

Please submit an O&M Manual for the Water Quality RPAs (unresolved).

The City has a good template for a Grass Buffer O&M that you can use for the runoff reduction RPAs.

EPC STORMWATER REVIEW COMMENTS ARE SHOWN IN ORANGE BOXES WITH BLACK TEXT

LEGAL DESCRIPTION: 4815 YUCATAN DR. COLORADO SPRINGS, CO 80911-1288

LOT 1 CLEARVIEW WEST FILING NO. 2, EX PT TO COUNTY BY BK 6071-531 (PLAT NO 8103)

LAND AREA: 1.03 ACRES

FLOOD PLAIN NOTE: FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP (FIRM), MAP NUMBER 08041C0763G EFFECTIVE DATE 12/7/2018 INDICATES THIS PARCEL OF LAND IS LOCATED IN ZONE X (DOES NOT FALL WITHIN THE 500 YEAR FLOODPLAIN).

SOIL TYPE: 100% +/- TYPE "A" SOILS ARE FOUND ON SITE.

SCHEDULE: ANTICIPATED START DATE: Q2 2023 ANTICIPATED END DATE: Q4 2023

update schedule

RECEIVING WATER: IMMEDIATE: EL PASO COUNTY MS4 ULTIMATE: LITTLE JOHNSON RESERVOIR

DISTURBED AREA: 0.926 ACRES

# YUCATAN CONVENIENCE STORE

## GRADING AND EROSION CONTROL PLANS

4815 YUCATAN DRIVE, COLORADO SPRINGS, EL PASO COUNTY, COLORADO

### DESIGN TEAM CONTACTS:

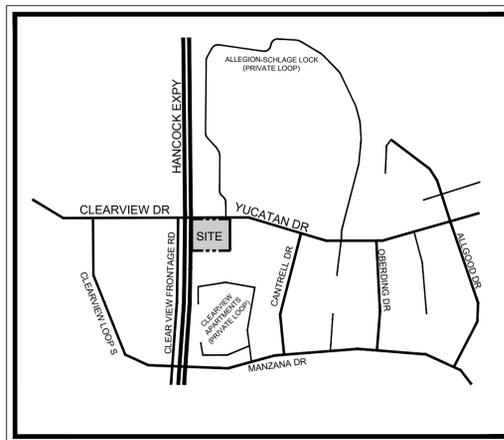
OWNER/DEVELOPER: FATEH, LLC 4609 DESERT VARNISH DR, COLORADO SPRINGS, CO 80922 CONTACT: KARANJEET SINGH

ARCHITECT: BKBKERN DESIGNS 1253 N MEADE AVE, COLORADO SPRINGS, CO 80909 PHONE: 719-375-4956 CONTACT: BERNIE KERN

ENGINEER: KIMLEY-HORN & ASSOCIATES 2 NORTH NEVADA AVE, SUITE 300 COLORADO SPRINGS, CO 80903 PHONE: 719-284-7281 CONTACT: MITCHELL HESS, P.E.

### STANDARD NOTES FOR EL PASO COUNTY GRADING AND EROSION CONTROL PLANS

- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS IN THE FIELD.
- ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRE-CONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
- TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
- FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLAN DENSITY OF 70% OF PRE-DISTURBED LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
- COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENEED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK, OR STREAM.
- DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
- EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS, AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ONSITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ONSITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
- OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE GEOTECHNICAL EVALUATION FOR THIS SITE HAS BEEN PREPARED BY ENTECH ENGINEERING, INC (DATED JANUARY 16, 2023) AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:



VICINITY MAP (NOT TO SCALE)

GESC PLANS	
SHEET NO.	SHEET TITLE
C1.0	GESC COVER SHEET
C1.1	CONSTRUCTION LIMITS & NOTES
C1.2	INITIAL & INTERIM EROSION CONTROL PLAN
C1.3	FINAL EROSION CONTROL PLAN
C1.4	GRADING PLAN
C1.5	EROSION CONTROL DETAILS
C1.6	EROSION CONTROL DETAILS

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT WATER QUALITY CONTROL DIVISION WQCD - PERMITS 4300 CHERRY CREEK DRIVE SOUTH DENVER, CO 80246-1530 ATTN: PERMITS UNIT https://cdphe.colorado.gov/cor400000-stormwater-discharge

### OWNER'S SIGNATURE BLOCK

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

NAME DATE

### ENGINEER'S SIGNATURE BLOCK

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

MITCHELL HESS, P.E. (NO. 53916) DATE KIMLEY-HORN AND ASSOCIATES, INC.

### EL PASO COUNTY REVIEW STATEMENT

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSION, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR A CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF THE CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

JOSHUA PALMER, P.E. COUNTY ENGINEER / ECM ADMINISTRATOR DATE



Kimley-Horn

2023 KIMLEY-HORN AND ASSOCIATES, INC. 2 North Nevada Avenue, Suite 900 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: MOH DRAWN BY: GMP CHECKED BY: MOH DATE: 02/20/2023

CLEARVIEW CONVENIENCE STORE GRADING, EROSION, AND SEDIMENT CONTROL PLANS GESC COVER SHEET

PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley-Horn and Associates, Inc.

PROJECT NO. 196192000

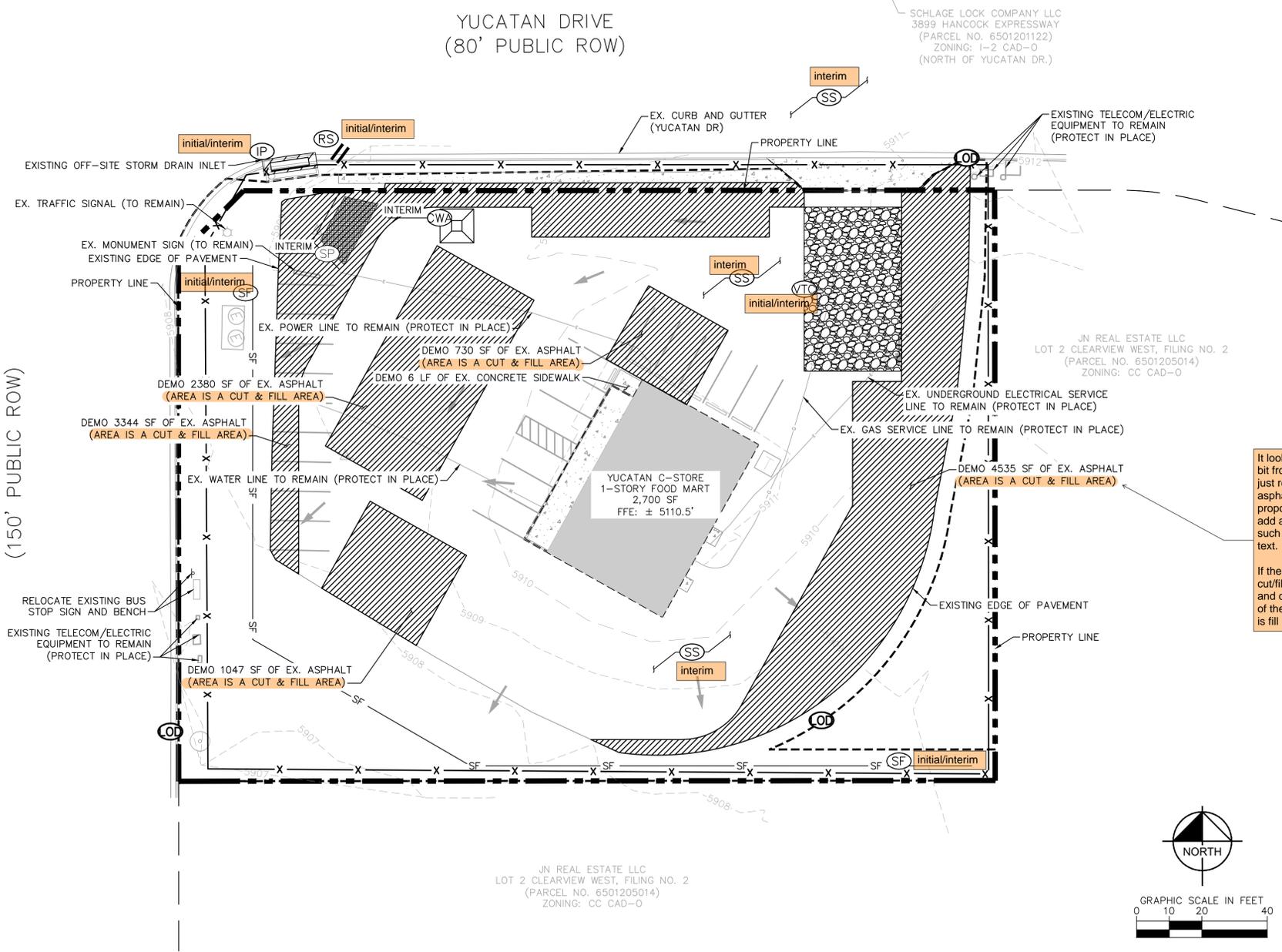
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YUCATAN DRIVE  
(80' PUBLIC ROW)

HANCOCK EXPRESSWAY  
(150' PUBLIC ROW)



**LEGEND**

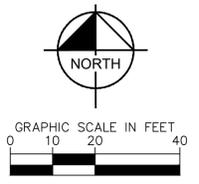
- PROPERTY LINE
- EDGE OF PAVEMENT
- 6709- EXISTING MAJOR CONTOUR
- 6709- EXISTING MINOR CONTOUR
- BUILDING FOOTPRINT
- ▨ CONCRETE SIDEWALK
- ▨ ASPHALT PAVEMENT
- ▨ EXISTING/PROPOSED LANDSCAPE AREA
- ▨ DEMO EXISTING ASPHALT PAVEMENT
- LIMITS OF DISTURBANCE
- x- CONSTRUCTION FENCE (LIMITS OF CONSTRUCTION)
- VTC VEHICLE TRACKING CONTROL
- CWA CONCRETE WASHOUT AREA
- IP SF SILT FENCE
- SP SOIL STOCKPILE
- IP INLET PROTECTION
- RS ROCK SOCKS
- SS STREET SWEEPING
- EX. DIRECTION OF FLOW
- - - CUT/FILL AREA

It looks like the plans changed a bit from the last review. If you're just removing and replacing asphalt and there is no proposed cut/fill, please just add a note to the plans stating such and remove highlighted text.

If there are areas of proposed cut/fill, show line work on figure and clearly indicate which side of the line is cut and which side is fill

**EXISTING SOIL & LANDSCAPING**  
TRUCKTON SANDY LOAM (HYDROLOGIC SOIL GROUP A)  
NO NOTABLE VEGETATION EXISTS ONSITE. NATIVE GRASSES AND SPARSE TREES WHERE SITE IS UNPAVED.

**CONSTRUCTION CONTROL MEASURE PHASING**  
ALL CONSTRUCTION CONTROL MEASURES SHOWN ON THIS PLAN WILL BE BOTH INITIAL AND INTERIM CCM'S UNLESS OTHERWISE LABELED ON THE PLAN.



**NOTES**

1. THE INTENT OF THIS PLAN IS TO IDENTIFY THE EROSION CONTROL PRACTICES RECOMMENDED. THE CONTRACTOR SHALL REFERENCE ADDITIONAL CONSTRUCTION PLANS FOR DEMOLITION OF EXISTING AND CONSTRUCTION OF PROPOSED IMPROVEMENTS.
2. ADJACENT STREETS AND SIDEWALK SHALL BE KEPT CLEAN AND FREE OF SEDIMENT AND/OR DEBRIS AT ALL TIMES. CONTRACTOR SHALL PERFORM STREET SWEEPING AT ALL TIMES DURING ACTIVE TRACKING AND AT A MINIMUM ON A DAILY BASIS AT THE END OF EACH CONSTRUCTION DAY.
3. TEMPORARY STABILIZATION (TS) SHALL BE IMPLEMENTED WITHIN THE DISTURBED PORTIONS OF THE PROJECT SITE NO LATER THAN 14 DAYS FOLLOWING THE CEASE OF CONSTRUCTION ACTIVITIES WITHIN THE DISTURBED AREAS.
4. PERMANENT STABILIZATION (PS) TO BE USED ALONG DISTURBED PERIMETER AS REQUIRED AND AT THE CONTRACTOR'S DISCRETION.
5. CONTRACTOR SHALL UTILIZE ROLLED EROSION CONTROL PRODUCTS ON ALL SLOPES 3H:1V OR GREATER TO ACHIEVE REQUIRED STABILIZATION.
6. CONTRACTOR SHALL MAINTAIN ACCEPTABLE EROSION CONTROL PRACTICES WITHIN THE ANTICIPATED LIMITS OF CONSTRUCTION IDENTIFIED HEREIN. BEST MANAGEMENT PRACTICES AND STABILIZATION SHALL BE COMPLETED AS IDENTIFIED HEREIN IN ACCORDANCE WITHIN OWNER REQUIREMENTS.
7. ALL WORK IN OR CLOSURES OF THE YUCATAN DR OR HANCOCK EXPRESSWAY ROW REQUIRES A ROW PERMIT FROM COLORADO SPRINGS. CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL NECESSARY ROW PERMITS.
8. CONTRACTOR SHALL REFER TO THE APPROVED GEOTECHNICAL REPORT FOR OVEREXCAVATION REQUIREMENTS AND ADDITIONAL INFORMATION.
9. SILT FENCE TO BE INSTALLED PRIOR TO COMMENCEMENT OF ONSITE GRADING AND CONSTRUCTION ACTIVITIES.
10. DEMOLITION, REMOVAL, AND SOIL TREATMENT SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER RECOMMENDATIONS AS NOTED IN THE APPROVED PROJECT GEOTECHNICAL REPORT.
11. CONTRACTOR TO NOTE PROXIMITY OF EXISTING IMPROVEMENTS ADJACENT TO THE SITE AND PROVIDE NECESSARY MEASURES TO PROTECT ALL FACILITIES AND STRUCTURES IN PLACE.
12. CONTRACTOR SHALL MAINTAIN VEHICLE TRACKING CONTROL (VTC), AND CONCRETE WASHOUT AREA (CWA) AT THE CONSTRUCTION ENTRANCE AT ALL TIMES. CONTRACTOR SHALL UPDATE THE EROSION CONTROL PLAN IN THE FIELD TO INDICATE THE LOCATION OF THE VTC, AND CWA BMPS AS EXCAVATION SEQUENCING DICTATES.
13. CONTRACTOR MAY SUBSTITUTE SILT FENCE (SF) FOR SEDIMENT CONTROL LOGS (SCL) AS PERIMETER CONTROL, DEPENDING UPON SITE CONDITIONS. SCL, AND SF MAY BE INTERCHANGED DEPENDING ON SITE CONDITIONS.
14. IT IS ANTICIPATED THAT GC WILL USE A VTC THAT CAN BE USED ON A PAVED SURFACE. GC SHALL ADD VTC SPECIFICATIONS AND MAINTENANCE DATA TO THE SWMP UPON INSTALLATION OF THE VTC.
15. NO DEDICATED ASPHALT OR CONCRETE BATCH PLANTS TO BE UTILIZED ONSITE.
16. NO KNOWN STREAM CROSSINGS ARE IN THE VICINITY OF THE SITE.
17. ALL EXISTING UTILITIES TO REMAIN.

NO.	REVISION	BY	DATE	APPR

**Kimley»Horn**  
2023 KIMLEY-HORN AND ASSOCIATES, INC.  
2 North Nevada Avenue, Suite 900  
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: MOH  
DRAWN BY: GMP  
CHECKED BY: MOH  
DATE: 02/20/2023

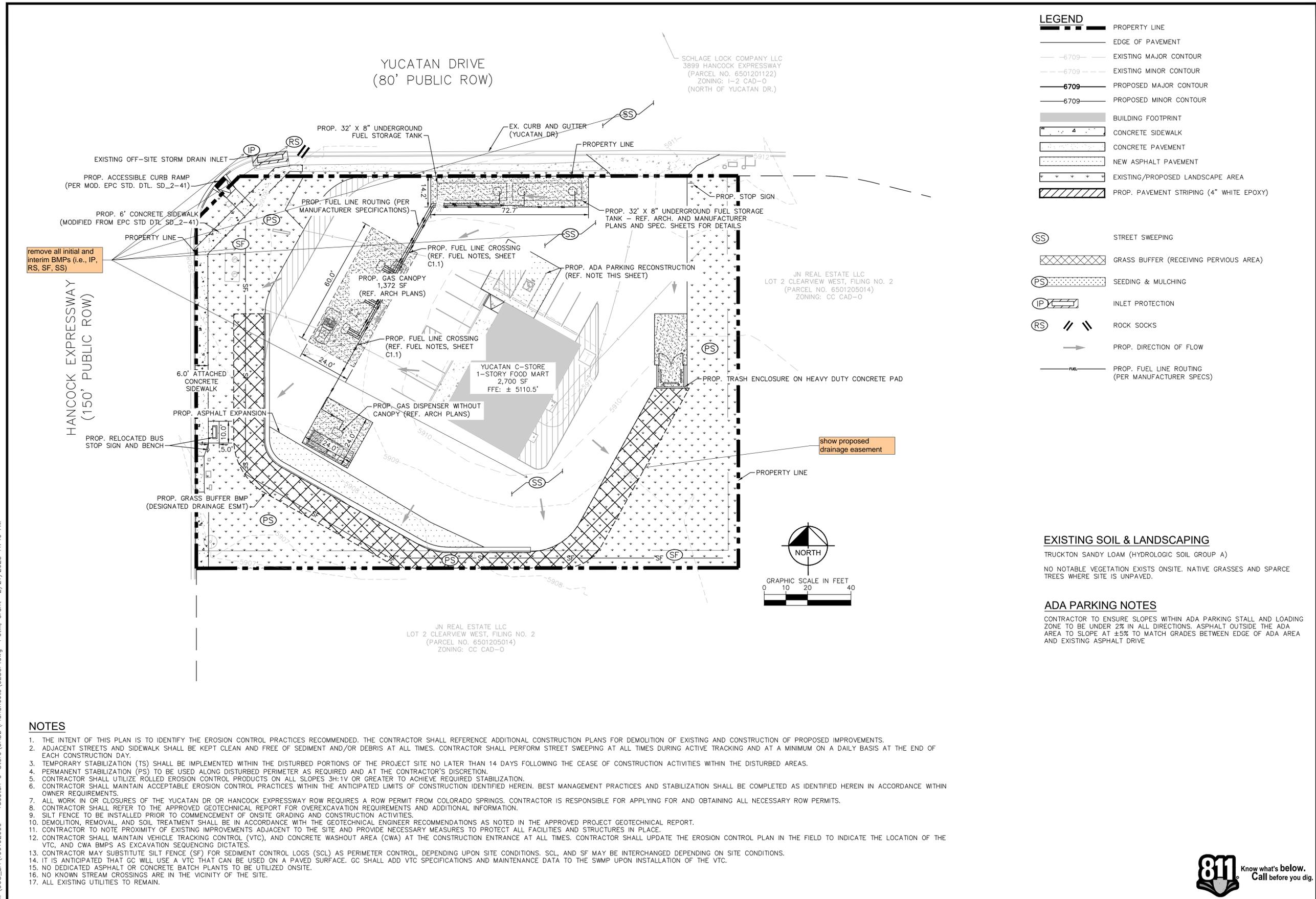
CLEARVIEW CONVENIENCE STORE  
GRADING, EROSION, AND SEDIMENT CONTROL PLANS  
INITIAL & INTERIM EROSION CONTROL PLAN

PRELIMINARY  
FOR REVIEW ONLY  
NOT FOR CONSTRUCTION  
Kimley-Horn and Associates, Inc.

PROJECT NO.  
196192000  
SHEET  
C1.2



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**LEGEND**

	PROPERTY LINE
	EDGE OF PAVEMENT
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	BUILDING FOOTPRINT
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	NEW ASPHALT PAVEMENT
	EXISTING/PROPOSED LANDSCAPE AREA
	PROP. PAVEMENT STRIPING (4" WHITE EPOXY)

	STREET SWEEPING
	GRASS BUFFER (RECEIVING PERVIOUS AREA)
	SEEDING & MULCHING
	INLET PROTECTION
	ROCK SOCKS
	PROP. DIRECTION OF FLOW
	PROP. FUEL LINE ROUTING (PER MANUFACTURER SPECS)

**EXISTING SOIL & LANDSCAPING**  
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**ADA PARKING NOTES**  
 CONTRACTOR TO ENSURE SLOPES WITHIN ADA PARKING STALL AND LOADING ZONE TO BE UNDER 2% IN ALL DIRECTIONS. ASPHALT OUTSIDE THE ADA AREA TO SLOPE AT ±5% TO MATCH GRADES BETWEEN EDGE OF ADA AREA AND EXISTING ASPHALT DRIVE

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 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: MOH  
 DRAWN BY: GMP  
 CHECKED BY: MOH  
 DATE: 02/20/2023

CLEARVIEW CONVENIENCE STORE  
 GRADING, EROSION, AND SEDIMENT CONTROL PLANS  
 FINAL EROSION CONTROL PLAN

PRELIMINARY  
 FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION  
 Kimley»Horn  
 Kimley-Horn and Associates, Inc.

PROJECT NO.  
 196192000  
 SHEET  
 C1.3

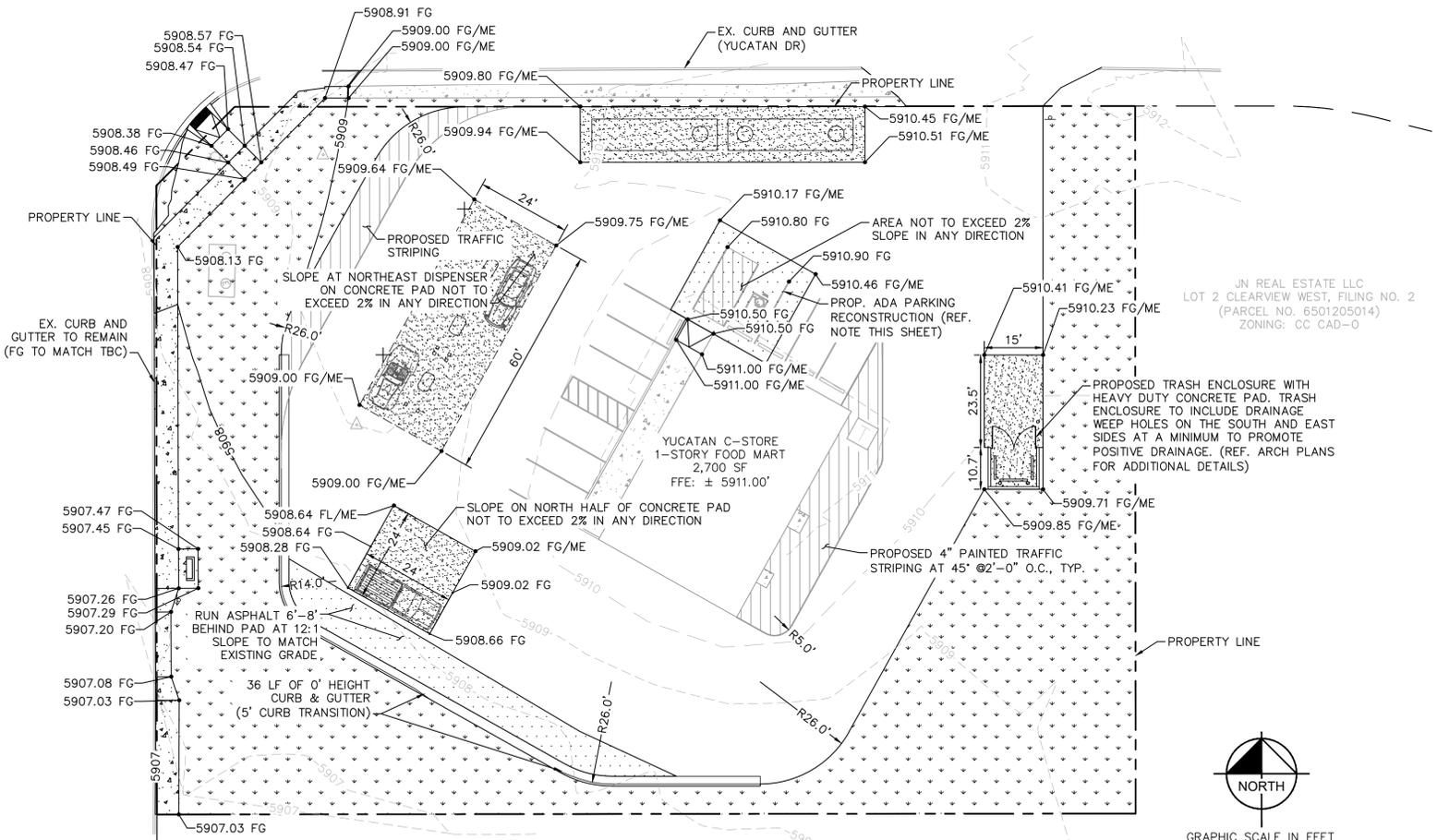


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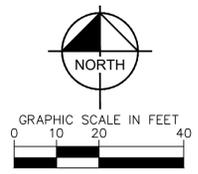
### YUCATAN DRIVE (80' PUBLIC ROW)

SCHLAGE LOCK COMPANY LLC  
3899 HANCOCK EXPRESSWAY  
(PARCEL NO. 6501201122)  
ZONING: I-2 CAD-0  
(NORTH OF YUCATAN DR.)

### HANCOCK EXPRESSWAY (150' PUBLIC ROW)



LEGEND	
—	PROPERTY LINE
—	EDGE OF PAVEMENT
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
[Hatched Box]	BUILDING FOOTPRINT
[Dotted Box]	CONCRETE SIDEWALK
[Dotted Box]	ASPHALT PAVEMENT
[Cross-hatched Box]	HEAVY DUTY CONCRETE



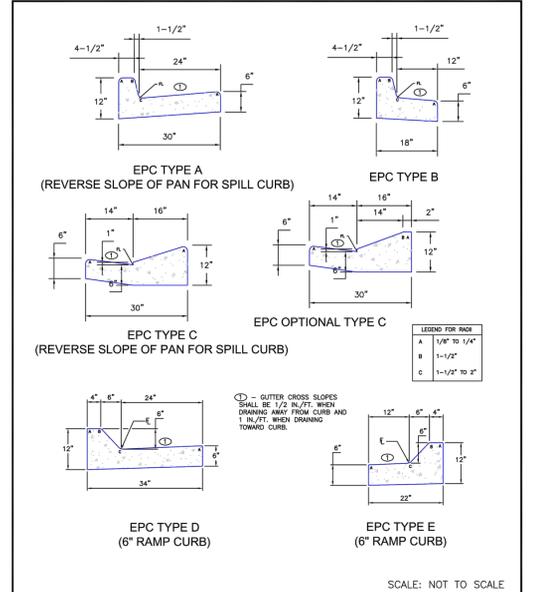
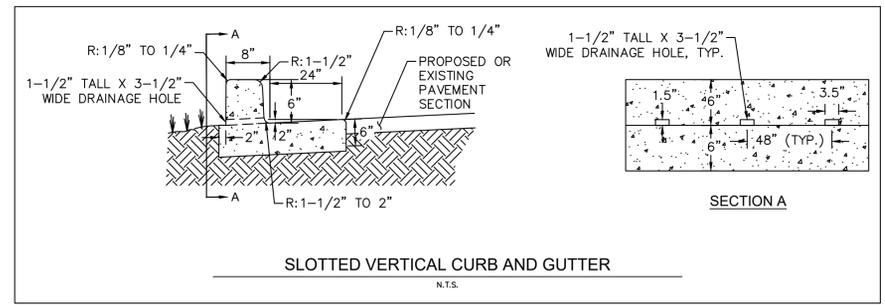
JN REAL ESTATE LLC  
LOT 2 CLEARVIEW WEST, FILING NO. 2  
(PARCEL NO. 6501205014)  
ZONING: CC CAD-0

#### GENERAL NOTES

- CONTRACTOR TO VERIFY THAT EXISTING ADA PARKING AND ACCESS ROUTES MEET FEDERAL AND COUNTY ADA STANDARDS FOR SLOPES, WIDTHS, SURFACE TREATMENT, ETC. IF NON COMPLIANT AREAS ARE FOUND, CONTRACTOR SHALL DISCUSS AREAS WITH THE OWNER AND ENGINEER OF RECORD.
- ALL "VERTICAL CURB" AREAS SHALL CONSIST OF EPC TYPE A "CATCH" CURB PER EL PASO COUNTY STD. DTL. SD\_2-20.
- FOR ALL "SLOTTED CURB" AREAS, REFER TO THE SLOTTED VERTICAL CURB AND GUTTER DETAIL, THIS SHEET.
- LANDSCAPING MATERIAL DEPTHS BEHIND THE SLOTTED CURB SHALL NOT EXTEND HIGHER THAN THE BOTTOM OF THE DRAINAGE HOLES.
- CONTRACTOR TO CONSTRUCT AT LEAST ONE GASOLINE AND ONE DIESEL FUEL DISPENSOR LOCATION TO BE ADA ACCESSIBLE (LESS THAN 2% SLOPE IN ALL DIRECTIONS). ADDITIONAL MODIFICATIONS, NOT SHOWN ON THESE PLANS, TO THE PROPOSED CONCRETE PAVEMENT AND EXISTING ASPHALT PAVEMENT MAY BE REQUIRED TO ACHIEVE THE ADA REQUIREMENTS.
- ALL SIDEWALK IMPROVEMENTS SHOULD HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM RUNNING SLOPE OF 5%. ADA CURB RAMP LANDINGS SHALL HAVE A MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS.

#### ADA PARKING NOTES

CONTRACTOR TO ENSURE SLOPES WITHIN ADA PARKING STALL AND LOADING ZONE TO BE UNDER 2% IN ALL DIRECTIONS. ASPHALT OUTSIDE THE ADA AREA TO SLOPE AT ±3% TO MATCH GRADES BETWEEN EDGE OF ADA AREA AND EXISTING ASPHALT DRIVE



DATE APPROVED: 8/11/11	REVISION DATE: 12/8/15	FILE NAME: SD_2-20
Typical Curb and Gutter Details Standard Drawing		
APPROVED: André P. Brackin	DESIGNED BY: 12/8/15	FILE NAME: SD_2-20

NO.	REVISION	BY	DATE	APPR

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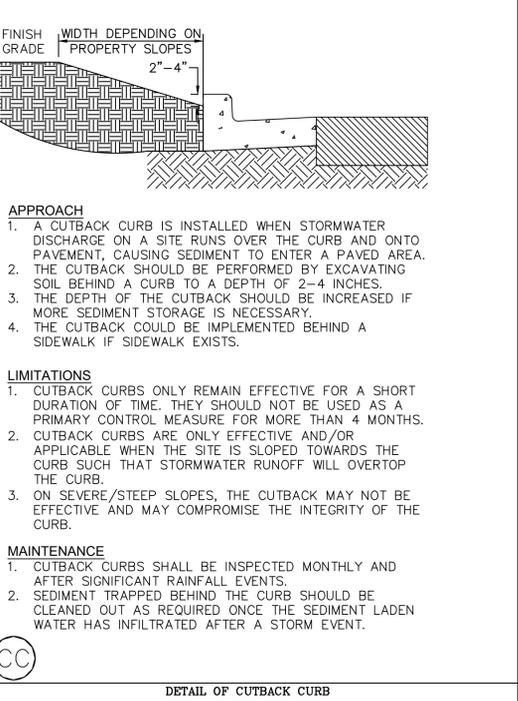
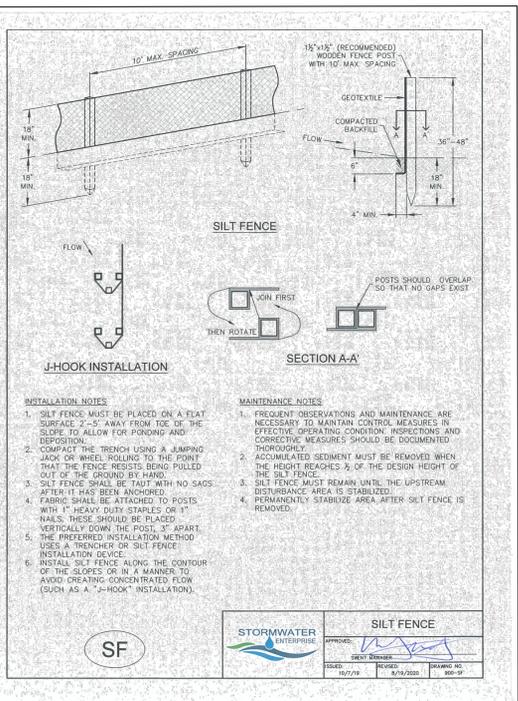
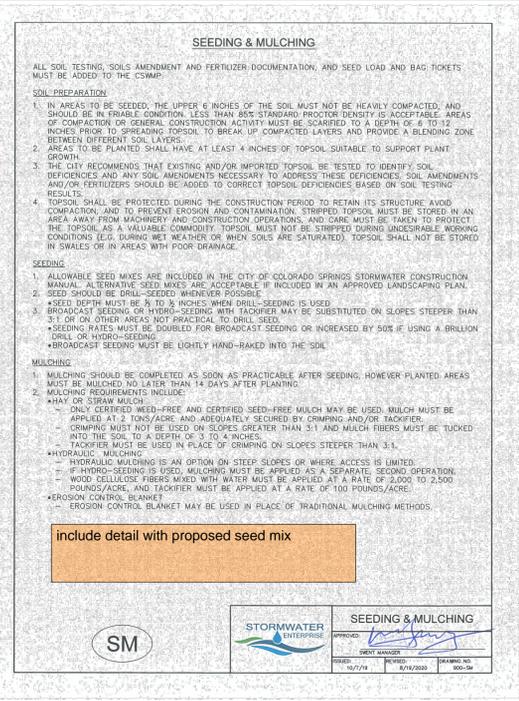
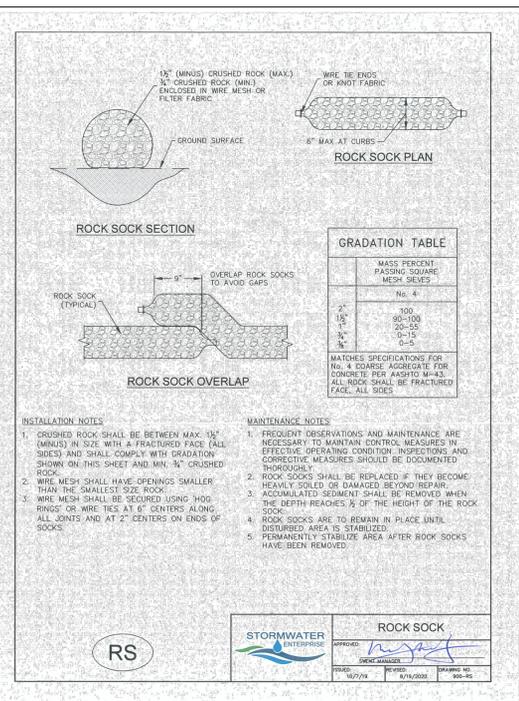
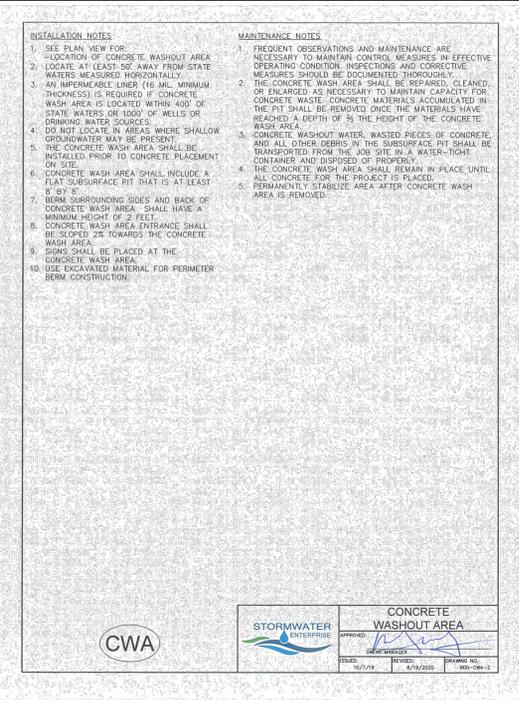
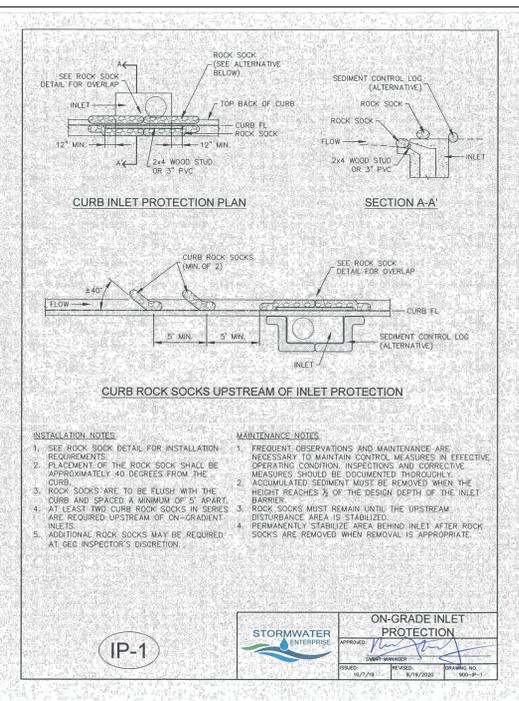
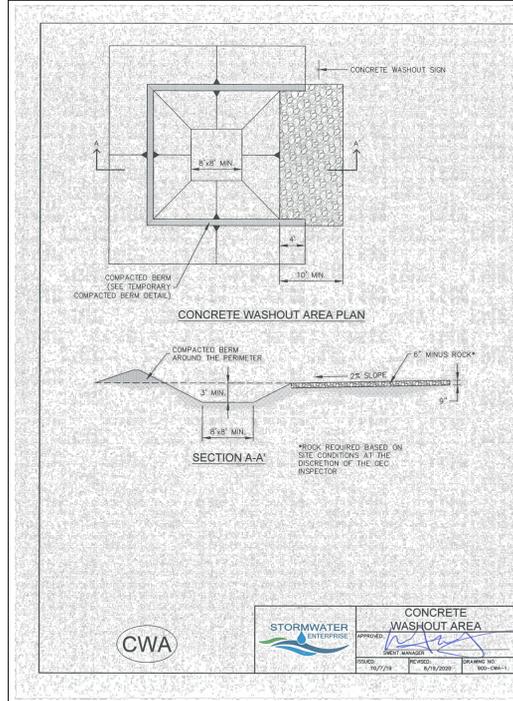
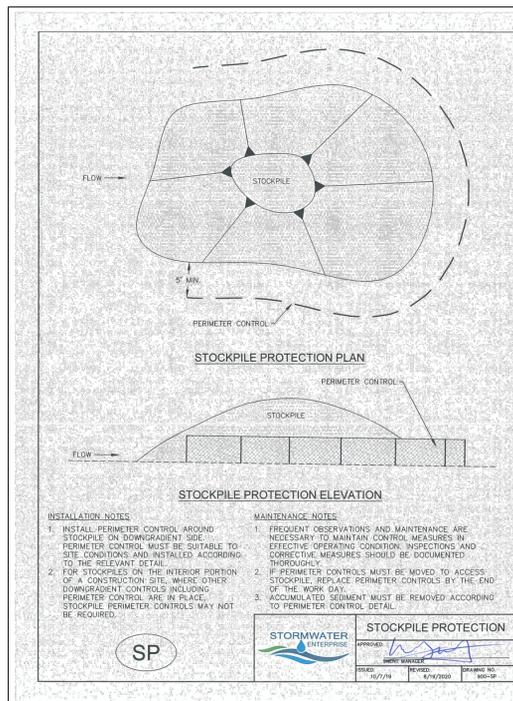
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DATE: 02/20/2023

### CLEARVIEW CONVENIENCE STORE GRADING, EROSION, AND SEDIMENT CONTROL PLANS GRADING PLAN

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 Colorado Springs, Colorado 80903 (719) 453-0180

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 DRAWN BY: GMP  
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CLEARVIEW CONVENIENCE STORE  
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 EROSION CONTROL DETAILS

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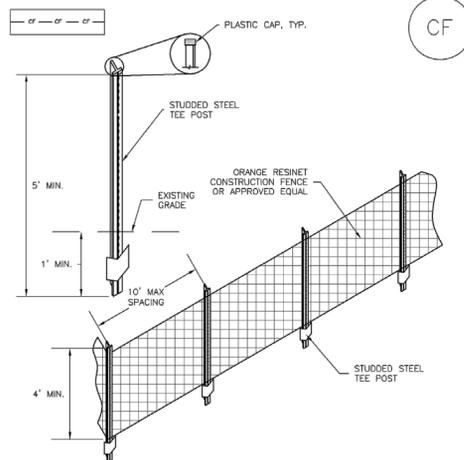
PROJECT NO.  
 196192000

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PCD FILING NO. PPR-22-017

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**SM-3 Construction Fence (CF)**



**CF-1. PLASTIC MESH CONSTRUCTION FENCE**

**CONSTRUCTION FENCE INSTALLATION NOTES**

1. SEE PLAN VIEW FOR LOCATION OF CONSTRUCTION FENCE.
2. CONSTRUCTION FENCE SHOWN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
3. CONSTRUCTION FENCE SHALL BE COMPOSED OF ORANGE, CONTRACTOR-GRADE MATERIAL THAT IS AT LEAST 4' HIGH. METAL POSTS SHOULD HAVE A PLASTIC CAP FOR SAFETY.
4. STUDDED STEEL TEE POSTS SHALL BE UTILIZED TO SUPPORT THE CONSTRUCTION FENCE. MAXIMUM SPACING FOR STEEL TEE POSTS SHALL BE 10'.
5. CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO THE TOP, MIDDLE, AND BOTTOM OF EACH POST.

CF-2 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 November 2010

**Construction Fence (CF) SM-3**

**CONSTRUCTION FENCE MAINTENANCE NOTES**

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. CONSTRUCTION FENCE SHALL BE REPAIRED OR REPLACED WHEN THERE ARE SIGNS OF DAMAGE SUCH AS RIPS OR SAGS. CONSTRUCTION FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
5. WHEN CONSTRUCTION FENCES ARE REMOVED, ALL DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE FENCE SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 CF-3

**FODS TRACKOUT CONTROL**



**FODS MAT**

- Mat size is 12' wide by 7' long and pyramids are 3" tall.
- It will take 10 mats to make a system for a standard 12' x 7' entrance used on most construction sites. Various jurisdictions require different lengths so this may be less or more depending where they will be used.
- Mats weigh approx. 430lbs.
- Mats can be anchored to the ground and anchored together.
- Mats are made out of HMWPE (High Molecular Weight Polyethylene).
- Mats are FODS yellow in color.

**STABILIZED CONSTRUCTION ENTRANCE (SCE)**

12' wide by 70' long of appropriate aggregate. Location where SCE is to be located needs to be excavated 8" down in depth, a geotextile erosion control fabric, placed down with aggregate placed on top. Individual jurisdictions have specifications that they require which can increase or decrease depth, width, length, size of aggregate, and similar. After SCE removal, topsoil must be added back to disturbed area, graded, and re-seeded.

Distributed by:



Bowman Construction Supply  
www.bowmanconstruction.com



**ABOUT FODS**

FODS are an innovative and convenient new product, solves a major problem associated with our environment, and has a great economical benefit to the customer. FODS effectively removes mud and sediment from vehicle tires. Whenever a vehicle needs to enter a paved road from an unpaved site, FODS is your answer! Learn more about FODS at [www.GetFODS.com](http://www.GetFODS.com)

**FODS IS YOUR ENVIRONMENTAL SOLUTION**

Ideal for construction, airports, government, military, mining, agriculture, forestry, renewable energy, oil and gas, telecommunications, national parks, storm water, roads and bridges.



	FODS	ROCKS
Becomes Clogged	No	Yes
100% Solid and uniform construction	Yes	No
Recyclable	Yes	No
Easily Cleaned	Yes	No
Reusable/transportable	Yes	No
Absorbs chemicals and oils	No	Yes
Protects ground underneath	Yes	No
Supports 80 tons	Yes	Yes
Easily seen from streets	Yes	No
Made in USA	Yes	Yes
Amount of uses	100's	1
Spans over uneven ground	Yes	Yes
Disturbs ground when installed	No	Yes
Shakes vehicles when crossing over	Yes	No

**FODS MATS OFFER SUPERIOR BENEFITS:**

- Creates an instant construction entrance over virtually any type of surface including asphalt, concrete, turf, marshy track sand, mud, uneven ground, uneven ground, and similar.
- Will not get clogged, be an eyesore, become embedded in soft ground.
- Protects ground when placed on top of surface unlike conventional SCE's (Stabilized Construction Entrance).
- Easily transported from site to site in minutes.
- Creates an easily recognizable entrance for vehicles to see day or night.

- Mats will not warp, even when installed over uneven terrain.
- Superior alternative to rocks, shaker, steel plates.
- Supports weights up to 80 tons.
- Chemically resistant to acids, oils, break fluid, etc.
- Easily cleaned and put back in service within minutes.
- Made in the USA creating American manufacturing jobs.
- Easily stored when not being used.
- 3 year warranty.
- 15 times more abrasion resistant than steel.
- Years of use.
- 100% recyclable.



FODS mats are 100% recyclable, made in the USA, and can be reused for many years. Once cleaned off they do not transport contaminants to other sites. Mountainsides and hillsides are saved from being blasted from rock. FODS mats at end of use, will not end up in landfills like rocks and similar methods. The ground is undisturbed while mats are being used, keeping soils in place from erosion. Each entrance, that is installed with FODS, will save 3 dump trucks worth of rock on initial install.

Ideal for construction, airports, government, military, oil and gas, roads and bridges, renewable energy, telecommunications, national parks, storm water, pipeline, utilities, mining, agriculture, waste management, and more.



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