

LEGAL DESCRIPTION:

Lot 4, SSC Subdivision, County of El Paso, State of Colorado.

NOTES:

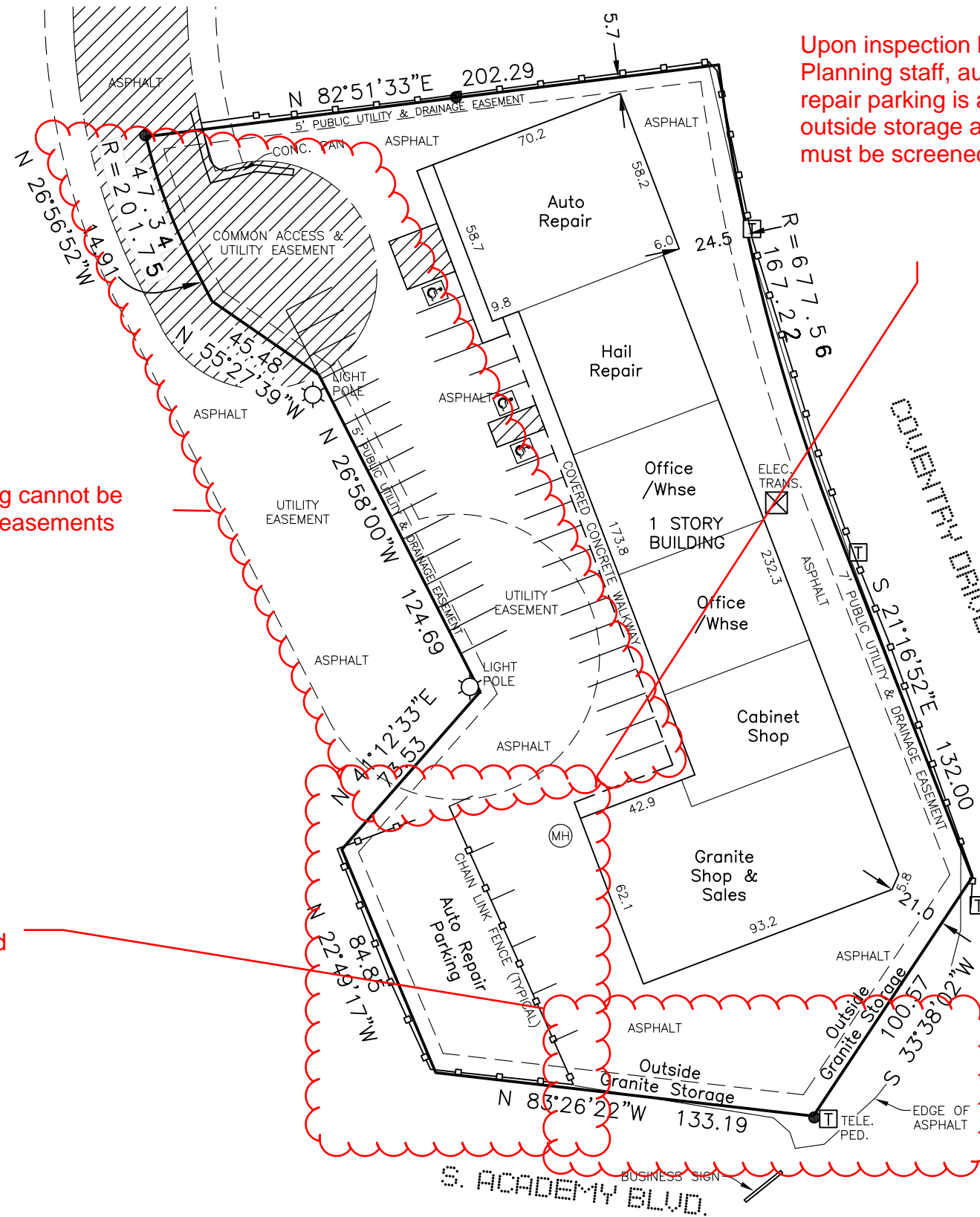
- 1) No research was performed for easements or rights of way.
- 2) El Paso County Schedule No.: 6510214017
- 3) Address: 1437, 1441, 1447, 1451, 1453, 1455 Burnham Street, Colorado Springs, CO
- 4) This is not a Land Survey Plat or Improvement Survey Plat.
- 5) The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

An alternative landscaping plan will be required - see section 6.2.2 of the land development code
 Parking detail is required for each use - see chapter 6 table 6-2 for parking requirements and uses
 Loading area and bays must be shown for parking detail

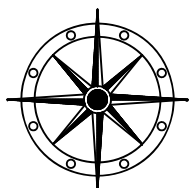
Screening of outside storage is required per 5.2.37 of the land development code

Parking cannot be within easements

Upon inspection by Planning staff, auto repair parking is also outside storage and must be screened

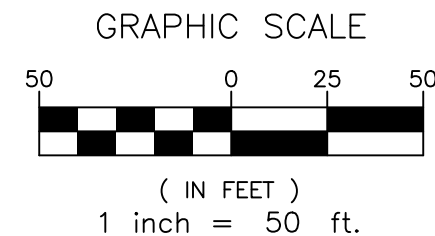


8-20-2019 - County Comments, add parking



COMPASS SURVEYING & MAPPING, LLC
 721 SOUTH 23RD STREET, SUITE B
 COLORADO SPRINGS, CO 80904
 719-354-4120
 WWW.CSAMLLC.COM

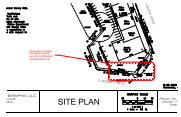
SITE PLAN



PROJECT No. 18326
 JANUARY 10, 2019
 SHEET 1 OF 1

Site Plan.pdf Markup Summary

Cloud+ (3)



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Screening of outside storage is required per 5.2.37 of the land development code



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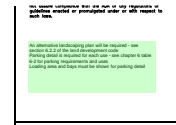
Parking cannot be within easements



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Upon inspection by Planning staff, auto repair parking is also outside storage and must be screened

Text Box (1)



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