

# PIKE SOLAR PROJECT

PORTIONS OF LAND LYING WITHIN SECTIONS 7, 18, 19, 30, AND 31 TOWNSHIP 16 SOUTH, RANGE 64 WEST  
SECTIONS 11, 12, 13, 14, 23, 24, 25, 26, AND 36 TOWNSHIP 16 SOUTH, RANGE 65 WEST  
EL PASO COUNTY, COLORADO

## GENERAL PROVISIONS:

THE PURPOSE OF THIS WSE-O PLAN IS TO:

- REGULATE AND SITE THE PIKE SOLAR WSE-O PLAN WHERE IT IS MOST APPROPRIATE, CONSIDERING SOLAR ASPECTS, IMPACTS TO THE ENVIRONMENT, VISUAL CORRIDORS, EXISTING INFRASTRUCTURE, AND THE ESTABLISHED DEVELOPMENT PATTERN.
- ENSURE THE PRESERVATION OF PUBLIC HEALTH, SAFETY AND WELFARE.
- IDENTIFY APPROPRIATE SITING ENVELOPES THAT COMPLY WITH SETBACKS, HEIGHT RESTRICTIONS, AND OTHER REQUIREMENTS OF SOLAR GENERATION FACILITIES DEFINED IN CHAPTER 4 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE (LDC).
- PROVIDE MITIGATING MEASURES FOR IMPACTS ASSOCIATED WITH THE PIKE SOLAR WSE-O PLAN.

## AUTHORITY

THIS WSE-O IS AUTHORIZED BY CHAPTER 4 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE.

## APPLICABILITY

THE PROVISIONS OF THE WSE-O SHALL RUN WITH THE LAND. THE LANDOWNERS, THEIR SUCCESSORS, HEIRS, OR ASSIGNS SHALL BE BOUND BY THIS WSE-O PLAN, AS AMENDED AND APPROVED BY THE EL PASO COUNTY DEVELOPMENT SERVICES DEPARTMENT DIRECTOR OR BOARD OF COUNTY COMMISSIONERS.

## ADOPTION

THE ADOPTION OF THIS WSE-O PLAN SHALL EVIDENCE THE FINDINGS AND DECISIONS OF THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS THAT THIS WSE-O PLAN FOR THE FRMW PROJECT IS IN GENERAL CONFORMITY WITH THE EL PASO COUNTY MASTER PLAN, EL PASO COUNTY POLICY PLAN AND APPLICABLE SMALL AREA PLAN(S); IS AUTHORIZED UNDER THE PROVISION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE; AND THAT THE EL PASO COUNTY LAND DEVELOPMENT CODE AND THIS WSE-O PLAN COMPLIES WITH STATE STATUTE.

## RELATIONSHIP TO COUNTY REGULATIONS

THE PROVISIONS OF THE WSE-O PLAN SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF THE PIKE SOLAR WSE-O PLAN, PROVIDED, HOWEVER, THAT WHERE THE PROVISIONS OF THIS WSE-O PLAN DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED AND IN EFFECT AT THE TIME OF THE WSE-O PLAN APPROVAL, OR ANY OTHER APPLICABLE RESOLUTIONS OR REGULATIONS OF EL PASO COUNTY, SHALL BE APPLICABLE.

## RELATIONSHIP TO BASE ZONING DISTRICT

EXCEPT AS PROVIDED IN LDC SECTION 4.3.5, APPROVAL OF THIS PLAN DOES NOT IN ANY WAY REDUCE OR ALTER THE REGULATIONS AND PROVISIONS OF THE UNDERLYING BASE ZONING DISTRICT(S). INSTEAD, THIS PLAN PROVIDES THE PROPERTY WITHIN THE SPECIFIC WSE-O ZONING DISTRICT WITH ADDITIONAL ALLOWED USES, REGULATED BY SPECIFIC DEVELOPMENT STANDARDS.

## ENFORCEMENT

TO FURTHER THE MUTUAL INTEREST OF THE RESIDENTS, OCCUPANTS, AND OWNERS OF THE WSE-O AND OF THE PUBLIC IN THE PRESERVATION OF THE INTEGRITY OF THIS WSE-O PLAN, THE PROVISIONS OF THIS PLAN RELATING TO THE USE OF LAND SHALL RUN IN FAVOR OF EL PASO COUNTY AND SHALL BE ENFORCEABLE AT LAW OR IN EQUITY BY THE COUNTY WITHOUT LIMITATION ON ANY POWER OR REGULATION OTHERWISE GRANTED BY LAW.

## CONFLICT

WHERE THERE IS MORE THAN ONE PROVISION WITHIN THE WSE-O PLAN THAT COVERS THE SAME SUBJECT MATTER, THE PROVISION WHICH IS MOST RESTRICTIVE OR IMPOSES HIGHER STANDARDS OR REQUIREMENTS SHALL GOVERN.

## MAXIMUM LEVEL OF DEVELOPMENT

THE ALLOWED USES AND STRUCTURE SITING ENVELOPES SHOWN ON THE WSE-O PLAN IS THE MAXIMUM DEVELOPMENT AUTHORIZED FOR CONSTRUCTION.

## APPLICANT AND LEGAL AUTHORIZATION

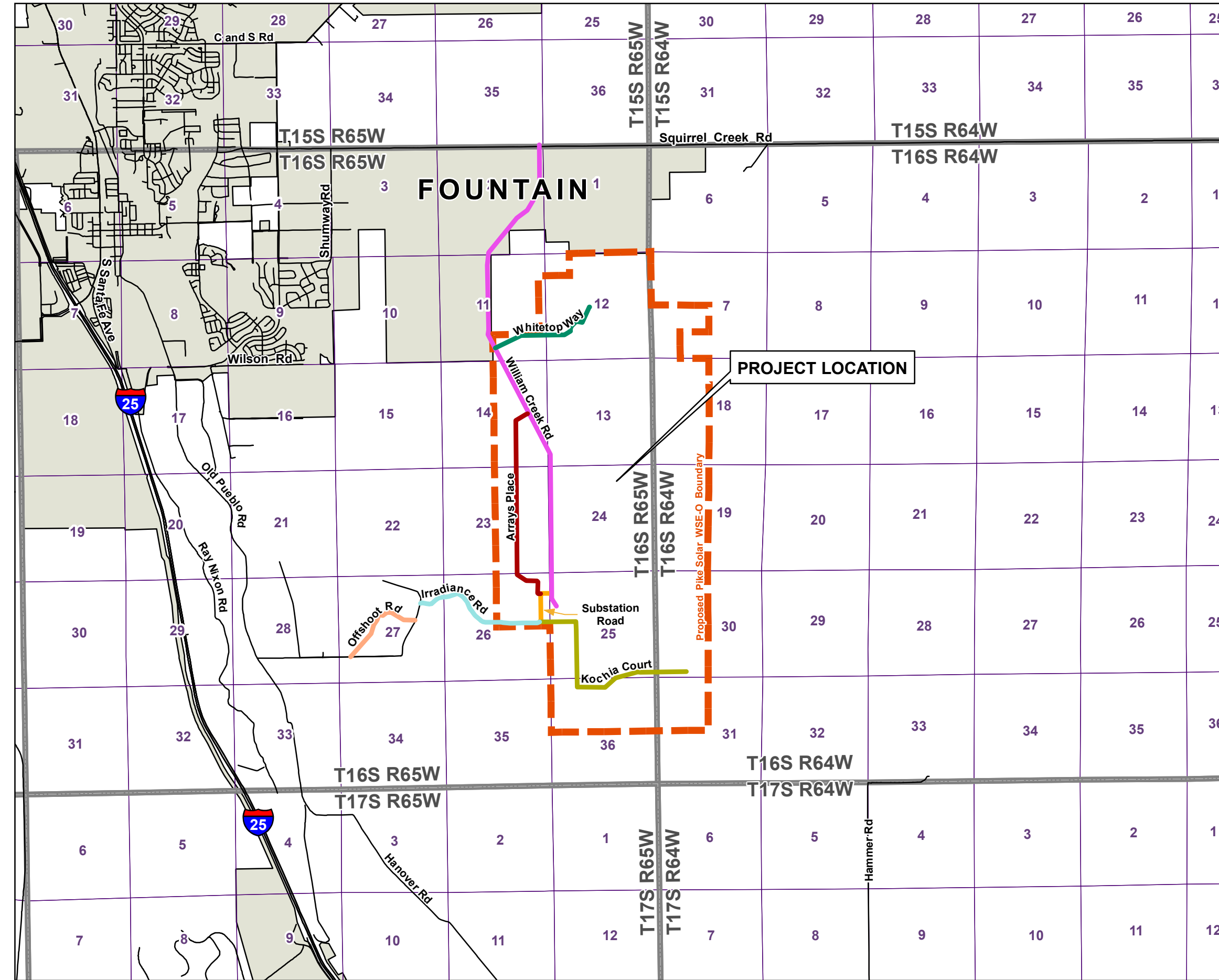
KNOWN ALL BY THESE PRESENTS: \_\_\_\_\_ IS THE LEGALLY AUTHORIZED REPRESENTATIVE OF THE PROPERTY INCLUDED WITHIN THIS WSE-O PLAN, AS DESCRIBED IN THE ACCOMPANYING LEGAL DESCRIPTION LOCATED ON SHEET 3 FOR THE PURPOSES OF THIS OVERLAY PLAN AMENDMENT APPLICATION.

## IN WITNESS WHEREOF:

THE AFOREMENTIONED HAVE EXECUTED THESE PRESENTS THIS \_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_.

\_\_\_\_\_, AUTHORIZED PERSON,

THE ABOVE AND FOREGOING STATEMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_, BY \_\_\_\_\_  
WITNESS MY HAND AND OFFICIAL SEAL: \_\_\_\_\_  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: \_\_\_\_\_



VICINITY MAP

## APPLICANT:

PIKE SOLAR LLC  
1710 29th Street Suite 1068  
Boulder, CO 80301

## DEVELOPER:

PIKE SOLAR LLC  
1710 29th Street Suite 1068  
Boulder, CO 80301

## LANDOWNERS WITHIN THE WSE-O PLAN:

CITY OF COLORADO SPRINGS

## TAX SCHEDULE NUMBERS & ZONING:

PARCEL ID ZONING  
5600000123 A-35 & RR-5  
5600000140 A-5, A-35, & RR-5

## COUNTY PARCELS:

5600000123, 5600000140

## SITE ADDRESS:

TBD

## TOTAL WSE-O PLAN:

TOTAL WSE-O BOUNDARY = 4,998.37 ACRES

## PROPOSED USE:

THE PROPOSED PIKE SOLAR PROJECT WOULD INCLUDE FACILITIES LOCATED WITHIN THE STRUCTURE SITING ENVELOPES. PROJECT FACILITIES INCLUDE SOLAR PANELS, A WSE-O PLAN SUBSTATION, AND METEOROLOGICAL MONITORING DEVICES. ACCESSORY USES INCLUDE COLLECTION LINES (INCLUDING AN OVERHEAD TRANSMISSION LINE AND UNDERGROUND AND OVERHEAD COLLECTION POWER LINES), AN OPERATIONS AND MAINTENANCE FACILITY, AND ANY OTHER USES NECESSARY TO CARRY OUT THE INTENT OF THE OVERLAY ZONING, INCLUDING BUT NOT LIMITED TO DC TO AC INVERTERS, MEDIUM VOLTAGE TRANSFORMERS, CIRCUIT BREAKERS AND DISCONNECT SWITCHES, AND A COMMUNICATIONS SYSTEM THAT WOULD INTERCONNECT FROM THE NEW WSE-O PLAN SUBSTATION TO THE EXISTING WILLIAMS CREEK SUBSTATION. INTERNAL ACCESS ROADS CONSTRUCTED BETWEEN SOLAR ARRAYS WOULD BE CONTAINED WITHIN THE WSE-O PLAN AREA. A BATTERY ENERGY STORAGE SYSTEM FACILITY LOCATED WITHIN THE SITING ENVELOPE WOULD BE COMPRISED OF MULTIPLE CABINETS TO HOUSE THE BATTERIES, INVERTERS, AND TRANSFORMERS. UP TO TEN TEMPORARY LAYDOWN AREAS WILL BE USED DURING CONSTRUCTION.

## DEVELOPMENT SCHEDULE:

CONSTRUCTION IS ANTICIPATED TO BEGIN Q4 2021

## GENERATING CAPACITY:

175 MW AC

SHEET INDEX	
1	WSE-O COVER PAGE
2	LEGAL DESCRIPTION & NOTES
3	ZONING MAP
4-8	PROJECT SITE PLAN

## COUNTY CERTIFICATION

THIS OVERLAY REQUEST TO THE WSE-O HAS BEEN REVIEWED AND FOUND TO BE COMPLETE IN ACCORDANCE WITH BOARD OF COUNTY COMMISSIONER RESOLUTION NO. \_\_\_\_\_ DATED THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ APPROVING THIS WSE-O AND IN ACCORDANCE WITH ALL APPLICABLE EL PASO COUNTY REGULATIONS.

DIRECTOR, PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DATE \_\_\_\_\_

PRESIDENT, BOARD OF COUNTY COMMISSIONERS DATE \_\_\_\_\_

## TITLE VERIFICATION

I, \_\_\_\_\_ DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE OF ALL LANDS DEPICTED AS WITHIN THE WSE-O DISTRICT BOUNDARY AS DESCRIBED HEREON AND THAT TITLE TO SUCH LANDS IS OWNED IN FEE SIMPLE, AT THE TIME OF THE APPLICATION.

THE ABOVE AND FOREGOING STATEMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_ BY \_\_\_\_\_  
WITNESS MY HAND AND OFFICIAL SEAL: \_\_\_\_\_

## NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_

## SURVEYOR'S CERTIFICATE

I, NATHANIEL J. MAESTAS, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS LEGAL FOR THE PIKE SOLAR WSE-O PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, BASED ON RECORD INFORMATION. THE DESCRIPTION DOES NOT REPRESENT A MONUMENTED HELD SURVEY PERFORMED BY CORE.

3473 S. BROADWAY  
ENGLEWOOD, CO 80113  
303.705.4444

LAND DEVELOPMENT  
ENERGY  
PUBLIC INFRASTRUCTURE



CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG.  
GRADE, UNDERGROUND UTILITIES, OR  
UNDERGROUND UTILITIES.  
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL), THE EXISTING UTILITY DEPTHS, OR THE BEST AVAILABLE INFORMATION. IT IS HOWEVER THE RESPONSIBILITY OF THE CONTRACTOR TO FLOTED FROM THE BEST AVAILABLE INFORMATION. IT IS THE COMMITMENT OF ANY CONSTRUCTION ACTIVITIES.



#	REVISION DESCRIPTION	DATE BY
1	1ST SUBMITTAL	10/22/21 CS
2	2ND SUBMITTAL	12/21/21 CS

PIKE SOLAR PROJECT  
WSE-O PLAN  
COVER  
EL PASO COUNTY, COLORADO

DESIGNED BY:  
DRAWN BY:  
CHECKED BY:  
JOB NO.  
SHEET OF



# PIKE SOLAR PROJECT

PORTIONS OF LAND LYING WITHIN SECTIONS 7, 18, 19, 30, AND 31 TOWNSHIP 16 SOUTH, RANGE 64 WEST  
SECTIONS 11, 12, 13, 14, 23, 24, 25, 26, AND 36 TOWNSHIP 16 SOUTH, RANGE 65 WEST  
EL PASO COUNTY, COLORADO

**LEGAL DESCRIPTION:**  
Tract 1:

The following described lands located in Township 16 South, Range 64 West of the 6th P.M., El Paso County, Colorado:

Section 19: The SE¼ NW¼; Lots 3 and 4 (W½ SW¼) and the E½ SW¼  
Section 30: Lots 1, 2, 3 and 4 (W½ NW¼ and W½ SW¼); E½ NW¼ and the E½ SW¼  
Section 31: Lots 1 and 2 (W½ NW¼) and the E½ NW¼

The following described lands located in Township 16 South, Range 65 West of the 6th P.M., El Paso County, Colorado:

Section 13: All except the NW¼ NE¼      Section 25: All  
Section 14: E½                              Section 26: NE¼  
Section 23: E½                              Section 36: N½  
Section 24: All

Parcel ID: 56000-00-123

**TRACT 2:**

All the real property, together with improvements, if any, situate, lying and being in the County of El Paso and State of Colorado, described as follows:

Portions of Sections 11, 12 and 13, Township 16 South, Range 65 West and portions of Sections 7, 18 and 19, Township 16 South, Range 64 West of the Sixth Principal Meridian, El Paso County, Colorado, more particularly described as follows:

All of said Section 12;  
The East Half of said Section 11;  
The Northwest Quarter of the Northeast Quarter of said Section 13;  
The Northeast Quarter of the Southwest Quarter and Government Lots 3 and 4 of said Section 7;  
The East Half of the West Half and Government Lots 1, 2, 3 and 4 of said Section 18;  
Government Lots 1 and 2 and the Northeast Quarter of the Northwest Quarter of said Section 19;

EXCEPTING from said Sections 11 and 12 those portions described in Book 5734 at Page 253.

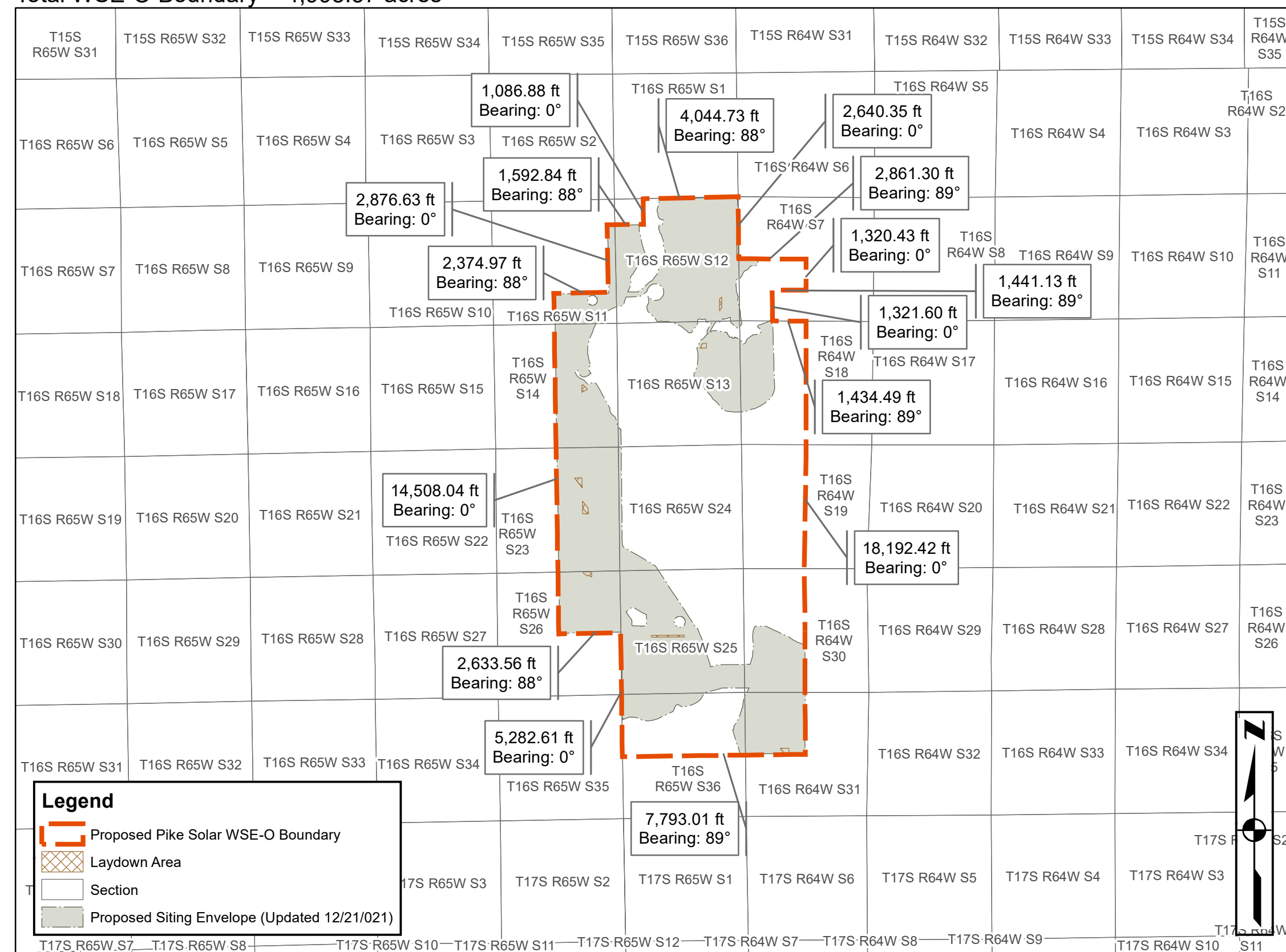
Said Tracts are further described on the Land Survey Plat No. 97902142 of the Records of El Paso County, Colorado and contain approximately 1341.96 acres, more or less.

Parcel ID: 56000-00-140

This property contains a calculated combined area of 217,729,159 square feet (4,998.37 acres) more or less.

FROM CLARK LAND SURVEYING INC ALTA Dated 10/9/2020 revised 1/19/2021

Total WSE-O Boundary = 4,998.37 acres



**NOTES:**

- The Pike Solar Photovoltaic and BESS Project will have a name plate rating of 175 MWAC that will be interconnected by a 230 kV transmission line.
- This WSE-O Plan depicts solar energy sited on approximately 4,998.37 acres of land (WSE-O boundary). The maximum anticipated generation capacity is approximately 175 MWAC.
- The information and features in this WSE-O Plan were developed by relying on El Paso County GIS spatial data, land survey plats (prepared by Clark Land Surveying, Inc., dated 3/29/2021), Colorado Springs aerial imagery, and FEMA floodplain data.
- The WSE-O Plan Development Standards were developed in accordance with Section 4.3.5 of the El Paso County Land Development Code, Appendix B and Procedures Manual Section S-PL-023-11.
- In accordance with Section 4.3.5 of the El Paso County Land Development Code, meteorological towers have been set back a minimum distance of 1.5:1 from existing dwellings, existing above-ground utilities, public rights-of-way, and the WSE-O district boundary as depicted in this plan and are wholly outside of the floodplain areas identified in FEMA floodplain data. New meteorological towers will be constructed within the solar array envelopes depicted in Sheet 4 of this WSE-O Plan.
- Facilities constructed as part of Pike Solar Photovoltaic and BESS Project will be constructed within horizontal and vertical siting envelopes as defined by the Dimensional and Density Standards for Pike Solar Photovoltaic and BESS Project WSE-O District (see Table 1 below).
- Vertical heights of facilities constructed as part of the Pike Solar Photovoltaic and BESS Project shall comply with the Dimensional and Density Standards for Pike Solar Photovoltaic and BESS Project WSE-O District (see Table 1 below).
- Specific alignment of the project roads and the electrical system will be provided at the Site Development Plan stage.
- The Pike Solar Photovoltaic and BESS Project may post signs on the following facilities, including but not limited to:
  - Project roads
  - Fences
  - Signs will comply with Section 6.2.10 of the El Paso County Land Development Code. Details for all signs will be provided with the respective Site Development Plans and may require separate sign permits
- All project roads and facilities will be maintained by the solar facility operator.
- Site Development Plans will be required showing the detailed design of all facilities related to the project prior to construction.
- "Basis of Bearings": Bearings for this description are based upon the east west centerline of Section 36, being monumented at the East Quarter Corner by a 2 ½" aluminum cap stamped, "PLS 10377" 0.3" above grade and at the West Quarter Corner by a 3 ½" aluminum cap stamped, "PLS 10377" 0.3" above grade, having a measured bearing of S88°57'59"W, for measured distance of 5241.71 feet.
- Based on a jurisdictional determination made by the U.S. Army Corps of Engineers there are no Waters of the U.S. located within the proposed project. There will be no Nationwide Permits required for project activities. If future projects encroach on any Waters of the U.S., construction may require a Nationwide Permit under Section 404 of the Clean Water Act.
- Cultural resource areas will be avoided and are not included in the structure siting envelopes.
- This site layout is preliminary and not for construction. The site layout may change within the siting envelope.

**TABLE 1. DIMENSIONAL AND DENSITY STANDARDS FOR THE PIKE SOLAR PHOTOVOLTAIC AND BESS PROJECT WSE-O DISTRICT**

OVERLAY DISTRICT	UNDERLYING ZONING DISTRICT	MINIMUM SETBACKS FOR STRUCTURES <sup>1</sup> (FT)	MAXIMUM HEIGHT OF SOLAR PANELS (FT)	MAXIMUM HEIGHT OF TRANSMISSION LINE POLES (FT)	MAXIMUM HEIGHT OF MET STATIONS (FT)	MAXIMUM HEIGHT OF INVERTER-TRANSFORMER PAIRS (FT)	MAXIMUM HEIGHT OF SUBSTATION FACILITIES (FT)
PIKE SOLAR WSE-O	A-5	25	15	100	20	20	75
	A-35	25	15	100	20	20	75
	RR-5	25	15	100	20	20	75

1. SETBACKS ARE NOT APPLICABLE TO FENCES OR WALLS SEVEN FEET IN HEIGHT OR LESS, RETAINING WALLS LESS THAN FOUR FEET IN HEIGHT, POLES, LINES, CABLES, TRANSMISSION LINES, OR OTHER TRANSMISSION OR DISTRIBUTION FACILITIES WHICH INCLUDES TRANSMISSION LINES. ALL SETBACKS SHALL BE MEASURED FROM THE WSE-O DISTRICT BOUNDARY, EXCEPT METEOROLOGICAL TOWERS, WHICH SHALL BE SET BACK AS PROVIDED BY THE COUNTY LAND DEVELOPMENT CODE AS OF THE DATE OF APPLICATION FOR THIS WSE-O DISTRICT.

3473 S. BROADWAY  
ENGLEWOOD, CO 80113  
303.705.4444

LAND DEVELOPMENT  
ENERGY  
PUBLIC INFRASTRUCTURE



CALL BUSINESS DAYS IN ADVANCE BEFORE YOU DIG.  
GRADE, UNDERGROUND UTILITIES, OR  
UNDERGROUND TRENCH UTILITIES.  
CORE ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY  
LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING  
UTILITY LOCATIONS SHOWN ON THIS PLAN ARE FOR INFORMATION ONLY.  
HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO  
VERIFY THE LOCATION OF ALL UTILITIES BEFORE THE  
COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES  
REMAINS WITH THE CONTRACTOR.



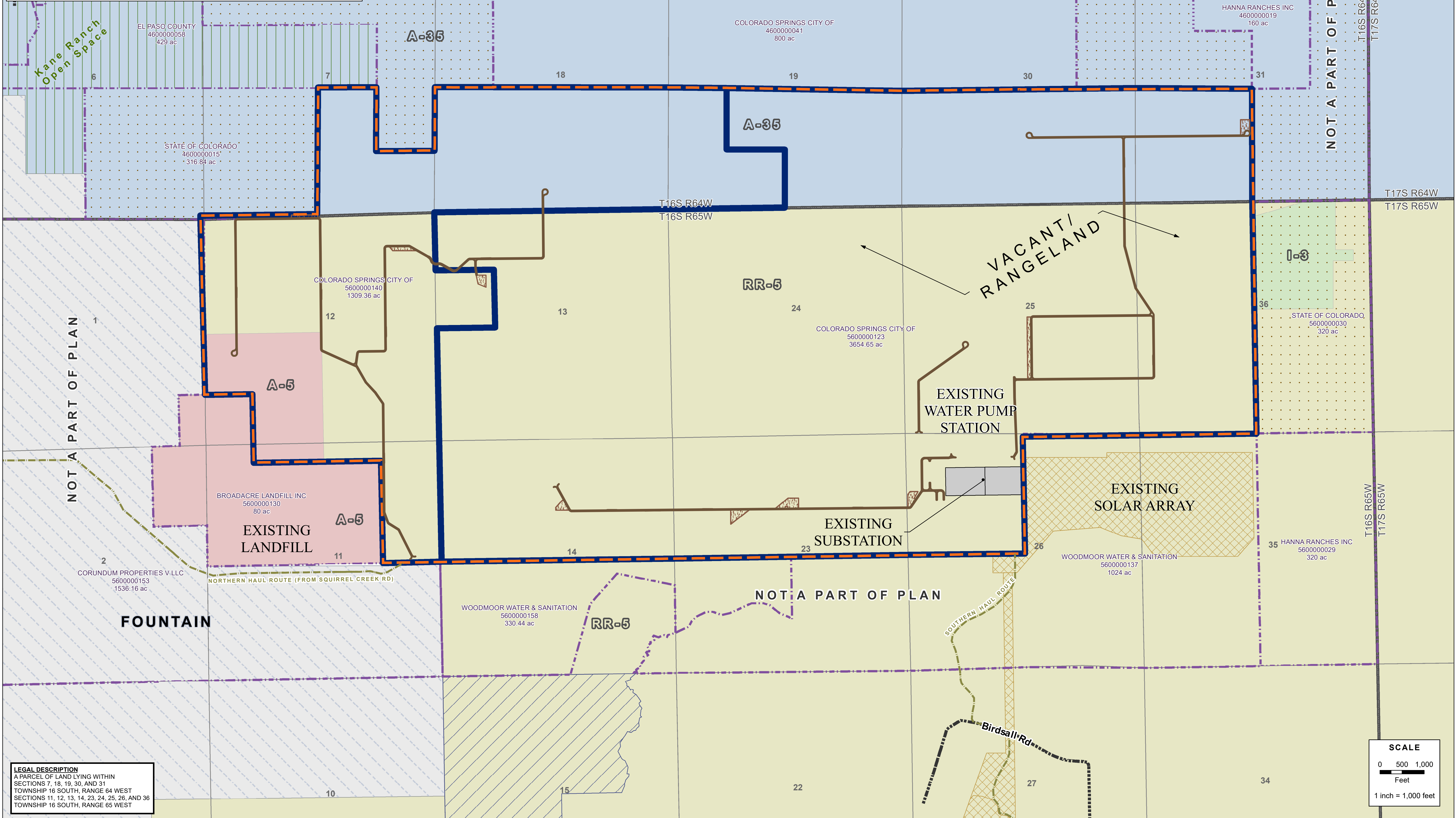
#	REVISION DESCRIPTION	DATE BY
1	1ST SUBMITTAL	10/22/21 CS
2	2ND SUBMITTAL	02/01/21 CS

**PIKE SOLAR PROJECT  
WSE-O PLAN**  
**WSE-O LEGAL DESCRIPTION & NOTES**  
EL PASO COUNTY, COLORADO

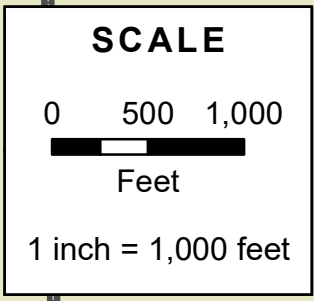
DESIGNED BY:  
DRAWN BY:  
CHECKED BY:  
**JOB NO.**  
**SHEET OF**



	WSE-O District Boundary		Existing Williams Creek Substation
	Parcel Line Within Proposed WSE-O Boundary		Existing Palmer Solar WSE-O
	Township		Fountain Sanitation District
	Section		Kane Ranch Open Space
	Incorporated City		State Land Board
	Parcel Line		El Paso County Zoning
	Existing Road		A-35
	Project Road		A-5
	Project Haul Route		I-3
	Proposed Laydown Area		RR-5



**LEGAL DESCRIPTION**  
 A PARCEL OF LAND LYING WITHIN SECTIONS 7, 18, 19, 30, AND 31 TOWNSHIP 16 SOUTH, RANGE 64 WEST SECTIONS 11, 12, 13, 14, 23, 24, 25, 26, AND 36 TOWNSHIP 16 SOUTH, RANGE 65 WEST



3473 S. BROADWAY  
 ENGLEWOOD, CO 80113  
 303.703.4444

LAND DEVELOPMENT  
 ENERGY  
 PUBLIC INFRASTRUCTURE



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG.  
 GRAB THE LOCATION OF UNDERGROUND UTILITY LINES.  
 CORE ASSUMES NO RESPONSIBILITY FOR ANY INJURY, DAMAGE, OR LOSS OF PROPERTY, LOCATION, OR UTILITY LOCATIONS (HORIZONTAL AND VERTICAL). THE EXISTING UTILITY LOCATIONS SHOWN ON THIS PLAN ARE FOR INFORMATION ONLY. HOWEVER, THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES BEFORE ANY CONSTRUCTION ACTIVITIES IS THE COMPETENCE OF ANY CONSTRUCTION ACTIVITIES.



#	REVISION DESCRIPTION	DATE BY
1	1ST SUBMITTAL	10/22/21 CS
2	2ND SUBMITTAL	12/21/21 CS

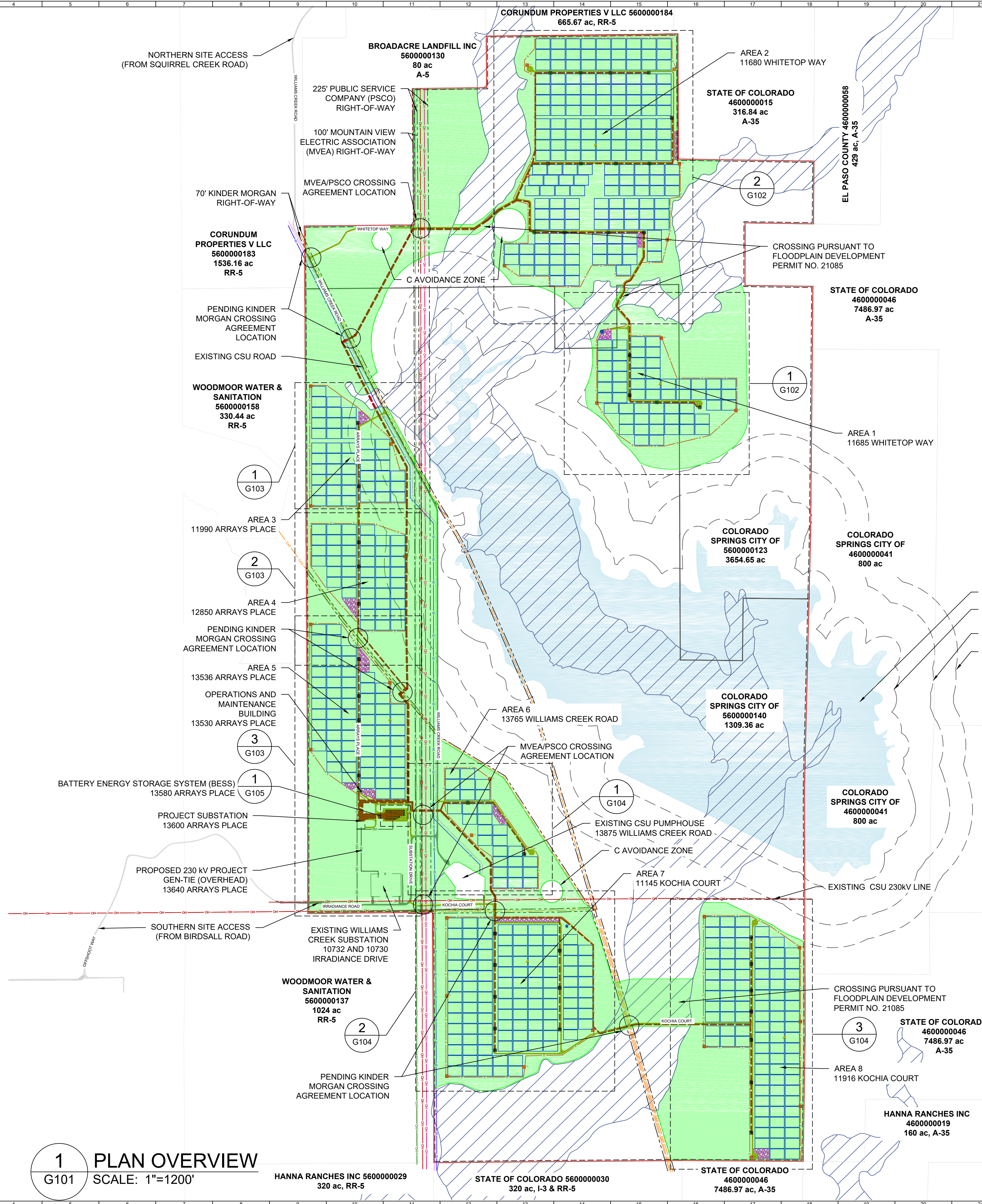
**PIKE SOLAR PROJECT**  
**WSE-O PLAN**  
**ZONING AND LAND USE OVERLAY**  
 EL PASO COUNTY, COLORADO

DESIGNED BY:  
 DRAWN BY:  
 CHECKED BY:  
**JOB NO.**  
**SHEET**  
 OF



# PIKE SOLAR PROJECT

PORTIONS OF LAND LYING WITHIN SECTIONS 7, 18, 19, 30, AND 31 TOWNSHIP 16 SOUTH, RANGE 64 WEST  
SECTIONS 11, 12, 13, 14, 23, 24, 25, 26, AND 36 TOWNSHIP 16 SOUTH, RANGE 65 WEST  
EL PASO COUNTY, COLORADO



GENERAL NOTES	
1	COORDINATES ARE IN NAD83 COLORADO STATE PLANE, CENTRAL ZONE, US FT.
2	PROPERTY DESCRIPTION: 1250 ACRES INSIDE PROJECT FENCE, SECTIONS 6, 7, 18, 30 AND 31 T16S, R64W, AND SECTIONS 1, 11-14, 23-26, 35 AND 36 T16S, R65W
3	NORTH ARROW CORRESPONDS TO TRUE NORTH AT SITE, NOT SURVEY NORTH

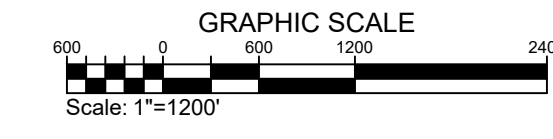
LEGEND	
[Red line]	WSEO BOUNDARY
[Black line]	PARCEL BOUNDARY
[Dashed line]	25' SETBACK FROM WSEO BOUNDARY
[Green shaded area]	WSEO SITING ENVELOPE
[Dotted line]	EXISTING ROW BOUNDARIES
[Red dashed line]	PROJECT FENCE
[Yellow line]	SITE ACCESS ROAD (TYP 16' WIDE)
[Grey line]	EXISTING CSU ROAD
[Blue dashed line]	GENERAL LAYDOWN AREA
[Red dashed line]	PROPOSED OH GEN-TIE LINE - 230KV
[Red dashed line]	PROPOSED MV FEEDER PATH - 34.5KV
[Green dashed line]	EXISTING OH TRANSMISSION LINE - 115KV
[Red dashed line]	EXISTING OH TRANSMISSION LINE - 230KV
[Red dashed line]	EXISTING OH TRANSMISSION LINE - 345 KV
[Blue dashed line]	EXISTING UG FIBER OPTIC LINE (CSU)
[Blue dashed line]	EXISTING UG WATER LINE (CSU)
[Blue dashed line]	EXISTING NATURAL GAS LINE
[Blue hatched area]	FEMA FLOOD ZONE (NON-JURISDICTIONAL)
[Black square]	POWER STATION
[Red circle]	ANEMOMETER
[Blue circle]	WEATHER SUITE
[Blue square]	TRACKING ARRAY BLOCK

AREA	QUANTITY OF LAYDOWN AREA (SY)
1	5,107
2	7,607
3	4,818
4	2,403
5	15,185
6	5,291
7	13,169
8	6,827
TOTAL	60,407

DIMENSIONAL AND DENSITY STANDARDS FOR THE PIKE SOLAR PHOTOVOLTAIC AND BESS PROJECT WSE-O DISTRICT								
OVERLAY DISTRICT	UNDERLYING ZONING DISTRICT	MINIMUM SETBACKS FOR STRUCTURES <sup>1</sup> (FT)		MAXIMUM HEIGHT OF SOLAR PANELS (FT)	MAXIMUM HEIGHT OF TRANSMISSION LINE POLES (FT)	MAXIMUM HEIGHT OF MET STATIONS (FT)	MAXIMUM HEIGHT OF INVERTER-TRANSFORMER PAIRS (FT)	MAXIMUM HEIGHT OF SUBSTATION FACILITIES (FT)
		PERIMETER OF WSE-O BOUNDARY						
PIKE SOLAR WSE-O	A-5	25	15	100	20	20	20	75
	A-35	25	15	100	20	20	20	75
	RR-5	25	15	100	20	20	20	75

1. SETBACKS ARE NOT APPLICABLE TO FENCES OR WALLS SEVEN FEET IN HEIGHT OR LESS, RETAINING WALLS LESS THAN FOUR FEET IN HEIGHT, POLES, LINES, CABLES, TRANSMISSION LINES, OR OTHER TRANSMISSION OR DISTRIBUTION FACILITIES WHICH INCLUDES TRANSMISSION LINES. ALL SETBACKS SHALL BE MEASURED FROM THE WSE-O DISTRICT BOUNDARY, EXCEPT METEOROLOGICAL TOWERS, WHICH SHALL BE SET BACK AS PROVIDED BY THE COUNTY LAND DEVELOPMENT CODE AS OF THE DATE OF APPLICATION FOR THIS WSE-O DISTRICT.

**1 PLAN OVERVIEW**  
SCALE: 1"=1200'



Juwil Inc.  
1710 25th St. Suite 1068  
Boulder, CO 80301  
www.juwilinc.com

**PIKE SOLAR**  
219.46 MW PV, 75 MW BESS, 175.00 MW POI  
EL PASO COUNTY, CO

**PROJECT LAYOUT**

**G101**

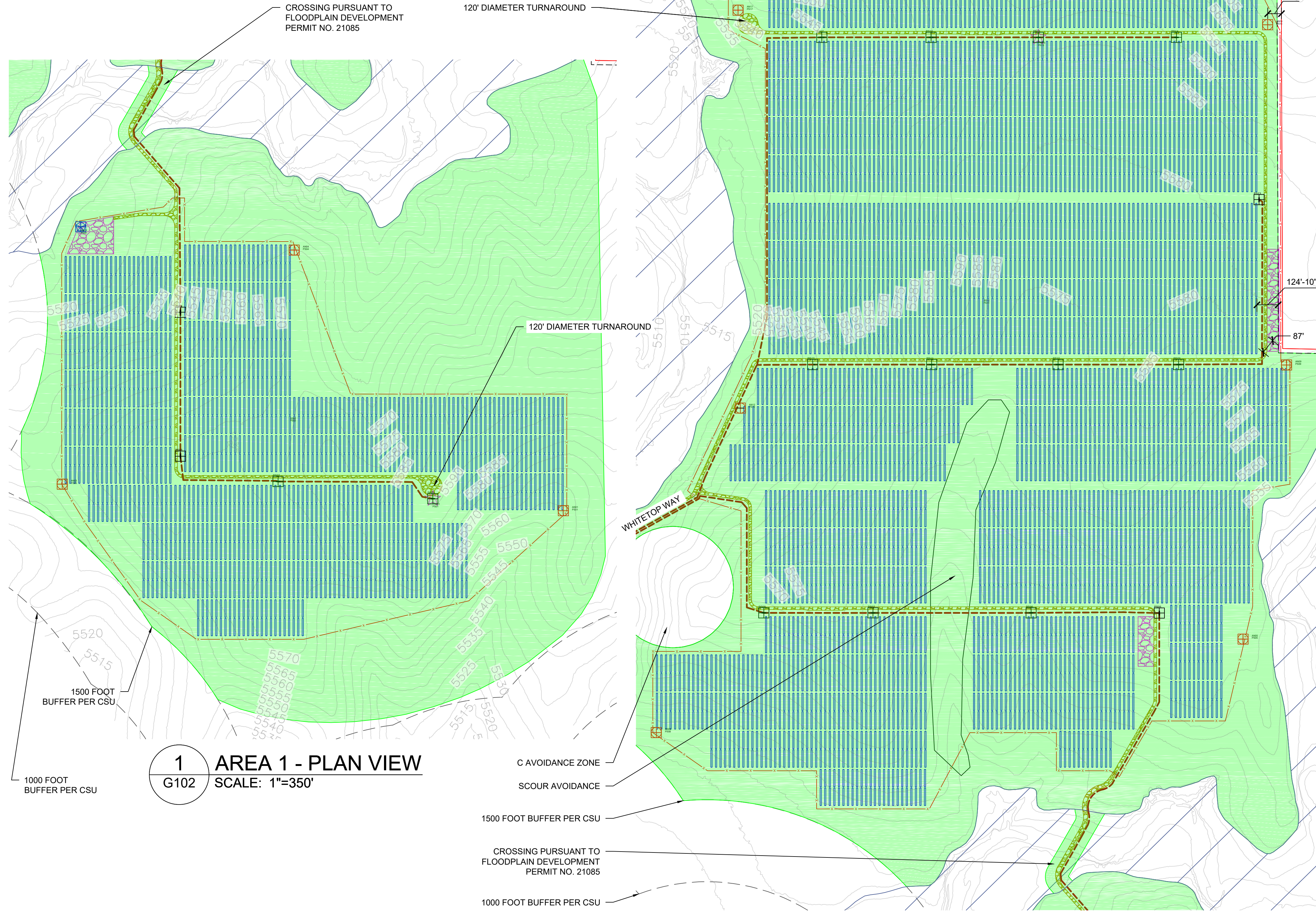
GENERAL SITE PLAN -  
SITE OVERVIEW



# PIKE SOLAR PROJECT

PORTIONS OF LAND LYING WITHIN SECTIONS 7, 18, 19, 30, AND 31 TOWNSHIP 16 SOUTH, RANGE 64 WEST  
SECTIONS 11, 12, 13, 14, 23, 24, 25, 26, AND 36 TOWNSHIP 16 SOUTH, RANGE 65 WEST  
EL PASO COUNTY, COLORADO

AREA QUANTITIES			
AREA	ACRES INSIDE FENCE	LAYDOWN AREA (SY)	SITE ACCESS ROAD (INCLUDES AREA OUTSIDE FENCE) (FT*2)
1	115.80	5,107	95,132
2	356.75	7,607	303,406

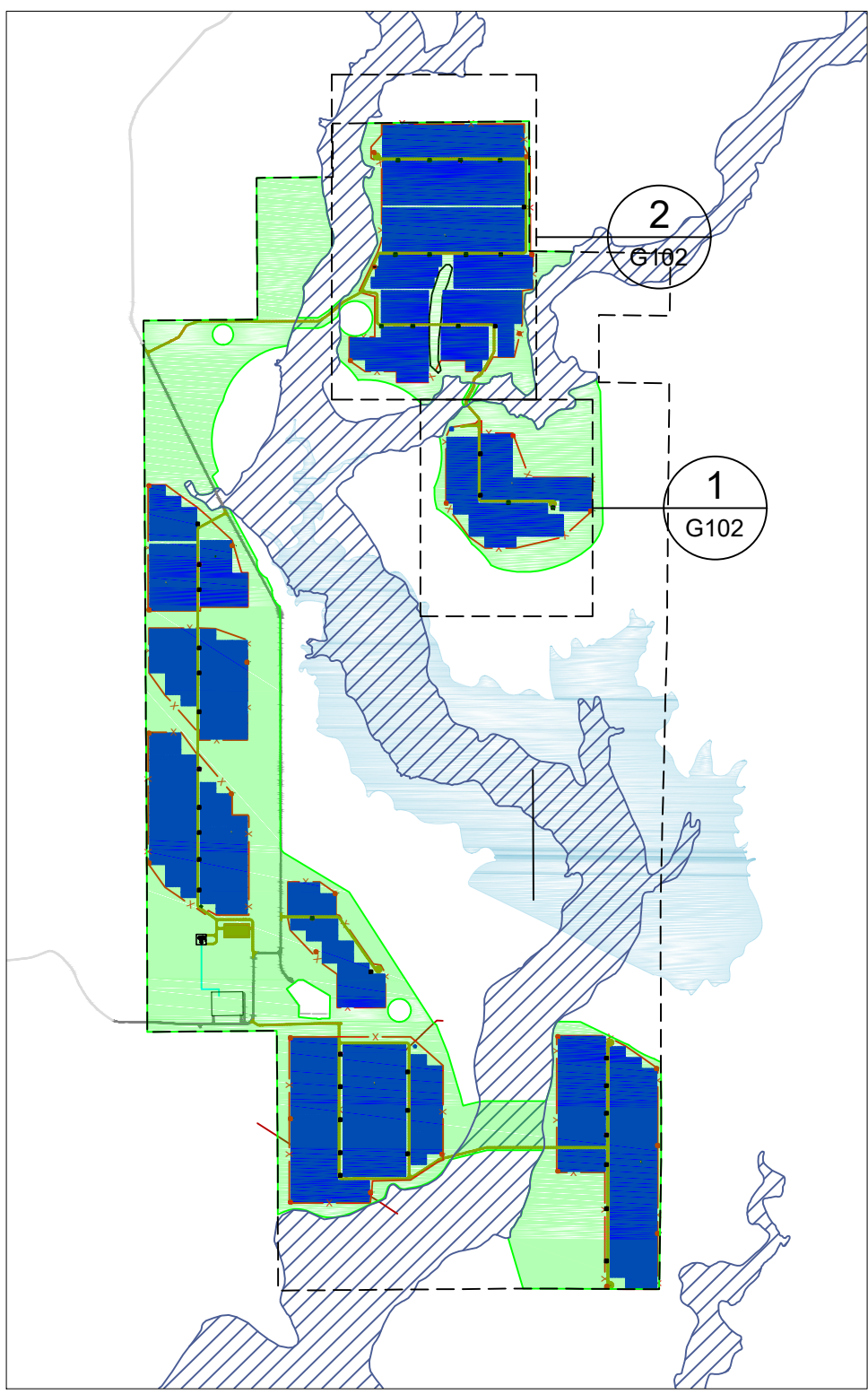


**1 AREA 1 - PLAN VIEW**  
G102 SCALE: 1"=350'

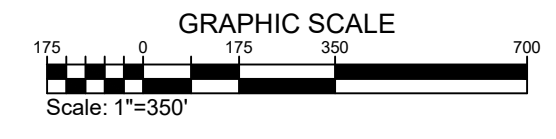
**2 AREA 2 - PLAN VIEW**  
G102 SCALE: 1"=350'

GENERAL NOTES	
1	COORDINATES ARE IN NAD83 COLORADO STATE PLANE, CENTRAL ZONE, US FT.
2	PROPERTY DESCRIPTION: 1162 ACRES INSIDE PROJECT FENCE, SECTIONS 6, 7, 18, 30 AND 31 T16S, R64W, AND SECTIONS 1, 11-14, 23-26, 35 AND 36 T16S, R65W
3	NORTH ARROW CORRESPONDS TO TRUE NORTH AT SITE, NOT SURVEY NORTH

LEGEND	
[Red line]	WSEO BOUNDARY
[Dashed red line]	25' SETBACK FROM WSEO BOUNDARY
[Green shaded area]	WSEO SITING ENVELOPE
[Dashed black line]	EXISTING ROW BOUNDARIES
[Red dashed line]	PROJECT FENCE
[Yellow dashed line]	SITE ACCESS ROAD (TYP 16' WIDE)
[Black dashed line]	EXISTING CSU ROAD
[Pink shaded area]	GENERAL LAYDOWN AREA
[Blue dashed line]	PROPOSED OH GEN-TIE LINE - 230KV
[Red dashed line]	PROPOSED MV FEEDER PATH - 34.5KV
[Green dashed line]	EXISTING OH TRANSMISSION LINE - 115KV
[Red dashed line]	EXISTING OH TRANSMISSION LINE - 230KV
[Red dashed line]	EXISTING OH TRANSMISSION LINE - 345 KV
[Blue dashed line]	EXISTING UG FIBER OPTIC LINE (CSU)
[Blue dashed line]	EXISTING UG WATER LINE (CSU)
[Blue dashed line]	EXISTING NATURAL GAS LINE
[Hatched area]	FEMA FLOOD ZONE (NON-JURISDICTIONAL)
[Square symbol]	POWER STATION
[Circle symbol]	ANEMOMETER
[Star symbol]	WEATHER SUITE
[Blue vertical lines]	TRACKING ARRAYS



**3 REFERENCE MAP**  
G102 SCALE: NTS



Juwi Inc.  
1710 25th St. Suite 1068  
Boulder, CO 80301  
www.juwienergy.com

REVISION NOTES  
 WSEO RESUBMITTAL  
 SUBMITTED FOR PERMIT

REV	DATE	DESCRIPTION	BY	CHK

DRAWN BY: RMC  
 LATEST REV: G

PIKE SOLAR

219.46 MW PV, 75 MW BESS, 175.00 MW P01  
EL PASO COUNTY, CO

PROJECT LAYOUT

G102

PROPRIETARY AND CONFIDENTIAL  
 TO BE REPRODUCED IN COLOR  
 PRINT SIZE: ARCH D  
 ISSUE BY: JG  
 DATE: 04/26/25  
 SCALE: 1"=350'  
 DWG #

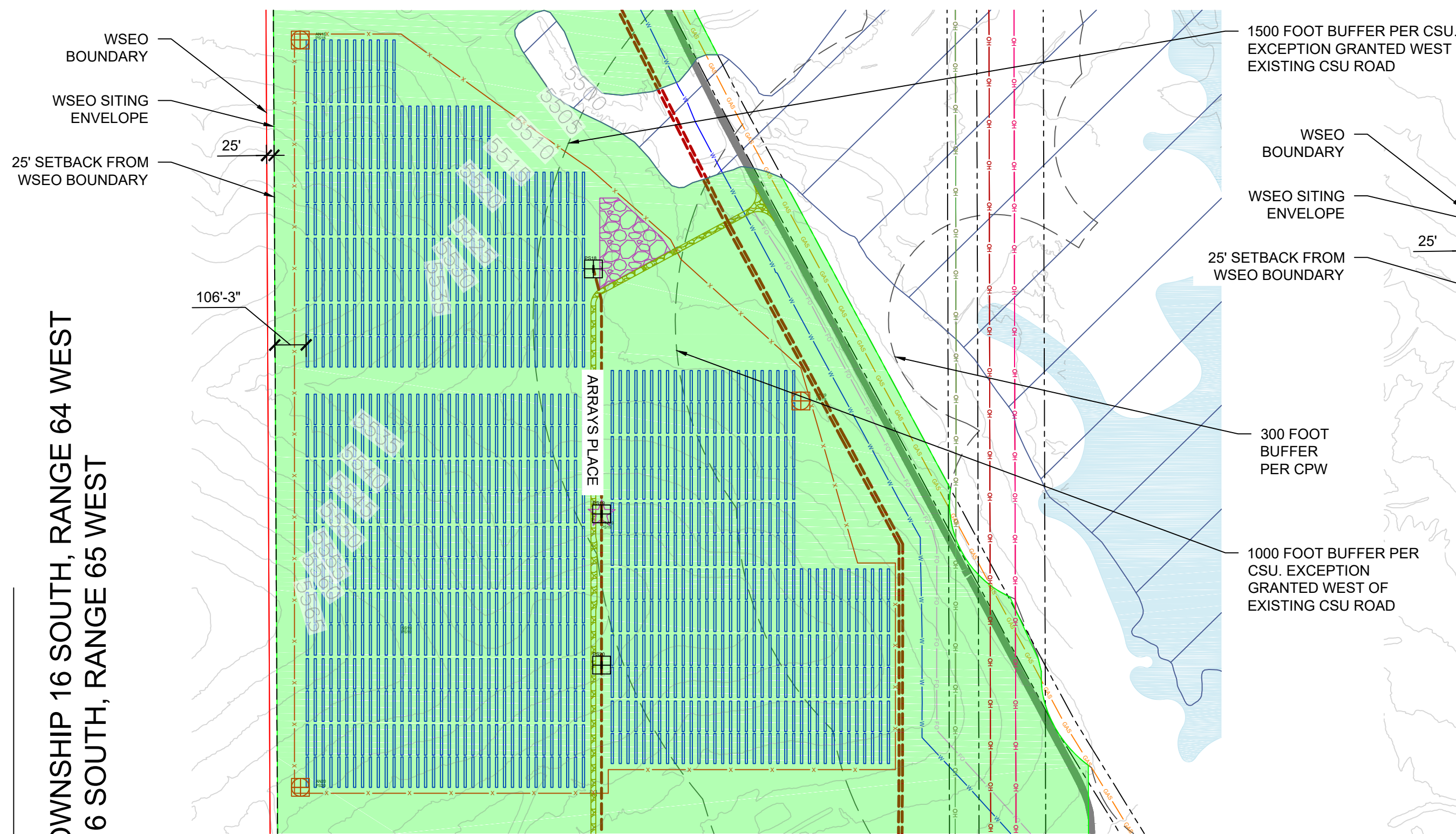
DWG TITLE:

GENERAL SITE PLAN - AREAS 1, 2

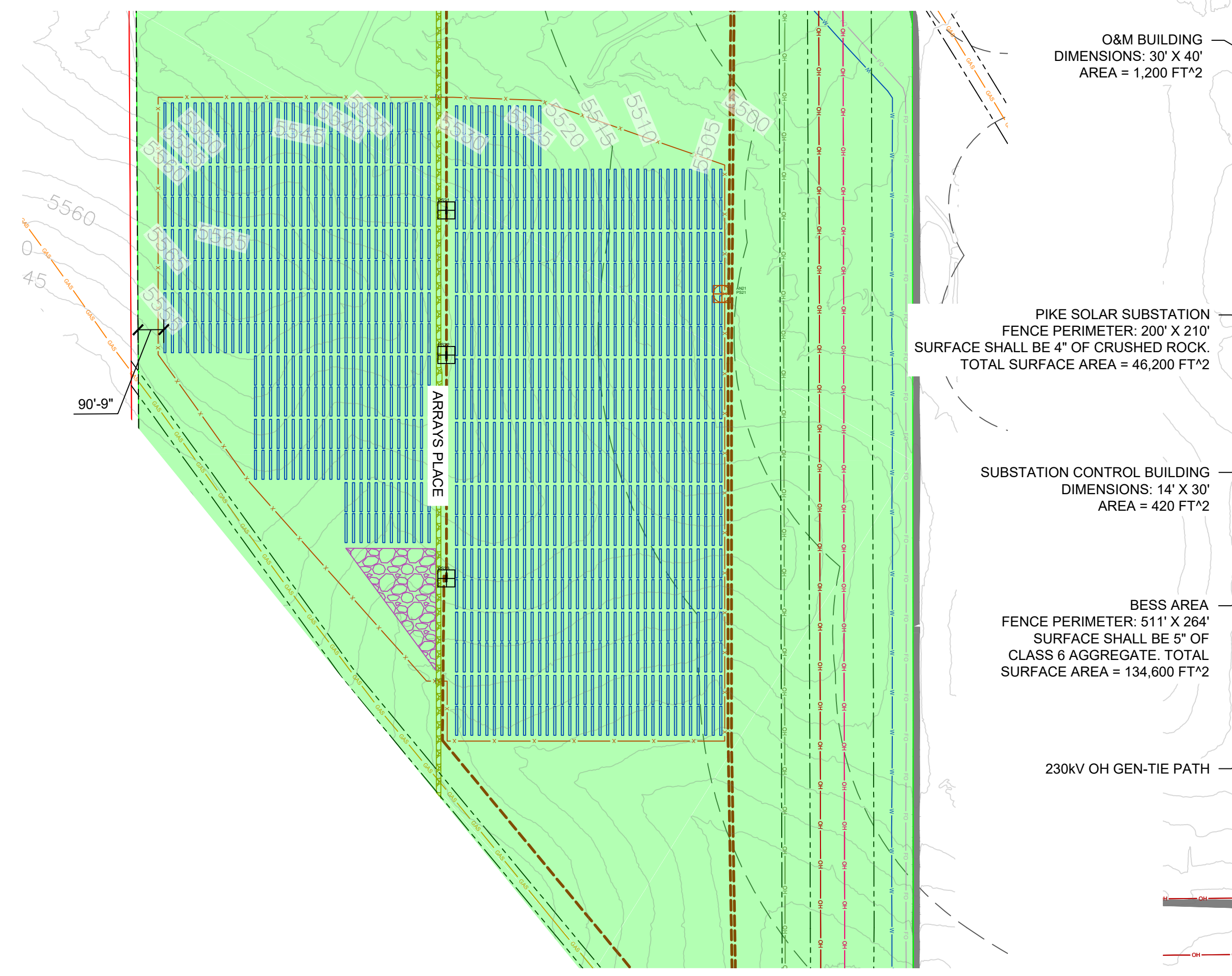


# PIKE SOLAR PROJECT

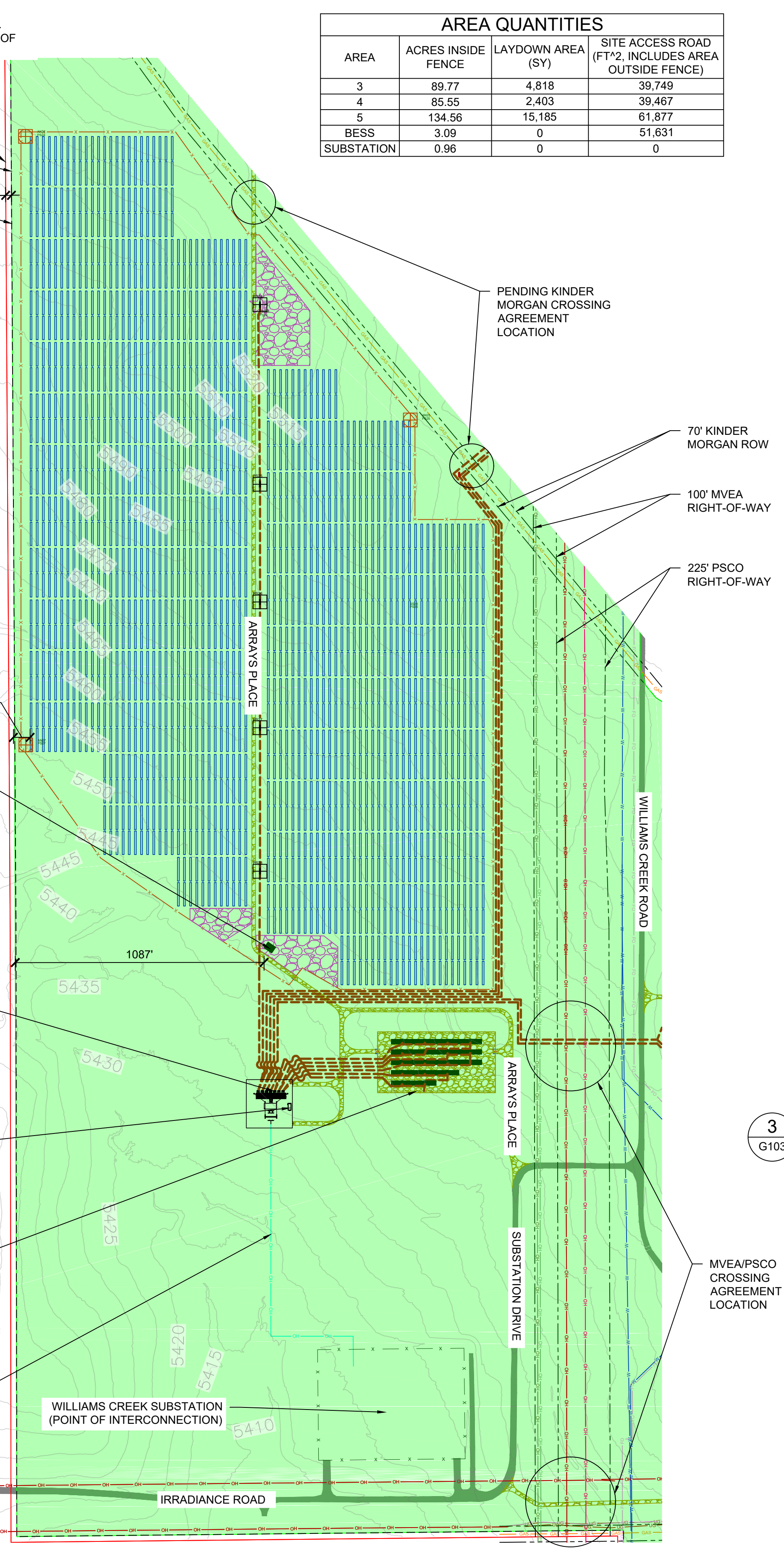
PORTIONS OF LAND LYING WITHIN SECTIONS 7, 18, 19, 30, AND 31 TOWNSHIP 16 SOUTH, RANGE 64 WEST  
SECTIONS 11, 12, 13, 14, 23, 24, 25, 26, AND 36 TOWNSHIP 16 SOUTH, RANGE 65 WEST  
EL PASO COUNTY, COLORADO



**1 AREA 3 - PLAN VIEW**  
G103 SCALE: 1"=350'



**2 AREA 4 - PLAN VIEW**  
G103 SCALE: 1"=350'

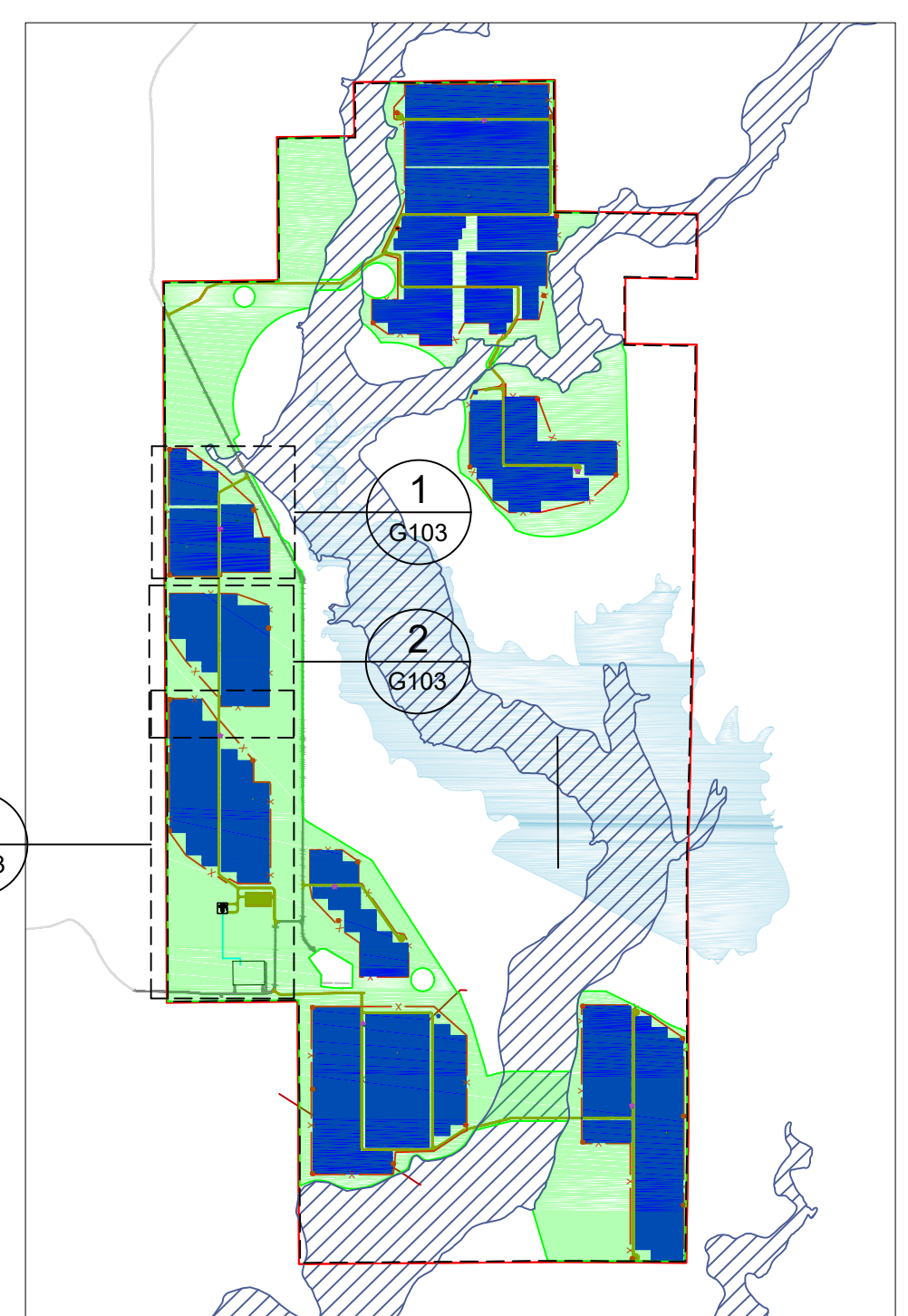


**3 AREA 5 - PLAN VIEW**  
G103 SCALE: 1"=350'

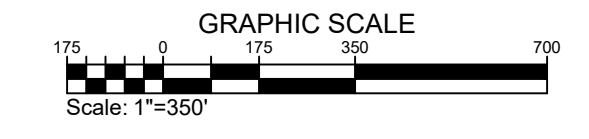
AREA QUANTITIES			
AREA	ACRES INSIDE FENCE	LAYDOWN AREA (SY)	SITE ACCESS ROAD (FT <sup>2</sup> , INCLUDES AREA OUTSIDE FENCE)
3	89.77	4,818	39,749
4	85.55	2,403	39,467
5	134.56	15,185	61,877
BESS	3.09	0	51,631
SUBSTATION	0.96	0	0

GENERAL NOTES	
1	COORDINATES ARE IN NAD83 COLORADO STATE PLANE, CENTRAL ZONE, US FT.
2	PROPERTY DESCRIPTION: 1162 ACRES INSIDE PROJECT FENCE, SECTIONS 6, 7, 18, 30 AND 31 T16S, R64W, AND SECTIONS 1, 11-14, 23-26, 35 AND 36 T16S, R65W
3	NORTH ARROW CORRESPONDS TO TRUE NORTH AT SITE, NOT SURVEY NORTH

LEGEND	
[Red dashed line]	WSEO BOUNDARY
[Red solid line]	25' SETBACK FROM WSEO BOUNDARY
[Green shaded area]	WSEO SITING ENVELOPE
[Black dashed line]	EXISTING ROW BOUNDARIES
[Red dashed line]	PROJECT FENCE
[Yellow dashed line]	SITE ACCESS ROAD (TYP 16' WIDE)
[Black solid line]	EXISTING CSU ROAD
[Green shaded area]	GENERAL LAYDOWN AREA
[Red dashed line]	PROPOSED OH GEN-TIE LINE - 230KV
[Red dashed line]	PROPOSED MV FEEDER PATH - 34.5KV
[Green dashed line]	EXISTING OH TRANSMISSION LINE - 115KV
[Red dashed line]	EXISTING OH TRANSMISSION LINE - 230KV
[Red dashed line]	EXISTING OH TRANSMISSION LINE - 345 KV
[Blue dashed line]	EXISTING UG FIBER OPTIC LINE (CSU)
[Blue dashed line]	EXISTING UG WATER LINE (CSU)
[Blue dashed line]	EXISTING NATURAL GAS LINE
[Blue dashed line]	FEMA FLOOD ZONE (NON-JURISDICTIONAL)
[Black square]	POWER STATION
[Red circle]	ANEMOMETER
[Blue circle]	WEATHER SUITE
[Blue vertical bars]	TRACKING ARRAYS



**4 REFERENCE MAP**  
G103 SCALE: NTS



Juwi Inc.  
1710 29th St. Suite 1008  
Boulder, CO 80301  
www.juwi.com

**PIKE SOLAR**  
219.46 MW PV, 75 MW BESS, 175.00 MW P01  
EL PASO COUNTY, CO

REVISION NOTES

NO.	DATE	DESCRIPTION
1		

REVISION NOTES

NO.	DATE	DESCRIPTION
1		

REVISION NOTES

NO.	DATE	DESCRIPTION
1		

PROJECT LAYOUT

**G103**

GENERAL SITE PLAN - AREAS 3, 4, 5



# PIKE SOLAR PROJECT

PORTIONS OF LAND LYING WITHIN SECTIONS 7, 18, 19, 30, AND 31 TOWNSHIP 16 SOUTH, RANGE 64 WEST  
SECTIONS 11, 12, 13, 14, 23, 24, 25, 26, AND 36 TOWNSHIP 16 SOUTH, RANGE 65 WEST  
EL PASO COUNTY, COLORADO

AREA QUANTITIES			
AREA	ACRES INSIDE FENCE	LAYDOWN AREA (SY)	SITE ACCESS ROAD (FT*2, INCLUDES AREA BETWEEN FENCES)
6	60.30	5,291	54,382
7	222.52	13,169	61,439
8	181.17	6,827	158,503

GENERAL NOTES	
1	COORDINATES ARE IN NAD83 COLORADO STATE PLANE, CENTRAL ZONE, US FT.
2	PROPERTY DESCRIPTION: 1162 ACRES INSIDE PROJECT FENCE, SECTIONS 6, 7, 18, 30 AND 31 T16S, R64W, AND SECTIONS 1, 11-14, 23-26, 35 AND 36 T16S, R65W
3	NORTH ARROW CORRESPONDS TO TRUE NORTH AT SITE, NOT SURVEY NORTH

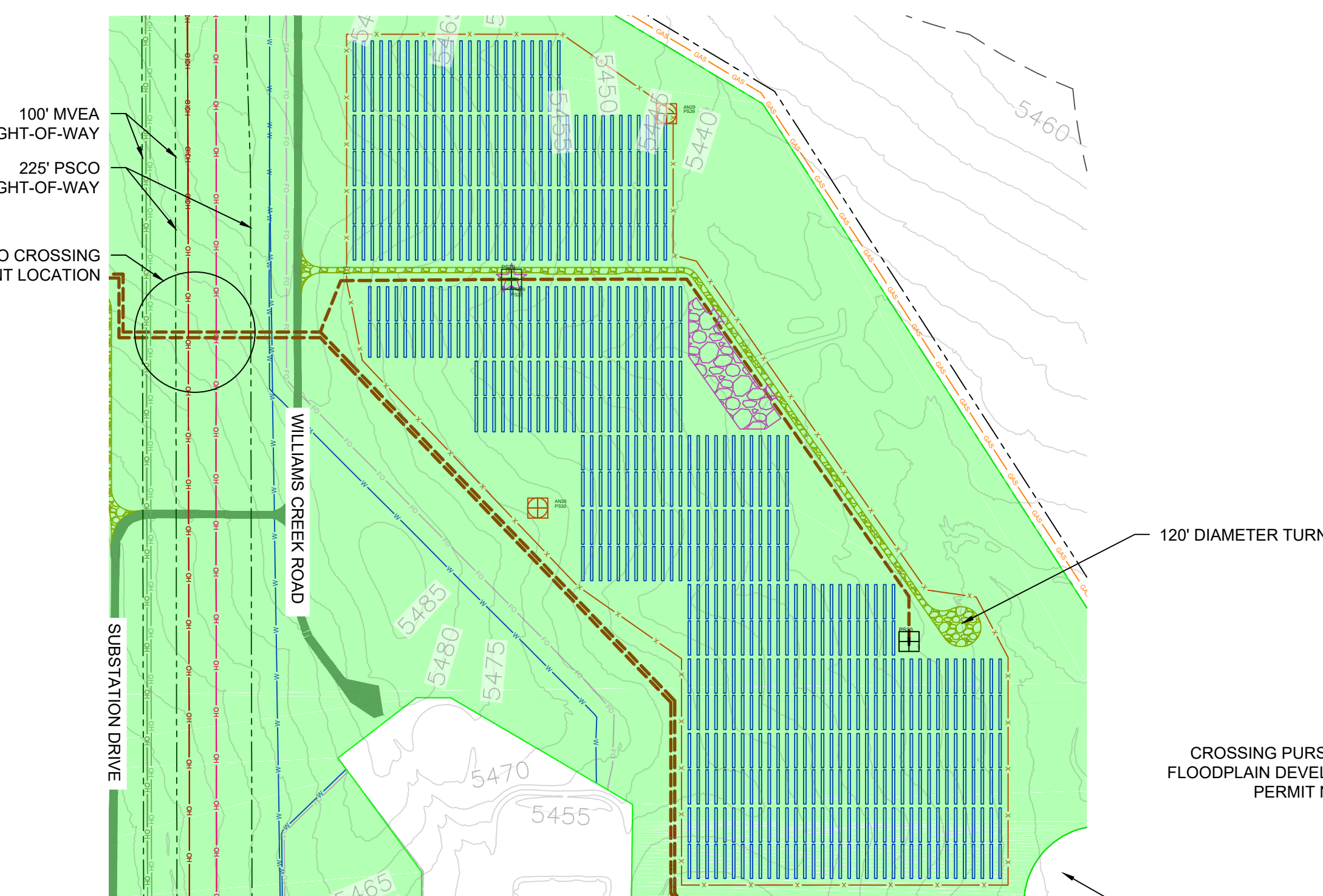
LEGEND	
	WSEO BOUNDARY
	25' SETBACK FROM WSEO BOUNDARY
	WSEO SITING ENVELOPE
	EXISTING ROW BOUNDARIES
	PROJECT FENCE
	SITE ACCESS ROAD (TYP 16' WIDE)
	EXISTING CSU ROAD
	GENERAL LAYDOWN AREA
	PROPOSED OH GEN-TIE LINE - 230KV
	PROPOSED MV FEEDER PATH - 34.5KV
	EXISTING OH TRANSMISSION LINE - 115KV
	EXISTING OH TRANSMISSION LINE - 230KV
	EXISTING OH TRANSMISSION LINE - 345 KV
	EXISTING UG FIBER OPTIC LINE (CSU)
	EXISTING UG WATER LINE (CSU)
	EXISTING NATURAL GAS LINE
	FEMA FLOOD ZONE (NON-JURISDICTIONAL)
	POWER STATION
	ANEMOMETER
	WEATHER SUITE
	TRACKING ARRAYS

**juwi**  
juwi inc.  
1710 29th St. Suite 1068  
Boulder, CO 80301  
www.juwienergy.com

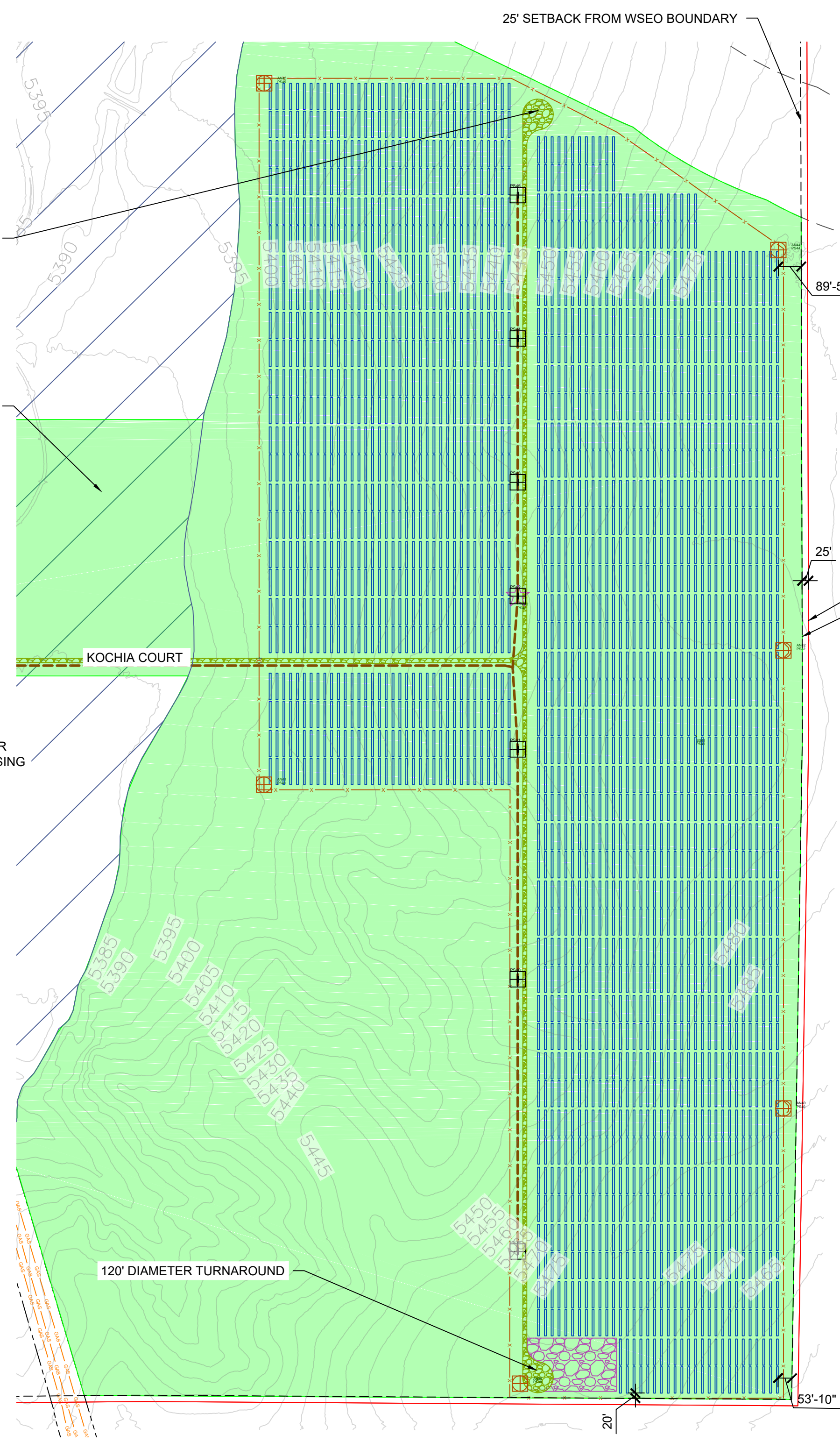
**PIKE SOLAR**  
219.46 MW PV, 75 MW BESS, 175.00 MW PO1  
EL PASO COUNTY, CO

REVISION NOTES  
NO. DATE BY  
1 11/15/23 RMC  
2 11/15/23 RMC  
3 11/15/23 RMC  
4 11/15/23 RMC  
5 11/15/23 RMC  
6 11/15/23 RMC  
7 11/15/23 RMC  
8 11/15/23 RMC  
9 11/15/23 RMC  
10 11/15/23 RMC  
11 11/15/23 RMC  
12 11/15/23 RMC  
13 11/15/23 RMC  
14 11/15/23 RMC  
15 11/15/23 RMC  
16 11/15/23 RMC  
17 11/15/23 RMC  
18 11/15/23 RMC  
19 11/15/23 RMC  
20 11/15/23 RMC  
21 11/15/23 RMC

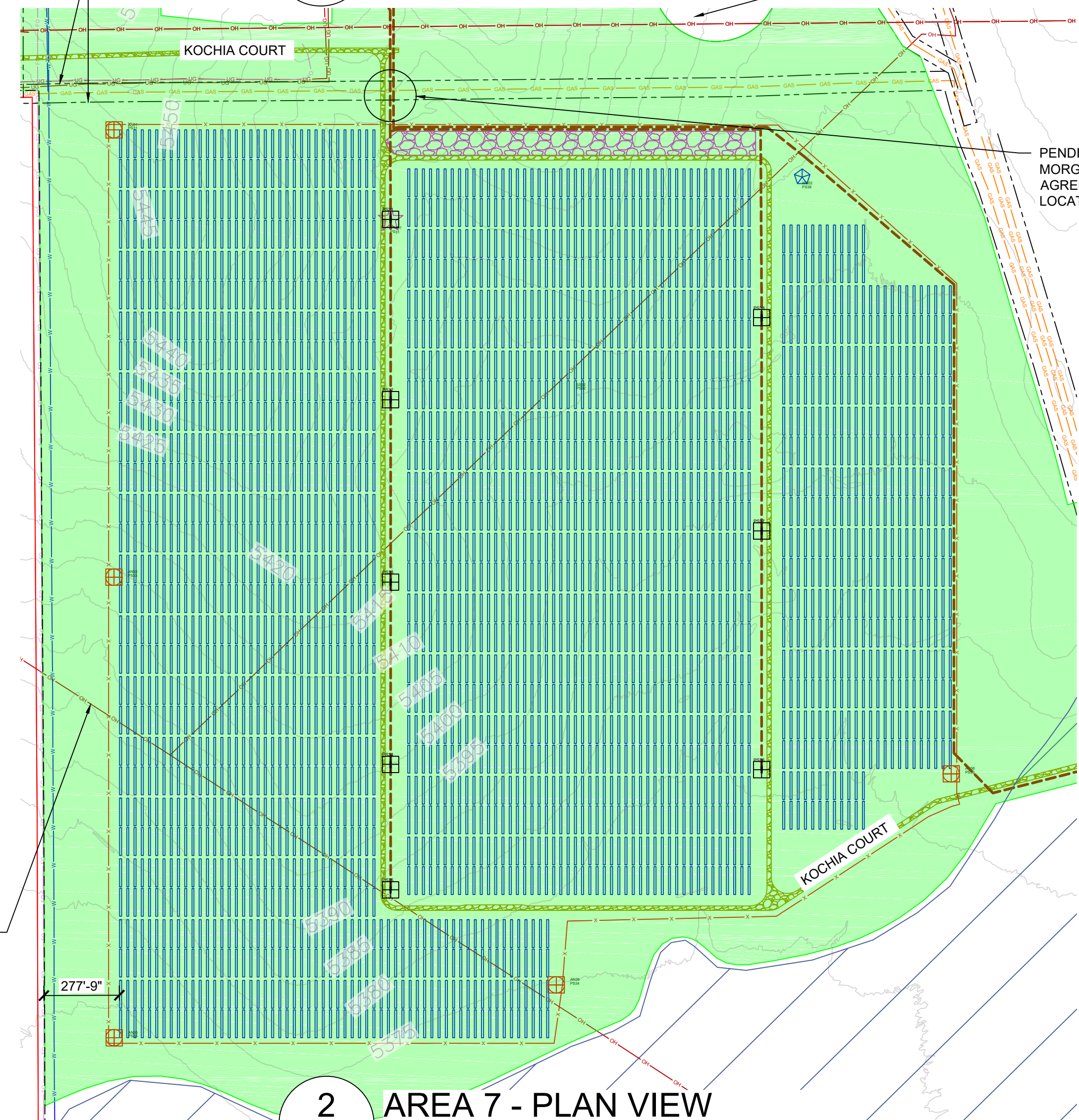
DRAWN BY: RMC LATEST REV: G



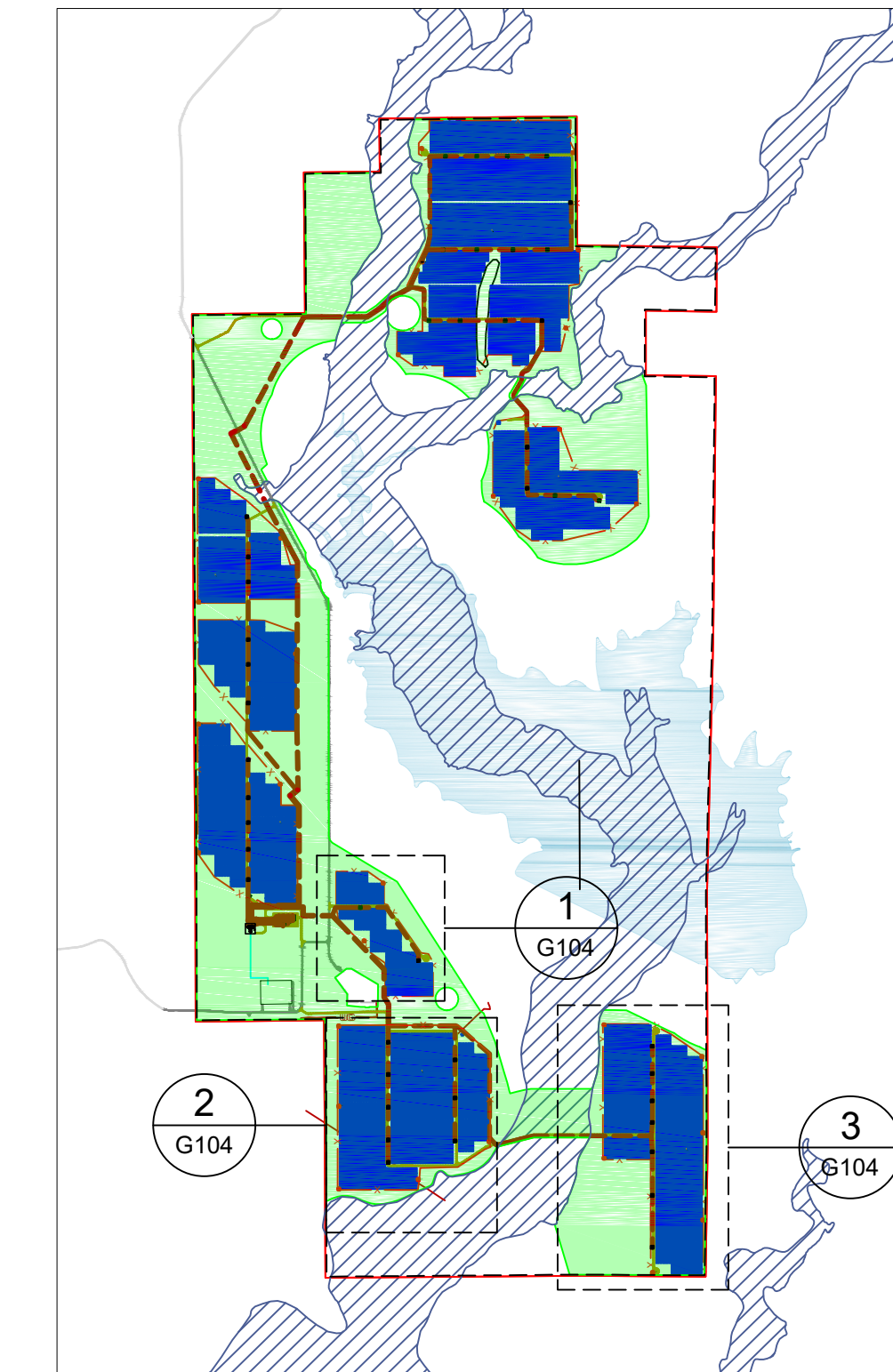
**1 AREA 6 - PLAN VIEW**  
G104 SCALE: 1"=350'



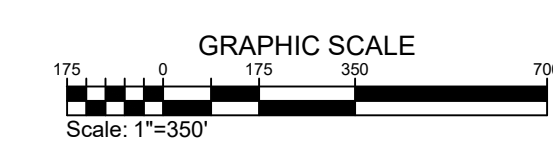
**3 AREA 8 - PLAN VIEW**  
G104 SCALE: 1"=350'



**2 AREA 7 - PLAN VIEW**  
G104 SCALE: 1"=350'



**4 REFERENCE MAP**  
G104 SCALE: NTS



# PROJECT LAYOUT

PROPRIETARY AND CONFIDENTIAL  
DO NOT REPRODUCE OR RERENDER  
PRINT SIZE: ARCH D  
SUBMITTY: 20  
SCALE: 1:350  
SCALE: 1:350  
DWG #

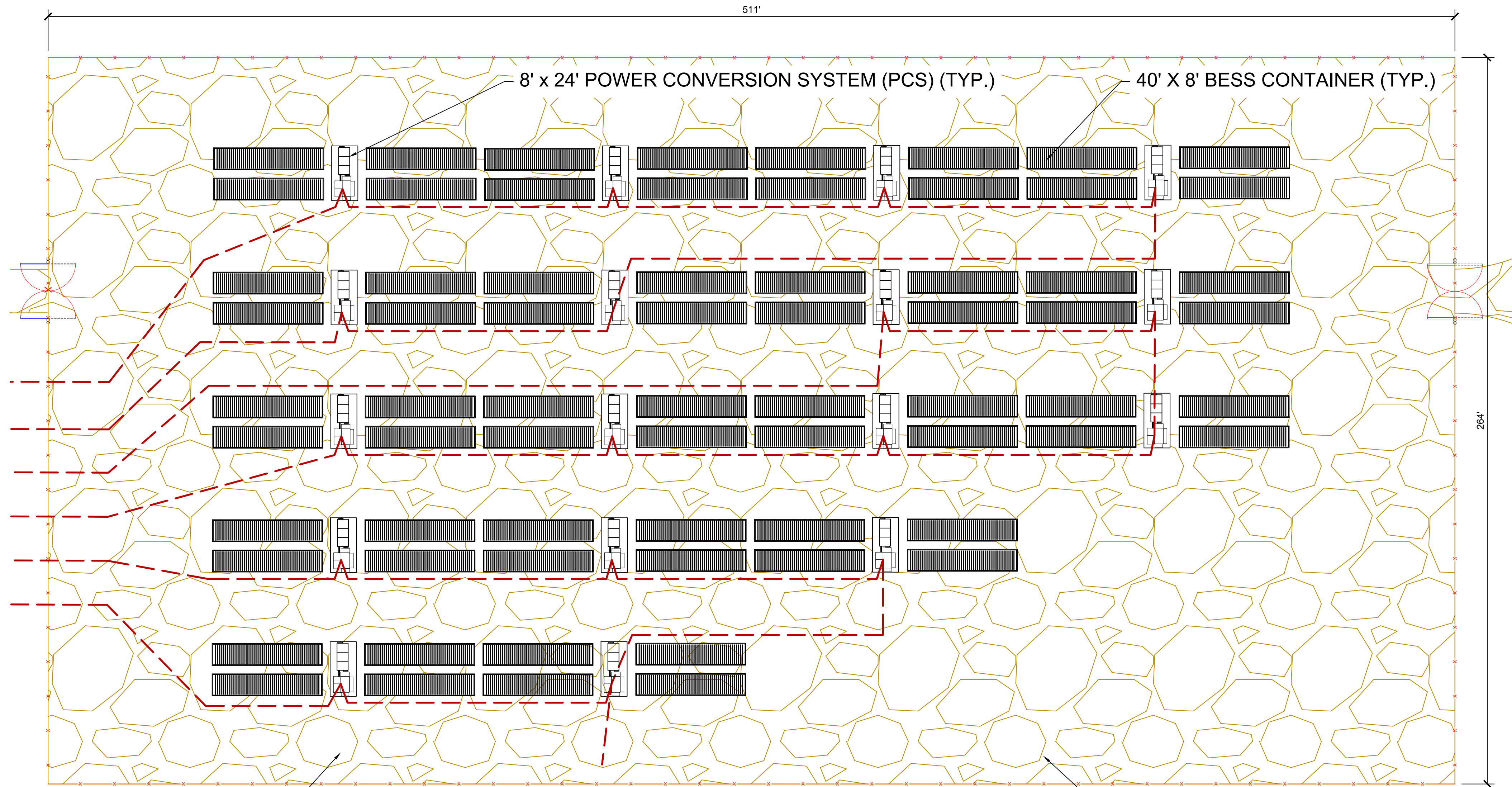
**G104**

DWG TITLE:  
GENERAL SITE PLAN -  
AREAS 6, 7, 8



# PIKE SOLAR PROJECT

PORTIONS OF LAND LYING WITHIN SECTIONS 7, 18, 19, 30, AND 31 TOWNSHIP 16 SOUTH, RANGE 64 WEST  
SECTIONS 11, 12, 13, 14, 23, 24, 25, 26, AND 36 TOWNSHIP 16 SOUTH, RANGE 65 WEST  
EL PASO COUNTY, COLORADO



GRAVEL NO-VEGETATION ZONE

**1 BESS AREA - PLAN VIEW**  
G105 SCALE: 1"=25'

SURFACE SHALL BE 5" OF CLASS 6 AGGREGATE. TOTAL SURFACE AREA = 134,600 FT<sup>2</sup>

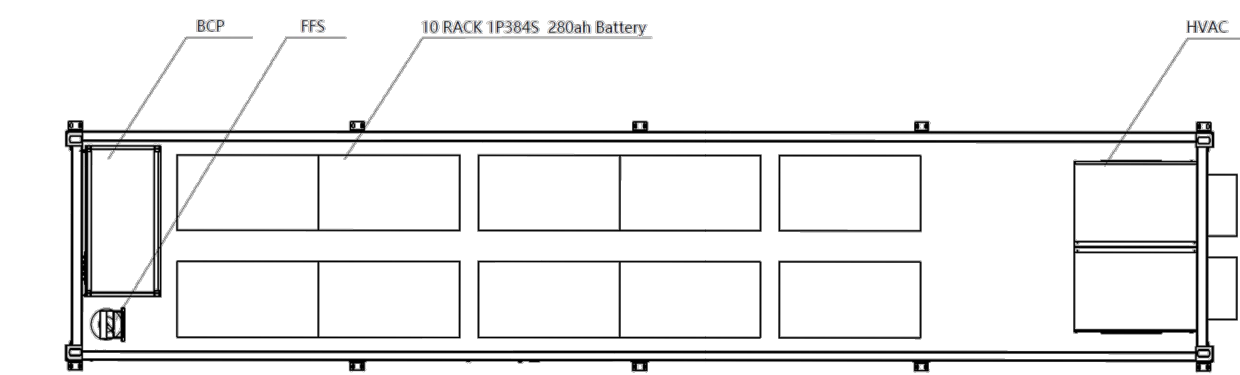


Fig. 6-2: BESS layout (Top view roof removed)

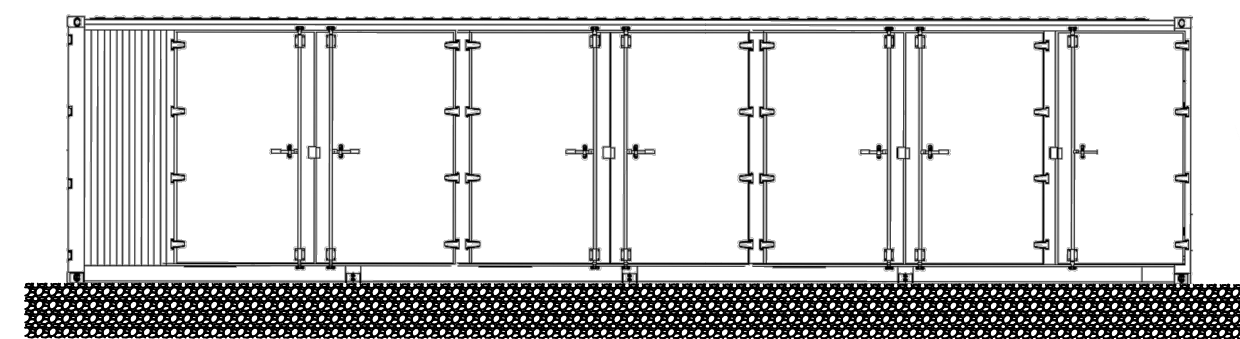
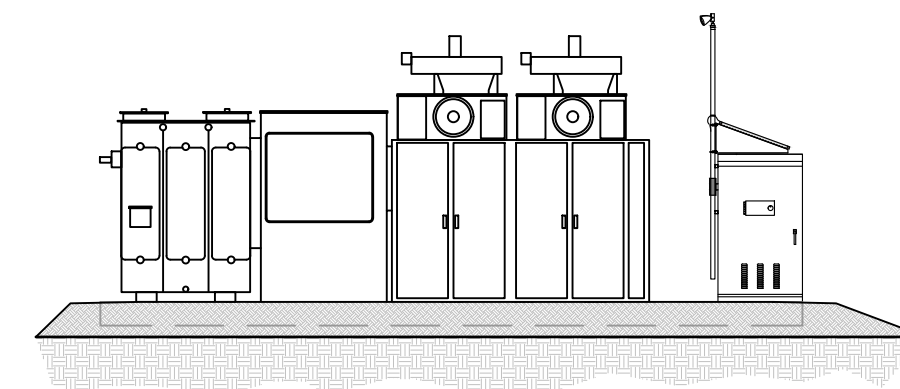


Fig. 6-3: BESS layout (Front view)

**2 BESS CONTAINER**  
G105 SCALE: NTS



**2 POWER CONVERSION SYSTEM**  
G105 SCALE: NTS

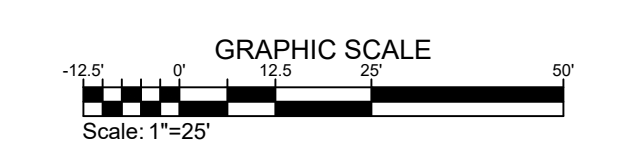
- GENERAL NOTES**
- COORDINATES ARE IN NAD83 COLORADO STATE PLANE, CENTRAL ZONE, US FT.
  - PROPERTY DESCRIPTION: 1162 ACRES INSIDE PROJECT FENCE, SECTIONS 6, 7, 18, 30 AND 31 T16S, R64W, AND SECTIONS 1, 11-14, 23-26, 35 AND 36 T16S, R65W
  - NORTH ARROW CORRESPONDS TO TRUE NORTH AT SITE. NOT SURVEY NORTH
  - REFLECTS A SUNGROW INTEGRATED SYSTEM. FOUR BESS CONTAINER PER PCS FOR EACH 3.5 MW BLOCK
  - LAYOUT AND EQUIPMENT DETAILS ARE PRELIMINARY AND SUBJECT TO CHANGE BASED ON EQUIPMENT SUPPLIER. THE EXTENTS OF THE FINAL LAYOUT SHALL NOT EXCEED THE AREA SHOWN, AND THE EQUIPMENT ELEVATIONS SHALL NOT EXCEED THE DIMENSIONS SHOWN IN APPENDIX U.

**LEGEND**

	MV FEEDERS - 34.5kV
	PROJECT FENCE
	SITE ACCESS ROAD (TYP 16' WIDTH)



**2 REFERENCE MAP**  
G105 SCALE: NTS



PIKE SOLAR  
219.46 MW PV, 75 MW BESS, 175.00MW POI  
EL PASO COUNTY, CO

Juwi Inc.  
1710 29th St, Suite 1068  
Boulder, CO 80301  
www.juwi.com

REVISION NOTES

NO.	DATE	DESCRIPTION

DRAWN BY: RMC LATEST REV: F

## PROJECT LAYOUT

PROPRIETARY AND CONFIDENTIAL  
DO NOT REPRODUCE OR DISTRIBUTE  
PRINT SIZE: ARCH D  
SUBMITTED BY: JRM  
SCALE: 1"=25'  
SCALE: AS SHOWN  
DWG #

# G105

DWG TITLE:  
GENERAL SITE PLAN -  
BESS AREA