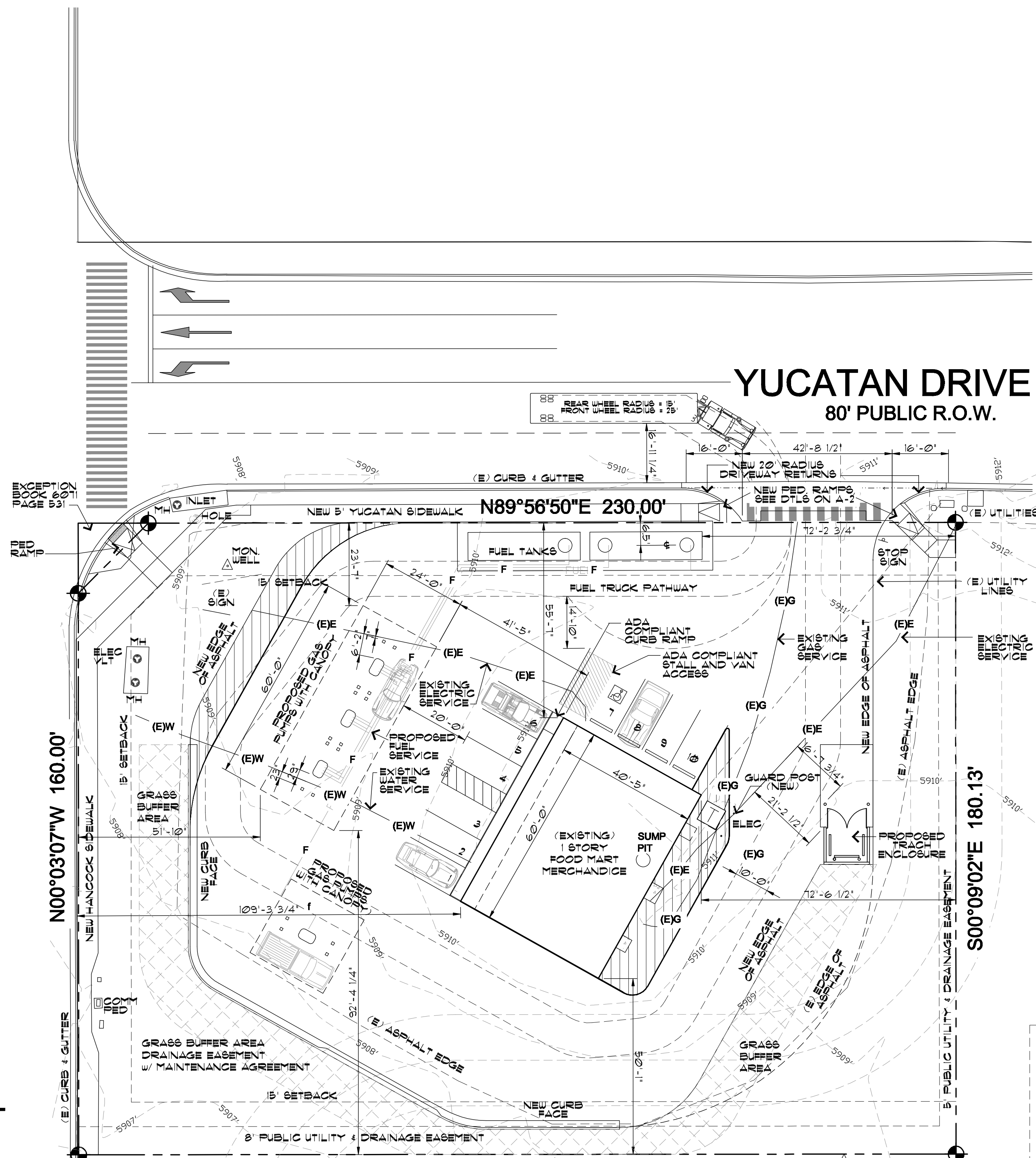


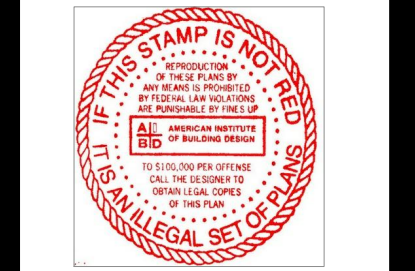
HANCOCK EXPY  
100' PUBLIC R.O.W.

Lot 1  
Clear View West  
Fil. No.2  
Area= 44,800 SQ.FT. +/-

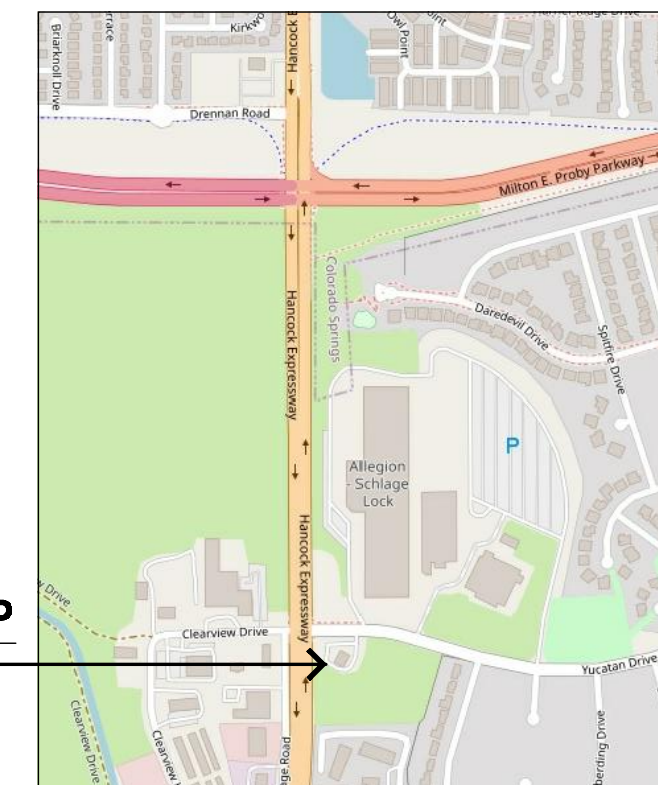
Adjoining Property  
Lot 2, Clear View West Fil. No.2  
Area= 3.88 Acres



Approved  
By: *Justin Kilgore*  
Planning Manager  
Date: 08/01/2023  
El Paso County Planning & Community Development



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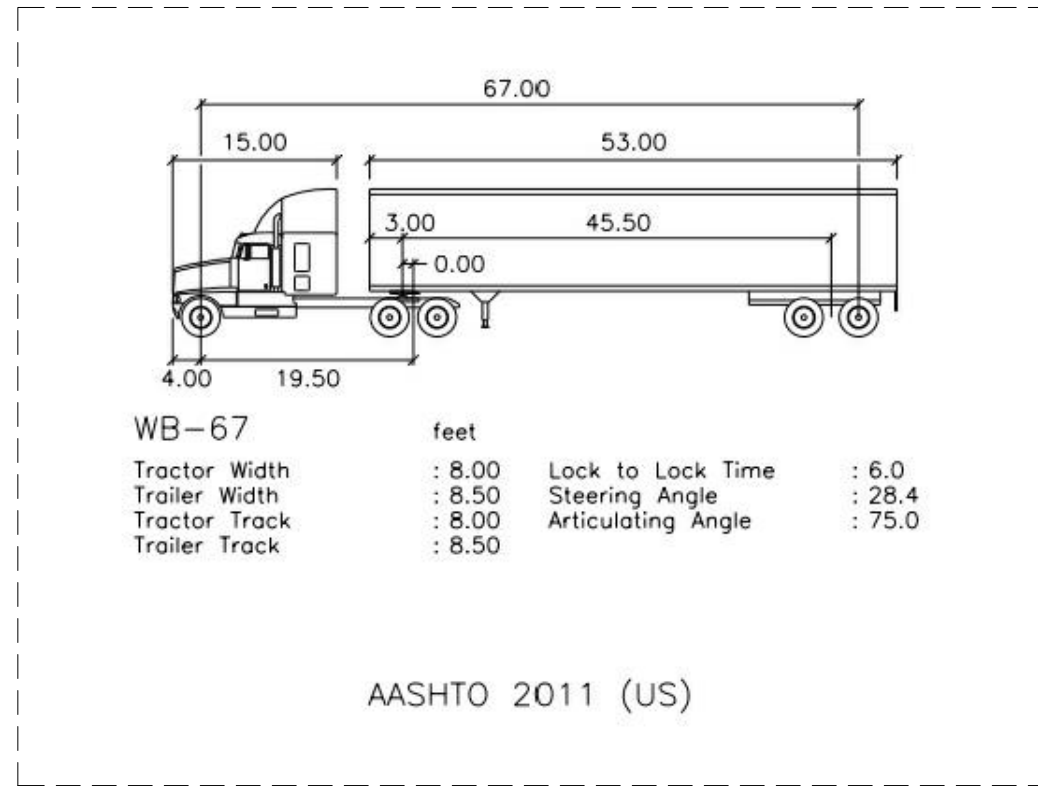


VICINITY MAP  
NOT TO SCALE

- LEGEND TABLE**
- FUEL TRUCK PATHWAY
  - SETBACKS
  - PROPERTY LINE
  - PEDESTRIAN RAMP
  - PEDESTRIAN CROSS WALK
  - EXISTING CONTOUR
  - (E)W EXISTING WATER
  - (E)G EXISTING GAS
  - (E)E EXISTING ELECTRIC (under ground)
  - F NEW FUEL
  - NEW STOP SIGN
  - FUEL PUMPS w/ GUARD POSTS
  - CURB AND GUTTER
  - GRASS BUFFER AREA DRAINAGE EASEMENT w/ MAINTENANCE AGREEMENT

**LOT COVERAGE TABLE**

PROPERTY	= 44,800 SQ. FT.
EXISTING BUILDING	= 2700 SQ. FT.
PROPOSED FUEL CANOPY	= 1584 SQ. FT.
EXISTING LOT COVERAGE	= 6%
PROPOSED LOT COVERAGE	= 10%



**PROJECT:**  
CLEARVIEW MARKET AND GAS STATION  
4815 YUCATAN DRIVE  
COLORADO SPRINGS, CO 80911  
EL PASO COUNTY

**LAND DESCRIPTION:**  
TAX ID: 6501205016  
1.03 ACRES  
ZONE: CC CAD-O  
LOT 1, CLEAR VIEW WEST FILING NO.2

**OWNER AND APPLICANT**  
OWNER: FATEH LLC  
4815 YUCATAN DRIVE  
COLORADO SPRINGS, CO 80911  
(720) 578-3321  
karanj@fatehllc.com

OWNERS REVIEW AND APPROVAL OF THE SITE DEVELOPMENT PLAN:  
*Karanjeet Singh* 06-13-2023  
SIGNATURE (KARANJEET SINGH) DATE

APPLICANT: BERNIE KERN  
BBKERN DESIGNS LLC  
1253 N MEADE AVE  
COLORADO SPRINGS, CO 80909  
(719) 375-4956  
bbkerndesigns@gmail.com

**PARKING**  
PARKING REQUIRED 1/100 OF BUILDING SQUARE FOOT.  
BUILDING SQUARE FOOT = 2700  
9 PARKING SPACES REQUIRED  
10 PARKING SPACES PROVIDED, ONE HANDICAP SPACES

**FUEL TANK SIZE**  
(2) FUEL TANKS PROPOSED, 32' X 8' RADIUS  
TANK #1 PREMIUM (12,000 GALLONS)  
TANK #2 PREMIUM AND DIESEL (12,000 GAL TOTAL)

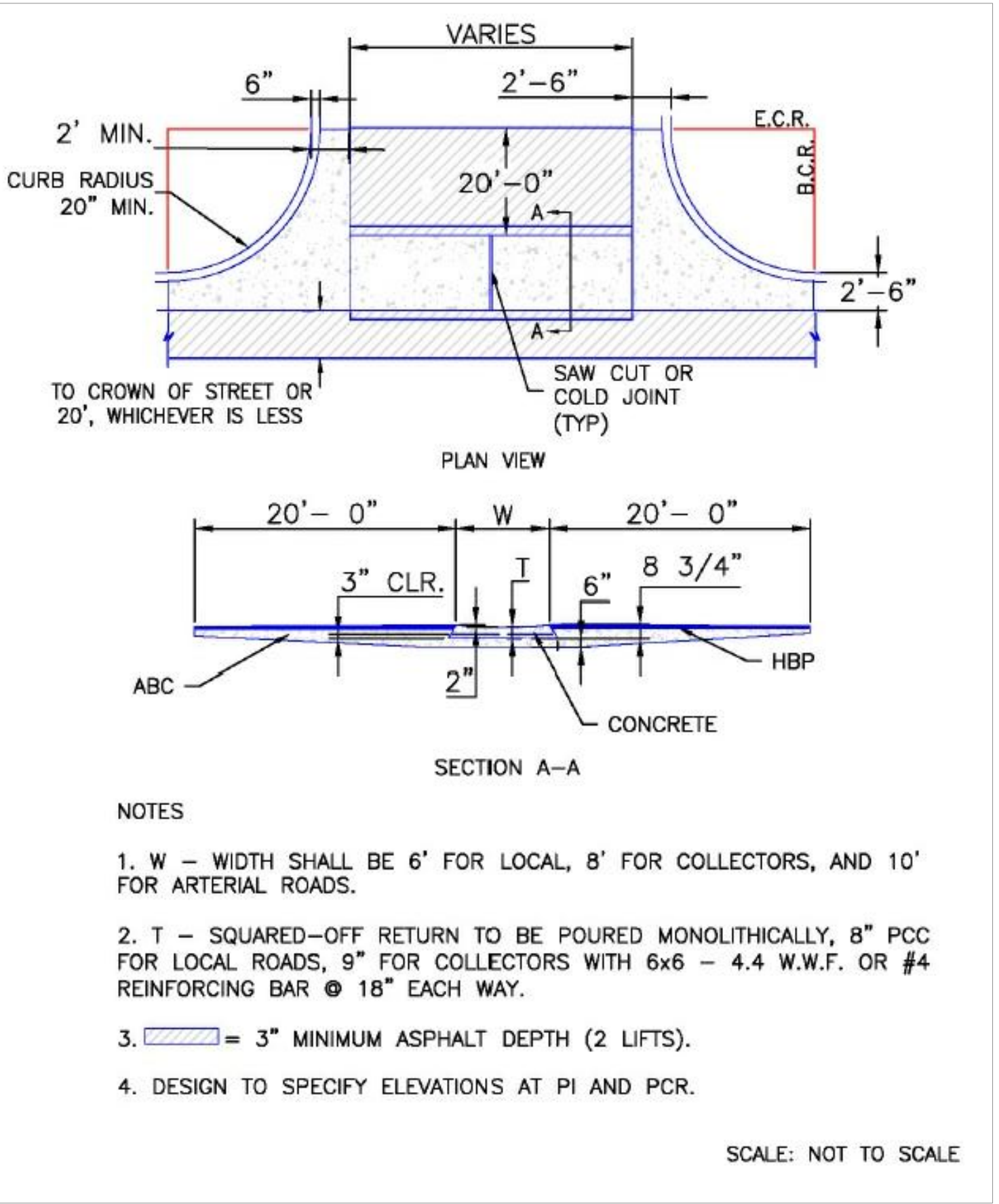
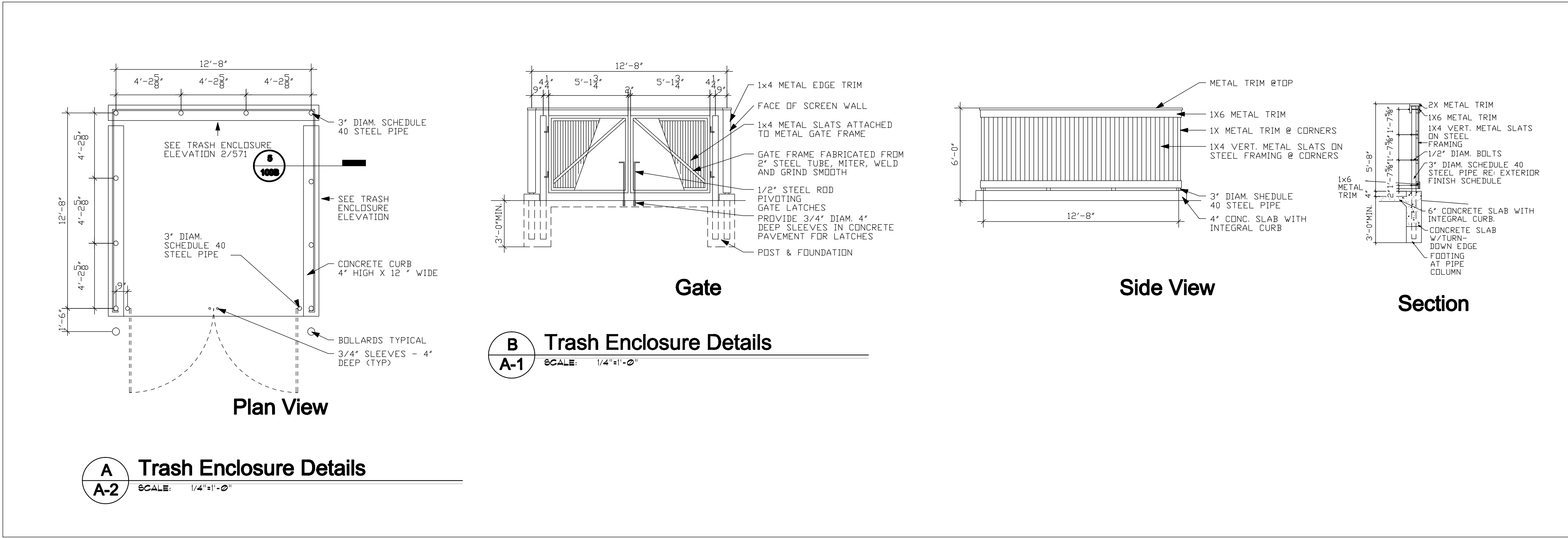
Designer: **BBKernDESIGNS LLC**  
2018 AED  
2019 AED  
2020 AED  
2021 AED  
2022 AED  
2023 AED  
Professional Engineer  
BBKernDESIGNS LLC  
4815 Yucatan Drive  
Colorado Springs, CO 80911  
719.375.4956  
bbkerndesigns@gmail.com

Project: **Clearview Market Gas Station**  
4815 Yucatan Drive  
Colorado Springs, CO 80911

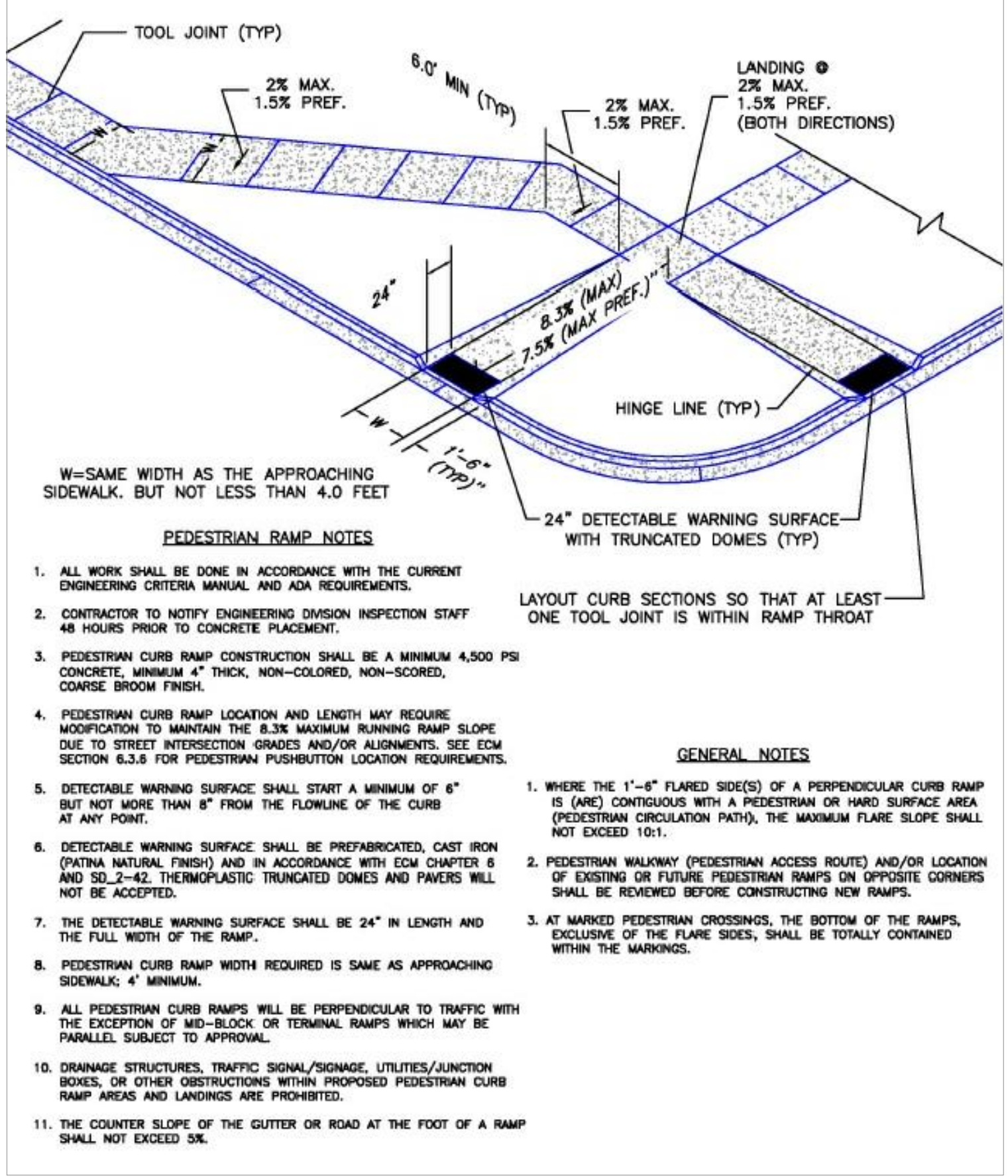
Contractor:  
Revisions:

Plan Number:  
R-20210601  
Sheet Title:  
DEVELOPMENT  
06.01.2023  
Sheet No:  
**A-1**  
Of 3 Sheets





From El Paso County Dept. of Transportation



From El Paso County Dept. of Public Works



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Designer:  
**BBKernDESIGNS LLC**  
 2018 AED  
 Designer of The Year  
 Residential Building Designer, AIA  
 2019  
 2020  
 2021  
 2022  
 2023  
 POB 10081, Colorado Springs, CO 80909-1081  
 719.375.4956  
 bbkerndesigns@iq.com

Project:  
**Clearview Market Gas Station**  
 4815 Yucatan Drive  
 Colorado Springs, CO 80911

Contractor:  
 Revisions:  
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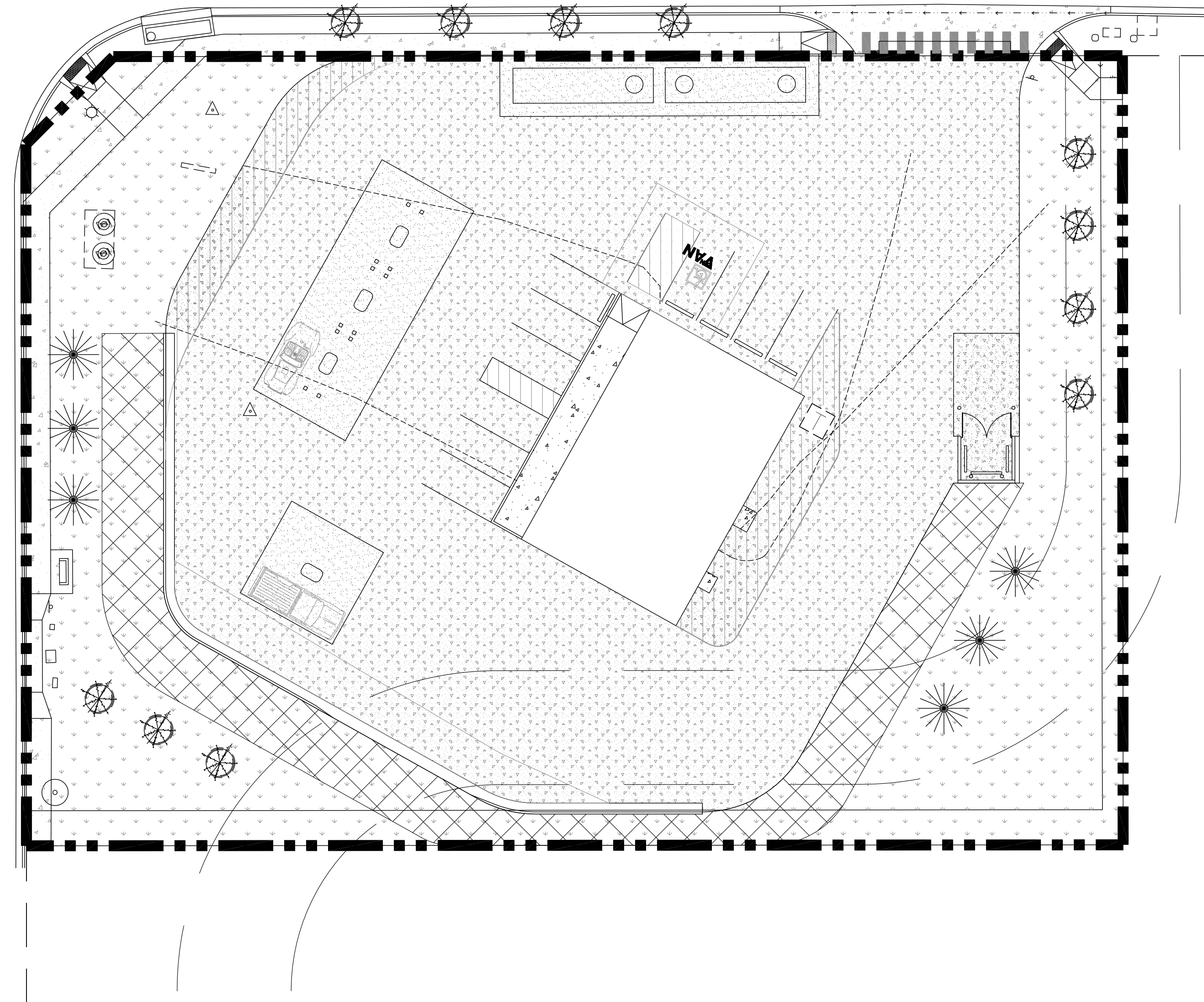
Plan Number:  
 R-20210601  
 Sheet Title:  
 DETAILS

06.01.2023  
 Sheet No:  
**A-2**  
 Of 3 Sheets



HANCOCK EXPY

YUCATAN DRIVE



**LANDSCAPE LEGEND**

THIS SITE CONTAINS AN EXISTING MERCHANDISE BUILDING. THE PROPOSED DEVELOPMENT PLAN INCLUDES THE ADDITION OF A GAS STATION SERVICE WITH GAS PUMPS AND CANOPIES IN THE PAVEMENT DRIVEWAY AREA. OWNERS ARE UPGRADING THE EXISTING SITE TO INCLUDE LANDSCAPING THAT ENHANCES THE CURRENT PROPERTY.

ROCK LANDSCAPE OUTCROPPING IS PLANNED IN THE STREET LANDSCAPE AREA OFF HANCOCK EXPRESSWAY AND YUCATAN DRIVE.

EXISTING VEGETATION IS PROPOSED AT THE SW CORNER OF THE PROPERTY. THIS IS ALSO A NATURAL SLOPE AND DRAINAGE DIRECTION FOR THE EXISTING PROPERTY.

THE EAST SIDE OF THE PROPERTY IS JOINED BY A VACANT PROPERTY, LOT 2 OF THE CLEAR VIEW WEST FILING. THIS AREA IS TO BE MAINTAINED WITH EXISTING VEGETATION.

OVERALL LOT SQUARE FOOTAGE 44,800

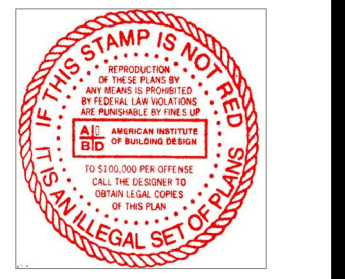
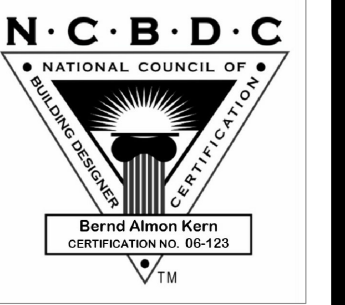
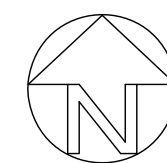
EXISTING BUILDING AREA = 2,424 sq ft or 5%  
 PROPOSED PAVEMENT AREA = 28,896 sq ft or 65%  
 PROPOSED LANDSCAPE AREA = 13,480 sq ft or 30%

- COLORADO SPRUCE = 6  
4" diameter
- QUAKING ASPEN = 11  
2 1/2" diameter
- 28896 SQ FT. PAVEMENT OVER ROAD BASE
- 9605 SQ FT. MAINTAINED NATURAL VEGETATION

**LANDSCAPE NOTES:**

- The following internal landscaping is required for non-residential uses.
- 1) Minimum Required Internal Landscaped Area.
    - a) A minimum of 5% of the lot or parcel shall be landscaped.
  - 2) Minimum Number of Trees in Landscaped Area.
    - a) A minimum of 1 tree shall be provided for every 500 square feet of required internal landscape area.
  - 3) Trees Replaced by Shrubs.
    - a) A maximum of 1/2 of the required trees may be substituted with shrubs adjacent to retail store fronts where the view of wall signs may be obstructed. At least 10 shrubs with a minimum container size of 5 gallons shall be provided for each tree that is replaced.
  - 4) Landscape Material Specifications.
    - a) Plant installation sizes and characteristics shall meet the following minimum requirements.
      - 1) Deciduous shade trees shall be 1 1/2 inch caliper measured 6 inches above ground, balled and burlapped.
      - 2) Deciduous ornamental trees shall be 1 inch caliper measured 6 inches above ground, balled and burlapped.
      - 3) Evergreen trees shall be 6 feet in height above ground, balled and burlapped, except Pinon Pine and upright junipers which shall be a minimum 4 feet in height.
      - 4) Evergreen and deciduous shrubs, where required, shall be 5 gallon size.
      - 5) Ground cover and vines shall be 1 size.
    - b) Required Live Material Ground Cover.
      - 1) Unless otherwise allowed, required landscape areas shall include a minimum of 75% ground cover by living grass or other living plant materials at maturity. The remaining 25% of the required landscape area may be covered with bark, wood chips, rock, stone, or other landscape materials or may be designed as hard-surfaced pedestrian areas. The foliage crown of trees shall not be counted in meeting the ground cover requirement.

**A Site Landscape Plan**  
 A-3 SCALE: 1" = 20'-0"



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Designer: **BBKernDESIGNS LLC**  
 PRESIDENTIAL BUILDING DESIGNER, AIA®  
 2018 AIBD Designer Of The Year  
 POB 10081, Colorado Springs, CO 80909-1081  
 719.375.4956  
 bbkerndesigns@aig.com

Project: **Clearview Market Gas Station**  
 4815 Yucatan Drive  
 Colorado Springs, CO 80911

Contractor:

Revisions:

Plan Number: R-20210601  
 Sheet Title: LANDSCAPE  
 Date: 05.03.2023  
 Sheet No:

**A-3**  
 Of 3 Sheets


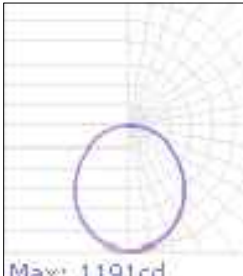




**GENERAL NOTES**


- ALL WORK SHALL BE DONE IN COMPLIANCE WITH 2017 NEC, IBC 2015, 2015 IECC, 2017 PPRBC, 2015 IMC, 2015 IPC, AND ALL OTHER LOCAL CODES.
  - ELECTRICAL CONTRACTOR SHALL VISIT SITE AND EXAMINE DRAWINGS OF OTHER TRADES ON THIS PROJECT, ARCHITECTURAL AND MECHANICAL, TO DETERMINE ANY ADDITIONAL WORK THAT MAY BE REQUIRED FOR A COMPLETE AND OPERATIONAL ELECTRICAL INSTALLATION AND SHALL INCLUDE AN ALLOWANCE FOR THIS WORK IN HIS BID.
  - CONTRACTOR SHALL BE HELD RESPONSIBLE FOR VERIFICATION OF EXISTING JOB CONDITIONS PRIOR TO BID. NO ADDITIONAL COSTS SHALL BE AWARDED TO THE SUCCESSFUL CONTRACTOR OR HIS SUBCONTRACTORS.
  - THE CONDUIT SYSTEM AND ALL CONDUCTING WIRE ENCLOSURES SHALL BE SECURELY BONDED TOGETHER.
5. LAND DEVELOPMENT STANDARDS:  
6.2.3. Lighting
- (A) General
- Purpose**  
The purpose of this Section is to address the physical effects of lighting, and the affect that lighting may have on the surrounding neighborhood.
  - Applicability**  
This Section applies in all zoning districts, except as otherwise provided.
  - Existing Lighting Allowed**  
Lighting existing at the time of adoption of this Section is not required to be modified to conform to this Section.
  - Lighting Plan to Reflect Standards**  
A lighting plan for meeting these standards shall be submitted in accordance with submittal requirements for lighting plans described in the Procedures Manual.
- (B) Design Standards and Requirements
- Limitations on Extent of Lighted Area**
    - Concealed or Shielded**  
Light fixtures shall be arranged and positioned such that the light sources are concealed and fully shielded so that no direct light or reflection creates a nuisance or hazard to any adjacent ownership or right-of-way and that up-light, spill-light, glare, and unnecessary diffusion are minimized. Light fixtures, except as otherwise permitted herein, are required to be full cutoff as defined by the Illuminating Engineers Society of North America (IESNA). The cut-off angle of an exterior light source shall not exceed 90 degrees. Full cut-off fixtures may not be tilted or aimed in a manner that results in light distribution above the horizontal plane. The use of semi-cutoff or cutoff (as opposed to full cutoff) fixtures shall be permitted to illuminate areas other than parking lots provided the pole or mounting point is no more than 10' in height and the maximum lumen output does not exceed 1800 lumens per lamp.
    - Non-Security Lighting During Non-Operating Hours**  
Exterior lighting, including but not limited to floodlights used to light a building facade, shall be reduced, activated by motion sensor devices, or turned off during the principal use's non-operating hours. Lighting necessary for security shall not be subject to this provision.
    - Upward Lighting**  
Upward lighting for architectural, landscape or decorative purposes shall have at least 90% of the total distribution pattern within the profile of the illuminated structure or feature. Light fixtures used to illuminate flags, statues, or any other objects mounted on a pole, pedestal, or platform, shall use a narrow cone of light that does not extend beyond the illuminated object.
    - Maximum Levels**  
Maximum on-site lighting levels shall not exceed 10 foot candles, except for loading and unloading platforms where the maximum lighting level shall be 20 foot candles.
    - Measurement at Property Boundaries**  
Light levels measured at the property line of the development site adjacent to residential property or public right of way shall not exceed 0.1 foot candles as a direct result of the on-site lighting. All light fixtures mounted within 15' of any residential property line of the site shall be classified as IES Type II or Type III, or fixture demonstrated to provide similar distribution patterns and shielding properties. Fixtures shall be fitted with "house side shield" reflectors on the sides facing the residential property line.
    - Light Standards and Fixtures**  
The style of light standards and fixtures shall be consistent with the style and character of architecture proposed on the site. Poles shall be anodized or coated to minimize glare from the light source. Ballards or similar light fixtures intended to illuminate landscape features or walkways are permitted which do not exceed 4 feet in height, 2 fixtures per ballard and 1 lamp not exceeding 900 lumens per fixture.
    - Lamp Types**  
All outdoor light fixtures should utilize one of the following lamp types: metal halide, induction lamp, compact fluorescent, incandescent (including tungsten-halogen), or high-pressure sodium. Alternatives are permitted provided they are demonstrated to be more effective for the proposed use based on IESNA recommendations.
    - Canopy Lighting**  
Light fixtures associated with canopies, including but not limited to fuel islands, seasonal outdoor sales areas, shopping malls, theaters, bank drive-thrus, and hotels shall be full cutoff or mounted so that the bottom of the lens is recessed or flush with the bottom surface of the canopy. All light emitted from the canopy shall be substantially confined to the ground directly beneath the perimeter of the canopy. No lighting of any kind, except as permitted by sign regulations, shall be allowed on the top or sides of a canopy. The design of the canopy in terms of height above grade, and the spacing between the fixtures within the canopy, shall be such that the illumination level under the canopy does not exceed 20 foot-candles.
    - Consideration of Pilots**  
No lighting shall make it difficult for pilots to distinguish airport lights from others, result in glare in the eyes of the pilots using an aviation facility, impair visibility in the vicinity of an aviation facility or, in any way create a hazard or endanger the landing, take-off, or maneuvering of aircrafts intending to use an aviation facility.
  - Height**  
No freestanding light fixtures shall be mounted higher than 15 feet, except parking lot light fixtures which shall be mounted no higher than 20 feet unless an alternative lighting proposal is approved in accordance with this Code.
  - Requirements for Outdoor Recreation Facilities**  
Ball diamonds, playing fields, tennis courts, and other outdoor recreational uses shall be required to meet the following standards:
    - Maximum Pole Height**  
The maximum light pole height shall be 80 feet.
    - Angle**  
The cut-off angle from a lighting source that illuminates an outdoor recreational use may exceed 90 degrees provided the light source is shielded to prevent light and glare from spilling to adjacent residential properties.
    - Hours of Use**  
Exterior lighting for an outdoor recreational use shall be extinguished no later than 10:00 p.m. or immediately after the conclusion of the final event of the day, whichever is later.
- (C) Prohibited Lighting
- The following are considered prohibited lighting:
- Site lighting that may be confused with warning, emergency or traffic signals, except as authorized by a federal, State or County government;
  - Any fixed light not designed for roadway illumination that produces incident or reflected light that could be disturbing to the operator of a vehicle;
  - Blinking, flashing or changing intensity lights and lighted signs, except for temporary holiday displays or lighting required by the FAA for air traffic control and warning purposes;
  - The use of laser source light or any similar high intensity light for outdoor advertising or entertainment when projected above the horizontal;
  - The private operation of searchlights; and
  - The nighttime use of white lighting or white strobe lighting in communication tower lighting.
- (D) Exemptions
- The following lighting shall be exempt from the requirements of this Section:
- Holiday lights in the nature of decorations, clearly incidental and customary and commonly associated with any national, local or religious holiday. Holiday lights may be of any type, number, area, height, location, illumination or animation, except that they shall not produce incident or reflected light that may be confused with or construed as a traffic control device;
  - Any lighting required by the FAA for air traffic control, navigation, and warning purposes;
  - Emergency lighting as required by law enforcement or emergency services personnel to protect life or property provided the lighting is temporary and is discontinued immediately on abatement of the emergency necessitating the lighting;
  - Road lighting;
  - Construction lighting provided the lighting is temporary and is discontinued immediately on completion of the construction work;
  - Traffic control signals and devices;
  - Vehicular lights;
  - Temporary use of low wattage or low voltage lighting for public festivals, celebrations, and carnivals approved as a temporary use; and
  - Single family residential lighting, except as prohibited herein
- (E) Alternative Lighting Proposal
- Authority**  
The PCD Director may approve a proposal that offers an alternative approach for meeting the standards of this Section. A lighting plan proposing an alternative approach for meeting these standards shall be submitted in accordance with submittal requirements for lighting plans described in the Procedures Manual. The plan shall clearly identify and discuss the modifications and alternatives proposed and describe how the proposal would better accomplish the purpose of this Section.
  - Review Criteria**  
The PCD Director shall find the alternative lighting proposal accomplishes the purposes of this Section as well as a lighting plan that complies with this Section. The PCD Director will consider the extent to which the proposed design protects natural areas from light intrusion; how it enhances neighborhood continuity and connectivity; how it fosters non-vehicular access; and how it demonstrates innovative design and use of fixtures or other elements.

**Schedule**

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
	A		10	Lithonia Lighting	CNY LED P0 50K MV	L0NY LED Canopy P0=3,500lm	108	3473	1	26.4	

**Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.2 fc	9.9 fc	0.0 fc	N/A	N/A

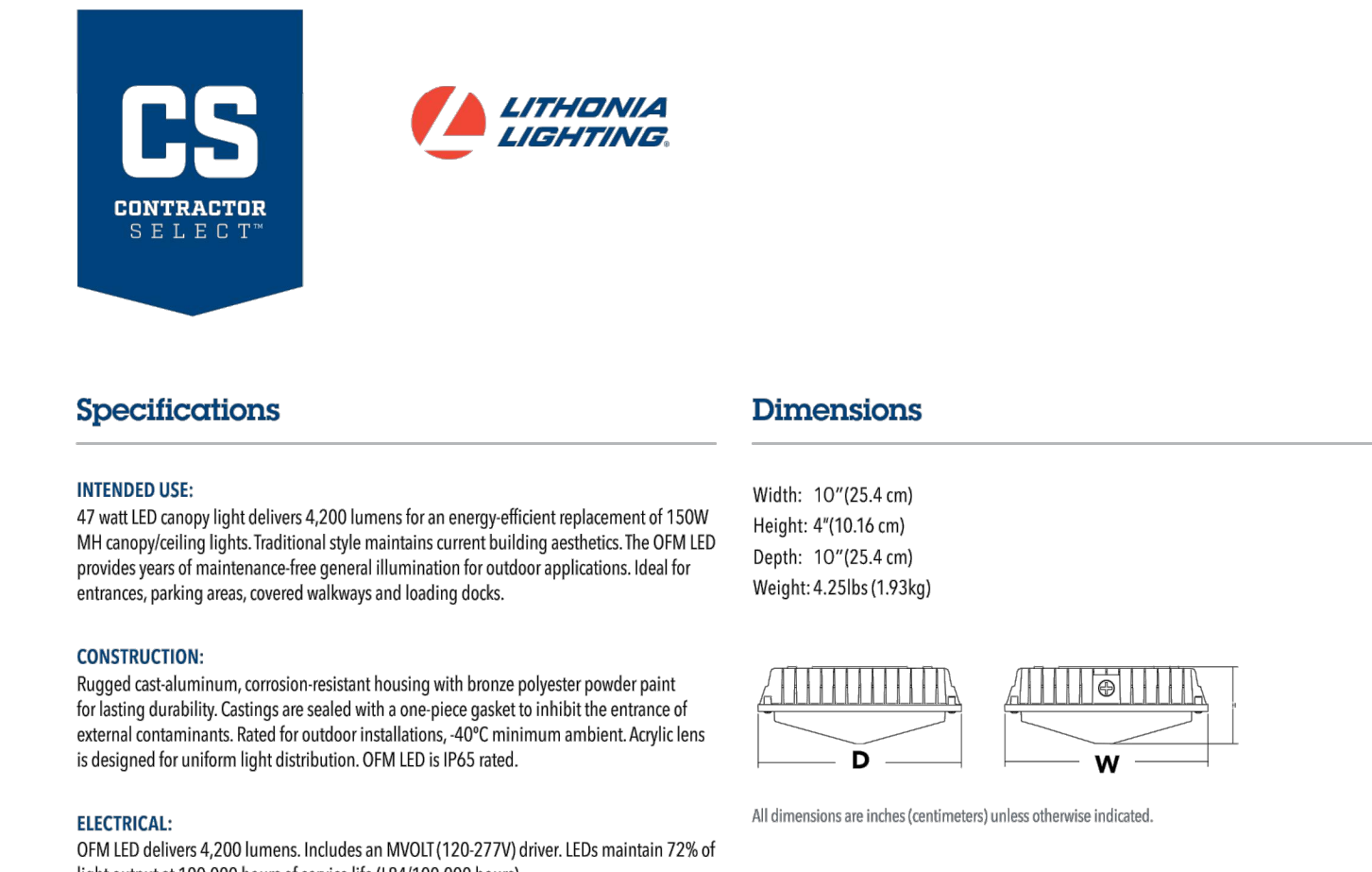


**Contractor Select™ OFM LED Canopy**

The OFM LED canopy luminaire is a versatile and energy efficient solution for replacing 150W HID luminaires. Delivering up to 4,200 lumens using a modest 47 input watts, OFM LED provides a great, cost effective solution with an efficacy of 89 lumens per watt.

**FEATURES:**

- Replaces up to 150W HID lamps, saves 90% energy
- Cost effective and energy efficient, Payback within two years
- Expected service life over 10 years - no maintenance costs and hassles



**Specifications**

**INTENDED USE:**  
47 watt LED canopy light delivers 4,200 lumens for an energy efficient replacement of 150W MH canopy/ceiling lights. Traditional style maintains current building aesthetics. The OFM LED provides years of maintenance-free general illumination for outdoor applications. Ideal for entrances, parking areas, covered walkways and loading docks.

**CONSTRUCTION:**  
Rugged cast aluminum, corrosion-resistant housing with bronze polyester powder paint for lasting durability. Castings are sealed with a one piece gasket to inhibit the entrance of external contaminants. Rated for outdoor installations, 40°C minimum ambient. Acrylic lens is designed for uniform light distribution. OFM LED is IP65 rated.

**ELECTRICAL:**  
OFM LED delivers 4,200 lumens. Includes an MV01 (120-277V) driver. LEDs maintain 72% of light output at 100,000 hours of service life (184,100,000 hours).

**INSTALLATION:**  
Mounts to a recessed junction box or surface mount with three conduit entry points. Can be pendant mounted with ¾" NPT pendant stem provided by others.

**LISTINGS:**  
UL Listed to U.S. and Canadian safety standards for wet locations. Tested in accordance with IESNA LM-79 and LM-80 standards. Designlights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/DQL](http://www.designlights.org/DQL) to confirm which versions are qualified.

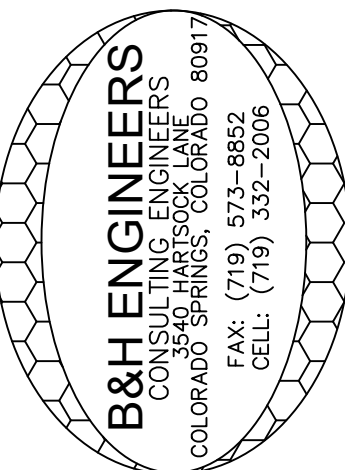
**WARRANTY:**  
5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/CustomersResources/terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomersResources/terms_and_conditions.aspx)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Catalog Number	UPC	Description	Replaces Up To	Lumens	Wattage	CCT	Voltage	Finish	Pallet Qty.
OFM LED P1 50K MVOLT D08 HP17 M4	198887667011	CANOPY LUMINAIRE	150W HID	4,200	47W	5000K	120-277V	DARK BRONZE	96

CONTRACTOR SELECT OFM LED Page 1 of 2

One Lithonia Way, Conyers, GA 30012 | 770-922-9000 | [www.lithonia.com](http://www.lithonia.com)  
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Page 2 of 2



B&H ENGINEERS  
CONSULTING ELECTRICAL, MECHANICAL, & PLUMBING ENGINEERS  
3550 HARTSOCK PLANE  
COLORADO SPRINGS, CO 80917  
(719) 332-2006

DATE: \_\_\_\_\_  
JOB NO. \_\_\_\_\_  
DRAWN BY: B&H  
CHECKED BY: B.P.  
REVISION/DATE \_\_\_\_\_  
FILE NAME \_\_\_\_\_

CLEARVIEW MARKET AND GAS STATION  
4815 YUCATAN DRIVE  
COLORADO SPRINGS, CO 80911  
EL PASO COUNTY

**B&H ENGINEERS**

**PHOTO METRIC PLAN**

**PM2**