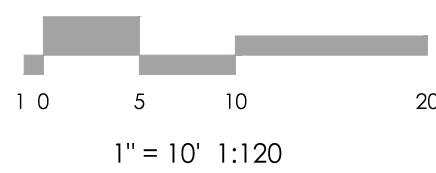
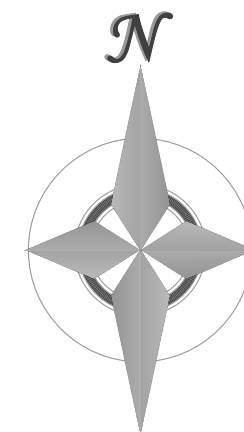
SCALE: NOT TO SCALE



VICINITY MAP

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BENCHMARK



REVISIONS

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AS-BUILTS BY
CHECKED BY

BUNTING MULTIFAMILY
SITE DEVELOPMENT PLAN

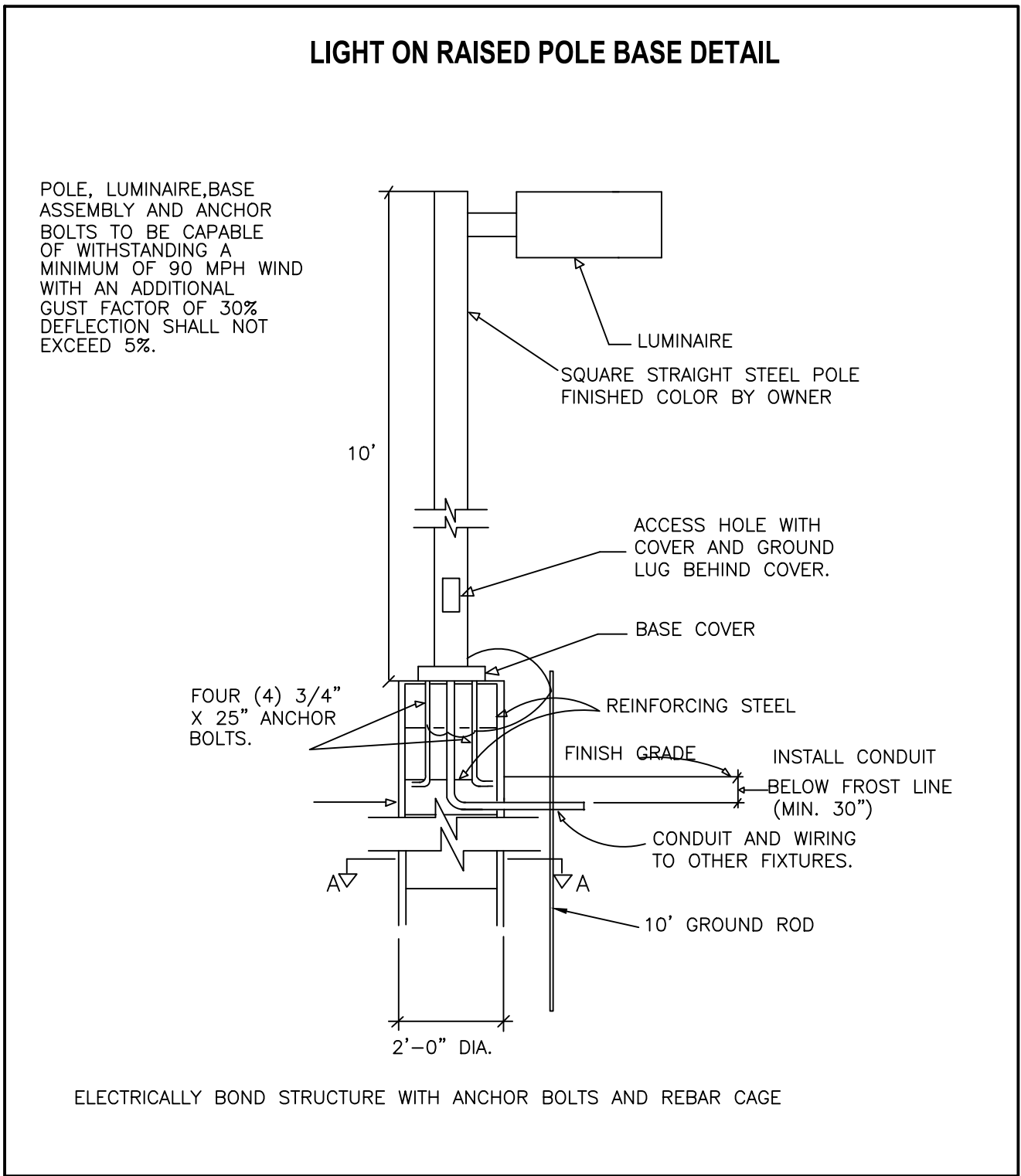
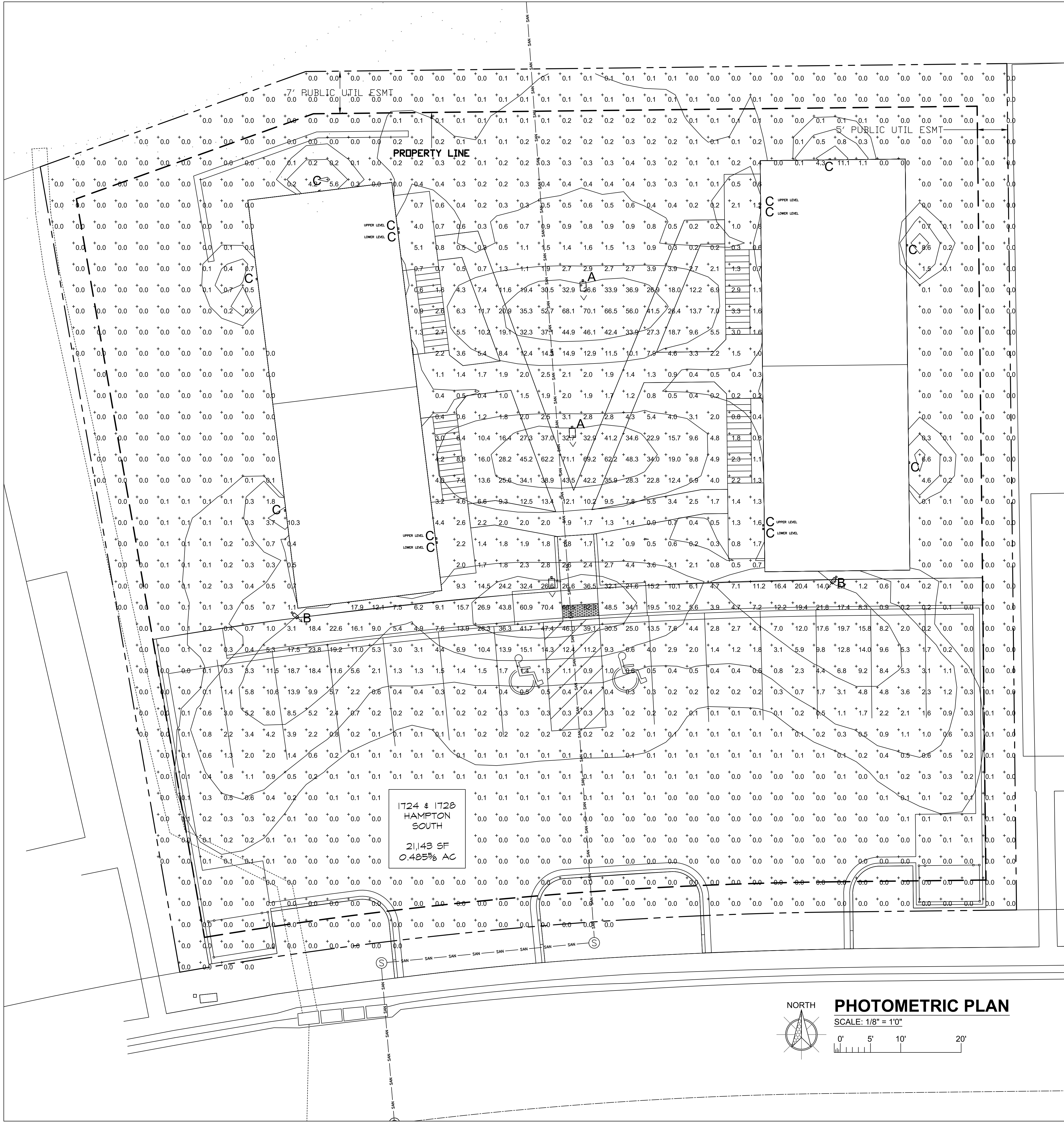
LANDSCAPING
PLAN

LS-1

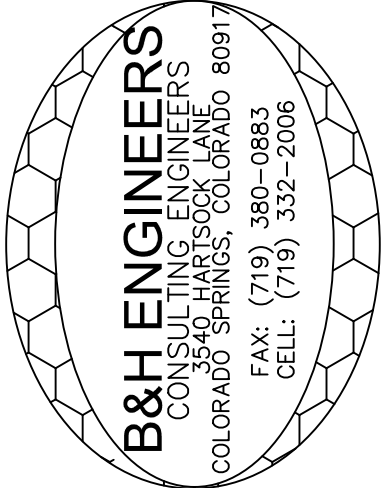
MVE PROJECT 61072
MVE DRAWING-LANDSCAPING

July 30,, 2018
SHEET 1 OF 1

(PCD FILE # PPR-17-037)



LIGHTING SCHEDULE				
KEY	SYMBOLS	DESCRIPTION	WATTS/QTY/LAMP	MANUFACTURER / MODEL
A		LARGE VIPER LED POLE LIGHT	136WATT-64-LED	BEACON VP-L-64NB-136-5K-FR
B		SMALL VIPER LED POLE LIGHT	55WATT-24-LED	BEACON VP-S-24NB-55-5K-FR
C		ROUND DOWN LIGHT	136WATT-5-LED	HUBBEL OLLWD



B&H ENGINEERS
CONSULTING ELECTRICAL, MECHANICAL & PLUMBING ENGINEERS
3540 HARTSOCK LANE
COLORADO SPRINGS, COLORADO 80917
(719) 332-2006

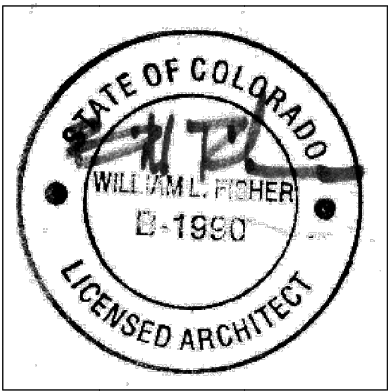
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JOB NO.
DRAWN BY: B&H
CHECKED BY: BP
REVISION/DATE
FILE NAME

BUNTING FAMILY PROJECT
COLORADO SPRINGS, COLORADO

B&H ENGINEERS

PHOTOMETRIC PLAN

PM1

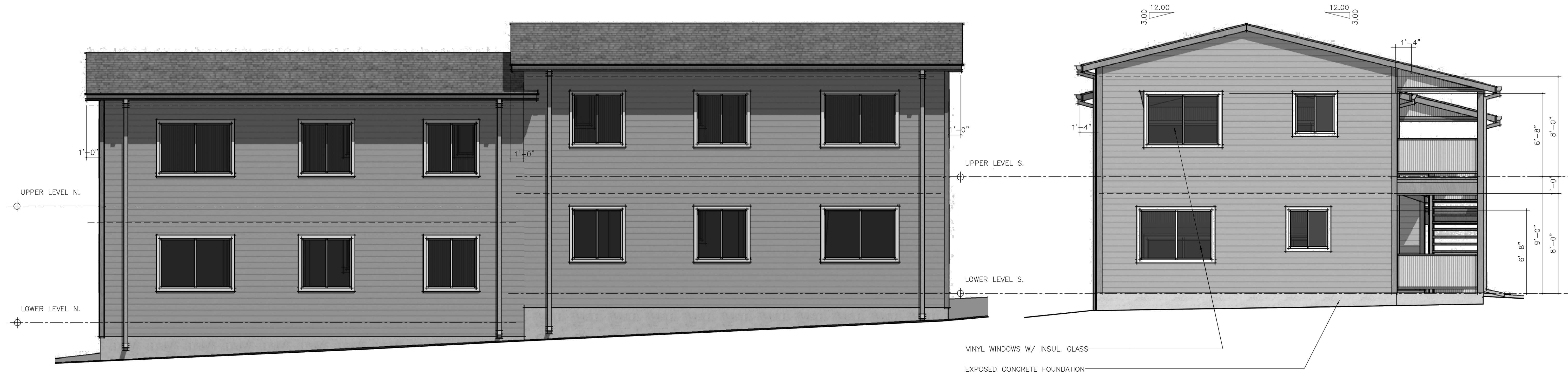


fisher architecture
palmer lake, co 719 660 4356

4 Unit Apartment Buildings
For George & Camille Bunting
1724 & 1728 Hampton South, 80906 El Paso County, CO

PROJECT 16-19
DATE May 5, 2018
PHASE PERMIT SUBMITTAL
DRAWN WLF
CHECKED WLF
REV'D

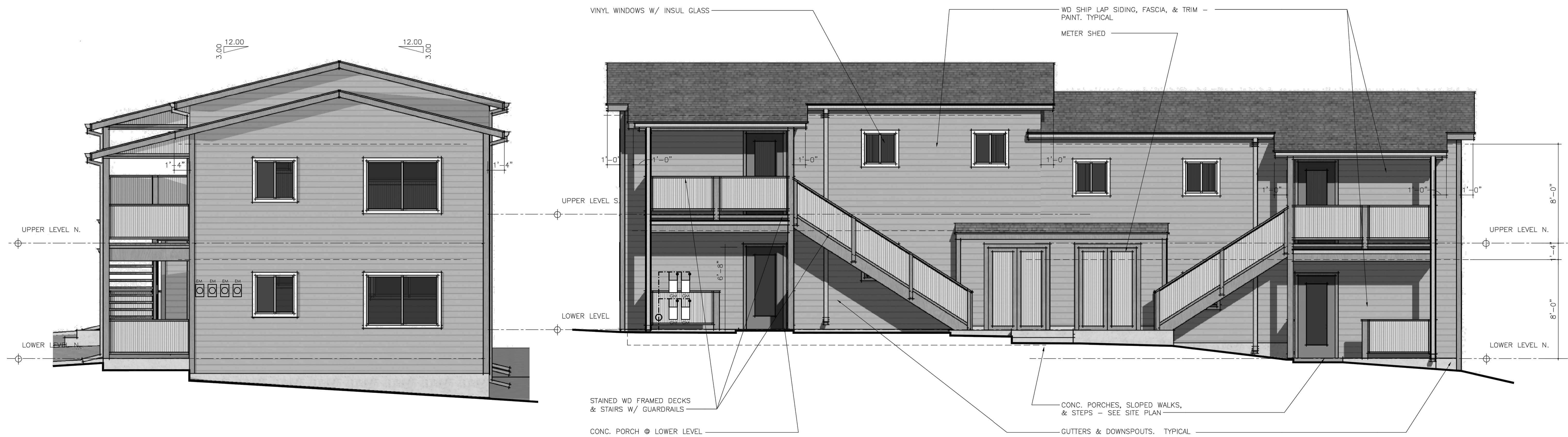
A
2



WEST ELEVATION (1724) / EAST ELEVATION (1728)

SOUTH ELEVATION (1724) / NORTH ELEVATION (1728)

NOTE: ALL ELEVATION DIRECTIONS ARE FOR WEST UNIT. ELEVATIONS ARE MIRRORED FOR EAST UNIT.



NORTH ELEVATION (1724) / SOUTH ELEVATION (1728)

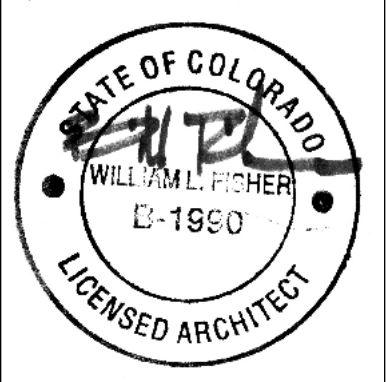
EAST ELEVATION (1724) / WEST ELEVATION (1728)

EXTERIOR ELEVATIONS

1/4" = 1'-0"

1724 HAMPTON SOUTH (WEST LOT) &
1728 HAMPTON SOUTH (EAST LOT)

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KEY NOTES:

- 1 WALL AND BASE CABINETS W/ COUNTERS & BACKSPLASH. SEE INTERIOR ELEVATIONS DRAWING A4.
- 2 5 LEVELS "SUPER SHELVES."
- 3 "SUPER SHELVES" ABOVE WASHER & DRYER.
- 4 PLASTIC LAM. COUNTER & BACKSPLASH CLEATED TO WALL - OPEN BELOW.
- 5 WATER METERS
- 6 GAS METERS IN SHED BELOW
- 7 ELECTRIC METERS
- 8 MED. CAB, TOWEL BARS, & TP DISP. VANITY CAB & DROP-IN LAV UPPER LEVEL. WALL MOUNTED ADA LAV LOWER LEVEL (WALL BLOCK'G AS REQ'D). AT LOWER LEVEL ADA TLTS PROVIDE WD BLOCKING IN WALLS FOR FUTURE GRAB BARS ADJACENT TLT & BATHTUB.
- 9 FIBERGLASS TUB & SHOWER SURROUND, ROD & CURTAIN
- 10 1 HR SHAFTWALL FROM CEILING BELOW TO UNDERSIDE OF ROOF DECK. GA WP7008 / UL U469
- 11 RECESSED WASHER AND DRYER PLUMBING HOOK-UPS AND EXTERIOR DRYER VENTS.
- 12 TANK TOPPER CABINET
- 13 SLAB ON GRADE W/ THICKENED EDGES AT PATIO - SEE DETAILS SHT A4.
- 14 PRIVACY WALLS: SEE DETAILS ON SHT. A4.
- 15 PRIVACY WALL TREATED 4X4 END SUPPORT POST W/ HEAVY DUTY POST BASE ANCHORS.
- 16 36" H. GUARD WALLS & HANDRAILS BOTH SIDES STAIRS. SEE DETAILS 8 & 9 / A4.
- 17 SYNTHETIC DECKING ON TREATED 2BY RIPPED SLEEPERS @ 16" O.C. ON EPDM BEARING PADS OVER EPDM ROOFING ON OSB FLOOR DECK ON 2X WD JOISTS - SEE STRUCT.
- 18 42" GUARDWALLS ALL AROUND UPPER DECKS. SEE DETAILS ON SHT A4.
- 19 PROVIDE 2X TREATED WOOD RISERS & STRINGERS. SEE DETAILS 8 & 9 / A4.
- 20 AC CONDENSING UNITS ON CONCRETE PAD
- 21 22"x32" CRAWL SPACE ACCESS HATCH BETWEEN FLOOR JOISTS
- 22 22"x32" ATTIC ACCESS HATCH ABOVE BETWEEN ROOF TRUSSES

SMART FRAMING NOTES:

1. ALL EXTERIOR WALL STUDS ARE 2x6'S @ 24" O.C. & ARE SHOWN ON FLOOR PLAN. ALL INTERIOR WALL STUDS ARE 2x4'S @ 24" O.C.
2. CONSTRUCT CORNERS W/ 2 STUDS ONLY & ELIMINATE ADDITIONAL STUDS IN EXTERIOR WALLS AT PERPENDICULAR INTERIOR PARTITIONS. PROVIDE DRYWALL CLIPS ("PREST-ON CORNER BACKS") IN LIEU OF NAILER AT ALL INSIDE CORNERS AT ALL WALLS & CEILINGS.
3. PROVIDE SINGLE TOP WALL PLATE: PROVIDE 4"x7"x20 GA. STEEL CONN. PLATES (SIMPSON TP47) AT ALL CORNERS & OTHER JOINTS IN WD. WALL PLATE. JOINTS SHALL OCCUR ON TOP OF STUDS. PROVIDE MIN. (6) Bd X 1 1/2" NAILS IN STL. CONN. PLATE EA. SIDE JOINT.
4. ALL JOISTS & TRUSSES ALIGN W/ STUDS (MAX. 1" TOLERANCE). NOTE: WALL STUD LOCATIONS ARE SHOWN ON FRAMING PLANS.
5. ELIMINATE TRIMMERS IN LIEU OF HH4 HANGERS - SEE STRUCTURAL DRAWINGS.

ACCESSIBILITY NOTES:

1. LOWER LEVEL UNITS ARE TYPE B ACCESSIBLE UNITS. SEE FLOOR PLAN DASHED LINES FOR ACCESSIBLE CLEARANCES.
2. ASSURE A CONTINUOUS EXTERIOR ACCESSIBLE ROUTE FROM PARKING LOT CURB RAMP TO PRIMARY ENTRANCE OF UNIT. MAX 5% RUNNING SLOPE SIDEWALK (MAX 2% SIDE SLOPE). ABRUPT CHANGES IN LEVEL SHALL BE BEVELED 1:2 MAX & SHALL NOT EXCEED 1/2".
3. DOOR MANEUVERING CLEARANCES: ONLY EXTERIOR OF MAIN ENTRY DOOR SHALL BE FULLY COMPLIANT W/ ALL ADA CRITERIA AND SHALL HAVE A MAX. 1/2" 1:2 BEVELED THRESHOLD. ALL TYPE B UNIT DOORS SHALL HAVE A MIN. 34" DOOR LEAF.
4. OPERABLE PARTS: PROVIDE A 30"x48" CLEAR FLOOR AREA (EITHER FORWARD OR PARALLEL) AT ALL "OPERABLE PARTS" (RECEPTS, SWITCHES, APPLIANCES, ETC).
5. TOILET, KITCHEN, AND LAUNDRY FACILITIES: CONFIGURATIONS SHOWN MEET ALL CRITERIA. ALL APPLIANCES, SWITCHES, & RECEPTS ABOVE COUNTERS ARE EXCEPTED FROM CONTROL REACH RANGE REQUIREMENTS, COUNTER TOP HEIGHTS ARE EXCEPTED FROM 34" HT. CRITERIA IN TYPE B UNITS.
6. PROVIDE WALL REINFORCING FOR FUTURE GRAB BARS IN LOWER LEVEL UNITS.

FLOOR PLAN LEGEND

ROOM FINISH KEY:

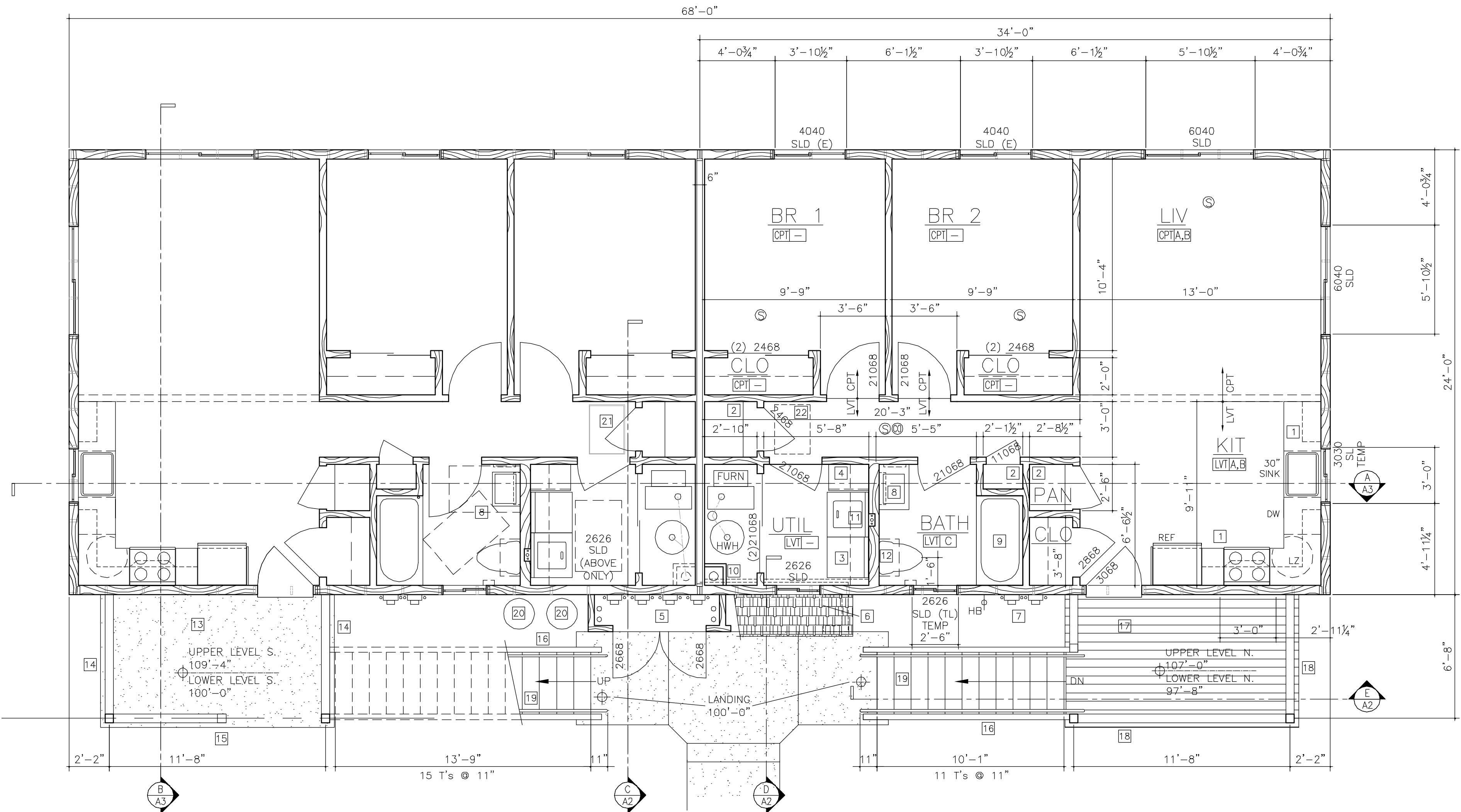
FLOOR MATERIAL	CTA, G	RM FINISH REMARKS
3038		DOOR SIZE (ACTUAL) WxHT (30=3'-0", 68=6'-8", etc)
[]		ADA REQ'D CLEARANCE AREAS
HB		FROST PROOF HOSE BIB (ON HOUSE METER)
S		SMOKE DETECTOR
MD		SMOKE MONOXIDE ALARM
2640 SLD		WINDOW W, HT, & TYPE (26=2'-6", 40=4'-0" etc)
3038		BATHROOM EXH. FAN
(E)		EXGRESS WINDOW
TL		TRANSLUCENT GLASS
TEMP		TEMPERED GLASS
SLD		VENTING SLIDING WINDOW
FIX		FIXED WINDOW
LVT		LUXURY VINYL TILE (PLANKS)
CPT		CARPET

GENERAL NOTES:

- ALL WALLS ARE PAINTED GYPSUM BOARD DRYWALL UNLESS OTHERWISE NOTED
- PROVIDE 3 1/4" "ANDERSON" ULTRA-LITE PRIMED BASE AND 2 1/4" "ANDERSON" TRIM/CASING (PAINTED) THROUGHOUT U.O.N.
- AT WINDOWS PROVIDE DRYWALL RETURNS AT JAMBS & HEAD AND PRIMED WOOD SILL (PAINT)
- PROVIDE ROD & 1 SHELF IN ALL CLOSETS UNLESS OTHERWISE NOTED
- ALL DOORS TO BE 6 PANEL PINE "COLONIST" PAINTED HOLLOW CORE DOORS W/ LEVER HANDLE BEDROOM LOCKS.
- INTERIOR PARTITIONS ARE DRAWN & DIMENSIONED 4 1/2" WIDE
- EXTERIOR 2x6 WALLS ARE DRAWN 6" WIDE (EXT. FACE OF STUD=FACE OF FOUNDATION, TO INTERIOR FINISHED FACE OF DRYWALL).
- ALL DIMENSIONS SHOWN ARE FACE OF DRYWALL, WINDOW ROUGH OPENINGS, AND/OR NOMINAL DOOR SIZES.
- WINDOWS ARE CLEAR GLASS IN VINYL FRAMES. NOMINAL SIZE INDICATED = R.O.W. (GC VERIFY)
- SIDING SHALL BE 9/8" TRU-WOOD. NAIL PER MANUF'S RECOMMENDATIONS W/ 6d GALV. RING SHAK NAILS (OR EQUIVALENT) @ EA. STUD (24" O.C.) & INTO OSB SHEATHING BETWEEN STUDS (12" HORIZ. NAIL SPACING EA LAP)
- ALL EXT. DOORS & WDW'S HAVE 1 JAMB AT 2" STUD SPACING - 1 ADDITIONAL STUD @ WINDOWS. DBL STUDS EA. SIDE DOORS. SEE SMART FRAMING NOTES.

ROOM FINISH REMARKS:

- TRANSITION STRIPS AT LVT/CPT
- DRYWALL (PAINT) DROPPED BEAM ABOVE
- SPECIAL BATHROOM FINISHES



LOWER LEVEL FLOOR PLAN

UPPER LEVEL FLOOR PLAN