

AGRICULTURAL STRUCTURE EXEMPTION FROM BUILDING CODE AFFIDAVIT

^{we} Mary Keehn, Janice M Keehn & Debra Sonksen, have applied for approval of an agricultural structure for the purposes of housing alpacas

under this Agricultural Structure Exemption from Building Code application file number and being duly sworn on oath deposes and says:

I, as applicant, owner and hold title to the following described real property (hereinafter referred to as "the PROPERTY):

14985 Handle Road Street Address

LOT 9 SUNRISE RANCHETTES FIL NO 1 Legal Description

4422001003 Assessor Tax Schedule Number

El Paso County, Colorado

I hereby acknowledge and agree to the following:

Pursuant to Section 1.15 of the El Paso County Land Development Code, I understand that an agricultural structure shall be used for the sole purpose of providing shelter for agricultural implements, farm products, livestock (including horses) or poultry as intended in C.R.S. §30-28-201(1). I attest the information provided on the Agricultural Structure Exemption from Building Code application is accurate and demonstrates an agricultural use on the PROPERTY. An agricultural structure shall not be exempt from obtaining a building permit unless an affidavit is signed and recorded in the Office of the El Paso County Clerk and Recorder whereby I, as the Owner, acknowledge and agree that the agricultural structure shall not be converted to a use other than an agricultural use without obtaining all applicable permits and approvals. Such permits and approvals will, at a minimum, include:

- Building permit(s) from the Pikes Peak Regional Building Department; and
- Site Plan approval from the El Paso County Planning and Community Development Department

By signing this affidavit, I authorize inspections pursuant to the El Paso County Land Development Code by the El Paso County Planning and Community Development Department for the purpose of verifying the use of the structure as an agricultural building and compliance with the building code. I understand that if I refuse inspection of the structure or if an inspection reveals the use of the structure is not solely for agricultural purposes; the Planning and Community Development Director may revoke or rescind approval of this application and a building permit will therefore be required. This affidavit shall be recorded with the El Paso County Clerk and Recorder and shall be binding for the PROPERTY on all successors' heirs and assigns.

Chuck Broerman
09/24/2018 12:05:48 PM
Doc \$0.00 9
Rec \$53.00 Pages

El Paso County, CO

218110839

IN WITNESS WHEREOF, the parties hereto have hereunder set their hands and seal this 13 day of September, 2018.

OWNER

STATE OF Colorado

COUNTY OF El Paso

Debra K. Sonksen

Owner Signature

14985 Handle Road Colorado Springs, CO 80930 720-635-6557

Print Name, Mailing Address and Phone Number

The foregoing instrument was acknowledged before me this 13th day of September 2018

By Debra K. Sonksen, COUNTY OF El Paso

My Commission expires 09/02/2020

Petra Rangel

(Notary Public)



IN WITNESS WHEREOF, the parties hereto have hereunder set their hands and seal this 13 day of September, 2018.

OWNER

STATE OF Colorado

COUNTY OF Arapahoe

Mary Keehn
Owner Signature

Mary S. Keehn

Print Name, Mailing Address and Phone Number
8925 E. Phillips Dr. 720.457.2270
Centennial, Co 80112

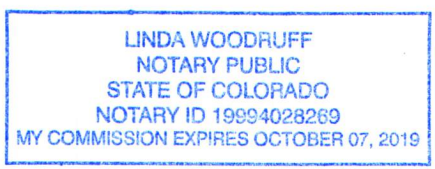
The foregoing instrument was acknowledged before me this 13 day of September 2018

By Mary S. Keehn, COUNTY OF Arapahoe

My Commission expires 10-7-19

Linda Woodruff

(Notary Public)



IN WITNESS WHEREOF, the parties hereto have hereunder set their hands and seal this 13 day of September, 2018.

OWNER

STATE OF Colorado

COUNTY OF Arapahoe

Janice Keehn
Owner Signature

Janice Keehn
Print Name, Mailing Address and Phone Number

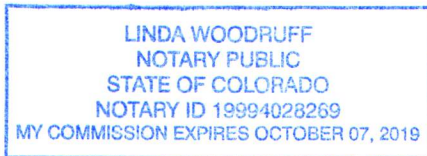
14985 Handle Road
Colo. Springs, Co 80930

The foregoing instrument was acknowledged before me this 13 day of September 2018

By Janice M. Keehn, COUNTY OF Arapahoe

My Commission expires 10-7-19

Linda Woodruff
(Notary Public)



AGRICULTURAL STRUCTURE EXEMPTION FROM BUILDING CODE APPLICATION

DATE: 9/12/18

FLOODPLAIN: N/A

OWNER/APPLICANT

NAME: Mary Keehn, Janice M. Keehn, and Debra Sonksen PHONE NO. 720-635-6557

EMAIL: alpaca.rainbow.ranch@gmail.com

PROPERTY INFORMATION

Address 14985 Handle Road Colo Springs, CO 80930

Parcel Number: 4422001003 Zone RR-5 Acreage: 9.81

BUILDING INFORMATION: Is this new construction or an existing structure? New

Building description (type of building, size, # of rooms/windows/doors, flooring, stalls, etc.)

30'x40' steel barn w/lean tos, stalls with dirt floor

① man door ② stall doors & ③ overhead roll doors.

Describe in detail the intended use for the building: this building is to house our

⑦ male Alpacas, as well as storage for hay & Alpaca grain.

What is the approximate date the intended use of the building will be implemented? (Effective date should be within 6 months of date application is signed by PCD staff)

9/26/18 (the cement work to be complete 9/17/18)

REQUIRED ATTACHMENTS

Site plan

Drawings of the layout of the inside of the structure (Provide as much detail as possible)

***Pictures encouraged, but not required

APPLICABLE STATUTES AND REGULATIONS

EL PASO COUNTY LAND DEVELOPMENT CODE (LDC)

Section 1.15: Definitions: Structure, Agricultural: For the purpose of determining exemption from the Building Code, any structure used for the sole purpose of providing shelter for agricultural implements, farm products, livestock (including horses) or poultry as intended in C.R.S. 30-28-201(1)

Section 2.1.2 of the LDC provides authority for the PCD Director to establish processes, standards, and procedures to support the efficient review of development applications for conformance with the LDC and State statute.

Section 2.2.4 of the LDC designates the PCD Director as the official charged with the administration of the LDC. The PCD Director may establish application and submittal requirements and schedules for review of applications pursuant to the LDC.

Section 11.1.4 (B)(1) Permission to Enter Property Until Action is Completed: Signing any application for a development permit, except those specifically listed in paragraph (2) below, shall constitute permission for the DSD Director to enter and inspect a property until the use, activity, development, subdivision or construction that is the subject of the development application or permit has concluded.

*** Full text of LDC available at www.elpasoco.com

OFFICE USE ONLY

APPROVED

DENIED

Notes/conditions: Open floor layout.

Not for Commercial use.

Planning and Community Development Department Representative:

Signature:  Date: 9/17/18

Cc: El Paso County Assessor
El Paso County Sheriff's Department
Pikes Peak Regional Building Department

14875 Handle Rd
Street View · Search nearby
Click on the map to trace a path you want to measure

Handle Rd

14875 Handle Rd

658.55'

Handle Rd

3380 feet

170.12'

121.96'

2016.19'

2337.1'

1089'

358'

10' lean to

390'

530'

EXISTING BARN

EXISTING

360.11'

100'

280.082'

650.0'

650.0'

658.85'

APPROVED
BY JE DATE 9/17/2018
FOR 30x40 BARN W/ 2 LEANTOS TO HOUSE AL PACAS AND FEED (HAY/GRAIN) FOR AL PACAS
AG EXEMPTION AFFIDAVIT

DENIED

BESQCP Not Required
by JE on 9/17/2018

EL PASO COUNTY
PLANNING AND COMMUNITY DEVELOPMENT

Google

Imagery © 2015 DigitalGlobe, Map data © 2015 Google 50 ft

AG-1829



PLAT 3471
ZONE RRS
DIST 4

AG1829



interior is wide open for our livestock - Alpacas

AG1829



Dealer Name: Viking Steel Structures- Diego Dealer PH #: (984)833-4748 Order Date: 8/30/18

Name: Mary Keehn Install Address: 14875 Handle RD
 City: Colorado Springs State: CO Zip Code: 80930 County: El Paso Inside City Limit? Y N
 Day Phone: (720) 635-6557 Evening Phone: _____ Email: alpacarainbowranch@gmail.com

COLOR	SIZE	30' x 41' x 10'			ROOF STYLE		Certification: <small>Braces required for certification. MHA required for ground certification.</small>
		WIDTH	LENGTH	HEIGHT	<input checked="" type="checkbox"/> Vertical Roof	<input type="checkbox"/> Boxed Eave	
Roof: <u>E. Brown</u>		Sides/Ends: <u>White</u>		Trim: <u>E. Brown</u>		Framing Gauge <input checked="" type="checkbox"/> 14 Ga. Included <input type="checkbox"/> 12 Ga. Upgrade*	

Special Notes: **LOT MUST BE LEVEL OR UNIT WILL BE INSTALLED AS IS ON LOT**
 Customers may incur extra labor fees if additional labor is required to install because of un-level surfaces, or for building over obstacles. Eagle Carports, Inc. not responsible for stopping or repairing leaks under base-rails.

NOTE: FRAME IS 1ft. SHORTER THAN ROOF LENGTH Ready for Installation: Y N
ONLY CHECK IF SITE IS READY FOR INSTALLATION

Installation Surface _____ Electricity Available? Y N
Ex: Ground, Concrete, etc.

Is your Install Surface Level? Y N NO MORE THAN 3" UN-LEVEL & CLEAR OF OBSTACLES. Lot not level? Customer Initial _____ Installer Initial _____

Qty.	Features Description	Building Type:
1	30'x40' Vertical Roof	
1	10' Side Height	
1	Both Sides Enclosed	
1	Both Ends Enclosed	
1	4'x8' Window Frame Outs On Side	
1	36"x80" Walking Door	
1	35psf-140mph Package	
2	9'x8' Garage Doors	
1	Side To Side Connection	
1	2- 10'x40' Vertical Lean Tos	
1	7' Side Height	

APPROVAL CODE: 1808283977

PURCHASE AGREEMENT & TERMS v.2.1 (See reverse side for terms and conditions)
 Eagle Carports, Inc. reserves the right to correct any balance/pricing errors. Eagle Carports, Inc. holds the right to repossess any buildings not paid in full upon installation. A labor charge will be added for any additional labor such as cutting posts to level carports, building over objects such as RV's & moving materials to remote locations, etc... Customer responsible for pulling permits. Customer understands that all building frames are 1' shorter than roof lengths. **By signing this agreement, customer understands and agrees with all terms and conditions found on both the front and back of this document.**

Customer Signature: Mary Keehn Date: 9/12/2018
4D6E1A2F5C1742C...

With customer present at time of installation, customer will sign below to signify acceptance of unit as installed.

Customer Signature	Date	Installer Signature	Date
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Office Use: _____ Credit Card M. Order
 Cashier Check Other