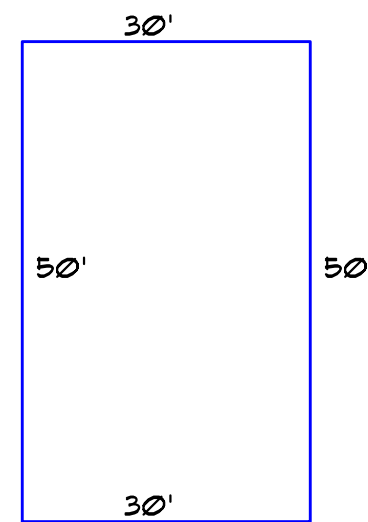


**VICINITY MAP**

NO SCALE



**GARAGE FOOTPRINT**

NO SCALE



**GARAGE ELEVATION**

NO SCALE

**ADD22123**

Not Required  
BESQCP  
03/02/2023 7:43:28 AM  
EPC Planning & Community Development Department

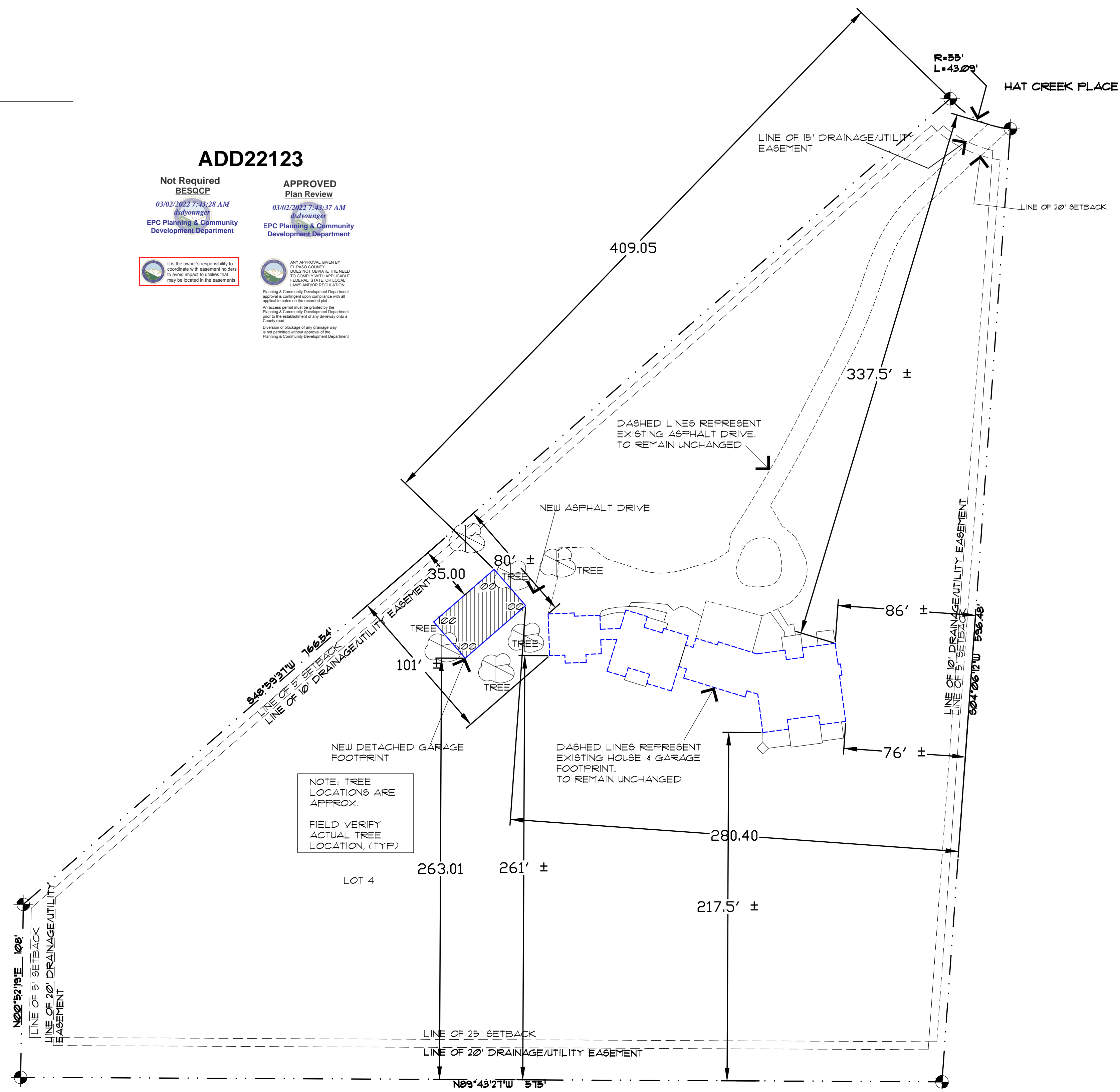
APPROVED  
Plan Review  
03/02/2023 7:43:37 AM  
EPC Planning & Community Development Department

It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.

ALL APPROVALS GRANTED BY EL PASO COUNTY ARE SUBJECT TO COUNTY, FEDERAL, APPLICABLE LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS.

Planning & Community Development Department approval is required for all projects with an applicable note on the recorded plan. An action permit must be issued by the Planning & Community Development Department prior to the commencement of any construction activity.

Division of Storage of any storage use to be permitted within the Planning & Community Development Department.



**SITE PLAN**



NORTH

**SITE INFO:**

**ADDRESS:**  
10805 HAT CREEK PL

**LEGAL:**  
LOT 04, SYLVAN MEADOWS, FILING NO. 1, IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO.

**SITE DATA:**  
LOT SIZE = 211800 SQ FT  
(E) BUILDING FOOTPRINT =  
(E) HOUSE = 2431 SQ FT  
(E) GARAGE = 1134 SQ FT  
(E) PORCH = 000 SQ FT  
(E) DECK = 000 SQ FT  
(E) TOTAL = 3565 SQ FT  
(E) LOT COVERAGE = 0.16%

(N) GARAGE = 1500 SQ FT  
(E) + (N) TOTAL = 5065 SQ FT

(E) + (N) LOT COVERAGE = 0.23%

ZONING = RR-5  
TAX SCHEDULE # = 5213004008  
PLAT # 0275  
BUILDING HEIGHT = SEE ELEVATIONS

**SITE NOTES:**

- Topographic information is to be supplied by others, as needed.
- Dashed lines indicate existing contours. Solid lines indicate proposed contours.
- Contractor to verify easements.
- Contractor to limit cut and fill areas and limit material and vehicle storage to the building areas in order to minimize vegetation and site disturbance.
- Final landscaping to be determined by the Contractor/Owner(s). It shall minimize impact to the site. All landscaping to be completed by the Contractor/Owner(s).
- Use wattles and silt fencing to minimize erosion during construction. And also stabilize area with seeded blankets for erosion control as necessary.
- Earth materials are not to be stockpiled on streets or sidewalks, but on site or staging areas.
- Contractor is required to provide positive drainage away from and around structure in all directions as shown.
- Any boulder retaining walls shown shall be 48" max high and 48"-60" min apart laterally. If (2) or more retaining walls exist, or retaining walls shall be engineered by a licensed CO soils engineer.
- General Contractor, Subcontractors, Suppliers, and Owner(s) shall familiarize themselves & verify all notes, dimensions and information on drawing(s) prior to starting construction. It shall be the responsibility of those parties to report any changes and/or discrepancies to the Designer. Questions regarding these drawings such as: drawing interpretation, dimensions, notes, scale and other similar questions shall be brought to the attention of the Designer immediately, in writing. Failure to do any of the above shall relieve the designer of any errors. Designer shall not be responsible for any changes not noted in writing to this plan.

**SITE LEGEND:**

- PROPERTY LINES & CORNERS
- DRAINAGE SLOPE
- TREE
- 00 = FINISH GRADE
- NO ROCK OUT CROPPING EXIST AT SITE

**SITE TERMS:**

- ABBREVIATIONS:**  
BOW = BOTTOM OF RETAINING WALL  
(E) = EXISTING TO REMAIN  
LL = LOWER LEVEL  
ML = MAIN LEVEL  
(N) = NEW CONSTRUCTION  
(R) = REMOVE  
R.O.W. = RIGHT OF WAY  
SB = SETBACK  
SQ. FT. OR SF = SQUARE FEET  
TOF = TOP OF FOUNDATION  
TOW = TOW OF RETAINING WALL  
UL = UPPER LEVEL  
WU = WALKOUT

REVISIONS

LGA STUDIOS  
201 E. Las Animas Street Suite 113  
Colorado Springs, CO. 80903  
Phone: (719) 635-0880  
office@lgastudios.com  
www.lgastudios.com

CONTRACTOR  
**ROBERT SCOTT  
CUSTOM HOMES**  
COLORADO SPRINGS, CO 80902  
PH: 719-287-4982  
ROBERTSCOTT.COM

THE  
**HARRIS**  
10805 HAT CREEK PLACE  
COMPUTER FILE #21-2085

DRAWN BY:

CHECKED BY: LGA8tudios  
PLOT 02/11/22 2:54 PM

SITE PLAN  
VICINITY MAP  
SITE NOTES

Sheet #  
**SP1**  
OF 1 Sheets

# RESIDENTIAL



2017 PPRBC

Address: 10805 HAT CREEK PL, COLORADO SPRINGS

Parcel: 5213004008

Plan Track #: 158280 

Received: 17-Feb-2022 (AUSTINK)

Description: **Unheated**

## Required PPRBD Departments (3)


### DETACHED GARAGE

Contractor:

Type of Unit:

**Floodplain**  
  
(N/A) RBD GIS

**Construction**  
Released for Permit  
03/01/2022 2:24:49 PM  
  
CONSTRUCTION

**Mechanical**  
  
N/A  
03/01/2022 3:37:23 PM  
  
JustinC  
MECHANICAL

## Required Outside Departments (1)

**County Zoning**  
**APPROVED**  
**Plan Review**  
  
03/02/2022 7:44:06 AM  
  
EPC Planning & Community  
Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.