



SUBDIVISION IMPROVEMENTS AGREEMENT
HOMESTEAD AT STERLING RANCH FILING NO. 2, a Replat of
Tract E, Sterling Ranch Filing No. 1

THIS AGREEMENT, made between SR LAND, L.L.C., (the "Subdivider") STERLING RANCH METROPOLITAN DISTRICT NO. 1 (the "District"), ELITE PROPERTIES OF AMERICA, INC. ("Elite"), and EL PASO COUNTY, by and through the Board of County Commissioners of El Paso County, Colorado (the "County"), shall become effective the date of approval of the Final Plat by the Board of County Commissioners.

WITNESSETH:

WHEREAS, the Subdivider, as a condition of approval of the final plat of Homestead at Sterling Ranch Filing No. 2 Subdivision ("Homestead No. 2"), and the District wish to enter into a Subdivision Improvements Agreement, as provided for by Section 30-28-137 (C.R.S.), Chapter 5 of the El Paso County Engineering Criteria Manual and Chapter 8 of the El Paso County Land Development Code incorporated herein; and

WHEREAS, pursuant to the same authority, the Subdivider is obligated to provide security or collateral sufficient in the judgment of the Board of County Commissioners to make reasonable provision for completion of certain public improvements set forth on Exhibit A attached hereto and incorporated herein; and

WHEREAS, the Subdivider wishes to provide collateral to guarantee performance of this Agreement, including construction of the above-referenced improvements, by means of a letter of credit; and

WHEREAS, Elite wishes to provide the collateral required to secure performance of the Subdivider's and the District's obligations to complete the wastewater connection to the Meridian System (as defined in paragraph 5c. hereof) (the "Meridian System Connection"), as described in this Agreement; and

WHEREAS, Homestead No. 2 is replat of Tract E, Sterling Ranch Filing No. 1, located within Sterling Ranch, a 1,443-acre master planned community; and

WHEREAS, the parties hereto desire to set forth their understanding and agreement with regard to the construction and installation of the improvements set forth on Exhibit A attached hereto.

NOW, THEREFORE, in consideration of the following mutual covenants and agreements, the Subdivider, the District and the County agree as follows:

- 1. Responsibility to Construct: The Subdivider and District agree to construct and install, at their sole expense, all of those improvements as set forth on Exhibit A attached hereto. Such obligation shall be joint and several unless otherwise set forth herein. To secure and guarantee performance of their obligations as set forth herein, the Subdivider agrees to provide collateral to remain in effect at all times until the improvements are completed and accepted in accordance with Chapter 5 of the ECM. Security and collateral for all improvements identified in Exhibit A shall be posted in the form of a bond issued by Philadelphia Insurance Companies in the amount of \$1,571,586.80, which bond shall include security and collateral for, *inter alia*, the Briargate Pavement improvements identified in Exhibit A in the amount of \$260,362.00.**

With respect to the Meridian System Connection only, the financial assurance estimate for which is attached hereto as Exhibit B and incorporated herein, and to secure and guarantee performance of the Subdivider's and the District's obligations for the installation and construction of the Meridian System Connection only, Elite agrees to provide collateral to remain in effect at all times until the Meridian System Connection improvements are completed and accepted in accordance with Chapter 5 of the ECM. Security and collateral for the Meridian System Connection shall be posted in the form of a Subdivision Bond issued by Philadelphia Insurance Companies in the amount of \$618,300 (the "Meridian System Connection Collateral").

2. **Renewal of Collateral:** Subdivider and Elite are responsible for providing any renewals of their respective collateral to ensure that there is never a lapse in security coverage. Subdivider and Elite shall procure renewal/extension/replacement collateral at least fifteen (15) days prior to the expiration of the original or renewal/extension/replacement collateral then in effect. Failure to procure renewal/extension/replacement collateral within this time limit shall be a default under this Agreement and shall allow the County to execute on the collateral. In addition, if Subdivider or Elite allows collateral to lapse at any time, no lots in the subdivision may be sold, conveyed or transferred, whether by Deed or Contract, after the expiration date of such collateral until the improvements identified on Exhibits A and B have been completed and final acceptance is received from the County. If replacement collateral is used for renewal, approval by the Board of County Commissioners is required.
3. **Construction of Improvements or Collateral:** No lots in the subdivision shall be sold, conveyed or transferred, whether by Deed or by Contract, nor shall building permits be issued until and unless the required improvements for the subdivision have been constructed and completed in accordance with the approved construction plans and preliminary acceptance is received from the County. In the alternative, lots within the subdivision may be sold, conveyed or transferred and/or have building permits issued upon receipt of collateral acceptable to the County, pursuant to this Agreement, which is sufficient to guarantee construction of the improvements in the attached Exhibits A and B.
4. **Design Standards:** The Subdivider and District agree that all of the public improvements to be completed as identified in Exhibit A shall be constructed in compliance with the following:
 - a. All laws, resolutions and regulations of the United States, State of Colorado, El Paso County and its various agencies, affected special districts and/or servicing authorities.
 - b. Such other designs, drawings, maps, specifications, sketches and other matter submitted to and approved by any of the above-stated- governmental entities.
5. **Timing of Construction and Acceptance:**
 - a. **General.** All improvements, with the exception of the Homestead No. 2 Drainage Improvements, the Channel Improvements (as defined in subsection 5.b. herein below), and the Meridian System, including the Meridian System Connection, shall be completed by the Subdivider, meeting all applicable

standards for preliminary acceptance, within 24 (twenty-four) months from the date of notice to proceed in the Construction Permit for the Subdivision.

b. Drainage Improvements and Channel Improvements.

The drainage ways, detention ponds and bank stabilization (i.e., soil, riprap, and turf reinforcement matting along embankment toes and slopes) associated with this Subdivision (collectively, the "Homestead No. 2 Drainage Improvements") shall be completed by the Subdivider, meeting all applicable standards for preliminary acceptance, within twelve (12) months of recording the final plat.

The drainage improvements in Tract D, Sterling Ranch Filing No. 1, located in the Sand Creek Channel, which improvements consist of drop structures, check structures and similar stabilization or protection improvements (collectively, the "Channel Improvements"), shall be completed by the District within the time frames set forth in subsection 6.b. of the *Subdivision Improvements Agreement for Sterling Ranch Filing No. 1*, dated May 30, 2018, and recorded in the real property records for El Paso County, Colorado at reception number 218061175.

If the Subdivider determines that the completion date needs to be extended, the Subdivider shall submit a written request for a change in the completion date to the ECM Administrator at least 90 days in advance of the completion date. The request shall include the reasons for the requested change in completion date, the proposed new completion date, and prove collateral is in place to cover the extension time requested. The completion date for the Subdivision may be extended one time, for a period no longer than 6 months at the discretion of the ECM Administrator. Any additional request for extension of the completion date will be scheduled for hearing by the Board of County Commissioners. The ECM Administrator or the Board of County Commissioners may require an adjustment in the amount of collateral to take into account any increase in cost due to the delay including inflation.

c. Vollmer Road. As more particularly described in the Subdivision Improvements Agreement for Sterling Ranch Filing No. 1, the parties agree that the addition of two lanes to the existing two-lane cross section of Vollmer Road shall be completed no later than May 30, 2021, three years from the date of recording of Filing No. 1. In the event that any portions of the four lane cross section of Vollmer Road are not completed within the three year period, collateral sufficient in the opinion of the County to assure completion of the improvements must be posted by the Subdivider and a deadline by which such road improvements shall be completed shall be established by written agreement.

d. Wastewater Treatment. The District has an intergovernmental agreement, dated on or about September 11, 2014, with Meridian Service Metropolitan District for the provision of wastewater treatment services (the "Meridian System"). The District has also entered into an intergovernmental agreement with the City of Colorado Springs and Colorado Springs Utilities which

provides for temporary wastewater treatment services while the District completes its connection to the Meridian System. The agreement with the City provides for interim treatment services for a period of up to one year from the execution of the agreement, or August 12, 2020.

Subdivider shall provide construction drawings for the Meridian System Connection, including the sewer line and lift station, that have been signed by the Meridian Service Metropolitan District, as well as Financial Assurance Estimates for the completion of such improvements (the "Meridian Line Collateral") to the County prior to final plat recording. As set forth in section 1 above, Elite shall provide collateral to assure the completion of the Meridian System Connection. The Meridian System Connection is substantially complete, as set forth in the report dated October 6, 2020, from the District Engineer, Brad Simons of MMI Engineering, LLC, and shall be operationally complete no later than November 10, 2020. It is understood by the parties hereto that, should it become necessary for the County to draw on the Meridian System Connection Collateral to complete the Meridian System Connection, the County intends to authorize and designate Elite Properties of America, Inc. as the appropriate entity to complete said connection. A copy of an agreement between the Subdivider and Elite addressing this potential work has been provided to the County. Finally, it is agreed that, should it become necessary for the County to draw on the Meridian System Connection Collateral to complete the connection, the County may impose a moratorium on the issuance of additional building permits on lots located in all recorded final plats at Sterling Ranch until the Meridian System Connection is completed.

e. **Briargate Parkway.** The following roadways shall be completed and ready for preliminary acceptance no later than six (6) months following final plat recording:

- i. the southerly two lanes of Briargate Parkway from Vollmer Road to Wheatland Drive, in accordance with the Briargate Parkway "Interim" Street Improvement Plans (approved by the County in connection with Sterling Ranch Filing No. 1), a copy of which is attached hereto as Exhibit A-1; and
- ii. Wheatland Drive from Briargate Parkway to Dines Boulevard, as identified on the Sterling Ranch Dines Boulevard and Wheatland Drive Street Improvement Plans (approved by the County in connection with Sterling Ranch Filing No. 1) a copy of which is attached hereto as Exhibit A-2.

6. **Construction Criteria:** The Subdivider and District agree, and the parties acknowledge that the construction of the improvements identified and guaranteed through this Subdivision Improvements Agreement shall follow the inspection and acceptance process that is identified in Chapter 5 of the County's Engineering Criteria Manual. This is to include among other things, a Preliminary Acceptance process, posting of appropriate Warranty collateral at that time, and a 2-year warranty period prior to final acceptance. Where any inconsistency exists between Chapter 5 of the Engineering Criteria Manual and

the Land Development Code with respect to these inspections, collateral and acceptance processes, the Engineering Criteria Manual is the controlling document.

7. **Plat Restriction Remedy:** It is mutually agreed pursuant to the provisions of Section 30-28-137(3) C.R.S. that the County or any purchaser of any lot, lots, tract or tracts of land subject to a plat restriction which is the security portion of a Subdivision Improvements Agreement shall have the authority to bring an action in any District Court to compel the enforcement of any Subdivision Improvements Agreement on the sale, conveyance, or transfer of any such lot, lots, tract or tracts of land or of any other provision of Article 28 of Title 30, Colorado Revised Statutes. Such authority shall include the right to compel rescission of any sale, conveyance, or transfer of any lot, lots, tract or tracts of land contrary to the provisions of any such restrictions set forth on the plat or in any separate recorded instrument, but any such action shall be commenced prior to the issuance of a building permit by the County where so required or other otherwise prior to commencement of construction on any such lot, lots, tract or tracts of land.
8. **Releases:** It is further mutually agreed that, pursuant to the provisions of Section 30-28-137 (2) C.R.S., and Chapter 5 of the County's Engineering Criteria Manual, as improvements are completed, the Subdivider may apply to the Board of County Commissioners for a release of part or all of the collateral deposited with said Board. Upon inspection and approval, the Board shall release said collateral. The County agrees to respond to an inspection request in a reasonable time upon receipt of the request. If the Board determines that any of such improvements are not constructed in substantial compliance with specifications it shall furnish the Subdivider and District a list of specific deficiencies and shall be entitled to withhold collateral sufficient to ensure such substantial compliance.

If the Board of County Commissioners determines that the Subdivider or District will not construct any or all of the improvements in accordance with all of the specifications and the provisions of this Agreement, the Board of County Commissioners may withdraw and employ from the deposit of collateral such funds as may be necessary to construct the improvements in accordance with the specifications.

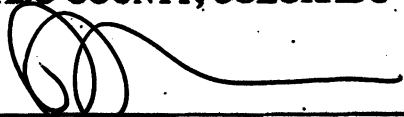
In addition, and with respect to the Meridian System Connection only, either as an alternative to the withdrawal of collateral or in connection therewith, at the County's sole discretion, the County may request Elite to complete the Meridian System Connection in accordance with the approved plans and specifications for such connection set forth in Exhibit A-3. If the County draws on the posted collateral and Elite thereafter completes the improvements, the County shall reimburse Elite for such work in the amount of the collateral withdrawn or the cost of such work, whichever is less. If Elite declines to complete the Meridian System Connection, the County shall withdraw and employ from the deposit of collateral such funds as may be necessary to complete the Meridian System Connection in accordance with the specifications.

9. **Title Insurance:** The Subdivider agrees to provide the County with a title insurance commitment at time of final platting evidencing that fee simple title of all lands in the subdivision is vested with the Subdivider.

10. **Plat Approval:** The County agrees to approval of the final plat of the Homestead at Sterling Ranch Filing No. 2 Subdivision subject to the terms and conditions of this Agreement.
11. **Amendment:** Parties hereto mutually agree that this Agreement may be amended from time to time provided that such amendment be in writing and signed by all parties hereto.
12. **Effective Date:** This Agreement shall take effect on the date of approval of the Final Plat by the Board of County Commissioners.
13. **Traffic Impact Fees:** The Subdivider agrees for itself and its successors and assigns that Subdivider and/or its said successors and assigns shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program at or prior to the time of building permit application. This fee obligation, if not paid in full at final plat recording, shall be documented on plat notes and all sales documents to ensure that a title search would reveal such fee. The Subdivider agrees to the inclusion of Homestead at Sterling Ranch Filing No. 2 into the El Paso County Public Improvement District No. 2.

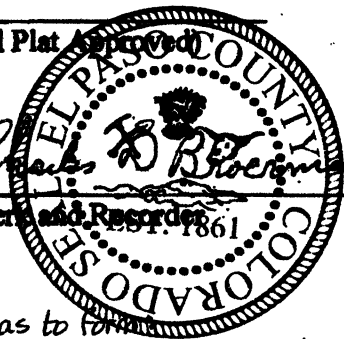
IN WITNESS WHEREOF, the parties have hereunto set their hands and seals the day and year below written.

**BOARD OF COUNTY COMMISSIONERS OF
EL PASO COUNTY, COLORADO**

By: , Chair

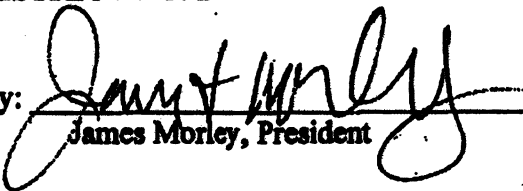
(Date Final Plat Approved)

ATTEST: 
County Clerk and Recorder



Approved as to form
Hori L. Seago
County Attorney's Office

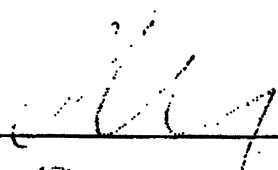
**STERLING RANCH METROPOLITAN
DISTRICT NO. 1**

By: 
James Morley, President

SR LAND, LLC

By: 
James Morley, Manager

ELITE PROPERTIES OF AMERICA, INC.

By: 

Name: Doug W. Stinson

Title: CEO

EXHIBIT A
SUBDIVISION IMPROVEMENTS AGREEMENT
Homestead at Sterling Ranch Filing No. 2

2019 Financial Assurance Estimate Form
(with pre-plate construction)

Updated: 6/7/2019

PROJECT INFORMATION		
Homestead #0-String Ranch Filing No. 2	9/2/2020	SP-19-064
Project Name	Date	PCD File No.

Description	Quantity	Units	Unit Cost	Total	(with Pre-Plate Construction)	
					% Complete	Remaining
SECTION 1 - GRADING AND EROSION CONTROL (Construction and Permanent BMPs)						
* Earthwork						
less than 1,000; 85,000 min	663	CY	8.00	5,304.00	80.00%	1,060.80
1,000-5,000; 85,000 min		CY	6.00			
5,001-20,000; 85,000 min		CY	6.00			
20,001-50,000; 85,000 min		CY	3.80			
50,001-200,000; 85,000 min		CY	2.80			
greater than 200,000; 85,000 min		CY	2.80			
* Permanent Swales (see notes on wood support)						
* Mulching						
* Permanent Swale Control Blanket	300	SY	6.00	2,200.00		2,200.00
* Permanent Perennial Construction	1,500	CY	20.00	30,000.00	20.00%	24,000.00
* Permanent Perennial (Slopes)	1	EA	2,500.00	2,500.00		2,500.00
* Permanent Perennial (Outlet Structure)	1	EA	6,500.00	6,500.00		6,500.00
Safety Fence		LF	3.00			
Temporary Swale Control Blanket	7,067	CY	3.00	21,201.00		21,201.00
Vehicle Tracking Control	1	EA	2,370.00	2,370.00	80.00%	494.00
Grass Fences	2,440	LF	2.50	6,100.00	80.00%	1,220.00
Temporary Seeding	19	AC	628.00	11,932.00		11,932.00
Temporary Mulch	19	AC	780.00	14,820.00		14,820.00
Erosion Scales	30	EA	25.00	750.00		750.00
Erosion Layer/Log Mats		LF	6.00			
Rock Check Dam		EA	600.00			
Initial Protection	7	EA	167.00	1,169.00	80.00%	233.80
Sediment Basin		EA	1,780.00			
Concrete Washout Basin		EA	600.00			
<i>Insert items not listed but part of construction above</i>						
MAINTENANCE (20% of Construction BMPs)				20,250.20		20,250.20
Section 1 Subtotal				124,500.20		104,549.00

* - Subject to defect warranty bonded assurance. A minimum of 20% shall be retained until final acceptance PROGRAM OF SITE COMPLETE

SECTION 2 - PUBLIC IMPROVEMENTS *						
ROADWAY IMPROVEMENTS						
Constructing Traffic Control		LS				
Aggregate Base Course (120 Bases)	7,196	Tons	28.00	201,488.00		201,488.00
Aggregate Base Course (120 Bases)		CY	80.00			
Asphalt Pavement (F 600)	11,934	SY	14.00	167,076.00		167,076.00
Asphalt Pavement (F 600)		SY	19.00			
Asphalt Pavement (F 600) - Singapore Blvd	6,874	SY	30.00	206,220.00		206,220.00
Asphalt Pavement (147 Bases)		Tons	88.00			
Reinforced Median, Paint		SY	8.00			
Regulatory Sign/Warning Sign		EA	300.00			
Guidance Sign/Name Sign	9	EA	250.00	2,250.00		2,250.00
Reinforced Permanent Marking		SY	15.00			
Thermoplastic Permanent Marking		SY	23.00			
Barriercast - Type 3		EA	200.00			
Delimitator - Type 1		EA	24.00			
Curb and Gutter, Type A (F Vertical)	3,496	LF	60.00	209,760.00	80.00%	21,192.00
Curb and Gutter, Type B (Standard)	1,304	LF	60.00	78,240.00		78,240.00
Curb and Gutter, Type C (Flange)	2,374	LF	20.00	47,480.00	80.00%	9,496.00
4" Sidewalk (curb area only)		SY	48.00			
4" Sidewalk	5,860	SY	60.00	351,600.00		351,600.00
4" Sidewalk		SY	72.00			
4" Sidewalk		SY	60.00			
Protection Ramp	34	EA	1,180.00	39,120.00		39,120.00
Cross Pan, Inlet (F 6" block, 6" wide to include return)	210	LF	64.00	13,440.00	75.00%	3,360.00
Cross Pan, Collector (F 6" block, 6" wide to include return)	72	LF	65.00	4,680.00	75.00%	1,170.00
Curb Chase		EA	1,480.00			
Guardrail Type 3 (F Post)		LF	46.00			
Guardrail Type 7 (Concrete)		LF	72.00			
Guardrail End Armbraces		EA	2,000.00			
Guardrail Impact Attenuator		EA	2,767.00			
Sound Barrier Panel (CMU block, 6' high)		LF	78.00			
Sound Barrier Panel (concrete, 6' high)		LF	60.00			
Electrical Conduit, Size =		LF	15.00			
Traffic Signal, complete intersection		EA	425,000			

PROJECT INFORMATION

Homestead at Sterling Ranch Paving No. 2

9/2/2020

SP-19-004

Project Name

Date

PCD File No.

Description	Quantity	Units	Unit Cost	Total	(with Pre-Paid Construction)	
					% Complete	Remaining
<i>Item Name not listed but part of construction plan</i>						
STORM DRAIN IMPROVEMENTS						
Concrete Box Culvert (12 Standard), Size (W x H)		LF				
18" Reinforced Concrete Pipe	368	LF	\$ 68.00	25,024.00	80.00%	2,384.00
24" Reinforced Concrete Pipe	54	LF	\$ 78.00	4,212.00	80.00%	822.00
30" Reinforced Concrete Pipe	996	LF	\$ 67.00	66,732.00	80.00%	19,362.00
36" Reinforced Concrete Pipe	8	LF	\$ 120.00	960.00	80.00%	192.00
42" Reinforced Concrete Pipe	700	LF	\$ 180.00	126,000.00	80.00%	22,400.00
48" Reinforced Concrete Pipe		LF	\$ 180.00			
54" Reinforced Concrete Pipe		LF	\$ 245.00			
60" Reinforced Concrete Pipe		LF	\$ 290.00			
66" Reinforced Concrete Pipe		LF	\$ 332.00			
72" Reinforced Concrete Pipe		LF	\$ 360.00			
18" Corrugated Steel Pipe		LF	\$ 84.00			
24" Corrugated Steel Pipe		LF	\$ 96.00			
30" Corrugated Steel Pipe		LF	\$ 122.00			
36" Corrugated Steel Pipe		LF	\$ 147.00			
42" Corrugated Steel Pipe		LF	\$ 188.00			
48" Corrugated Steel Pipe		LF	\$ 178.00			
54" Corrugated Steel Pipe		LF	\$ 280.00			
60" Corrugated Steel Pipe		LF	\$ 355.00			
66" Corrugated Steel Pipe		LF	\$ 340.00			
72" Corrugated Steel Pipe		LF	\$ 400.00			
78" Corrugated Steel Pipe		LF	\$ 490.00			
84" Corrugated Steel Pipe		LF	\$ 580.00			
Filled and Graded Area (NCP) S&S = 18	1	EA	\$ 300.00	300.00		300.00
(fill cost = 0; pipe without)						
Filled and Graded Area (CSP) S&S = 42	1	EA	\$ 900.00	900.00		900.00
(fill cost = 0; pipe without)						
End Treatment - Horizontal	1	EA	\$ 12,000.00	12,000.00		12,000.00
End Treatment - Vertical	1	EA	\$ 6,000.00	6,000.00		6,000.00
End Treatment - Canal Wall	1	EA	\$ 1,000.00	1,000.00		1,000.00
Curb Inlet (Type RI-10) Depth = 8"		EA	\$ 6,842.00			
Curb Inlet (Type RI-10) 8' x Depth = 10"		EA	\$ 7,188.00			
Curb Inlet (Type RI-10) 10' x Depth = 10"		EA	\$ 9,398.00			
Curb Inlet (Type RI-10) Depth = 8"		EA	\$ 7,827.00			
Curb Inlet (Type RI-10) 8' x Depth = 10"		EA	\$ 7,891.00			
Curb Inlet (Type RI-10) 10' x Depth = 10"		EA	\$ 9,841.00			
Curb Inlet (Type RI-10) Depth = 8"		EA	\$ 8,918.00			
Curb Inlet (Type RI-10) 8' x Depth = 10"		EA	\$ 10,588.00			
Curb Inlet (Type RI-10) 10' x Depth = 10"		EA	\$ 11,637.00			
Curb Inlet (Type RI-10) Depth = 8"		EA	\$ 10,570.00			
Curb Inlet (Type RI-10) 8' x Depth = 10"		EA	\$ 11,637.00			
Grated Inlet (Type G) Depth = 8"		EA	\$ 4,640.00			
Grated Inlet (Type G) Depth = 8"		EA	\$ 8,781.00			
Storm Sewer Manhole, Box Base	3	EA	\$ 11,627.00	34,881.00	80.00%	6,978.00
Storm Sewer Manhole, Sub Base	4	EA	\$ 6,388.00	25,552.00	80.00%	5,116.00
Geotextile (Gravel Control)		SY	\$ 0.00			
Rip Rap, 480 size from 8" to 24"	20	Tons	\$ 80.00	1,600.00		1,600.00
Rip Rap, Graded		Tons	\$ 85.00			
Drainage Channel Construction, Size (W x H)		LF				
Drainage Channel Lining, Concrete		CY	\$ 570.00			
Drainage Channel Lining, Rip Rap		CY	\$ 112.00			
Drainage Channel Lining, Grass		AC	\$ 1,400.00			
Drainage Channel Lining, Other Substitution						
<i>Item Name not listed but part of construction plan</i>						
<i>Subject to change without formal contract. A minimum of 20% shall be retained until final completion (MAXIMUM OF 60% COMPLETE ALLOWED)</i>						
Section 2 Subtotal				\$ 1,710,419.00		\$ 1,208,876.00

PROJECT INFORMATION

Hornstead at Stading Ranch Filing No. 2

9/2/2020

SF-19-004

Project Name

Date

PCD File No.

Description	Quantity	Units	Unit Cost	Total	(with Pre-Plat Construction)	
					% Complete	Remaining
AS-BUILT PLANS (Public Improvements Inc. Permanent WQCV BMPs)		LS	=	\$		\$ 1,500.00
POND/BMP CERTIFICATION (Ins. elevations and volume calculations)		LS	=	\$		\$ 1,500.00
Total Construction Financial Assurance					\$	3,235,017.20
(Sum of all section subtotals plus as-builts and pond/BMP certification)						
Total Remaining Construction Financial Assurance (with Pre-Plat Construction)					\$	1,571,536.80
(Sum of all section totals less credit for items complete plus as-builts and pond/BMP certification)						
Total Defect Warranty Financial Assurance					\$	351,985.40
(20% of all items identified as (*). To be collateralized at time of preliminary acceptance)						

Approvals

I hereby certify that this is an accurate and complete estimate of costs for the work as shown on the Grading and Erosion Control Plan and Construction Drawings associated with the Project.



Engineer (P.E. Seal Required)
Gabriel A. Sanchez
 Approved by Owner / Applicant

9/2/2020
 Date

Approved by El Paso County Engineer / ECH Administrator

APPROVED
 Engineering Department

09/02/2020 11:16:33 AM

EPC Planning & Community
 Development Department

EXHIBIT A-1
SUBDIVISION IMPROVEMENTS AGREEMENT
Homestead at Sterling Ranch Filing No. 2



20 BOLDER CREEK, SUITE 110
 COLOADO SPRING, CO 80903
 PHONE: 719.555.5545

NO.	DATE	BY	REVISION

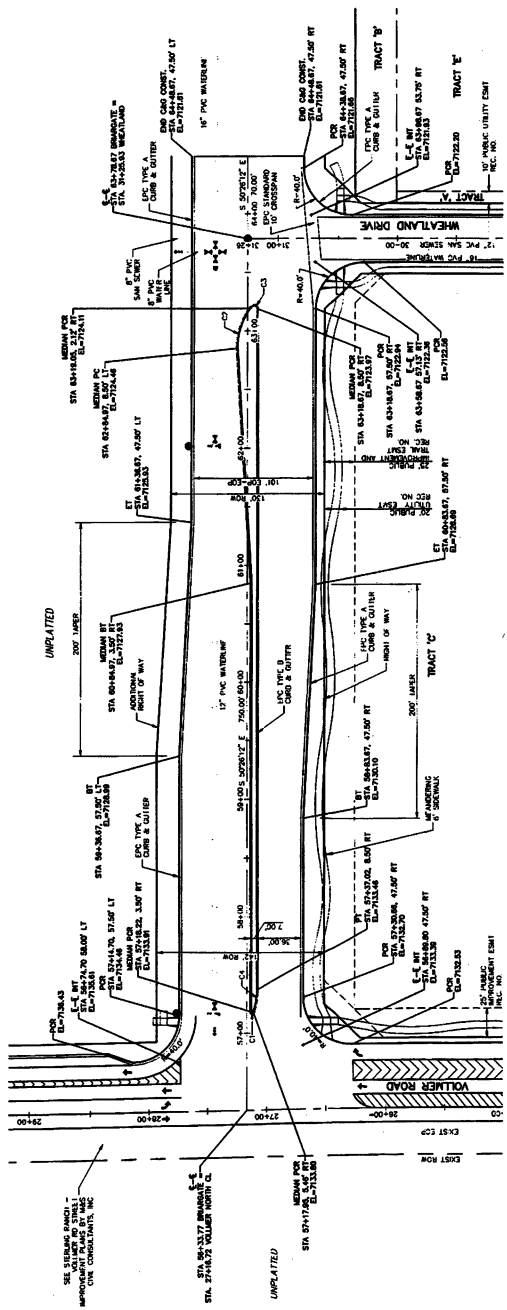
FOR BARRIERS, UTILITY INFORMATION
 AND THIS DRAWING TO BE
 CALL 1-888-426-6226-1888



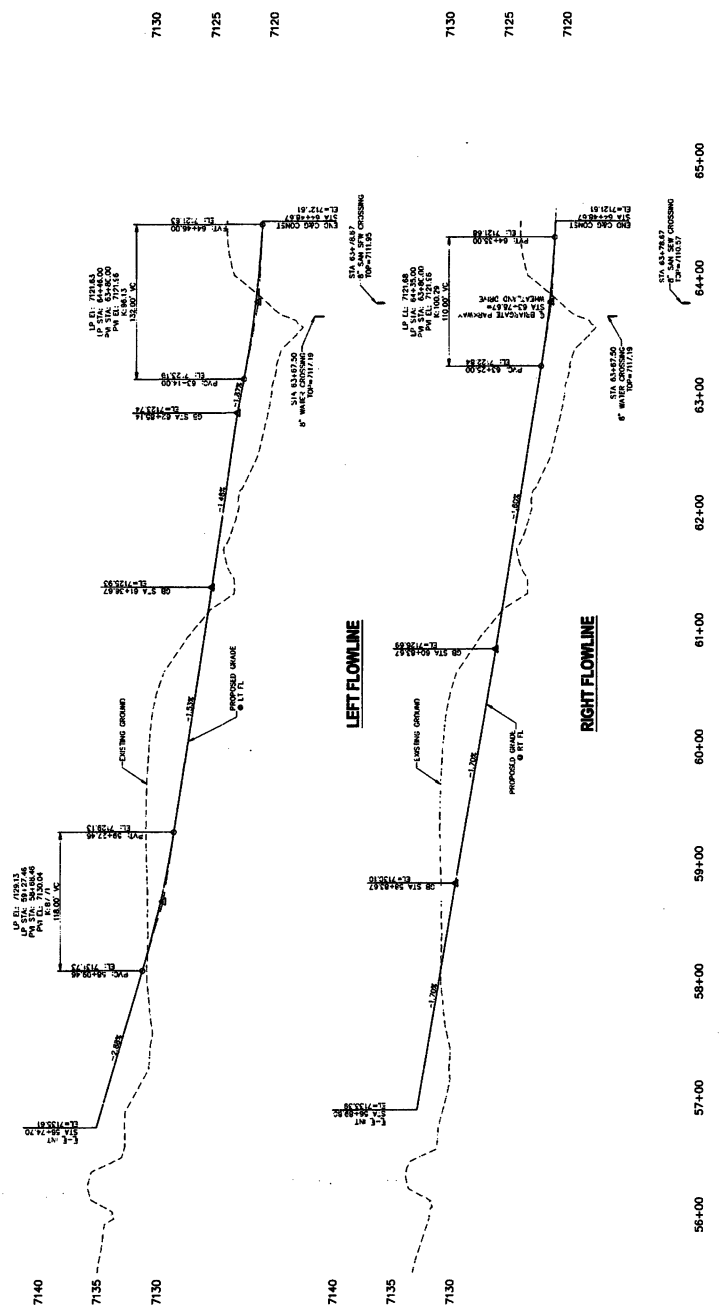
STREET ABBREVIATIONS

(OB) DINES BOULEVARD
 (OB) STYNUM DRIVE
 (OB) MARGHERITE ROAD

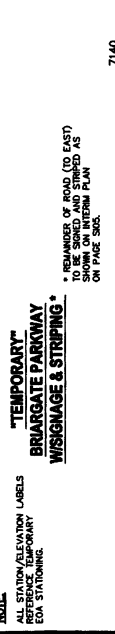
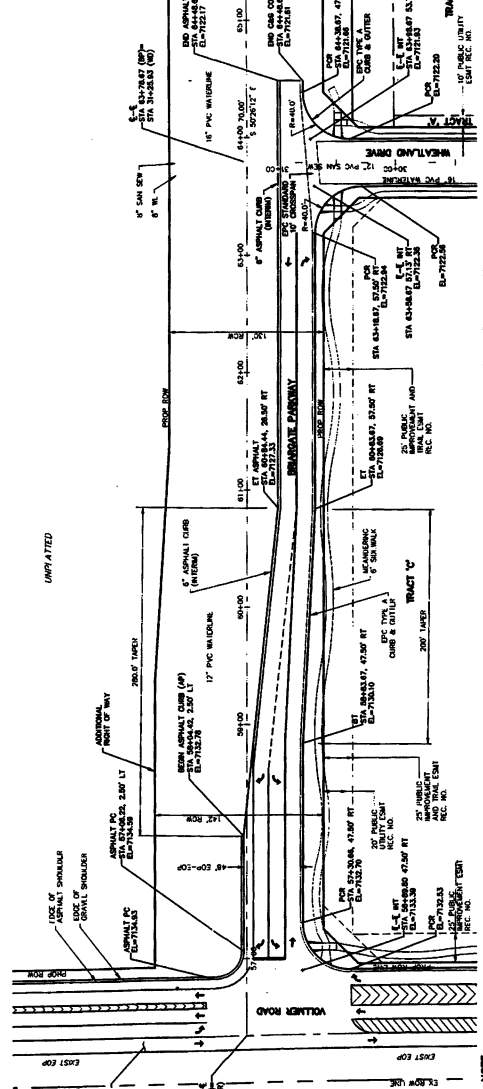
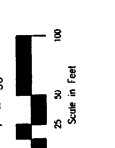
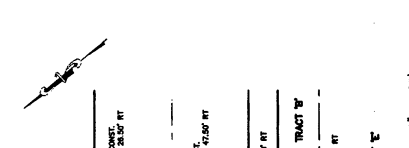
CURVE DATA	PI	PC	PT	TS	STATIONING	LENGTH
C1	100.0000'	13.00'	113.00'	113.00'	100.00'	13.00'
C2	100.0000'	13.00'	113.00'	113.00'	100.00'	13.00'
C3	100.0000'	13.00'	113.00'	113.00'	100.00'	13.00'
C4	174.7467'	65.43'	240.1834'	240.1834'	174.75'	65.43'



"ULTIMATE" BRIARGATE PARKWAY



FOR LOCATING
CONCRETE
CURBS, WALKERS,
AND OTHER
UTILITIES
CALL 1-800-328-1081
OR 630-354-1111
FOR BIDDING INFORMATION
CALL 630-354-1111
DATE: 1/2/2018



NOTE:
ALL STATION/ELEVATION LABELS
ON TEMPORARY
STATIONING.

NOTE:
ALL STATION/ELEVATION LABELS
ON INTERIM
STATIONING.

NOTE:
ALL STATION/ELEVATION LABELS
ON RIGHT
STATIONING.

NOTE:
ALL STATION/ELEVATION LABELS
ON LEFT
STATIONING.

**TEMPORARY
BRIARGATE PARKWAY
WISGNAGE & STRIPING**

**INTERIM
BRIARGATE PARKWAY**

RIGHT FLOWLINE

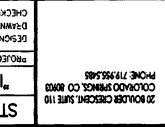
LEFT ASPHALT CURB FLOWLINE

STREET ABBREVIATIONS
(RT) VOLLMER ROAD
(RD) BRIARGATE PARKWAY
(RD) WEATLAND DRIVE

**TEMPORARY
BRIARGATE PARKWAY
WISGNAGE & STRIPING**

RIGHT FLOWLINE

LEFT ASPHALT CURB FLOWLINE



FOR MORE INFORMATION
CALL 630-354-1111
OR 1-800-328-1081

FOR BIDDING INFORMATION
CALL 630-354-1111
OR 1-800-328-1081

FOR BIDDING INFORMATION
CALL 630-354-1111
OR 1-800-328-1081

FOR BIDDING INFORMATION
CALL 630-354-1111
OR 1-800-328-1081

FOR BIDDING INFORMATION
CALL 630-354-1111
OR 1-800-328-1081

FOR BIDDING INFORMATION
CALL 630-354-1111
OR 1-800-328-1081

FOR BIDDING INFORMATION
CALL 630-354-1111
OR 1-800-328-1081

FOR BIDDING INFORMATION
CALL 630-354-1111
OR 1-800-328-1081

FOR BIDDING INFORMATION
CALL 630-354-1111
OR 1-800-328-1081

FOR BIDDING INFORMATION
CALL 630-354-1111
OR 1-800-328-1081

NO.	DATE	REVISION

FOR AND ON BEHALF OF CONSULTANT:

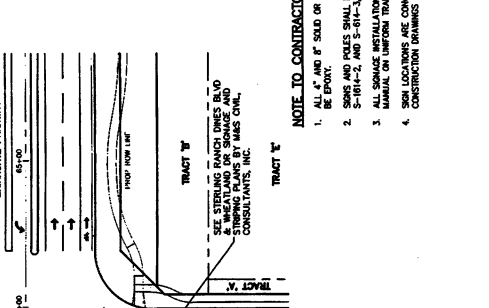
FOR AND ON BEHALF OF THE OWNER:

SCALE: 1" = 40'

DATE: 1/3/2018

SHEET 5 OF 5

S105



20th ORDER DESIGN, SUITE 110
 COLOGNE SPRINGS, CO 80020
 PHONE 773.955.5435

DESIGNED BY: DLM
 CHECKED BY: WAS
 DATE: 1/3/2018

PROJECT NO: 09-002
 SCALE: 1" = 40'

SIGNAGE & STRIPING PLAN
 STERLING RANCH - BRIARGATE PARKWAY

FOR AND ON BEHALF OF THE OWNER:

FOR AND ON BEHALF OF CONSULTANT:

SCALE: 1" = 40'

DATE: 1/3/2018

SHEET 5 OF 5

S105

STERLING RANCH - BRIARGATE PARKWAY
 SIGNAGE & STRIPING PLAN

PROJECT NO: 09-002
 SCALE: 1" = 40'

DATE: 1/3/2018

SHEET 5 OF 5

S105

STERLING RANCH - BRIARGATE PARKWAY
 SIGNAGE & STRIPING PLAN

PROJECT NO: 09-002
 SCALE: 1" = 40'

DATE: 1/3/2018

SHEET 5 OF 5

S105

STERLING RANCH - BRIARGATE PARKWAY
 SIGNAGE & STRIPING PLAN

PROJECT NO: 09-002
 SCALE: 1" = 40'

DATE: 1/3/2018

SHEET 5 OF 5

S105

STERLING RANCH - BRIARGATE PARKWAY
 SIGNAGE & STRIPING PLAN

PROJECT NO: 09-002
 SCALE: 1" = 40'

DATE: 1/3/2018

SHEET 5 OF 5

S105

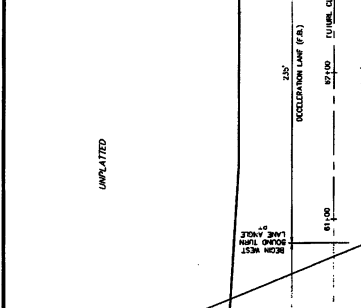
STRIPING LEGEND

STRIPES	PAVEMENT MARKINGS	MARKING DESCRIPTION
1	2-WAY LEFT TURN LANE MARKINGS (EPOXY)	OUTSIDE SOLID YELLOW 4" WIDE, INSIDE BROWN 4" WIDE, CENTERLINE SOLID YELLOW 4" WIDE, 12" SPACED PARALLEL SOLID YELLOW 4" WIDE, 12" SPACED
2	2-WAY CENTERLINE LANE MARKINGS (EPOXY)	PARALLEL SOLID YELLOW 4" WIDE, 12" SPACED
3	LANE LINES (EPOXY)	BROKEN WHITE, 4" WIDE, 10' SEGMENTS WITH 30" GAPS
4	BROKEN EDGE/BIKE LANE LINES (EPOXY)	BROKEN WHITE, 4" WIDE, 5' SEGMENTS WITH 15" GAPS
5	SOLID WHITE, 4" WIDE	SOLID WHITE, 4" WIDE
6	EDGE/BIKE LANE LINES (EPOXY)	SOLID WHITE, 4" WIDE
7	STOP LINES (THERMO PLASTIC)	SOLID WHITE, 24" WIDE
8	CHEVRON/DIAGONAL CROSSHATCH	SOLID WHITE, 12" WIDE

NOTE: ALL STRIPING INSTALLATION SHALL BE PER COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) LINES STANDARDS STANDARD PLAN NO. S-427-1.

NOTE TO CONTRACTOR:

- ALL 4" AND 6" SOLID OR STOP PAINTED MARKINGS ARE TO BE EPOXY.
- SPONS AND POLES SHALL BE PER CDOT STANDARDS S-614-A, S-1014-2, AND S-614-3, LATEST REVISION.
- ALL SIGNAGE INSTALLATION IS TO BE IN COMPLIANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- SIGN LOCATIONS ARE CONCEPTUAL. APPROVAL OF THE CONSTRUCTION DRAWINGS DOES NOT INCLUDE SIGN LOCATIONS.



**"INTERIM" SIGNAGE AND STRIPING
 BRIARGATE PARKWAY**

SEE STERLING RANCH DRIVE SIGNAGE AND STRIPING PLANS BY MAS CIVIL CONSULTANTS, INC.

SEE STERLING RANCH DRIVE SIGNAGE AND STRIPING PLANS BY MAS CIVIL CONSULTANTS, INC.

UNPLATTED

UNPLATTED

**FUTURE "ULTIMATE" SIGNAGE AND STRIPING
 BRIARGATE PARKWAY**

"FOR INFORMATION ONLY"

NOTE: INITIAL CONSTRUCTION PHASE ASSUMES ALL INTERIM STRIPING AND SIGNAGE REMOVED AS REQUIRED.

SEE STERLING RANCH DRIVE SIGNAGE AND STRIPING PLANS BY MAS CIVIL CONSULTANTS, INC.

UNPLATTED

SEE STERLING RANCH DRIVE SIGNAGE AND STRIPING PLANS BY MAS CIVIL CONSULTANTS, INC.

UNPLATTED

EXHIBIT A-2
SUBDIVISION IMPROVEMENTS AGREEMENT
Homestead at Sterling Ranch Filing No. 2

STERLING RANCH-DWES BLVD & WHEATLAND DR. STREET IMPROVEMENT PLANS	
PROJECT NO. 08-025 SHEET 5 OF 10	DATE: 08/11/10 SCALE: AS SHOWN DRAWN BY: J. L. [unreadable] CHECKED BY: [unreadable]

NOTES:

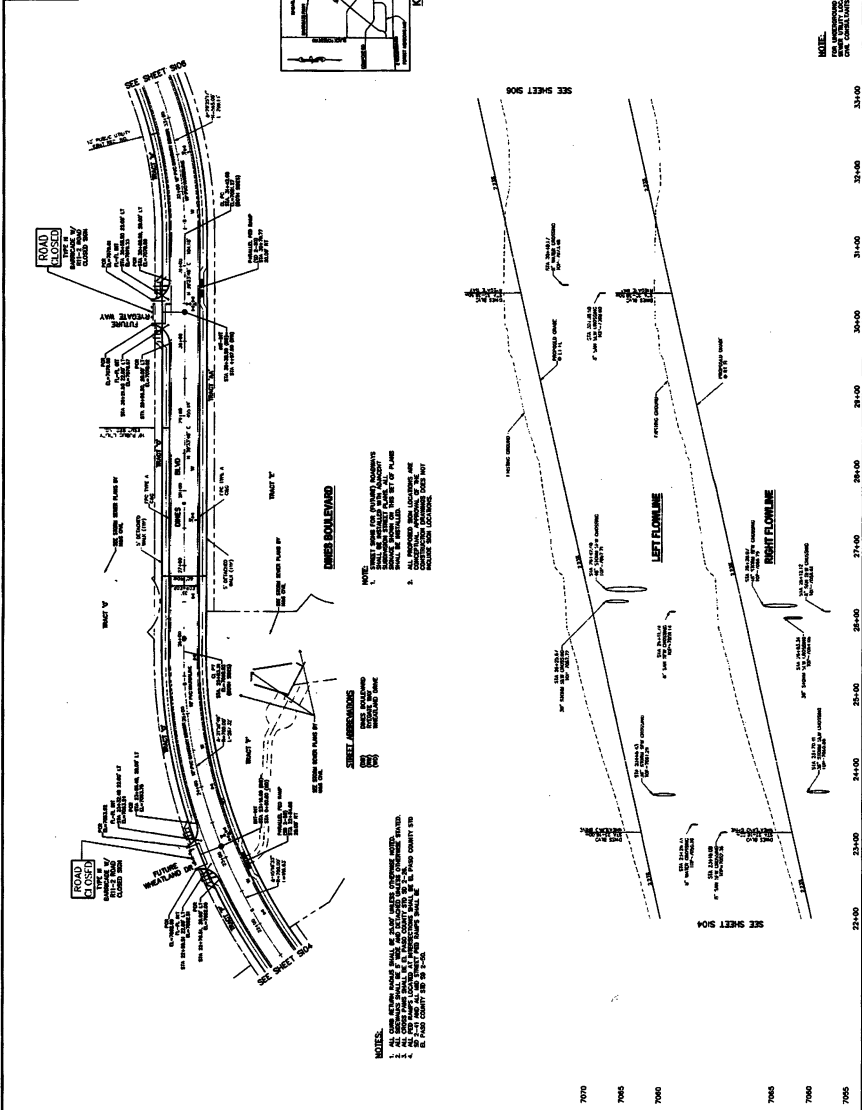
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, AS APPLICABLE.
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

DATE: 08/11/10

SCALE: AS SHOWN

DRAWN BY: J. L. [unreadable]

CHECKED BY: [unreadable]



SEE SHEET 304
SEE SHEET 305

FOR LOCKING & WELDING
SEE SHEET 101
FOR BRIDG
48 HRS BEFORE YOU DIG
CALL 1-800-22-1867

STERLING RANCH-DINES BLVD & WHEATLAND DR
STREET IMPROVEMENT PLANS
DATE: 4/14/2017
SHEET 7 OF 10
SI07

PROJECT NO. 08-006
DESIGNED BY: RMB
DRAWN BY: SWS
CHECKED BY: SWS
SCALE: HORIZ: 1"=50'
VERTICAL: 1"=4'

20 BOUNDS CHECK, SINE 110
COUNCIL SERVICES, CO 8093
PHONE: 719-553-8485



DATE: APR 15 2017
TIME: 10:00 AM
BY: [Signature]
DESCRIPTION: [Blank]

CAUTION



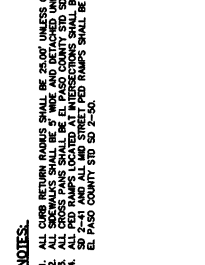
1" = 50'



NOTE:
1. STREET SIGNS FOR (FUTURE) ROADWAYS SHALL BE INSTALLED WITH ADJACENT PROPERTY LINES. THE SIGNS SHALL BE SHOWN ON THIS SET OF PLANS.
2. ALL PROPOSED SIGN LOCATIONS ARE INDICATED BY A DASHED LINE. CONSTRUCTION DRAWINGS DOES NOT INCLUDE SIGN LOCATIONS.

NOTES:
1. ALL CURB RETURN RADII SHALL BE 25.00' UNLESS OTHERWISE NOTED.
2. ALL CROSSINGS SHALL BE EL PASO COUNTY STD UNLESS OTHERWISE STATED.
3. ALL CROSS RAMP LOCATIONS AT INTERSECTIONS SHALL BE EL PASO COUNTY STD UNLESS OTHERWISE NOTED.
4. ALL C&G RAMP LOCATIONS AT INTERSECTIONS SHALL BE EL PASO COUNTY STD UNLESS OTHERWISE STATED.
5. ALL C&G RAMP LOCATIONS SHALL BE EL PASO COUNTY STD UNLESS OTHERWISE STATED.

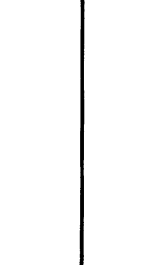
"TEMPORARY" DINES BOULEVARD



LEFT EDGE OF ASPHALT

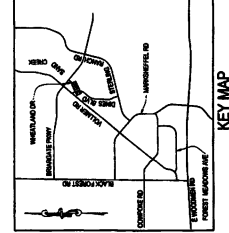
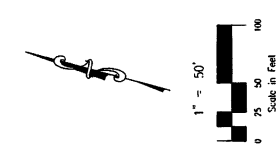


RIGHT EDGE OF ASPHALT

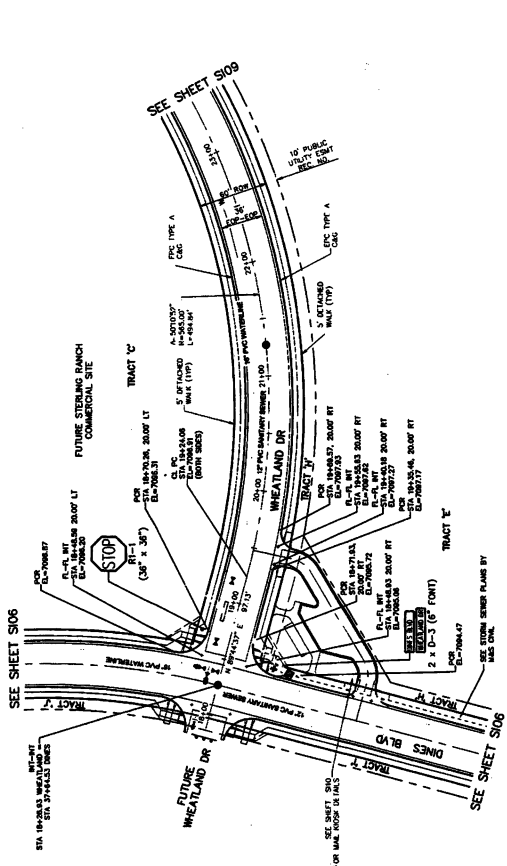


NOTE:
FOR UNDERGROUND STORM WATER AND SANITARY SEWER UTILITY LOCATIONS, SEE PLANS BY M&S CIVIL CONSULTANTS, INC.

FOR LOOKING
 & WORKING
 ELECTRIC
 UTILITIES
 LOCATIONS
 CALL 1-800-922-1987
 48 HRS BEFORE YOU DIG



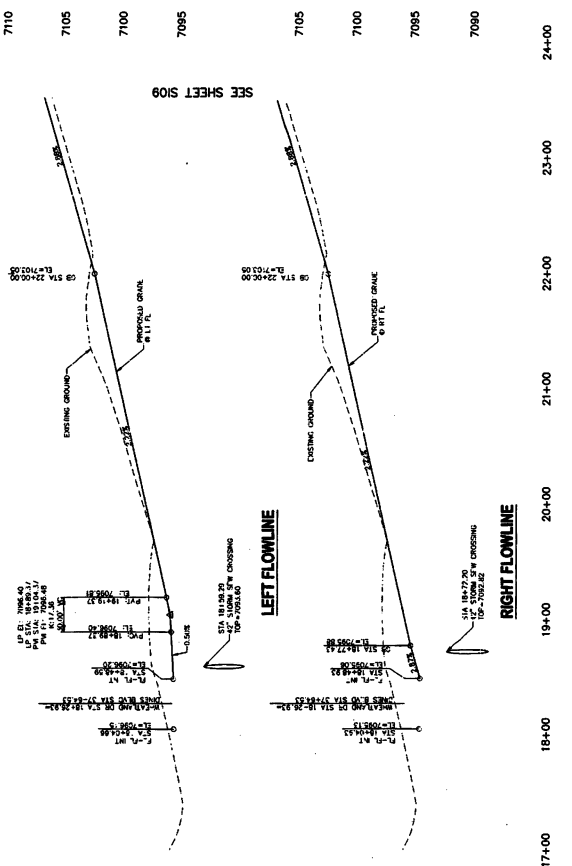
NOTE:
 FOR UNDERSTANDING STORM WATER AND SANITARY
 LOCATIONS, SEE FIGURES 81 AND 82
 CIVIL CONSULTANTS, INC.




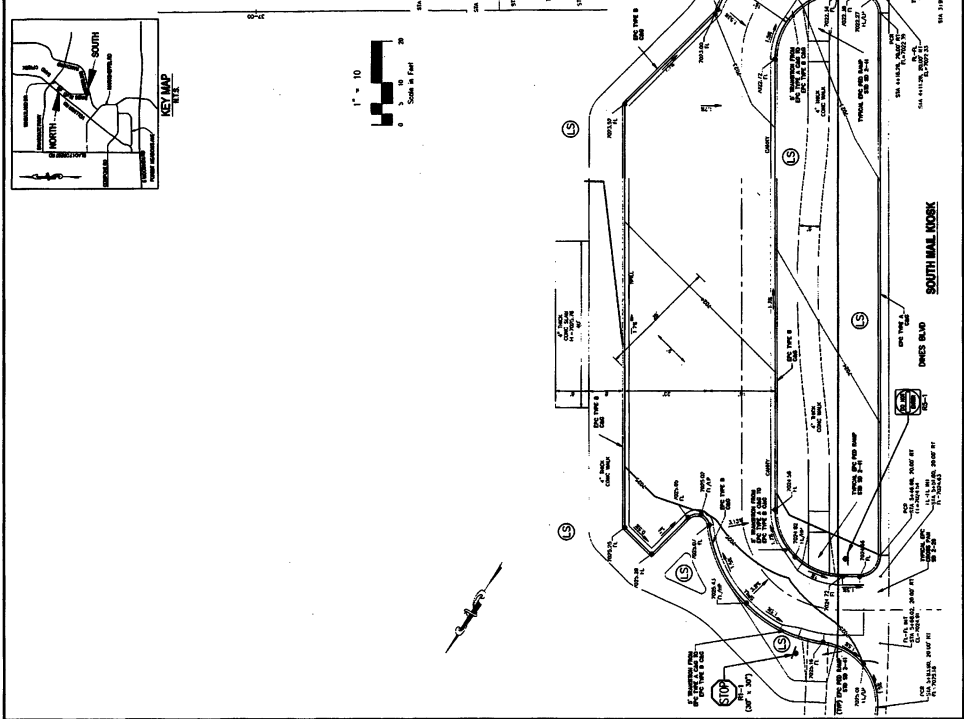
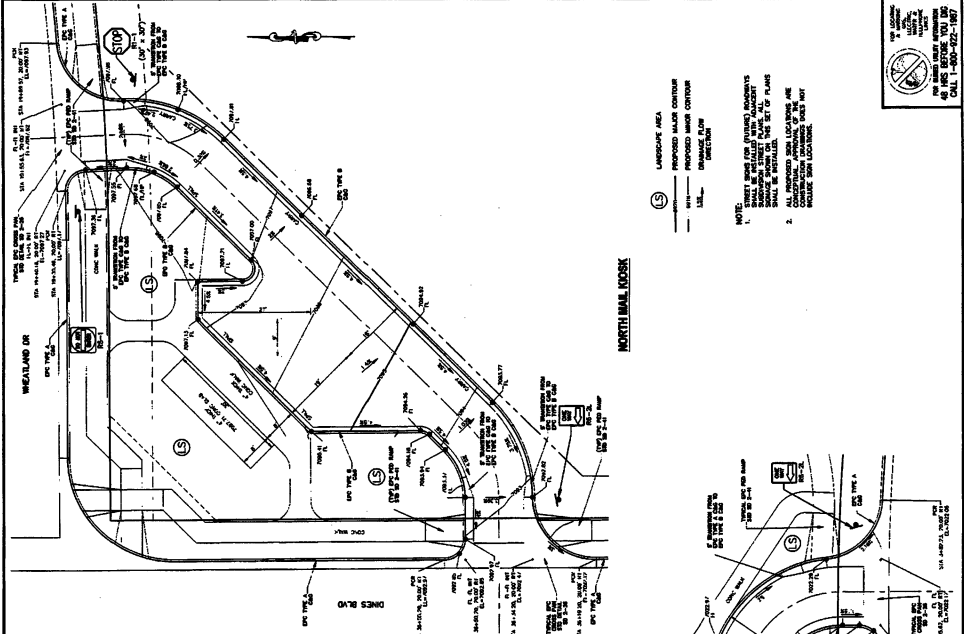
NOTE:
 1. STREET SIGNS FOR (FUTURE) ROADWAYS SHALL BE INSTALLED WITH ADJACENT PROPERTY OWNERS' CONSENT. SIGNAGE SHOWN ON THIS SET OF PLANS SHALL BE INSTALLED.
 2. ALL PROPOSED SIGN LOCATIONS ARE SHOWN AS GENERAL LOCATIONS. CONSTRUCTION DRAWINGS DOES NOT INCLUDE SIGN LOCATIONS.

STREET ABBREVIATIONS
 (WB) DINES BLVD
 (WB) WHEATLAND DRIVE
 (WB) WHEATLAND DRIVE

NOTES:
 1. ALL CURB RETURN RADIUS SHALL BE 25.00' UNLESS OTHERWISE NOTED.
 2. ALL CROSS RAMP SHALL BE EL PASO COUNTY STD. 20-2-20.
 3. ALL PER RAMP LOCATED AT INTERSECTIONS SHALL BE EL PASO COUNTY STD. 20-2-20.
 4. ALL PER RAMP LOCATED AT INTERSECTIONS SHALL BE EL PASO COUNTY STD. 20-2-20.

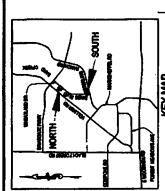


STERLING RANCH-DINES BLDG & WHEATLAND DR MAIL KIOSK DETAIL SHEET PROJECT 13-09-008 DATE 08/21/14 SHEET 10 OF 10 S110			3030 SOUTH CHURCH AVE CHICAGO, IL 60608 TEL: 312.467.1234 FAX: 312.467.1235 WWW: WWW.DESIGNFIRM.COM
-------------------------------------------------------------------------------------------------------------------------------------------------------	--	-----------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------



LANDSCAPE AREA
 PROPOSED MAJOR CONTOUR
 PROPOSED MINOR CONTOUR
 EXISTING MAJOR CONTOUR
 EXISTING MINOR CONTOUR

NOTES:
 1. EXISTING MAJOR AND MINOR CONTOURS SHOWN AS DASHED LINES. MAJOR CONTOURS ARE 5' INTERVALS. MINOR CONTOURS ARE 1' INTERVALS.
 2. ALL PROPOSED MAIL LOCATIONS ARE SHOWN IN RED. ALL MAIL LOCATIONS ARE TO BE CONSIDERED AS PROPOSED UNLESS NOTED OTHERWISE.



13-09-008
 10 OF 10
 S110

EXHIBIT A-3
SUBDIVISION IMPROVEMENTS AGREEMENT
Homestead at Sterling Ranch Filing No. 2

STERLING RANCH LIFT STATION AND FORCE MAIN EL PASO COUNTY, COLORADO

APRIL 24, 2017

CONTACTS
OWNER: EL PASO COUNTY
GENERAL CONTRACTOR: JAMES H. HARRIS, INC.
DESIGNER: LAMP RYNEARSON & ASSOCIATES
DATE: APRIL 24, 2017

PROJECT INFORMATION
PROJECT NAME: LIFT STATION AND FORCE MAIN
PROJECT NUMBER: SR-17-001
PROJECT LOCATION: STERLING RANCH METROPOLITAN DISTRICT
PROJECT DATE: APRIL 24, 2017

DESIGNER'S STATEMENT
I, the undersigned, being a duly licensed Professional Engineer in the State of Colorado, do hereby certify that I am the author of the design and drawings hereon and that I am a duly licensed Professional Engineer in the State of Colorado.

PROJECT CONTROL
PROJECT CONTROL: LAMP RYNEARSON & ASSOCIATES
DATE: APRIL 24, 2017

SEAL
Professional Engineer Seal for James H. Harris, Inc.

APPROVAL
APPROVED: [Signature]
DATE: APRIL 24, 2017

EL PASO COUNTY STANDARDS
EL PASO COUNTY STANDARDS: 12-2-19

GENERAL NOTES
GENERAL NOTES: SEE GENERAL NOTES ON DRAWINGS.

DESIGNER'S STATEMENT - EROSION CONTROL
I, the undersigned, being a duly licensed Professional Engineer in the State of Colorado, do hereby certify that I am the author of the design and drawings hereon and that I am a duly licensed Professional Engineer in the State of Colorado.

PROJECT INFORMATION
PROJECT NAME: LIFT STATION AND FORCE MAIN
PROJECT NUMBER: SR-17-001
PROJECT LOCATION: STERLING RANCH METROPOLITAN DISTRICT
PROJECT DATE: APRIL 24, 2017

DESIGNER'S STATEMENT
I, the undersigned, being a duly licensed Professional Engineer in the State of Colorado, do hereby certify that I am the author of the design and drawings hereon and that I am a duly licensed Professional Engineer in the State of Colorado.

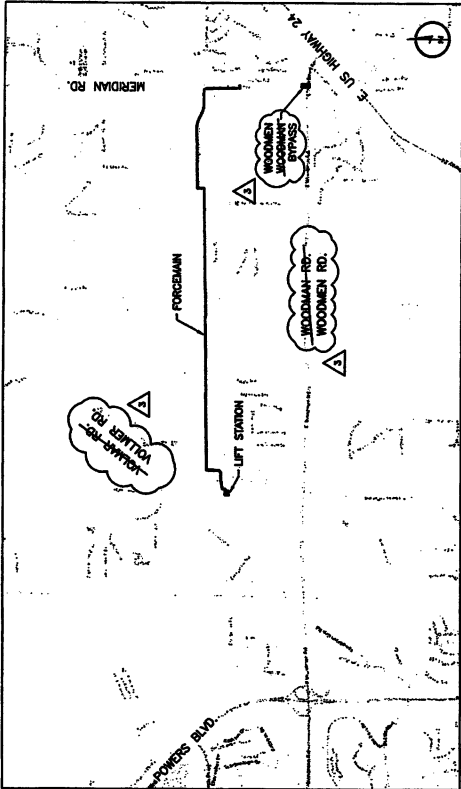
PROJECT CONTROL
PROJECT CONTROL: LAMP RYNEARSON & ASSOCIATES
DATE: APRIL 24, 2017

SEAL
Professional Engineer Seal for James H. Harris, Inc.

APPROVAL
APPROVED: [Signature]
DATE: APRIL 24, 2017

EL PASO COUNTY STANDARDS
EL PASO COUNTY STANDARDS: 12-2-19

GENERAL NOTES
GENERAL NOTES: SEE GENERAL NOTES ON DRAWINGS.



INDEX OF SHEETS

SHEET NUMBER	SHEET TITLE	SHEET NUMBER	SHEET TITLE
001	COVER SHEET	PH1	STA 19+00 TO STA 20+00
002	GENERAL NOTES	PH2	STA 20+00 TO STA 30+00
003	GENERAL NOTES	PH3	STA 30+00 TO STA 40+00
004	GENERAL NOTES	PH4	STA 40+00 TO STA 50+00
005	GENERAL NOTES	PH5	STA 50+00 TO STA 60+00
006	GENERAL NOTES	PH6	STA 60+00 TO STA 70+00
007	GENERAL NOTES	PH7	STA 70+00 TO STA 80+00
008	GENERAL NOTES	PH8	STA 80+00 TO STA 90+00
009	GENERAL NOTES	PH9	STA 90+00 TO STA 10+00
010	GENERAL NOTES	PH10	STA 10+00 TO STA 11+00
011	GENERAL NOTES	PH11	STA 11+00 TO STA 12+00
012	GENERAL NOTES	PH12	STA 12+00 TO STA 13+00
013	GENERAL NOTES	PH13	STA 13+00 TO STA 14+00
014	GENERAL NOTES	PH14	STA 14+00 TO STA 15+00
015	GENERAL NOTES	PH15	STA 15+00 TO STA 16+00
016	GENERAL NOTES	PH16	STA 16+00 TO STA 17+00
017	GENERAL NOTES	PH17	STA 17+00 TO STA 18+00
018	GENERAL NOTES	PH18	STA 18+00 TO STA 19+00
019	GENERAL NOTES	PH19	STA 19+00 TO STA 20+00
020	GENERAL NOTES	PH20	STA 20+00 TO STA 21+00
021	GENERAL NOTES	PH21	STA 21+00 TO STA 22+00
022	GENERAL NOTES	PH22	STA 22+00 TO STA 23+00
023	GENERAL NOTES	PH23	STA 23+00 TO STA 24+00
024	GENERAL NOTES	PH24	STA 24+00 TO STA 25+00
025	GENERAL NOTES	PH25	STA 25+00 TO STA 26+00
026	GENERAL NOTES	PH26	STA 26+00 TO STA 27+00
027	GENERAL NOTES	PH27	STA 27+00 TO STA 28+00
028	GENERAL NOTES	PH28	STA 28+00 TO STA 29+00
029	GENERAL NOTES	PH29	STA 29+00 TO STA 30+00
030	GENERAL NOTES	PH30	STA 30+00 TO STA 31+00
031	GENERAL NOTES	PH31	STA 31+00 TO STA 32+00
032	GENERAL NOTES	PH32	STA 32+00 TO STA 33+00
033	GENERAL NOTES	PH33	STA 33+00 TO STA 34+00
034	GENERAL NOTES	PH34	STA 34+00 TO STA 35+00
035	GENERAL NOTES	PH35	STA 35+00 TO STA 36+00
036	GENERAL NOTES	PH36	STA 36+00 TO STA 37+00
037	GENERAL NOTES	PH37	STA 37+00 TO STA 38+00
038	GENERAL NOTES	PH38	STA 38+00 TO STA 39+00
039	GENERAL NOTES	PH39	STA 39+00 TO STA 40+00
040	GENERAL NOTES	PH40	STA 40+00 TO STA 41+00
041	GENERAL NOTES	PH41	STA 41+00 TO STA 42+00
042	GENERAL NOTES	PH42	STA 42+00 TO STA 43+00
043	GENERAL NOTES	PH43	STA 43+00 TO STA 44+00
044	GENERAL NOTES	PH44	STA 44+00 TO STA 45+00
045	GENERAL NOTES	PH45	STA 45+00 TO STA 46+00
046	GENERAL NOTES	PH46	STA 46+00 TO STA 47+00
047	GENERAL NOTES	PH47	STA 47+00 TO STA 48+00
048	GENERAL NOTES	PH48	STA 48+00 TO STA 49+00
049	GENERAL NOTES	PH49	STA 49+00 TO STA 50+00
050	GENERAL NOTES	PH50	STA 50+00 TO STA 51+00
051	GENERAL NOTES	PH51	STA 51+00 TO STA 52+00
052	GENERAL NOTES	PH52	STA 52+00 TO STA 53+00
053	GENERAL NOTES	PH53	STA 53+00 TO STA 54+00
054	GENERAL NOTES	PH54	STA 54+00 TO STA 55+00
055	GENERAL NOTES	PH55	STA 55+00 TO STA 56+00
056	GENERAL NOTES	PH56	STA 56+00 TO STA 57+00
057	GENERAL NOTES	PH57	STA 57+00 TO STA 58+00
058	GENERAL NOTES	PH58	STA 58+00 TO STA 59+00
059	GENERAL NOTES	PH59	STA 59+00 TO STA 60+00
060	GENERAL NOTES	PH60	STA 60+00 TO STA 61+00
061	GENERAL NOTES	PH61	STA 61+00 TO STA 62+00
062	GENERAL NOTES	PH62	STA 62+00 TO STA 63+00
063	GENERAL NOTES	PH63	STA 63+00 TO STA 64+00
064	GENERAL NOTES	PH64	STA 64+00 TO STA 65+00
065	GENERAL NOTES	PH65	STA 65+00 TO STA 66+00
066	GENERAL NOTES	PH66	STA 66+00 TO STA 67+00
067	GENERAL NOTES	PH67	STA 67+00 TO STA 68+00
068	GENERAL NOTES	PH68	STA 68+00 TO STA 69+00
069	GENERAL NOTES	PH69	STA 69+00 TO STA 70+00
070	GENERAL NOTES	PH70	STA 70+00 TO STA 71+00
071	GENERAL NOTES	PH71	STA 71+00 TO STA 72+00
072	GENERAL NOTES	PH72	STA 72+00 TO STA 73+00
073	GENERAL NOTES	PH73	STA 73+00 TO STA 74+00
074	GENERAL NOTES	PH74	STA 74+00 TO STA 75+00
075	GENERAL NOTES	PH75	STA 75+00 TO STA 76+00
076	GENERAL NOTES	PH76	STA 76+00 TO STA 77+00
077	GENERAL NOTES	PH77	STA 77+00 TO STA 78+00
078	GENERAL NOTES	PH78	STA 78+00 TO STA 79+00
079	GENERAL NOTES	PH79	STA 79+00 TO STA 80+00
080	GENERAL NOTES	PH80	STA 80+00 TO STA 81+00
081	GENERAL NOTES	PH81	STA 81+00 TO STA 82+00
082	GENERAL NOTES	PH82	STA 82+00 TO STA 83+00
083	GENERAL NOTES	PH83	STA 83+00 TO STA 84+00
084	GENERAL NOTES	PH84	STA 84+00 TO STA 85+00
085	GENERAL NOTES	PH85	STA 85+00 TO STA 86+00
086	GENERAL NOTES	PH86	STA 86+00 TO STA 87+00
087	GENERAL NOTES	PH87	STA 87+00 TO STA 88+00
088	GENERAL NOTES	PH88	STA 88+00 TO STA 89+00
089	GENERAL NOTES	PH89	STA 89+00 TO STA 90+00
090	GENERAL NOTES	PH90	STA 90+00 TO STA 91+00
091	GENERAL NOTES	PH91	STA 91+00 TO STA 92+00
092	GENERAL NOTES	PH92	STA 92+00 TO STA 93+00
093	GENERAL NOTES	PH93	STA 93+00 TO STA 94+00
094	GENERAL NOTES	PH94	STA 94+00 TO STA 95+00
095	GENERAL NOTES	PH95	STA 95+00 TO STA 96+00
096	GENERAL NOTES	PH96	STA 96+00 TO STA 97+00
097	GENERAL NOTES	PH97	STA 97+00 TO STA 98+00
098	GENERAL NOTES	PH98	STA 98+00 TO STA 99+00
099	GENERAL NOTES	PH99	STA 99+00 TO STA 100+00
100	GENERAL NOTES	PH100	STA 100+00 TO STA 101+00



LAMP RYNEARSON
& ASSOCIATES
12596 West Bayaud Avenue, Suite 330
Lakewood, Colorado 80228
LRA-inc.com / tza4water.com





FORCE MAIN GENERAL NOTES

STERLING RANCH LIFT STATION AND FORCE MAIN & ASSOCIATES

Table with project details: PROJECT NO. 2017, DATE 08/21/2018, DRAWING NO. 100, etc.

FORCE MAIN SYSTEM INSTALLATION NOTES

- 1. ALL FORCE MAINS AND ASSOCIATED APPURTENANCES WITH THE FORCE MAIN SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES AND APPROVED BY THE CITY ENGINEER.

SAWTOOTH SEWER SYSTEM INSTALLATION NOTES

- 1. ALL SAWTOOTH SEWER SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NOTES AND APPROVED BY THE CITY ENGINEER.

GENERAL NOTES

- 1. ALL EXISTING AND PROPOSED UTILITIES SHALL BE LOCATED AND DEPTH VERIFIED PRIOR TO CONSTRUCTION.

GENERAL NOTES

- 1. ALL EXISTING AND PROPOSED UTILITIES SHALL BE LOCATED AND DEPTH VERIFIED PRIOR TO CONSTRUCTION.

EXISTENCE CONTROL NOTES

- 1. EXISTENCE UTILITIES SHALL BE LOCATED AND DEPTH VERIFIED PRIOR TO CONSTRUCTION.

EXISTENCE CONTROL NOTES

- 1. EXISTENCE UTILITIES SHALL BE LOCATED AND DEPTH VERIFIED PRIOR TO CONSTRUCTION.

STANDARD NOTES

- 1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S APPROVED CONTRACT DOCUMENTS.

STANDARD NOTES

- 1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S APPROVED CONTRACT DOCUMENTS.

STERLING RANCH LIFT STATION AND FORCE MAIN & ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN & ASSOCIATES

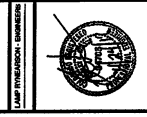
STERLING RANCH LIFT STATION AND FORCE MAIN & ASSOCIATES

STERLING RANCH LIFT STATION AND FORCE MAIN & ASSOCIATES

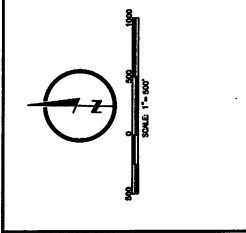
PROJECT NO.	110211
DATE	05/24/2017
SCALE	AS SHOWN
DATE	
DATE	
DATE	
DATE	
DATE	
DATE	

STERLING RANCH LIFT STATION AND FORCE MAIN
 STERLING RANCH METROPOLITAN DISTRICT NO. 1

FORCE MAIN
 OVERALL PLAN & PROJECT CONTROL



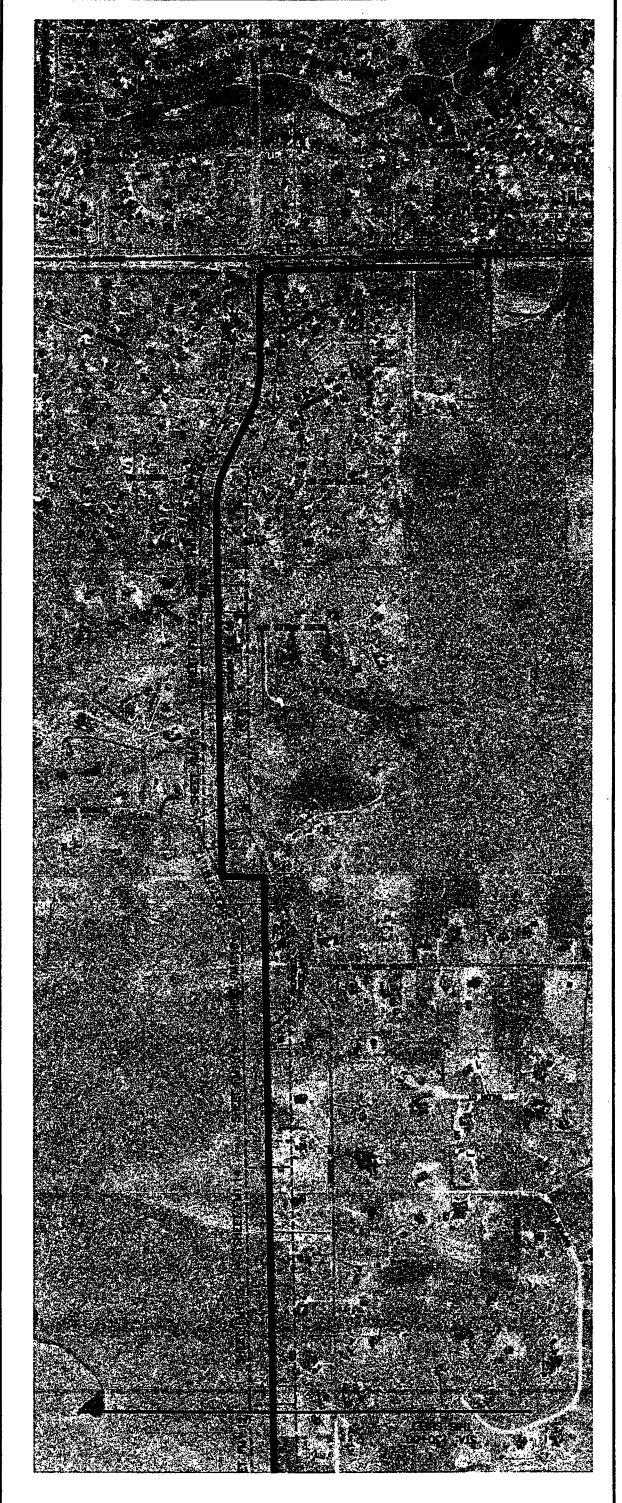
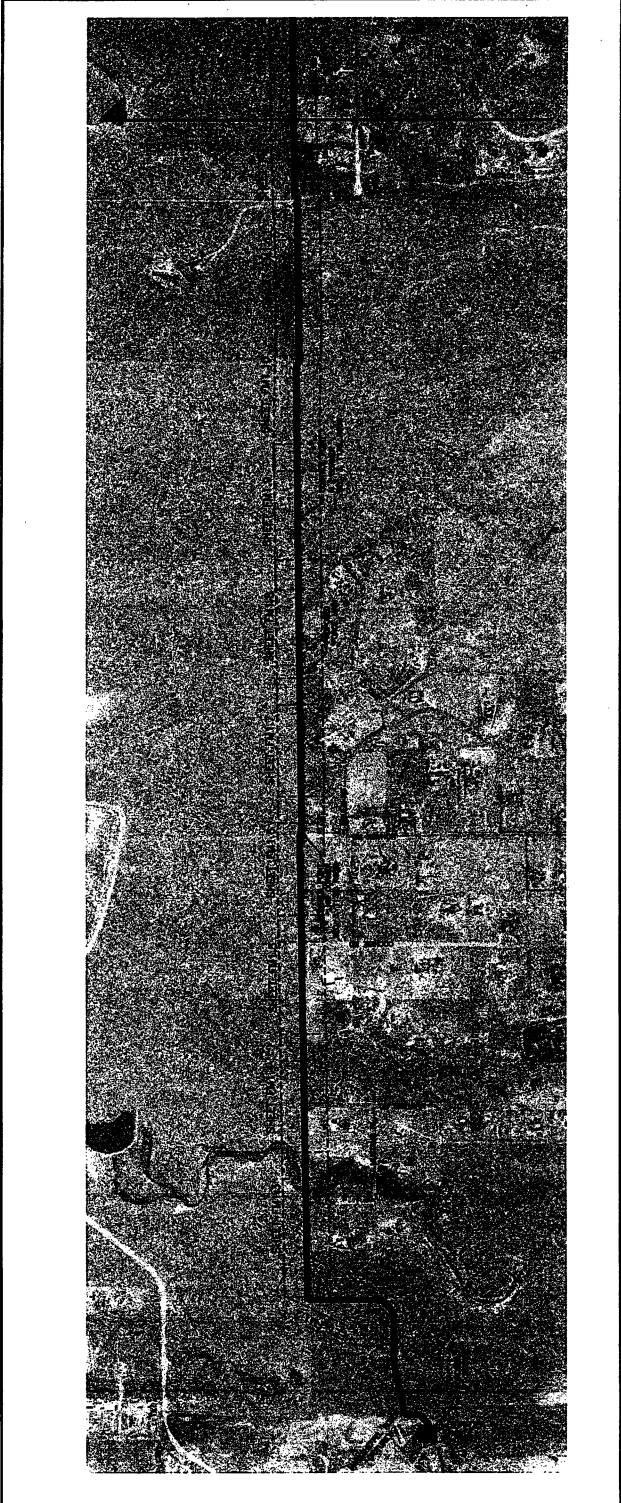
PROJECT NO. 110211
 SHEET 6.04



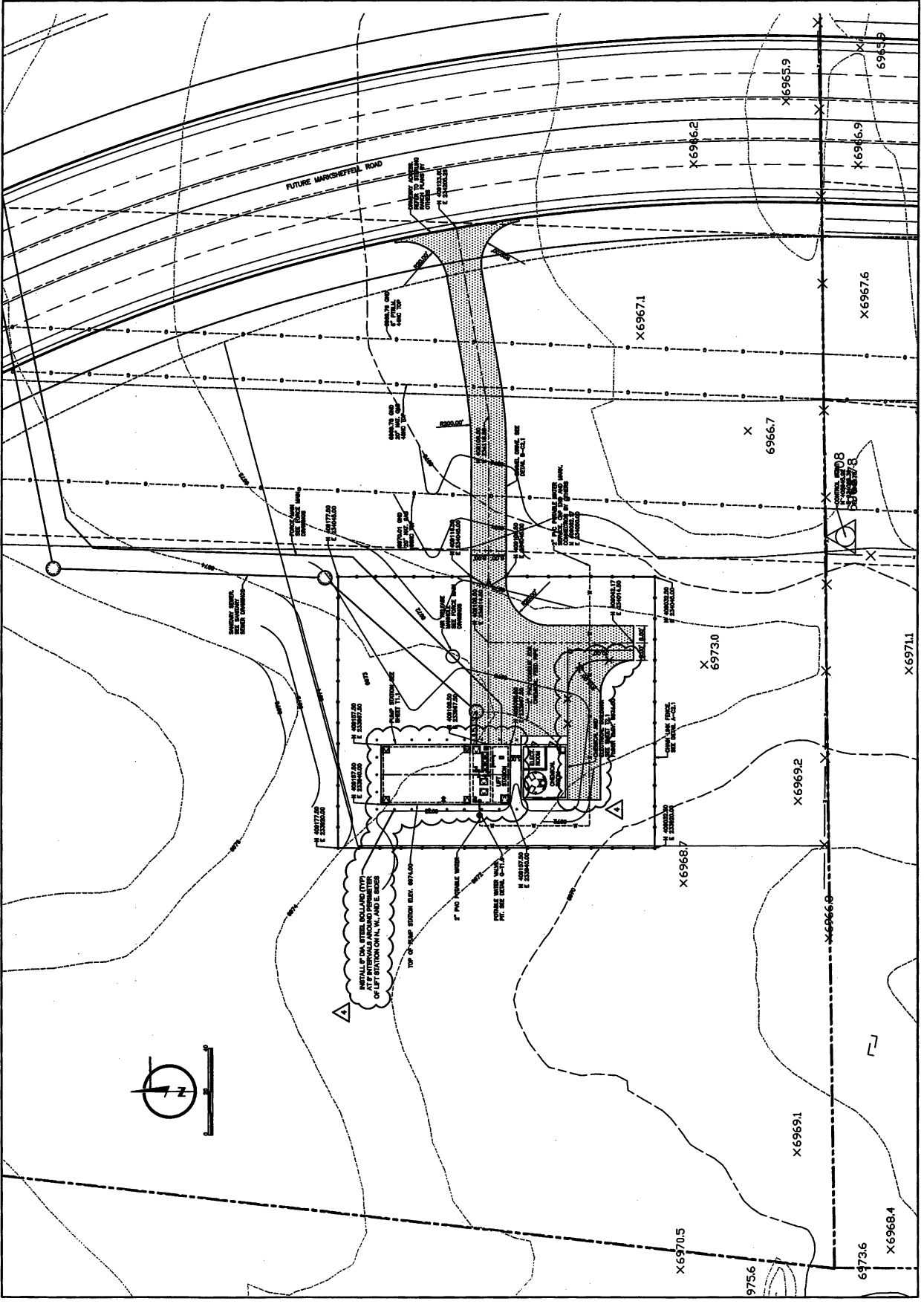
LAMP RYNEARSON & ASSOCIATES
 12558 West Dwyer Avenue, Suite 300, Dallas, TX 75244
 (972) 412-1000 / lra@lra.com

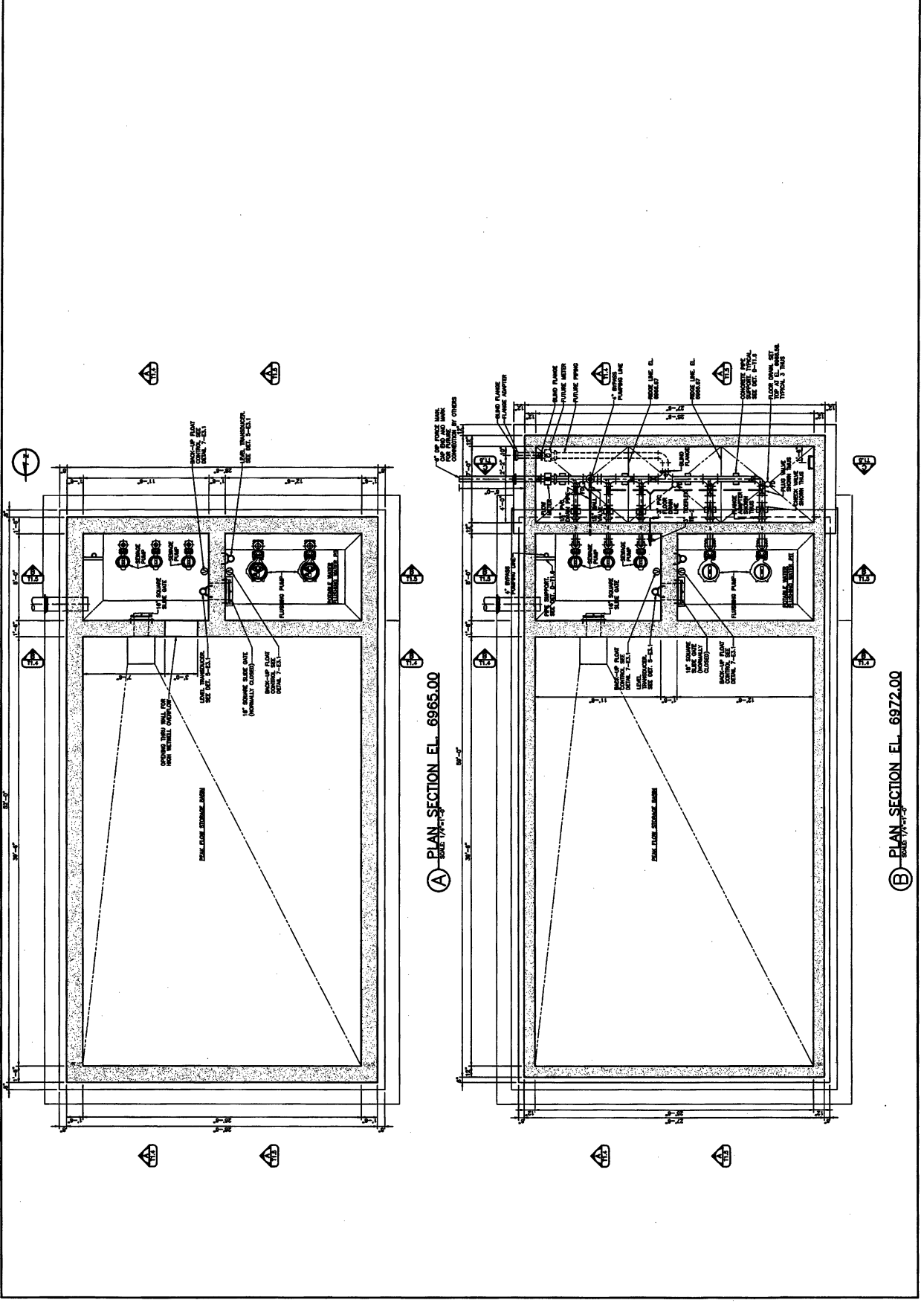
PROJECT CONTROL
 PROFESSIONAL CONTROL:
 1. LAMP RYNEARSON & ASSOCIATES, P.C.
 2. LAMP RYNEARSON & ASSOCIATES, P.C.
 3. LAMP RYNEARSON & ASSOCIATES, P.C.
 4. LAMP RYNEARSON & ASSOCIATES, P.C.
 5. LAMP RYNEARSON & ASSOCIATES, P.C.
 6. LAMP RYNEARSON & ASSOCIATES, P.C.
 7. LAMP RYNEARSON & ASSOCIATES, P.C.
 8. LAMP RYNEARSON & ASSOCIATES, P.C.
 9. LAMP RYNEARSON & ASSOCIATES, P.C.
 10. LAMP RYNEARSON & ASSOCIATES, P.C.

VERTICAL DATA:
 1. LAMP RYNEARSON & ASSOCIATES, P.C.
 2. LAMP RYNEARSON & ASSOCIATES, P.C.
 3. LAMP RYNEARSON & ASSOCIATES, P.C.
 4. LAMP RYNEARSON & ASSOCIATES, P.C.
 5. LAMP RYNEARSON & ASSOCIATES, P.C.
 6. LAMP RYNEARSON & ASSOCIATES, P.C.
 7. LAMP RYNEARSON & ASSOCIATES, P.C.
 8. LAMP RYNEARSON & ASSOCIATES, P.C.
 9. LAMP RYNEARSON & ASSOCIATES, P.C.
 10. LAMP RYNEARSON & ASSOCIATES, P.C.



 LAMP RYNEARSON & ASSOCIATES 12500 West Bayland Avenue, Suite 300 30057710001 Lakewood, Colorado 80228 (303) 771-0077 FAX		LIFT STATION SITE PLAN			
STERLING RANCH LIFT STATION & FORCE MAIN STERLING RANCH METROPOLITAN DISTRICT NO. 1		C1.1 SHEET		DATE: 11/11/11 DRAWN BY: [Name] CHECKED BY: [Name] SCALE: AS SHOWN	





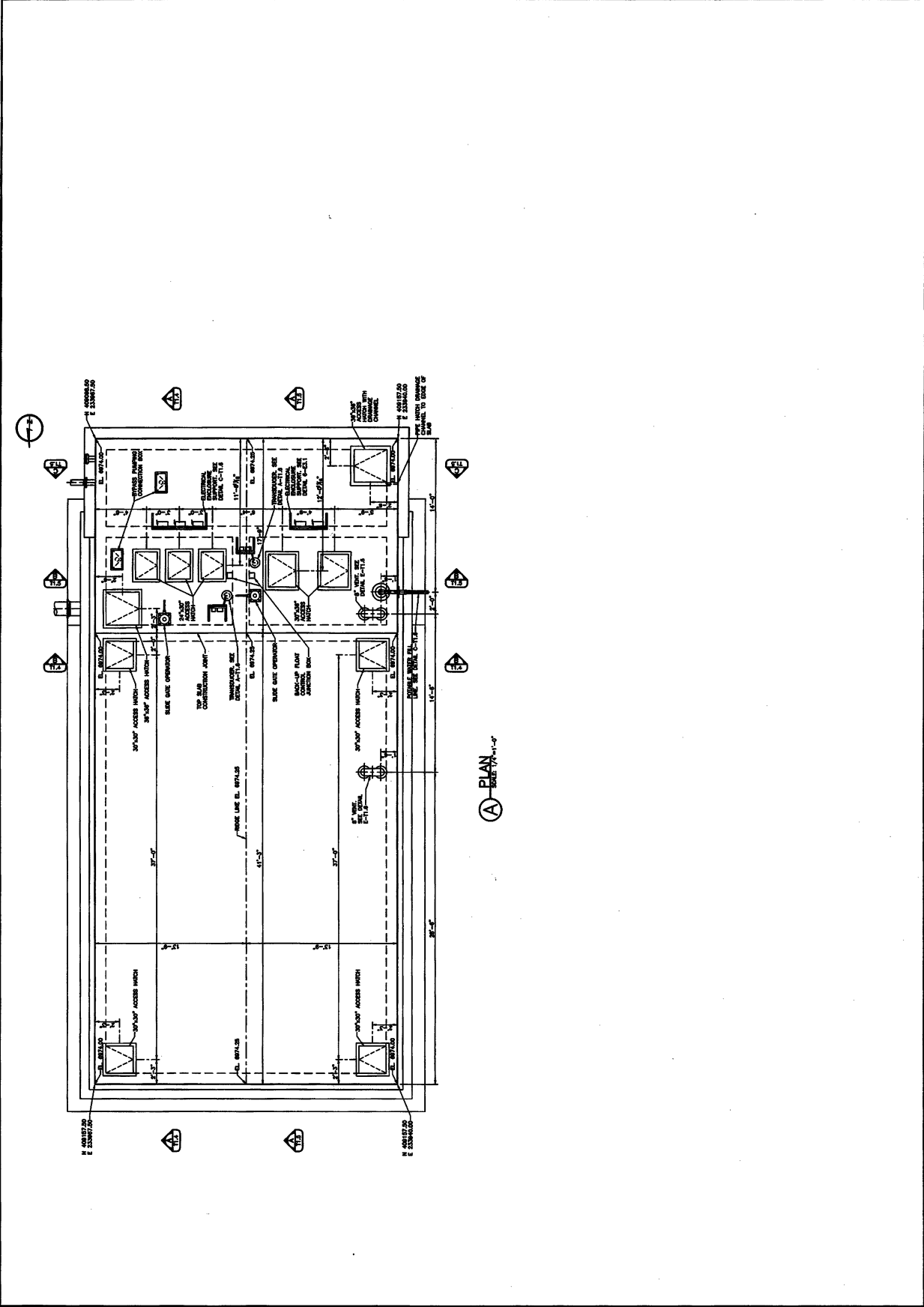
PROJECT NO.	191811.01
DATE	01/18/11
DESIGNER	10101010
CHECKER	10101010
DATE	01/18/11
PROJECT	STERLING RANCH METROPOLITAN DISTRICT NO. 1

STERLING RANCH METROPOLITAN DISTRICT NO. 1
 LAMP RYNEARSON & ASSOCIATES
 1295 West Dryden Avenue, Suite 200
 Lakewood, Colorado 80226
 303.971.0077
 1295 West Dryden Avenue, Suite 200
 Lakewood, Colorado 80226
 303.971.0077

LIFT STATION
 PLAN



DATE: 01/18/11
 SHEET: T1.3



(A) PLAN 1/4" = 1'-0"

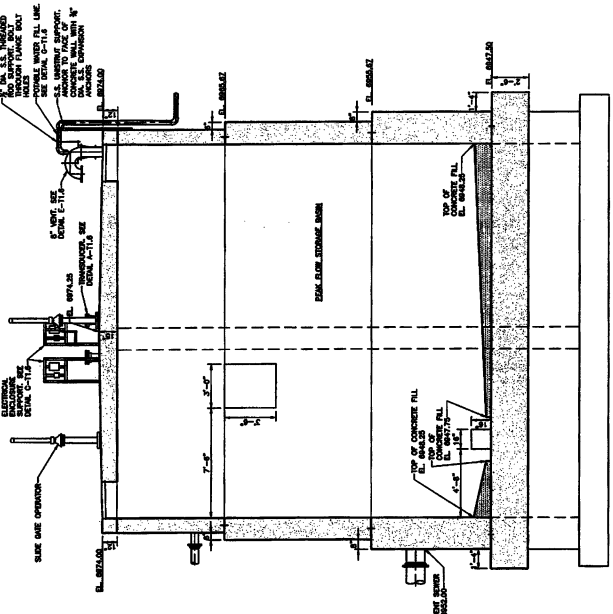


PROJECT NUMBER: 000000
 SHEET NUMBER: T1.4
 DATE: _____

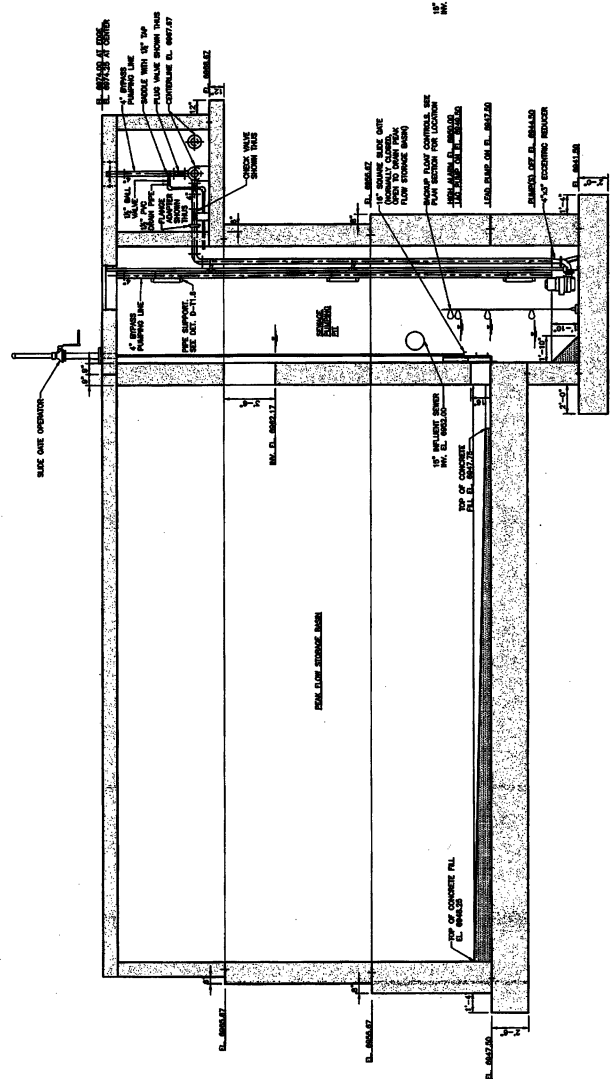
LIFT STATION SECTIONS

LAMP RYNEARSON & ASSOCIATES
 12806 West Grand Avenue, Suite 300, Greenwood, Colorado 80224
 Phone: 303.871.0000 | Fax: 303.871.0077 | Email: info@lra.com | www.lra.com

DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
PROJECT NO.	000000
SHEET NO.	T1.4



SECTION B



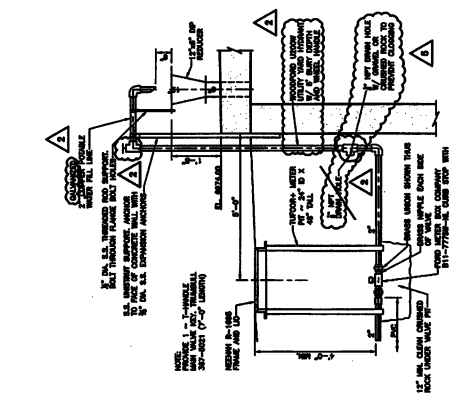
SECTION A

DATE	11/18/13
BY	11/18/13
CHKD BY	11/18/13
APP'D BY	11/18/13
SCALE	AS SHOWN
PROJECT	STERLING RANCH LIFT STATION & FORCE MAIN
NO.	1

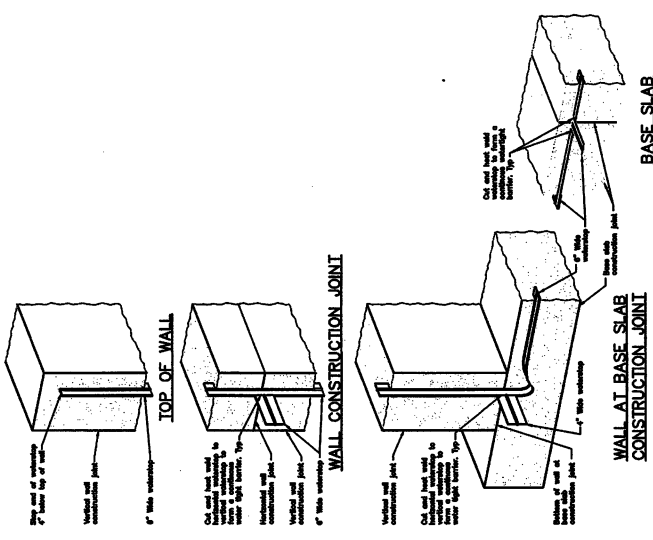
STERLING RANCH LIFT STATION & FORCE MAIN DISTRICT NO. 1
 LAMP RYNEARSON & ASSOCIATES
 12660 West Bayland Avenue, Suite 300, 82228 Lakewood, Colorado
 303.971.0077 | info@lra.com / lra.com

LIFT STATION MISCELLANEOUS DETAILS

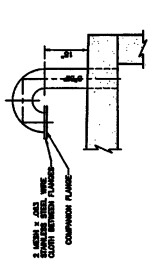
Professional Engineer
 State of Colorado
 No. 10000
 T1.6
 SHEET



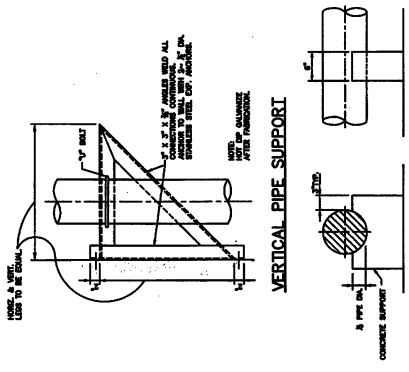
ROTABLE WATER FILL DETAIL



WATERSTOP DETAILS

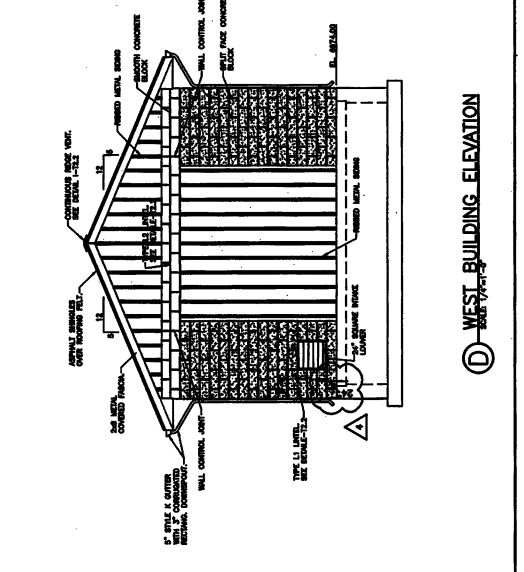
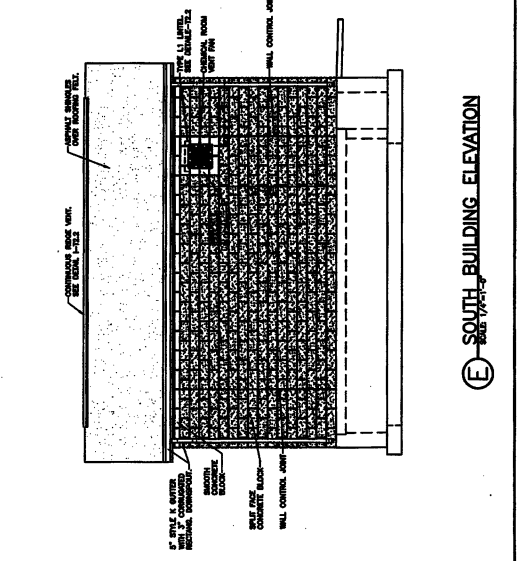
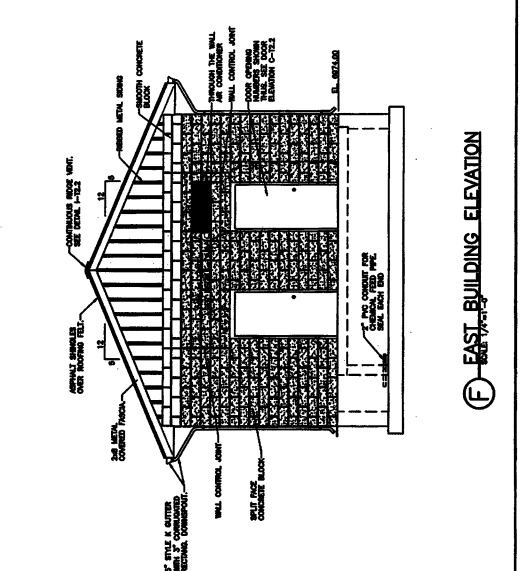
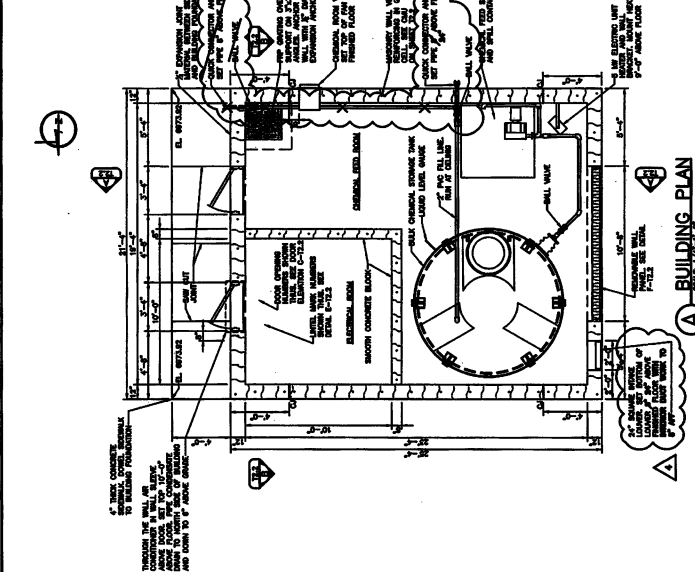
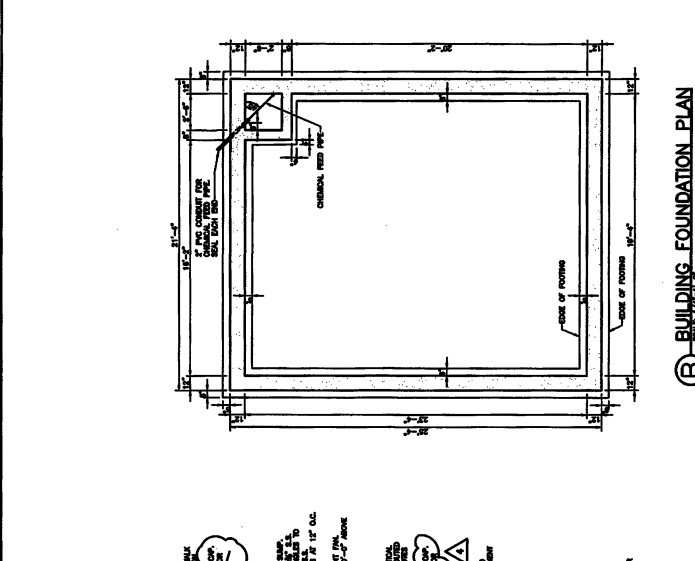
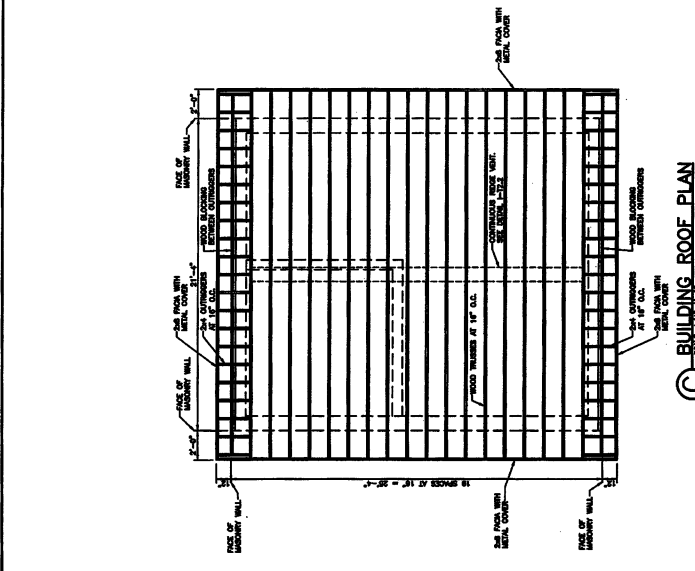


WETWELL VENT DETAIL



CONCRETE PIPE SUPPORT

PIPE SUPPORT DETAILS



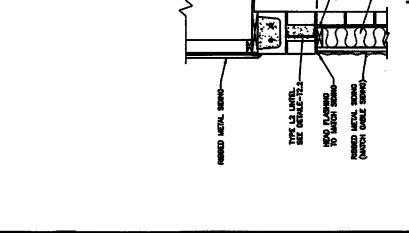
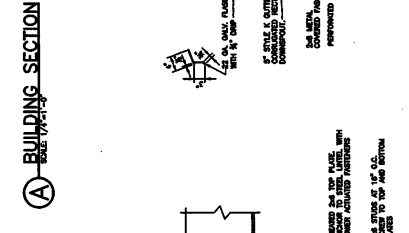
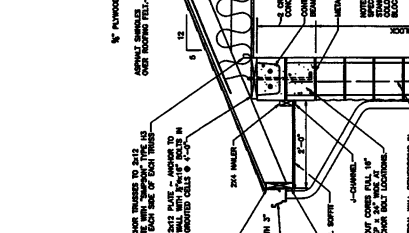
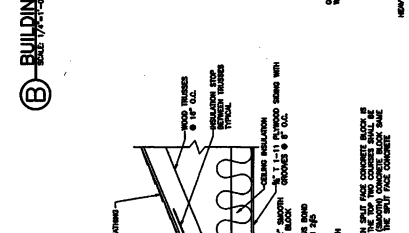
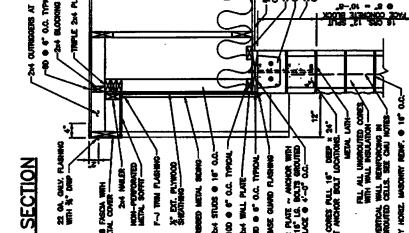
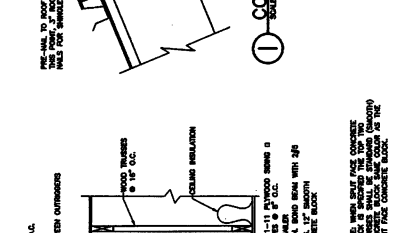
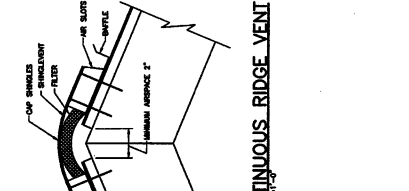
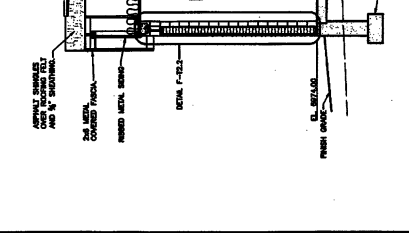
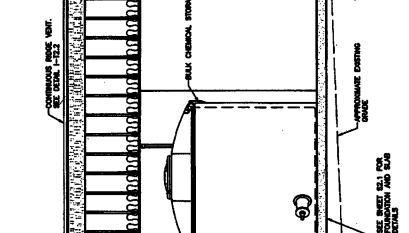
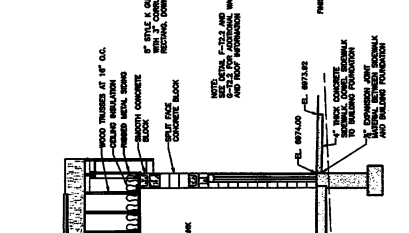
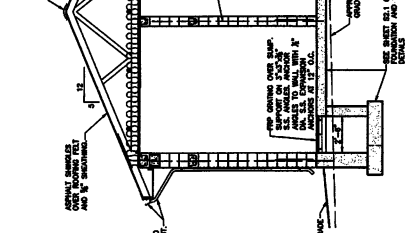
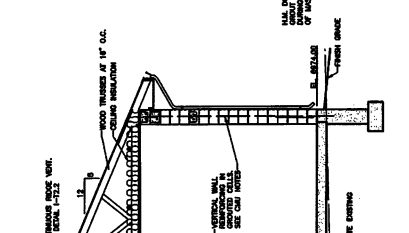
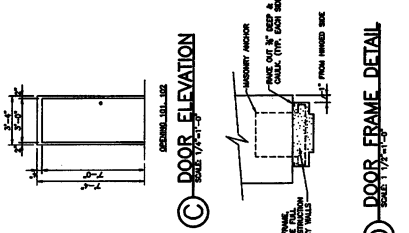
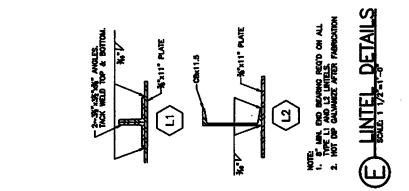
CHEMICAL AND ELECTRICAL BUILDING
SECTIONS AND DETAILS



DATE: 11/11/11
DRAWN BY: [Name]
CHECKED BY: [Name]
SHEET: T2.2

LAMP RYNEARSON & ASSOCIATES
1550 West Belmont Avenue, Suite 330
Cleveland, Ohio 44102
Tel: 216.771.1077
Fax: 216.771.1078

STERLING RANCH LIFT STATION & FORCE MAIN
METROPOLITAN DISTRICT NO. 1
CIVIL ENGINEER
DATE: 11/11/11
DRAWN BY: [Name]
CHECKED BY: [Name]
SHEET: T2.2



1. AS NOTED IN CELL AT EACH WALL CORNER, WALL OF CONTROL OR EXPANSION JOINTS, 1" DIA VERT BELOW ALL STEEL LATH OR BEAM BRACKETS PROVIDE DOWELS IN CONCRETE TO ADDITIONAL LATH.

2. AS NOTED IN CELL AT TOP OF WALL, PROVIDE 1" DIA HORIZ 2" DIA BOND BEAM AT TOP AND BOTTOM OF ALL OPENINGS UNLESS OTHERWISE NOTED AND EXTENDING PROMINENTLY ABOVE AND BELOW THE OPENING.

3. SHORE AND BRACE WALLS AS NECESSARY UNTIL ALL STRUCTURAL CONSTRUCTION IS COMPLETE.

4. CONTROL JOINTS: NOTED ON PLANS AS "CJ" OR OTHERWISE PLACE AT 10' MAX SPACING FROM END OF WALL. PROVIDE 1" DIA HORIZ CONTROL JOINTS FROM END OF RUBBER OR P.C. WITH SEALANT. DISCONTINUE HORIZONTAL REINFORCING EXCEPT AT FLOOR OR ROOF LEVELS.

5. CONSTRUCT IN ACCORDANCE WITH 702.330.1

1. UNLESS NOTED OTHERWISE, CONSTRUCT WITH 702.330.1

2. CONSTRUCT IN ACCORDANCE WITH 702.330.1

3. CONSTRUCT IN ACCORDANCE WITH 702.330.1

4. CONSTRUCT IN ACCORDANCE WITH 702.330.1

5. CONSTRUCT IN ACCORDANCE WITH 702.330.1

6. CONSTRUCT IN ACCORDANCE WITH 702.330.1

7. CONSTRUCT IN ACCORDANCE WITH 702.330.1

1. UNLESS NOTED OTHERWISE, CONSTRUCT WITH 702.330.1

2. CONSTRUCT IN ACCORDANCE WITH 702.330.1

3. CONSTRUCT IN ACCORDANCE WITH 702.330.1

4. CONSTRUCT IN ACCORDANCE WITH 702.330.1

5. CONSTRUCT IN ACCORDANCE WITH 702.330.1

6. CONSTRUCT IN ACCORDANCE WITH 702.330.1

7. CONSTRUCT IN ACCORDANCE WITH 702.330.1

1. UNLESS NOTED OTHERWISE, CONSTRUCT WITH 702.330.1

2. CONSTRUCT IN ACCORDANCE WITH 702.330.1

3. CONSTRUCT IN ACCORDANCE WITH 702.330.1

4. CONSTRUCT IN ACCORDANCE WITH 702.330.1

5. CONSTRUCT IN ACCORDANCE WITH 702.330.1

6. CONSTRUCT IN ACCORDANCE WITH 702.330.1

7. CONSTRUCT IN ACCORDANCE WITH 702.330.1

1. UNLESS NOTED OTHERWISE, CONSTRUCT WITH 702.330.1

2. CONSTRUCT IN ACCORDANCE WITH 702.330.1

3. CONSTRUCT IN ACCORDANCE WITH 702.330.1

4. CONSTRUCT IN ACCORDANCE WITH 702.330.1

5. CONSTRUCT IN ACCORDANCE WITH 702.330.1

6. CONSTRUCT IN ACCORDANCE WITH 702.330.1

7. CONSTRUCT IN ACCORDANCE WITH 702.330.1

1. UNLESS NOTED OTHERWISE, CONSTRUCT WITH 702.330.1

2. CONSTRUCT IN ACCORDANCE WITH 702.330.1

3. CONSTRUCT IN ACCORDANCE WITH 702.330.1

4. CONSTRUCT IN ACCORDANCE WITH 702.330.1

5. CONSTRUCT IN ACCORDANCE WITH 702.330.1

6. CONSTRUCT IN ACCORDANCE WITH 702.330.1

7. CONSTRUCT IN ACCORDANCE WITH 702.330.1

1. UNLESS NOTED OTHERWISE, CONSTRUCT WITH 702.330.1

2. CONSTRUCT IN ACCORDANCE WITH 702.330.1

3. CONSTRUCT IN ACCORDANCE WITH 702.330.1

4. CONSTRUCT IN ACCORDANCE WITH 702.330.1

5. CONSTRUCT IN ACCORDANCE WITH 702.330.1

6. CONSTRUCT IN ACCORDANCE WITH 702.330.1

7. CONSTRUCT IN ACCORDANCE WITH 702.330.1

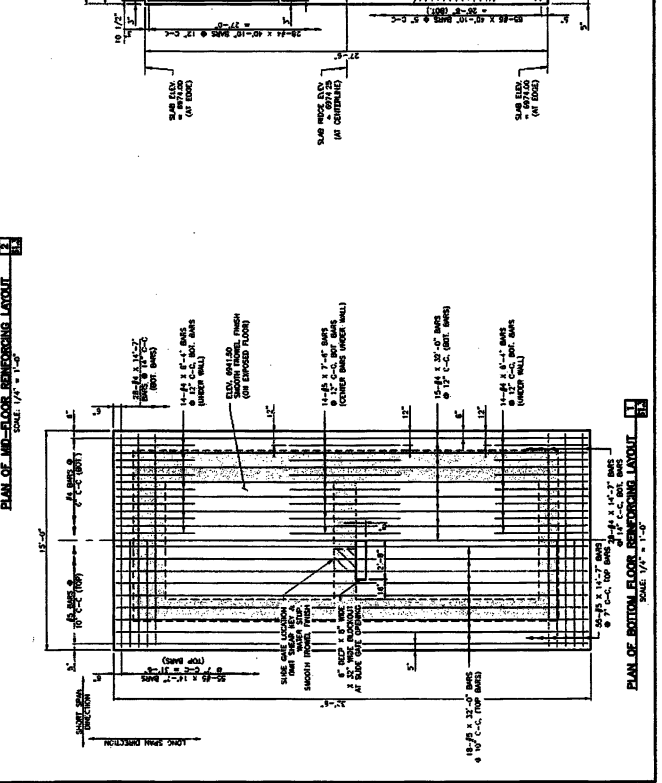
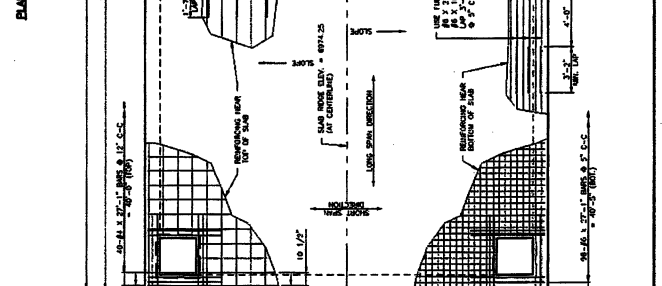
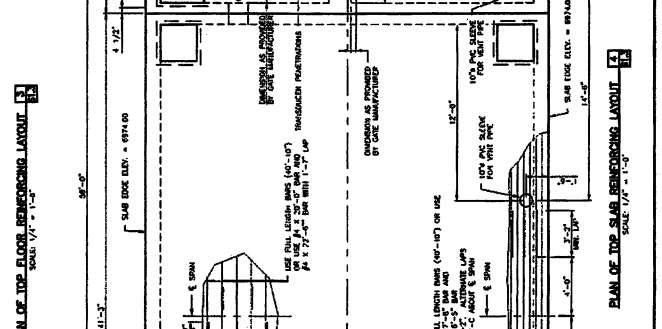
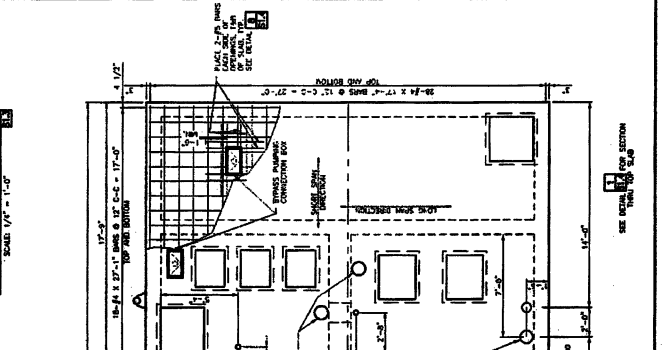
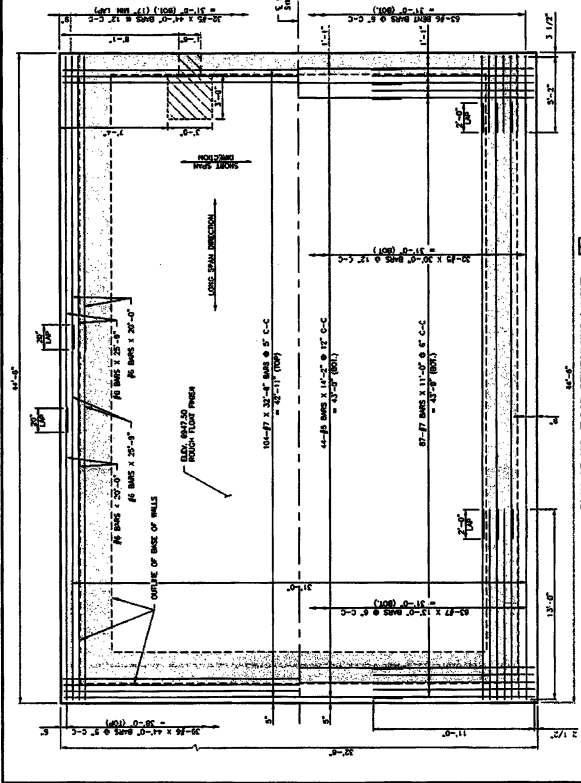
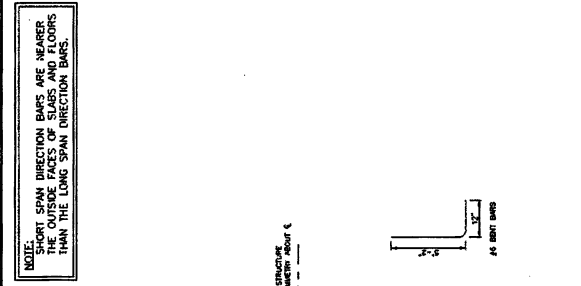
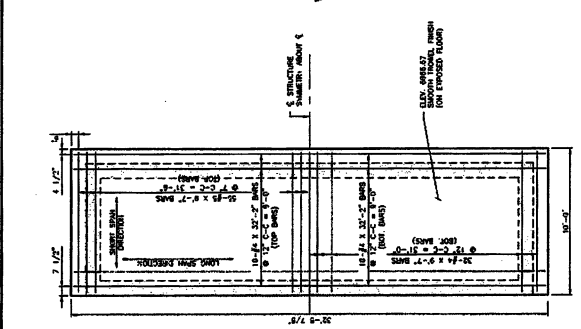
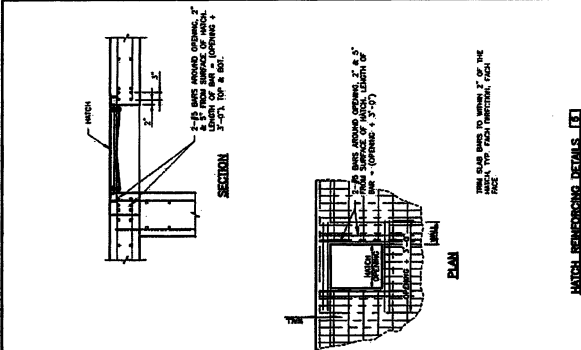
DATE	10/11/17
BY	AM
CHECKED BY	AM
SCALE	AS SHOWN
PROJECT	STERLING RANCH METROPOLITAN DISTRICT NO. 1
SHEET	FLOOR & SLAB REINFORCING

LAMP RYNEARSON & ASSOCIATES
 12500 West Grand Avenue, Suite 300
 Greenwood, Colorado 80228
 (303) 471-0077
 FAX (303) 471-0078

LIFT STATION
FLOOR & SLAB REINFORCING

UNIVERSITY MICROFILMS
 SERIALS ACQUISITION
 300 N. ZEEB RD.
 ANN ARBOR, MI 48106
 (734) 763-0700

SHEET **S13**



NOTE: SHORT SPAN REINFORCING BARS ARE PLACED ON THE OUTSIDE PAGES OF SLABS AND FLOORS, EXCEPT WHERE SHOWN OTHERWISE. LONG SPAN REINFORCING BARS ARE PLACED ON THE INSIDE PAGES OF SLABS AND FLOORS, EXCEPT WHERE SHOWN OTHERWISE.



LIFT STATION
POWER RISER AND SCHEDULES

LAMP RYNEARSON & ASSOCIATES
1525 West Bayview Avenue, Suite 300
Oak Brook, Illinois 60171
Tel: 708.571.0077
Fax: 708.571.0077

STERLING RANCH METROPOLITAN DISTRICT NO. 1
LIFT STATION
RMT 1, SADDLE CREEK VALLEY, ILLINOIS
LAMP RYNEARSON & ASSOCIATES
1525 West Bayview Avenue, Suite 300
Oak Brook, Illinois 60171
Tel: 708.571.0077
Fax: 708.571.0077



LOAD TYPE

LOAD TYPE	CONNECTION	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z	TOTAL
1. GENERAL ILLUMINATION																												
2. SIGNAGE																												
3. POWER																												
4. HEATING																												
5. AIR CONDITIONING																												
6. ELEVATORS																												
7. ESCALATORS																												
8. REFRIGERATION																												
9. SPECIAL USE																												
10. OTHER																												
TOTAL																												

LOAD TYPE

LOAD TYPE	CONNECTION	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z	TOTAL
1. GENERAL ILLUMINATION																												
2. SIGNAGE																												
3. POWER																												
4. HEATING																												
5. AIR CONDITIONING																												
6. ELEVATORS																												
7. ESCALATORS																												
8. REFRIGERATION																												
9. SPECIAL USE																												
10. OTHER																												
TOTAL																												

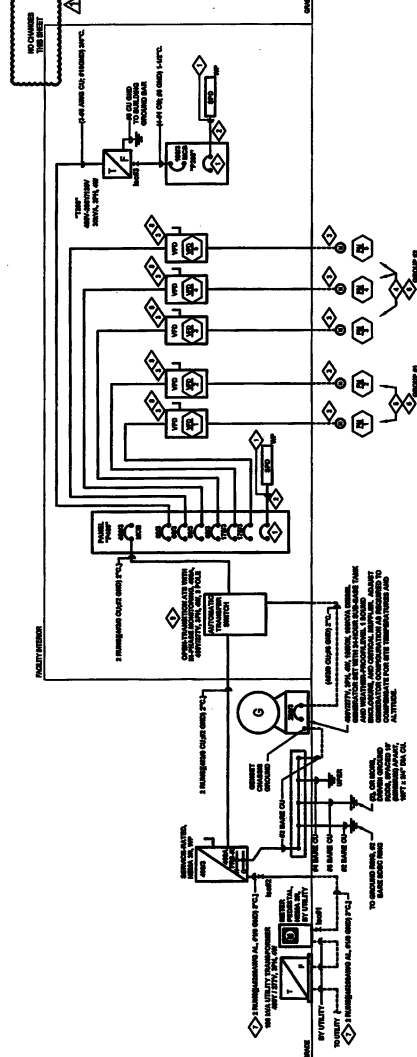
METROLOGICAL CABLE SCHEDULE

NO.	DESCRIPTION	TYPE	SIZE	LENGTH	WEIGHT	RESISTANCE	INDUCTIVE REACTANCE	CAPACITIVE REACTANCE
1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40
41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57
58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75
76
77
78
79
80
81
82
83
84
85
86
87
88
89
90
91
92
93
94
95
96
97
98
99
100

DETAIL NOTES

1. THESE NOTES ARE TO BE READ IN CONJUNCTION WITH THE ELECTRICAL SPECIFICATIONS AND THE CONTRACT DOCUMENTS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

POWER RISER DIAGRAM



3PH FAULT CALCULATION

NO.	DESCRIPTION	TYPE	SIZE	LENGTH	WEIGHT	RESISTANCE	INDUCTIVE REACTANCE	CAPACITIVE REACTANCE
1
2
3
4
5
6
7
8
9
10
11
12
13
14						

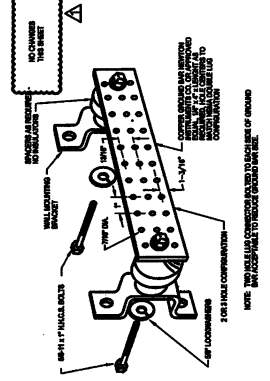
DATE	10/12/2017
PROJECT	STERLING RANCH METROPOLITAN DISTRICT NO. 1
CLIENT	LAMP RYNEARSON & ASSOCIATES
SCALE	AS SHOWN
DESIGNER	RYAN T. GAMMERY, VAULT, 10025719
CHECKER	RYAN T. GAMMERY, VAULT, 10025719
DATE	10/12/2017
PROJECT	STERLING RANCH METROPOLITAN DISTRICT NO. 1
CLIENT	LAMP RYNEARSON & ASSOCIATES
SCALE	AS SHOWN
DESIGNER	RYAN T. GAMMERY, VAULT, 10025719
CHECKER	RYAN T. GAMMERY, VAULT, 10025719

LAMP RYNEARSON & ASSOCIATES
 12000 West 89th Avenue, Suite 200, Greenwood Village, CO 80120
 (303) 751-0000
 LRA@lra.com | www.lra.com

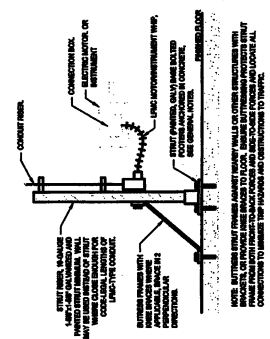
LIFT STATION
 ELECTRICAL DETAILS



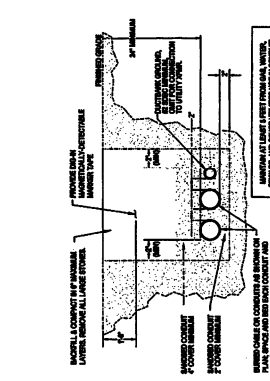
PROJECT: STERLING RANCH METROPOLITAN DISTRICT NO. 1
 SHEET: E3.1



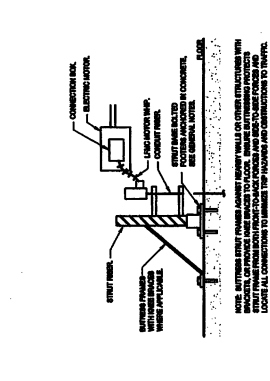
GROUND BAR DETAIL
 NOT TO SCALE



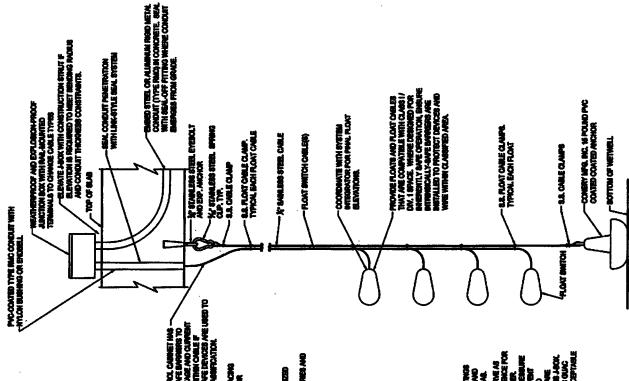
MOTOR & INSTRUMENT CONNECTION
 DIAGRAM - OVERHEAD
 NOT TO SCALE



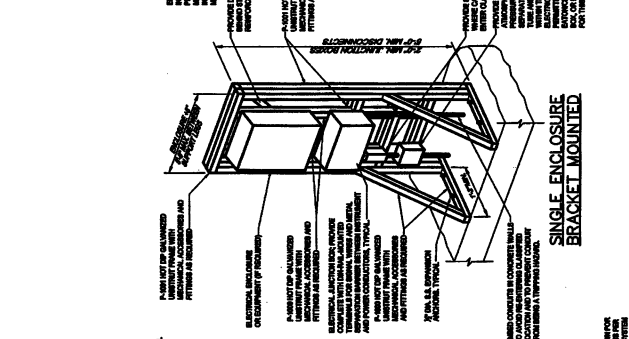
CONDUIT TRENCHING DETAIL
 NOT TO SCALE



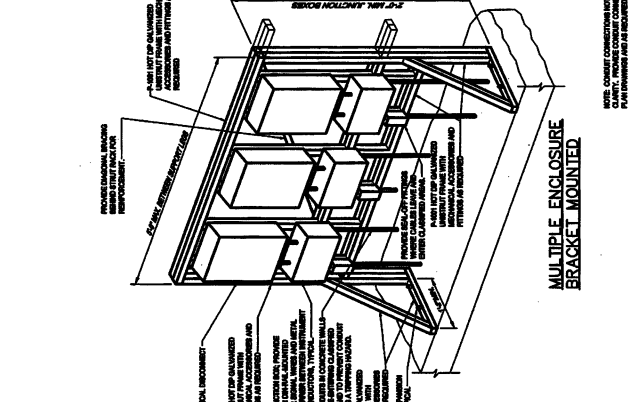
MOTOR & INSTRUMENT CONNECTION
 DIAGRAM - UNDER-SLAB
 NOT TO SCALE



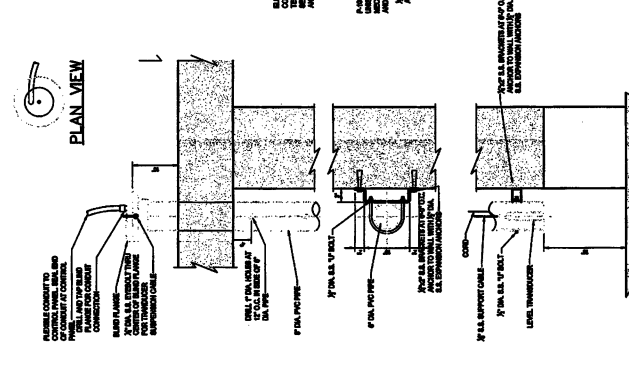
ELECTRICAL ENCLOSURE BRACKET MOUNTED
 NOT TO SCALE



SINGLE ENCLOSURE BRACKET MOUNTED
 NOT TO SCALE



MULTIPLE ENCLOSURE BRACKET MOUNTED
 NOT TO SCALE



ELEVATION TRANSDUCER DETAIL
 NOT TO SCALE

COREY
 ELECTRICAL ENGINEERING
 1500 S. W. 10th St., Suite 100
 Fort Lauderdale, FL 33304
 (954) 575-1111
 www.coreyee.com

PROJECT: STERLING RANCH METROPOLITAN DISTRICT NO. 1
 SHEET: E3.1

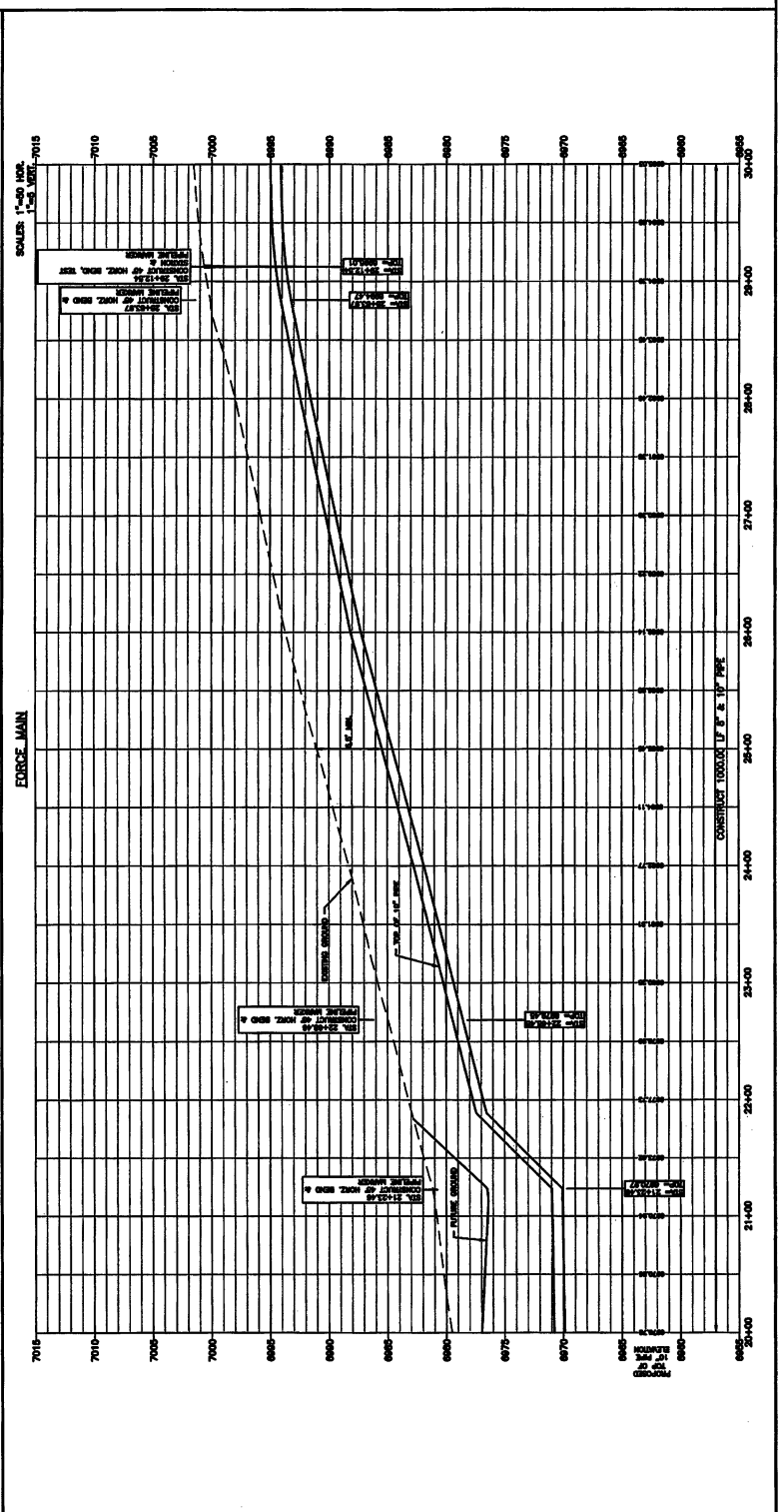
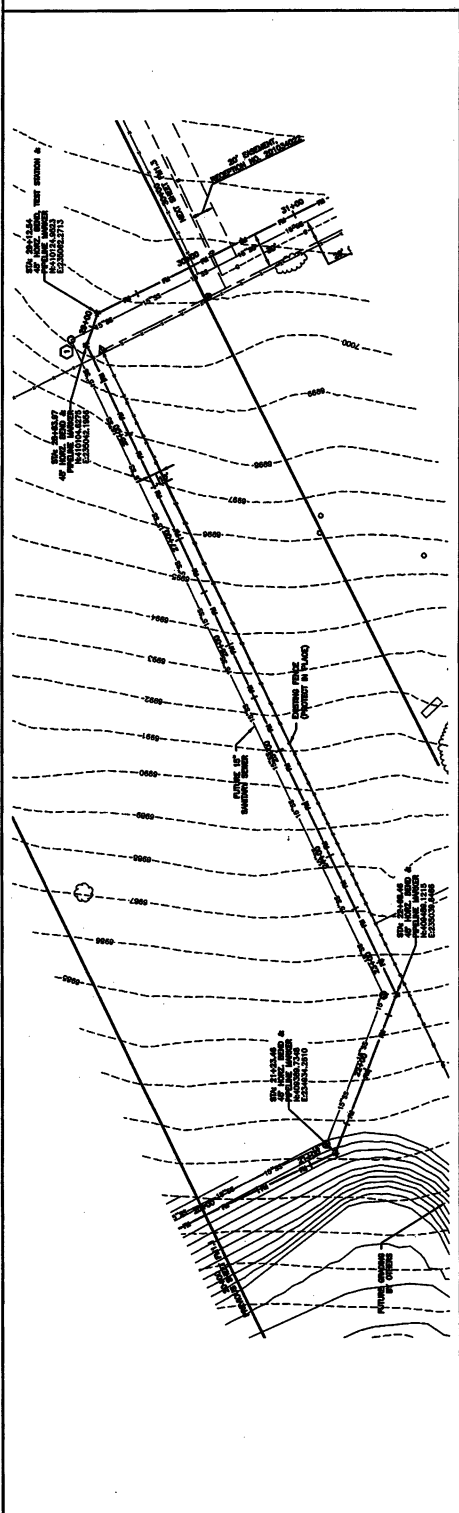


FORCE MAIN PLAN & PROFILE
STA. 20+00 TO STA. 30+00

STERLING RANCH LIFT STATION AND FORCE MAIN
DISTRICT NO. 1

LAMP RYNEARSON & ASSOCIATES
1299 West Dryden Avenue, Suite 300
Lakewood, Colorado 80228
303.971.0077
LRA@lra.com | www.lra.com

- NOTES:**
- SEE SHEET ONE FOR GENERAL NOTES.
 - STATIONING IS BASED ON THE CENTERLINE OF THE FORCE MAIN.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.





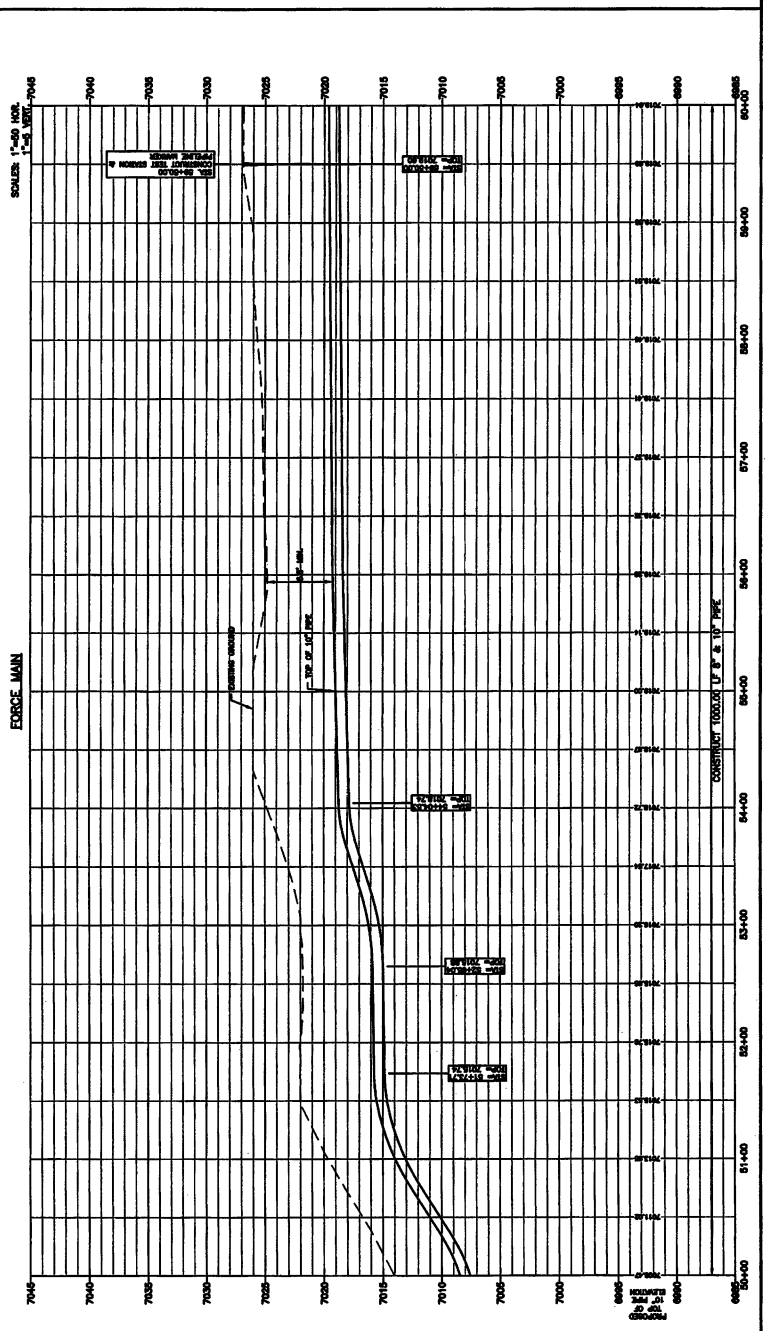
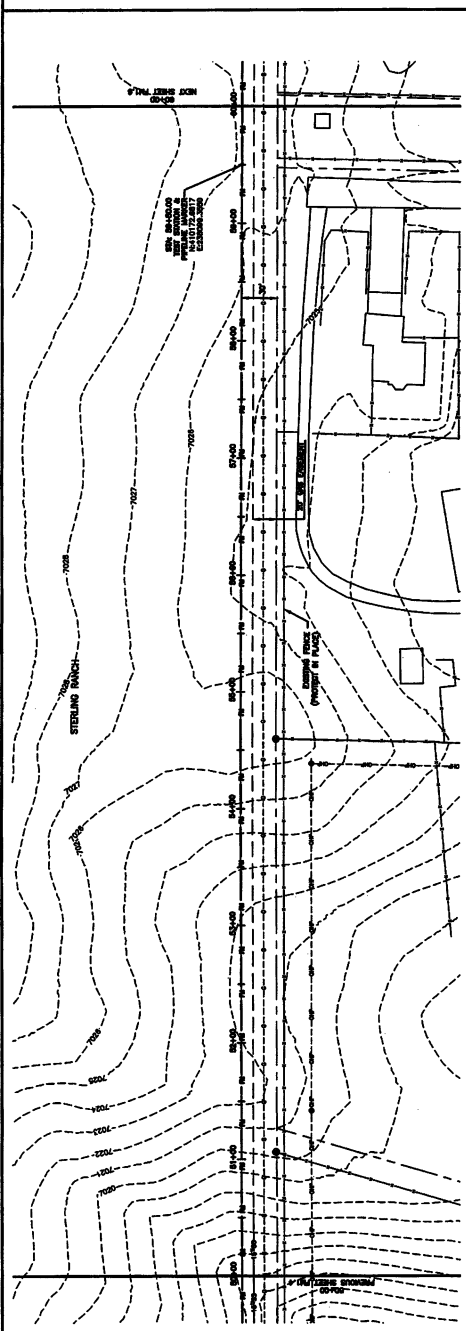
LAMP RYNEARSON & ASSOCIATES

FORCE MAIN PLAN & PROFILE
STA. 50+00 TO STA. 60+00

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

15588 West Beyond Avenue, Suite 200
Lafayette, Colorado 80228
303.871.0077
LAMP RYNEARSON & ASSOCIATES
LRA-INC.COM / LRA@LRA.COM

- NOTES:**
1. SEE SHEET FOR GENERAL NOTES.
 2. ELEVATIONS ARE BASED ON THE CONTROLLING DATUM OF THE 3' AND 30' FORCE MAIN.
 3. FOR THE PROPOSED FORCE MAIN, THE PROPOSED FORCE MAIN SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE FORCE MAIN.
 4. THE PROPOSED FORCE MAIN SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE FORCE MAIN.
 5. THE PROPOSED FORCE MAIN SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE FORCE MAIN.
 6. THE PROPOSED FORCE MAIN SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE FORCE MAIN.
 7. THE PROPOSED FORCE MAIN SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE FORCE MAIN.
 8. THE PROPOSED FORCE MAIN SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE FORCE MAIN.
 9. THE PROPOSED FORCE MAIN SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE FORCE MAIN.
 10. THE PROPOSED FORCE MAIN SHALL BE CONSTRUCTED TO THE CENTERLINE OF THE FORCE MAIN.





QUALITY ASSURANCE
SHEET
DATE
NO.

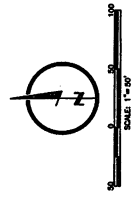
FM1.6

FORCE MAIN PLAN & PROFILE
STA. 60+00 TO STA. 70+00

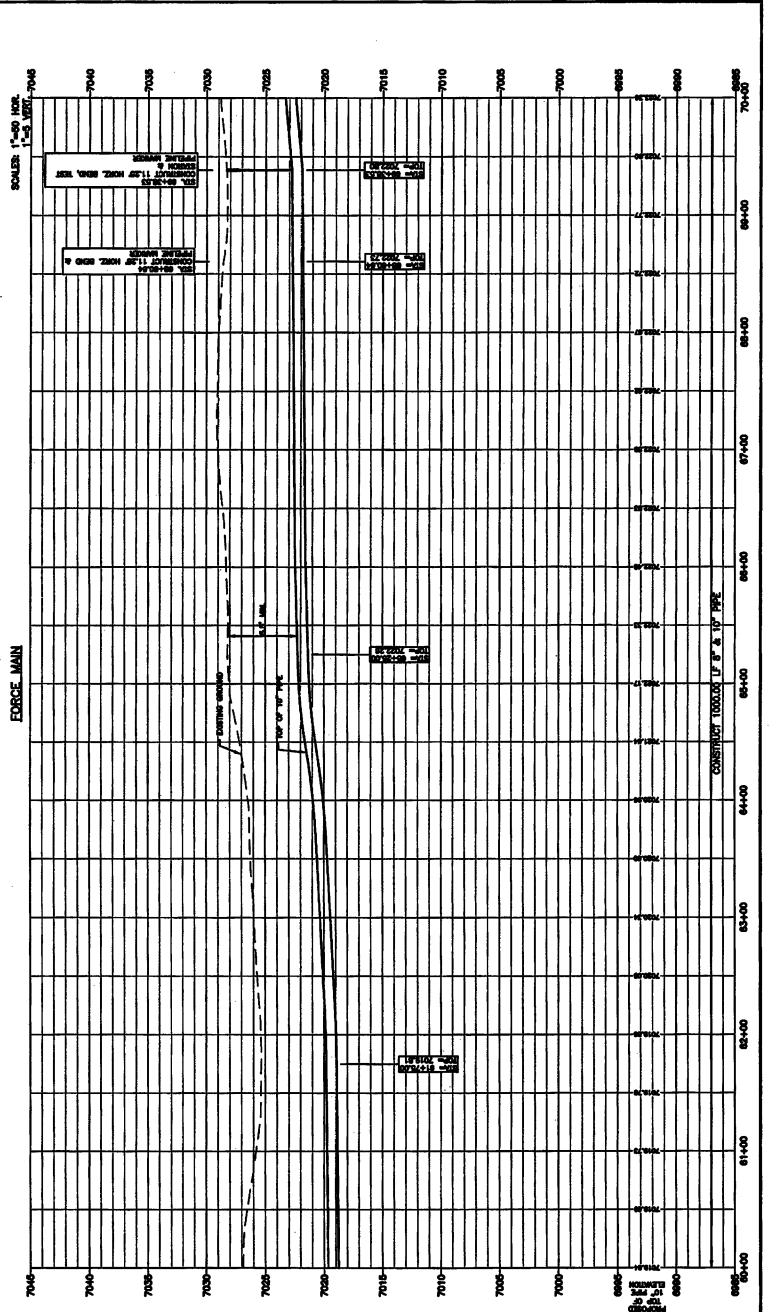
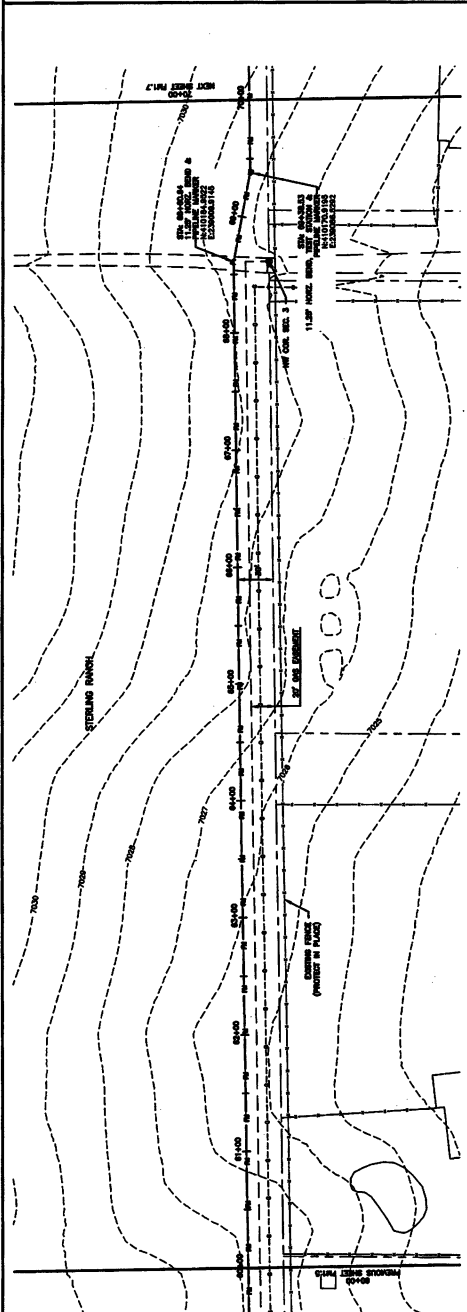
STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

LAMP RYNEARSON & ASSOCIATES
12808 West Beyond Avenue, Suite 300, 800.971.0000
Lamp@lra.com | lra.com

DATE: 05/11/2011
JOB NUMBER: 00000000
SHEET NO: 01/0011
SHEET TITLE: FORCE MAIN PLAN & PROFILE



- NOTES:**
- SEE SHEET FOR OTHER NOTES.
 - CONSTRUCTION IS BASED ON THE CENTERLINE OF THE FORCE MAIN.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND ADJUST THE FORCE MAIN LOCATION AS NECESSARY.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND ADJUST THE FORCE MAIN LOCATION AS NECESSARY.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND ADJUST THE FORCE MAIN LOCATION AS NECESSARY.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND ADJUST THE FORCE MAIN LOCATION AS NECESSARY.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND ADJUST THE FORCE MAIN LOCATION AS NECESSARY.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND ADJUST THE FORCE MAIN LOCATION AS NECESSARY.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND ADJUST THE FORCE MAIN LOCATION AS NECESSARY.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND ADJUST THE FORCE MAIN LOCATION AS NECESSARY.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND ADJUST THE FORCE MAIN LOCATION AS NECESSARY.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND ADJUST THE FORCE MAIN LOCATION AS NECESSARY.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND ADJUST THE FORCE MAIN LOCATION AS NECESSARY.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND ADJUST THE FORCE MAIN LOCATION AS NECESSARY.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND ADJUST THE FORCE MAIN LOCATION AS NECESSARY.





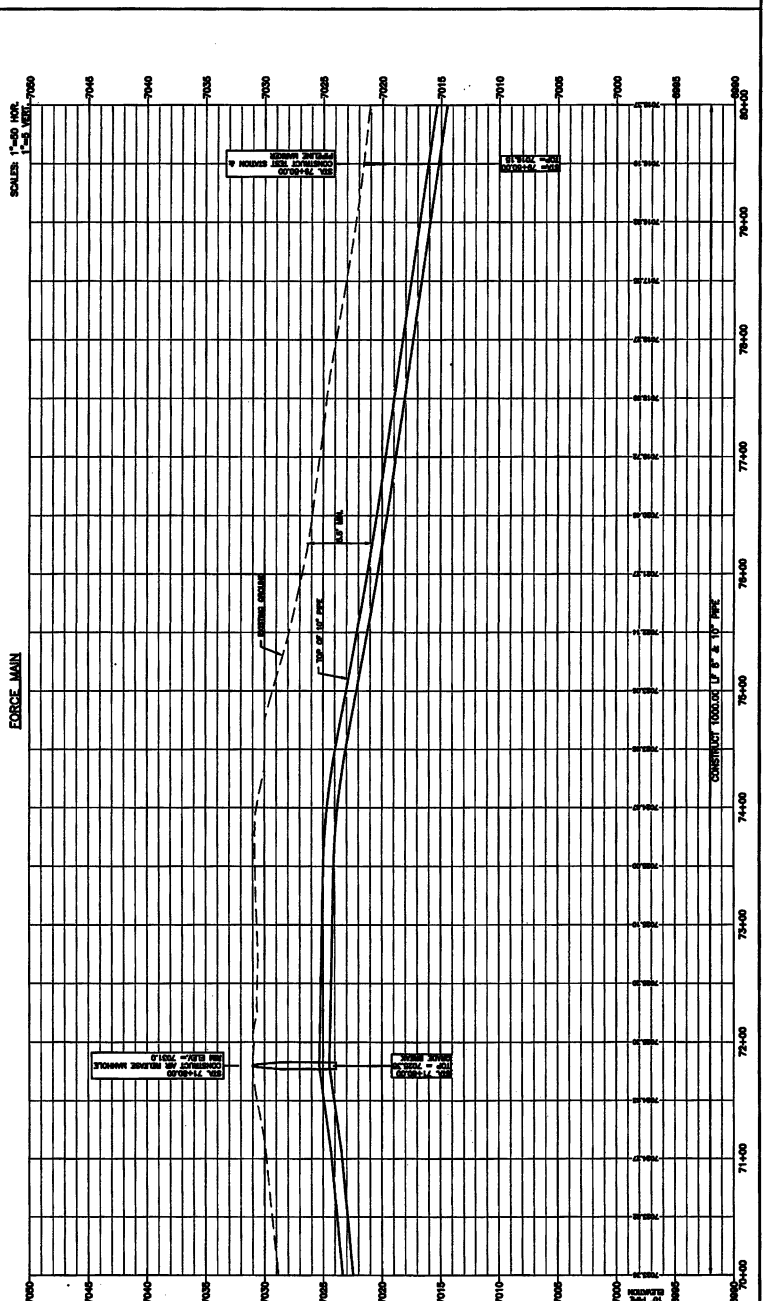
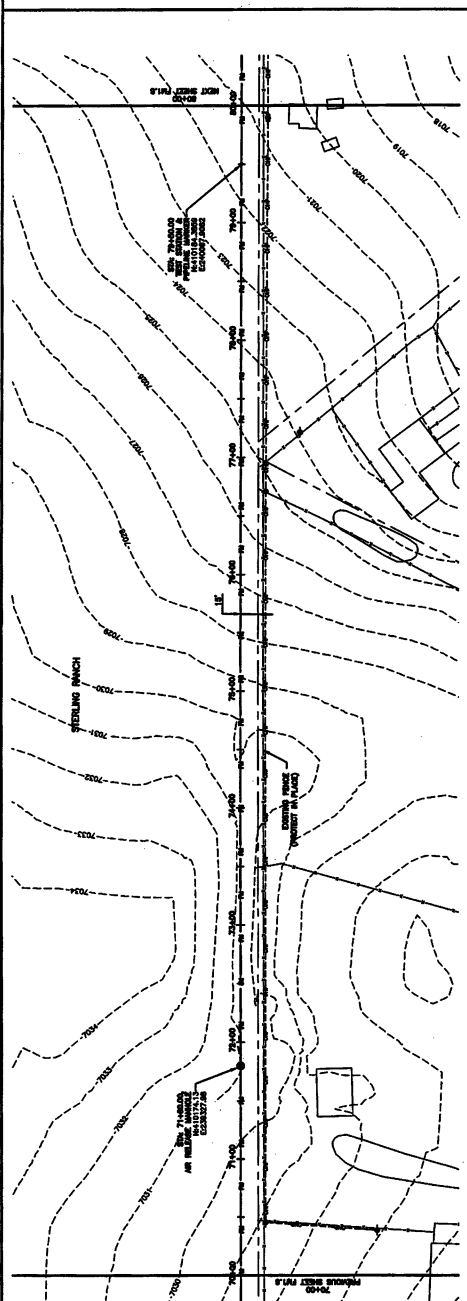
PROJECT NO. 2012
DATE
SHEET
FM1.7

FORCE MAIN PLAN & PROFILE
STA. 70+00 TO STA. 80+00

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

LAMP RYNEARSON & ASSOCIATES
12508 West Beyond Avenue, Suite 200
Littleton, Colorado 80120
303.971.0077
LRA-HQ@comcast.net

- NOTES:**
- SEE SHEET 012 FOR GENERAL NOTES.
 - STATIONING IS BASED ON THE CENTERLINE OF THE FORCE MAIN.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS AND UTILITIES.
 - CONTRACTOR SHALL PROVIDE A MINIMUM 12" COVER OVER ALL EXPOSED FORCE MAIN.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES.



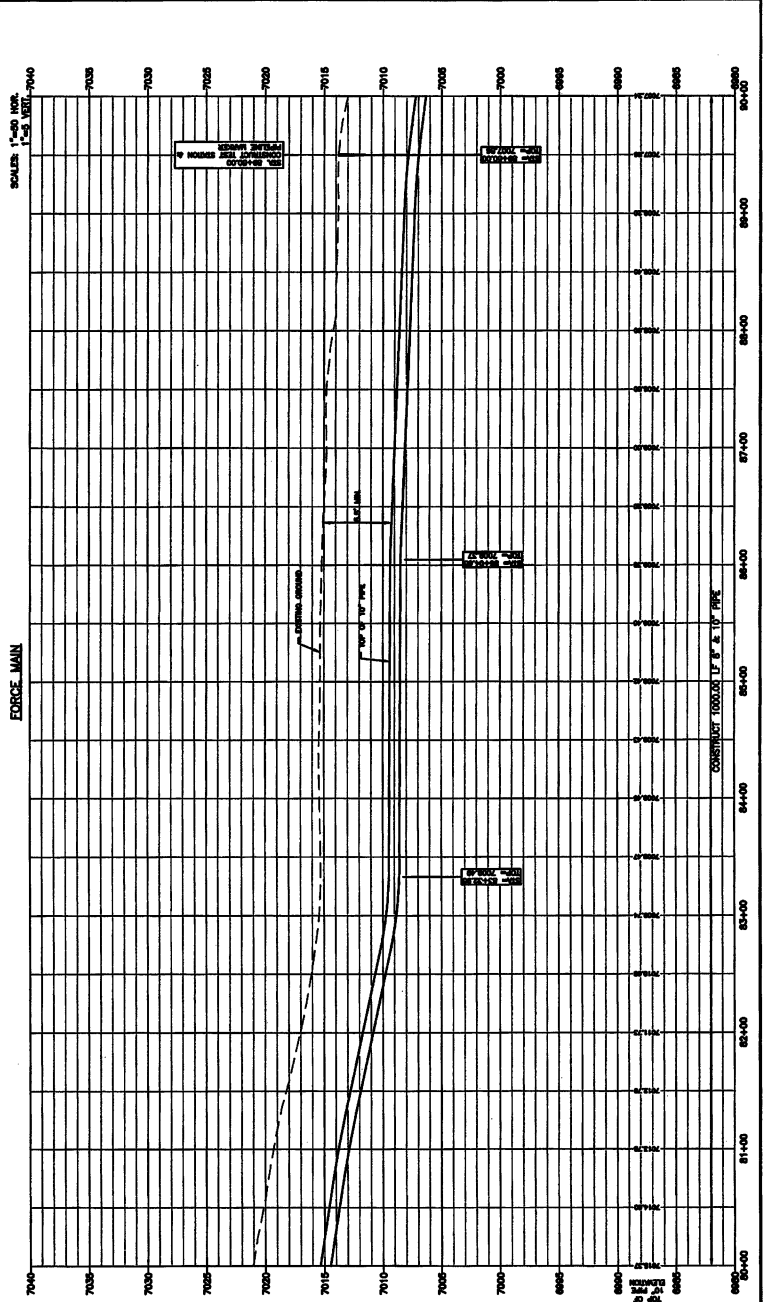
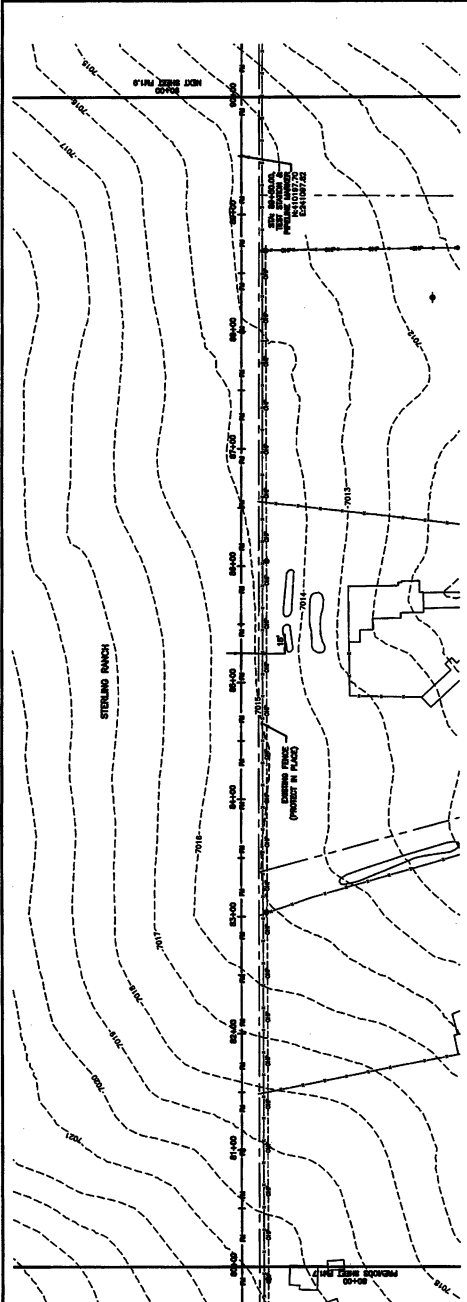


FORCE MAIN PLAN & PROFILE
STA. 80+00 TO STA. 90+00

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

LAMP RYNEARSON & ASSOCIATES
12506 West Dryland Avenue, Suite 300
Lakewood, Colorado 80228
303.971.0077
LRA@lra.com / lra@ryne.com

- NOTES:**
- SEE SHEET 00.1 FOR GENERAL NOTES.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR THE CONSTRUCTION OF FORCE MAINS AND LIFT STATIONS.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR THE CONSTRUCTION OF FORCE MAINS AND LIFT STATIONS.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR THE CONSTRUCTION OF FORCE MAINS AND LIFT STATIONS.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR THE CONSTRUCTION OF FORCE MAINS AND LIFT STATIONS.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR THE CONSTRUCTION OF FORCE MAINS AND LIFT STATIONS.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR THE CONSTRUCTION OF FORCE MAINS AND LIFT STATIONS.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR THE CONSTRUCTION OF FORCE MAINS AND LIFT STATIONS.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR THE CONSTRUCTION OF FORCE MAINS AND LIFT STATIONS.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR THE CONSTRUCTION OF FORCE MAINS AND LIFT STATIONS.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR THE CONSTRUCTION OF FORCE MAINS AND LIFT STATIONS.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR THE CONSTRUCTION OF FORCE MAINS AND LIFT STATIONS.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR THE CONSTRUCTION OF FORCE MAINS AND LIFT STATIONS.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR THE CONSTRUCTION OF FORCE MAINS AND LIFT STATIONS.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR THE CONSTRUCTION OF FORCE MAINS AND LIFT STATIONS.





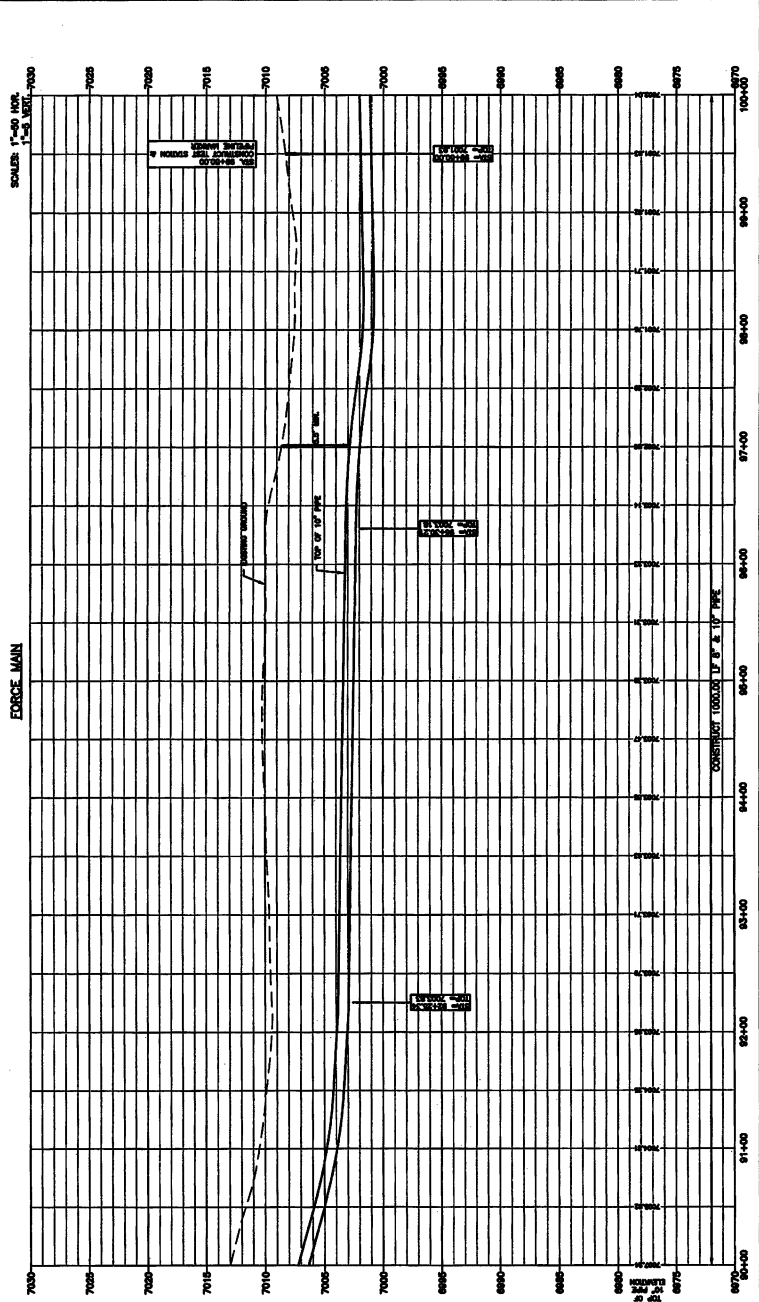
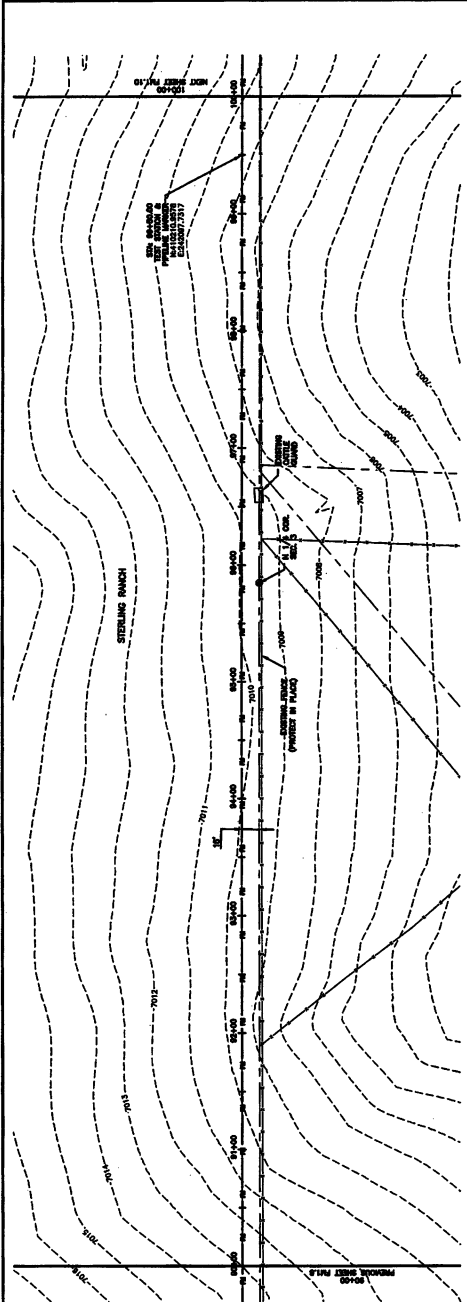
PROJECT NO. 100-00
SHEET NO. 9
DATE

FORCE MAIN PLAN & PROFILE
STA. 90+00 TO STA. 100+00

LAMP RYNEARSON & ASSOCIATES
12908 West Dryland Avenue, Suite 200
Littleton, Colorado 80120
Tel: 303.977.1077
Fax: 303.977.1078
www.lamp-ryne.com / ryne@lamp-ryne.com

DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
PROJECT NO.	DATE
SHEET NO.	DATE
TITLE	DATE
SCALE	DATE
DATE	DATE
PROJECT NO.	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
PROJECT NO.	DATE
SHEET NO.	DATE
TITLE	DATE
SCALE	DATE
DATE	DATE

- NOTES:**
- SEE SHEET 002 FOR GENERAL NOTES.
 - STATIONING IS BASED ON THE CENTERLINE BETWEEN THE 2' AND 10' FORCE MAINS.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND ORDINANCES.
 - CONTRACTOR SHALL PROVIDE A MINIMUM 12" COVER OVER ALL FORCE MAINS.
 - CONTRACTOR SHALL PROVIDE A MINIMUM 12" COVER OVER ALL FORCE MAINS.
 - CONTRACTOR SHALL PROVIDE A MINIMUM 12" COVER OVER ALL FORCE MAINS.
 - CONTRACTOR SHALL PROVIDE A MINIMUM 12" COVER OVER ALL FORCE MAINS.
 - CONTRACTOR SHALL PROVIDE A MINIMUM 12" COVER OVER ALL FORCE MAINS.
 - CONTRACTOR SHALL PROVIDE A MINIMUM 12" COVER OVER ALL FORCE MAINS.
 - CONTRACTOR SHALL PROVIDE A MINIMUM 12" COVER OVER ALL FORCE MAINS.
 - CONTRACTOR SHALL PROVIDE A MINIMUM 12" COVER OVER ALL FORCE MAINS.
 - CONTRACTOR SHALL PROVIDE A MINIMUM 12" COVER OVER ALL FORCE MAINS.
 - CONTRACTOR SHALL PROVIDE A MINIMUM 12" COVER OVER ALL FORCE MAINS.
 - CONTRACTOR SHALL PROVIDE A MINIMUM 12" COVER OVER ALL FORCE MAINS.
 - CONTRACTOR SHALL PROVIDE A MINIMUM 12" COVER OVER ALL FORCE MAINS.
 - CONTRACTOR SHALL PROVIDE A MINIMUM 12" COVER OVER ALL FORCE MAINS.





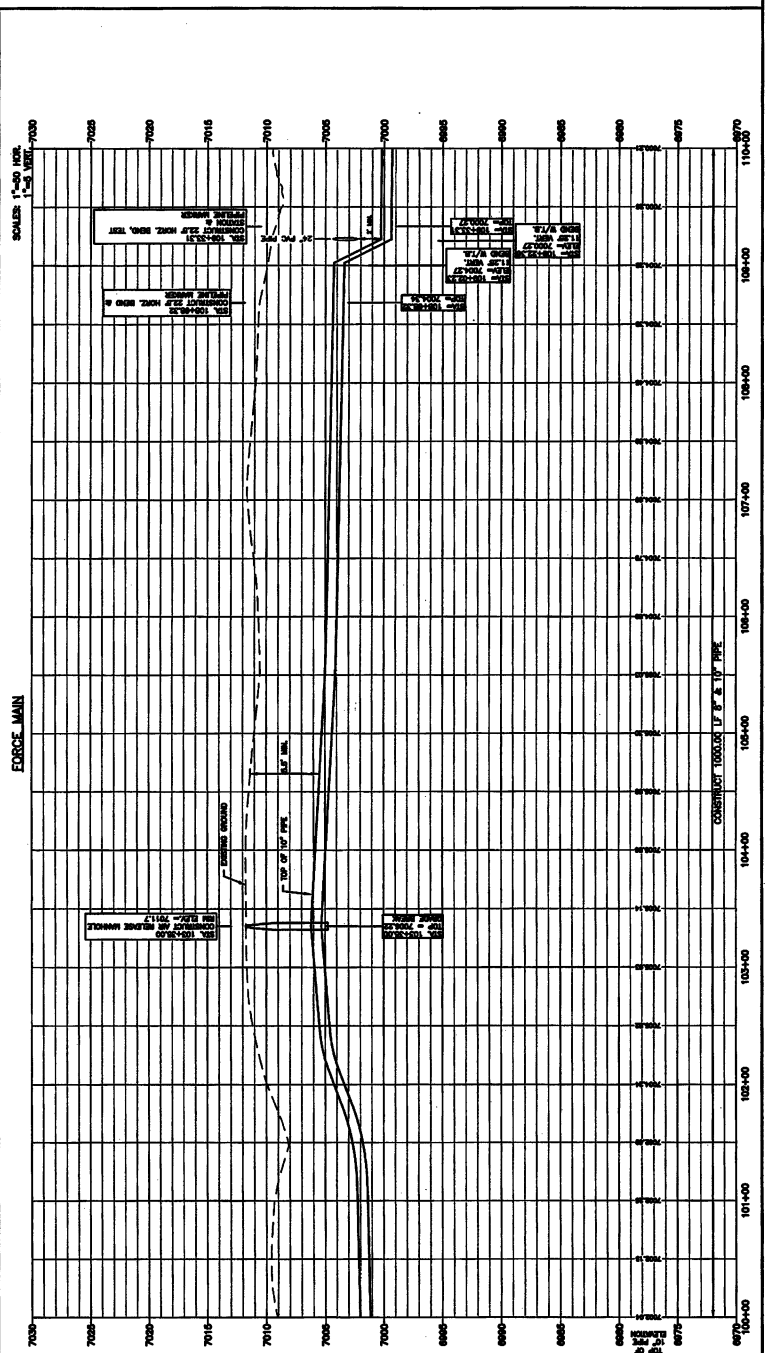
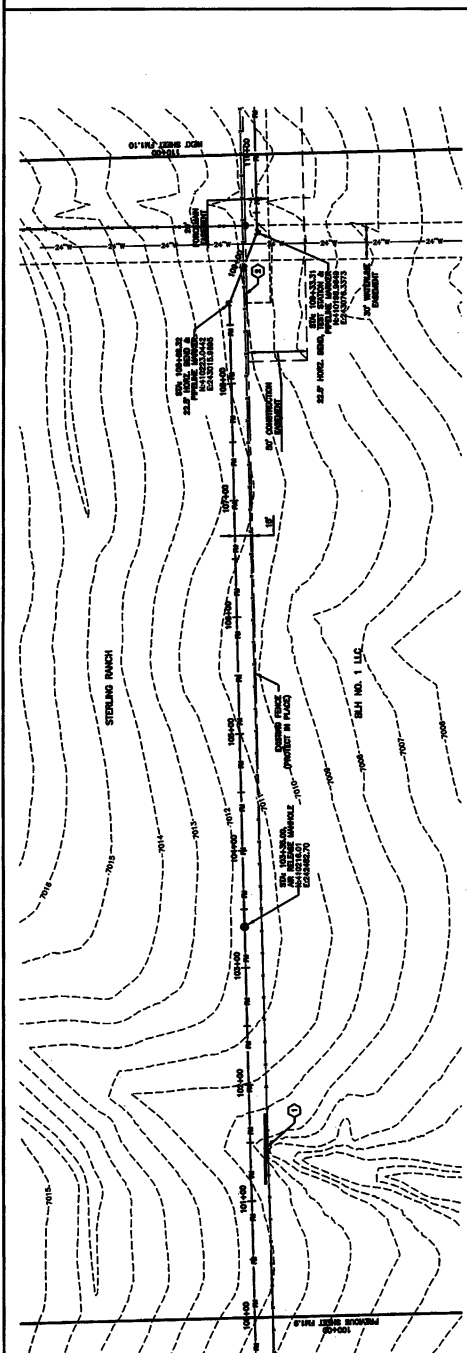
FORCE MAIN PLAN & PROFILE
STA. 100+00 TO STA. 110+00

LAMP RYNEARSON & ASSOCIATES
15556 West Beyond Avenue, Suite 300
Littleton, Colorado 80120
303.871.0077

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

DATE	08/24/2017
BY	JLB
CHECKED BY	JLB
SCALE	AS SHOWN
PROJECT NO.	15556
CLIENT	STERLING RANCH METROPOLITAN DISTRICT NO. 1

- NOTES:**
- SEE SHEET 0.2 FOR GENERAL NOTES.
 - STATIONS ARE SHOWN ON THE CENTERLINE BETWEEN THE P AND UP FORCE MAINS.
 - FOR ALL INFORMATION AND DETAILS OF ALL UNDERGROUND AND SURFACE UTILITIES, REFER TO THE CONSTRUCTION AND UTILITY RECORD DRAWINGS.
 - THE PROPOSED FORCE MAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR FORCE MAINS, AS SET FORTH IN THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, LATEST EDITION, AND THE SPECIFICATIONS FOR CONSTRUCTION OF SEWERAGE AND SANITATION SYSTEMS, LATEST EDITION, BOTH PUBLISHED BY THE COLORADO DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION.
 - CONTRACTOR SHALL PROVIDE A MINIMUM 12" OF COVER OVER ALL UTILITIES EXPOSED BY CONSTRUCTION.
 - CONTRACTOR SHALL PLACE BENTONITE CONTROL JOINTS AT ALL POINTS WHERE THE FORCE MAIN CHANGES SIZE OR MATERIAL.
 - CONTRACTOR SHALL PLACE A SMALL 4" DIAMETER CLEANOUT AT EACH BENTONITE CONTROL JOINT AND AT EACH CHANGE IN SIZE OR MATERIAL.
 - CONTRACTOR SHALL PROVIDE ALL JOINTS WITH AN APPROPRIATE JOINT SEALING SYSTEM.
 - CONTRACTOR SHALL PROVIDE ALL JOINTS WITH AN APPROPRIATE JOINT SEALING SYSTEM.
 - CONTRACTOR SHALL PROVIDE ALL JOINTS WITH AN APPROPRIATE JOINT SEALING SYSTEM.



SCALE: 1"=20' HORIZ.
SCALE: 1"=10' VERT.



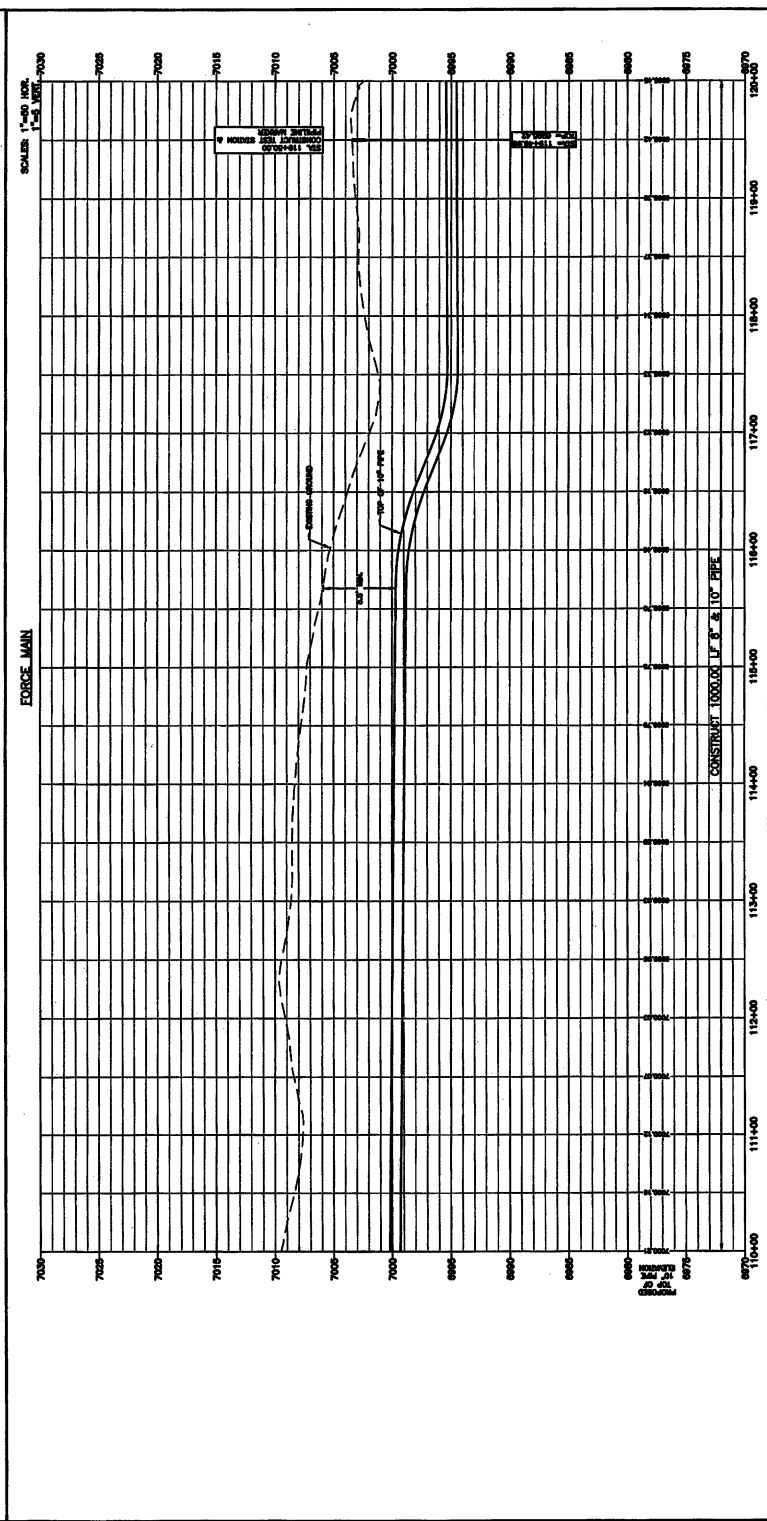
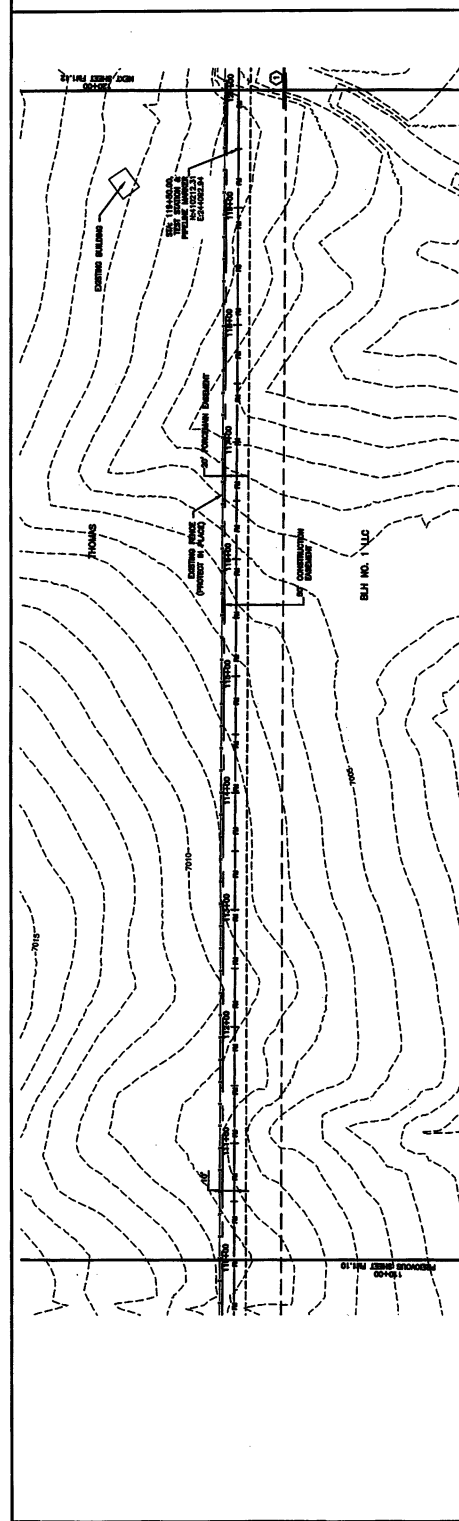
DATE: 08/11/11
 SHEET: FM1.11
 PROJECT: STERLING RANCH LIFT STATION AND FORCE MAIN

FORCE MAIN PLAN & PROFILE
 STA. 110+00 TO STA. 120+00

LAMP RYNEARSON & ASSOCIATES
 1299 West Bayland Avenue, Suite 300
 Lakewood, Colorado 80228
 (303) 971-0077
 FAX: (303) 971-0078
 WWW.LAMP-RYNEARSON.COM

DESIGNED BY	DATE
CHECKED BY	DATE
IN CHARGE	DATE
PROJECT NO.	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE

- NOTES:**
- SEE SHEET FM1 FOR GENERAL NOTES.
 - STATIONING IS BASED ON THE CENTERLINE OF THE FORCE MAIN.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR THE INSTALLATION AND CONSTRUCTION OF FORCE MAINS.
 - THE POSITIONING IS AND VERTICAL LOCATION OF THE FORCE MAIN SHALL BE AS SHOWN ON THIS PLAN AND PROFILE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENVER AND THE COLORADO DEPARTMENT OF TRANSPORTATION AND CONSTRUCTION.
 - CONTRACTOR SHALL PROVIDE A MINIMUM 1' OF CLEARANCE FROM ALL UTILITIES AND STRUCTURES.
 - CONTRACTOR SHALL PLACE AND MAINTAIN ALL NECESSARY CONSTRUCTION SIGNS AND BARRIERS THROUGHOUT THE PROJECT AREA.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THIS PLAN AND PROFILE.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THIS PLAN AND PROFILE.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THIS PLAN AND PROFILE.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THIS PLAN AND PROFILE.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THIS PLAN AND PROFILE.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THIS PLAN AND PROFILE.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THIS PLAN AND PROFILE.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THIS PLAN AND PROFILE.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THIS PLAN AND PROFILE.



- REMARKS:**
- SCHEMATIC CONTROL LOG FOR DETAIL SHEET FM1.1

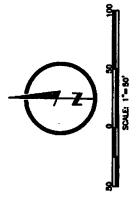


STERLING RANCH METROPOLITAN DISTRICT NO. 1
 SHEET NO. 14
 FM1.14

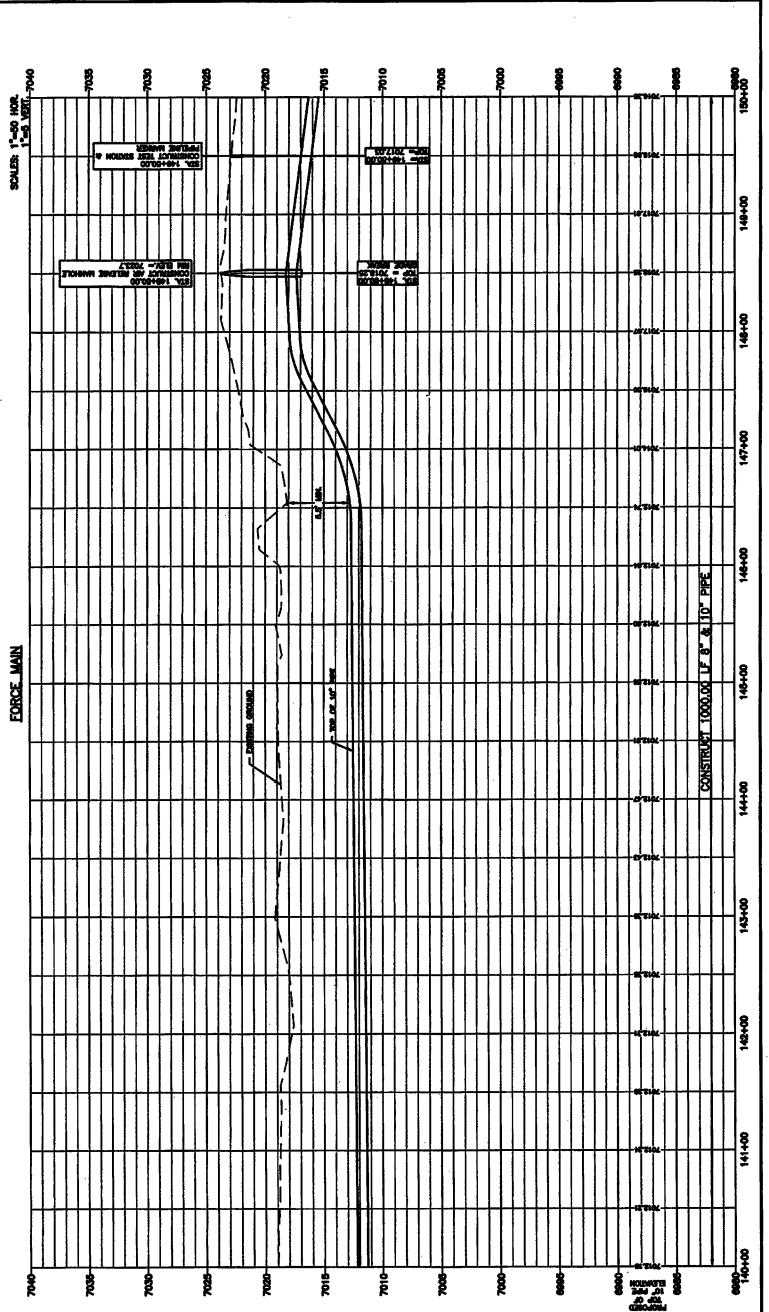
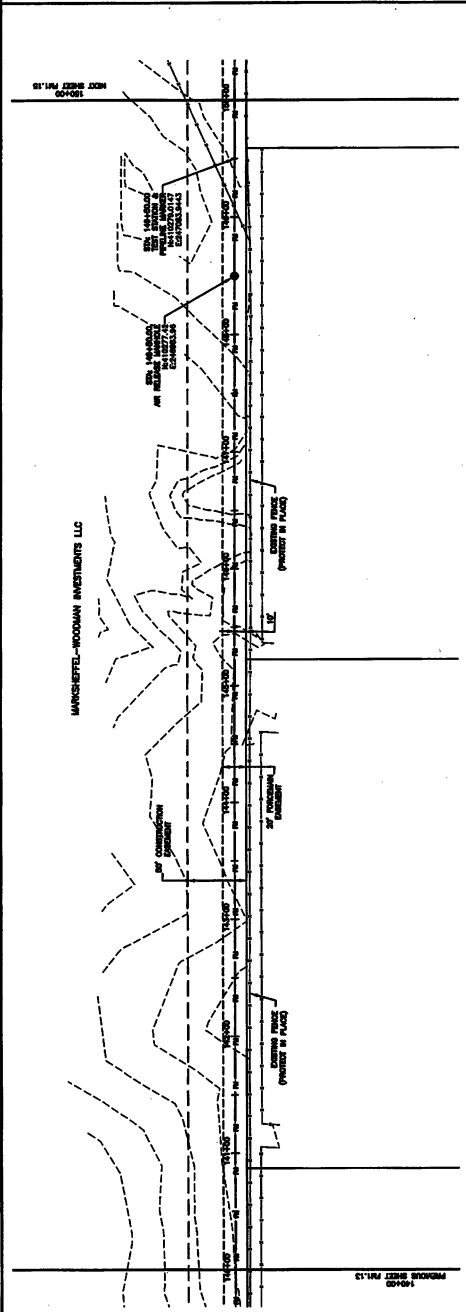
FORCE MAIN PLAN & PROFILE
 STA. 140+00 TO STA. 150+00

LAMP RYNEARSON & ASSOCIATES
 12996 West Grand Avenue, Suite 300
 Lakewood, Colorado 80228
 Phone: 303.971.0071
 Fax: 303.971.0072
 Email: lra@lra.com

DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
PROJECT NO.	DATE
DATE	DATE
DATE	DATE
DATE	DATE



- NOTES:**
- SEE SHEET 602 FOR GENERAL NOTES.
 - STATIONING IS GIVEN ON THE CENTERLINE OF THE FORCE MAIN.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS AND AGENCIES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED.



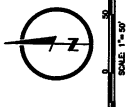


SCALE: 1" = 10'
 SHEET NO. 15
 DATE: 05/11/14
 PROJECT: STERLING RANCH METROPOLITAN DISTRICT NO. 1

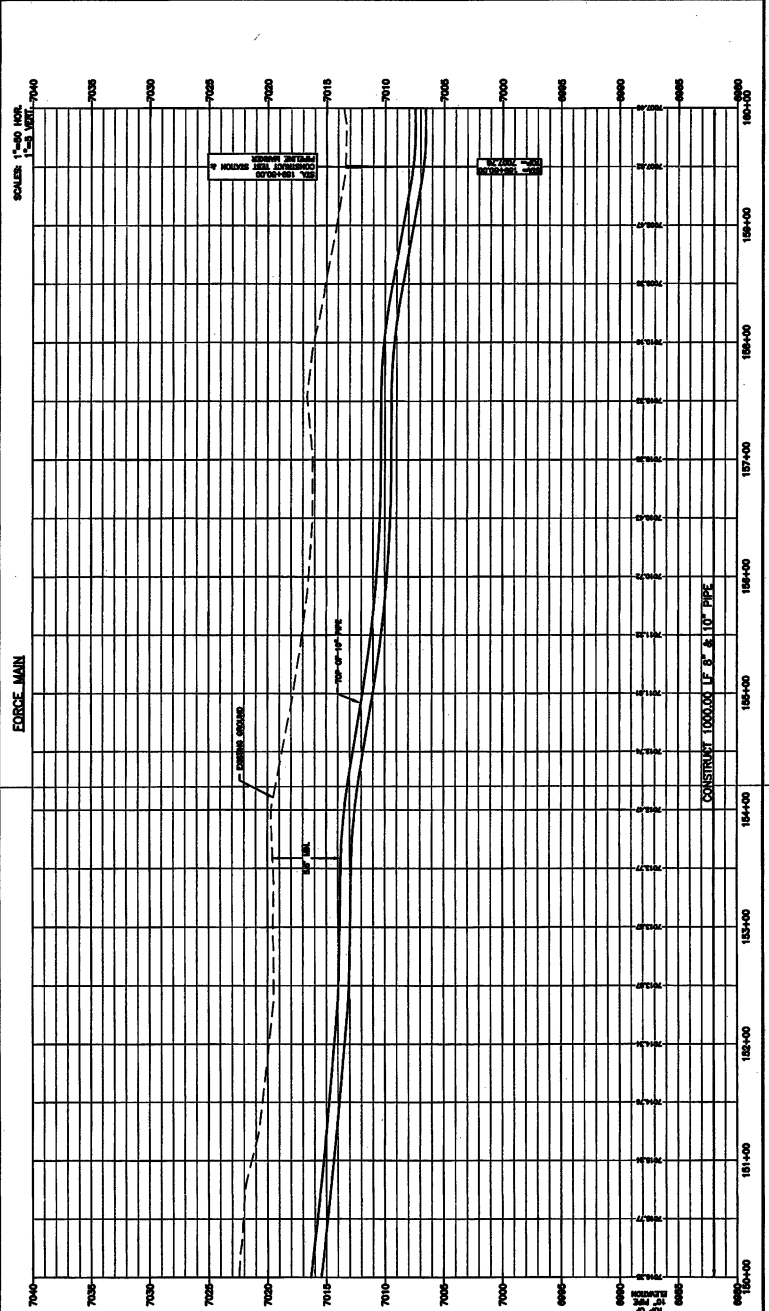
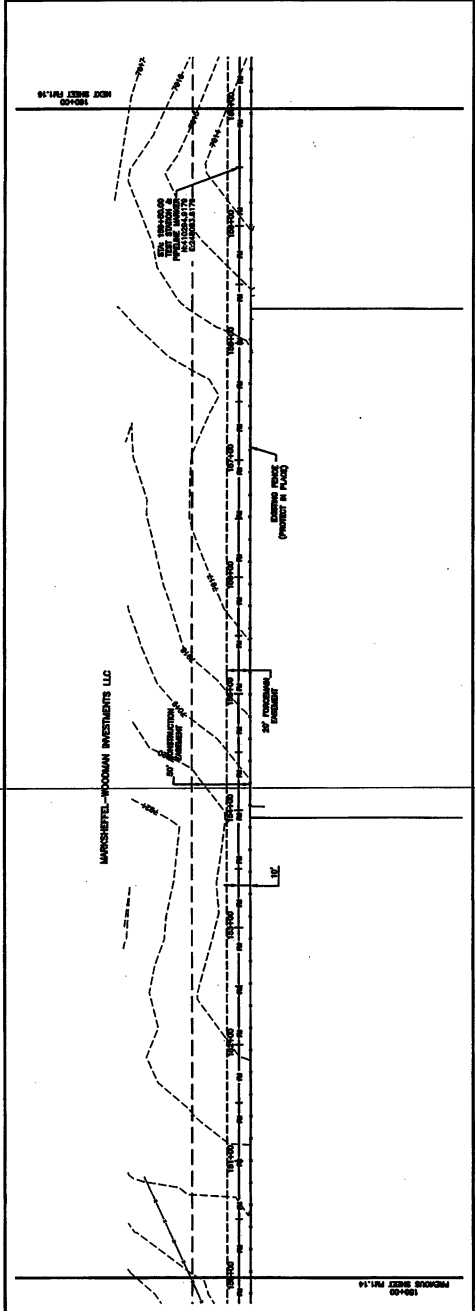
FORCE MAIN PLAN & PROFILE
 STA. 150+00 TO STA. 160+00

LAMP RYNEARSON & ASSOCIATES
 12550 West Dryland Avenue, Suite 330
 Lakewood, Colorado 80228
 303.971.0000
 info@lra.com / lra@lra.com

DESIGNED BY	
CHECKED BY	
DATE	
PROJECT NO.	
PROJECT NAME	



- NOTES:**
- SEE SHEET 001 FOR GENERAL NOTES.
 - ELEVATIONS ARE BASED ON THE CONTIGUOUS ELEVATION OF THE 5' AND 10' FORCE MAIN.
 - FOR ALL INFORMATION AND MATERIALS, REFER TO THE SPECIFICATIONS AND STANDARD SPECIFICATIONS FOR ALL INFORMATION.
 - THE PROPOSED FORCE MAIN IS LOCATED IN THE UNDEVELOPED AREA OF THE PROJECT. THE EXISTING FORCE MAIN IS LOCATED IN THE DEVELOPED AREA OF THE PROJECT.
 - CONTRACTOR SHALL PROVIDE A MINIMUM 1' OF COVER OVER THE FORCE MAIN THROUGHOUT THE ENTIRE LENGTH.
 - CONTRACTOR SHALL PLACE SLOTTED CURB GROUND SURROUNDING THE FORCE MAIN TO PROTECT THE FORCE MAIN FROM THE PROJECT AREA.
 - CONTRACTOR SHALL PLACE A MINIMUM 1' OF COVER OVER THE FORCE MAIN THROUGHOUT THE ENTIRE LENGTH.
 - CONTRACTOR SHALL PLACE A MINIMUM 1' OF COVER OVER THE FORCE MAIN THROUGHOUT THE ENTIRE LENGTH.
 - CONTRACTOR SHALL PLACE A MINIMUM 1' OF COVER OVER THE FORCE MAIN THROUGHOUT THE ENTIRE LENGTH.
 - CONTRACTOR SHALL PLACE A MINIMUM 1' OF COVER OVER THE FORCE MAIN THROUGHOUT THE ENTIRE LENGTH.
 - CONTRACTOR SHALL PLACE A MINIMUM 1' OF COVER OVER THE FORCE MAIN THROUGHOUT THE ENTIRE LENGTH.
 - CONTRACTOR SHALL PLACE A MINIMUM 1' OF COVER OVER THE FORCE MAIN THROUGHOUT THE ENTIRE LENGTH.





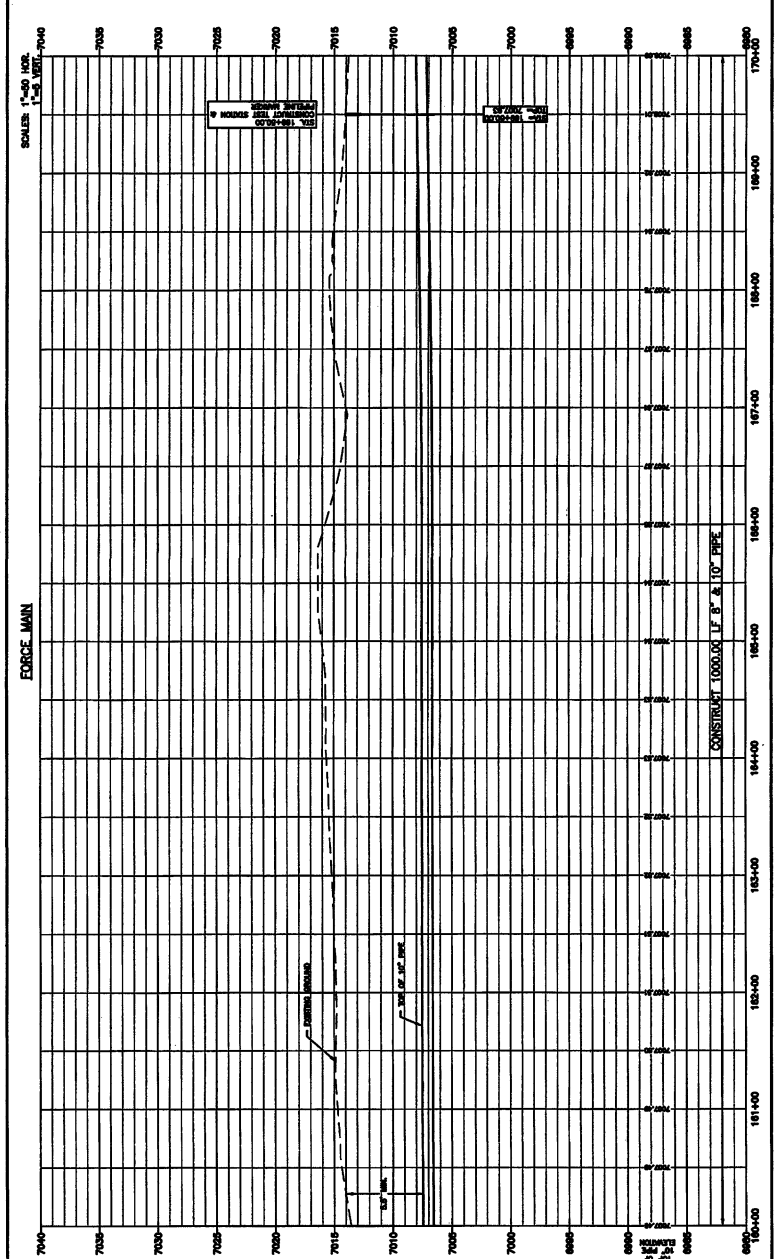
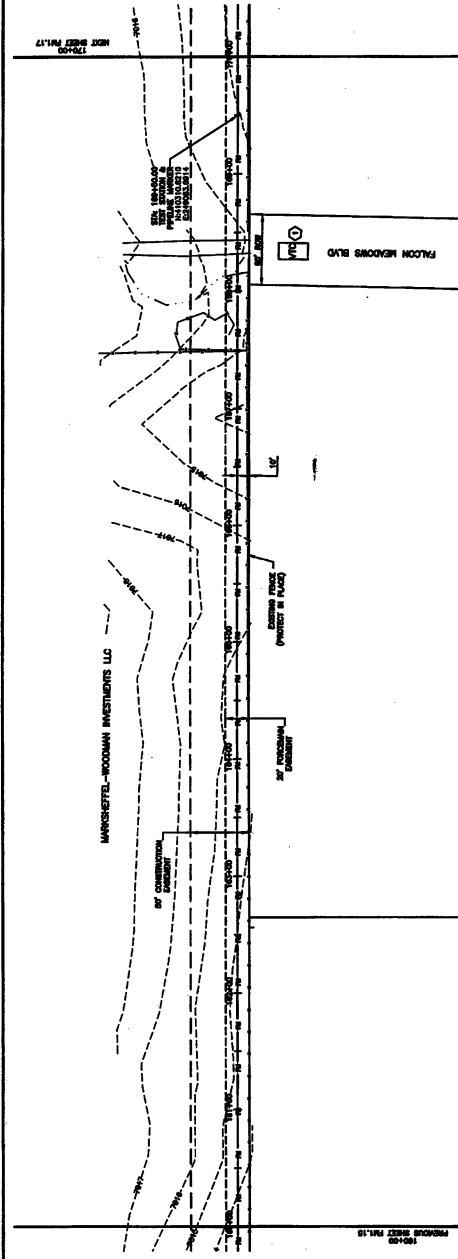
FORCE MAIN PLAN & PROFILE
STA. 160+00 TO STA. 170+00

LAMP RYNERSON & ASSOCIATES
12555 Woodfield Boulevard, Suite 300, Rockville, Maryland 20850
Tel: (301) 987-1000
Fax: (301) 987-1077
www.lampryner.com

STERLING RANCH LIFT STATION AND FORCE MAIN
DISTRICT NO. 1

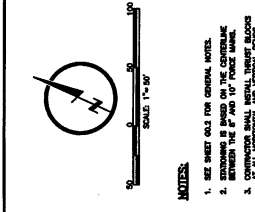
DATE	DESCRIPTION
08/11/11	ISSUED FOR PERMITS
08/11/11	ISSUED FOR PERMITS
08/11/11	ISSUED FOR PERMITS
08/11/11	ISSUED FOR PERMITS
08/11/11	ISSUED FOR PERMITS
08/11/11	ISSUED FOR PERMITS
08/11/11	ISSUED FOR PERMITS
08/11/11	ISSUED FOR PERMITS
08/11/11	ISSUED FOR PERMITS
08/11/11	ISSUED FOR PERMITS

- NOTES:
- SEE SHEET FOR GENERAL NOTES.
 - STATIONING IS BASED ON THE CENTERLINE BETWEEN THE P AND M FORCE MAIN.
 - ALL EXISTING UTILITIES AND STRUCTURES ARE SHOWN AS PER THE RECORD DRAWINGS AND FIELD SURVEY.
 - THE PROPOSED FORCE MAIN IS TO BE CONSTRUCTED IN A 12" DIA. 150' RADIUS CURVE TO THE RIGHT OF THE CENTERLINE.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL PROVIDE A MINIMUM 1' OF COVER OVER ALL UTILITIES UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL PLACE SEMENT CONTROL WITHIN THE PROJECT AREA.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 5' HIGH TRANSVERSE SLOPE TO CONTROL STORM WATER DRAINAGE AND PREVENT EROSION.
 - CONTRACTOR SHALL EXPOSE ALL UTILITIES AND MAINTAIN THEM THROUGHOUT CONSTRUCTION.
 - CONTRACTOR SHALL PROTECT IN PLACE OR REMOVE AND RE-INSTALL ALL EXISTING UTILITIES AND STRUCTURES.
 - CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES DURING CONSTRUCTION.



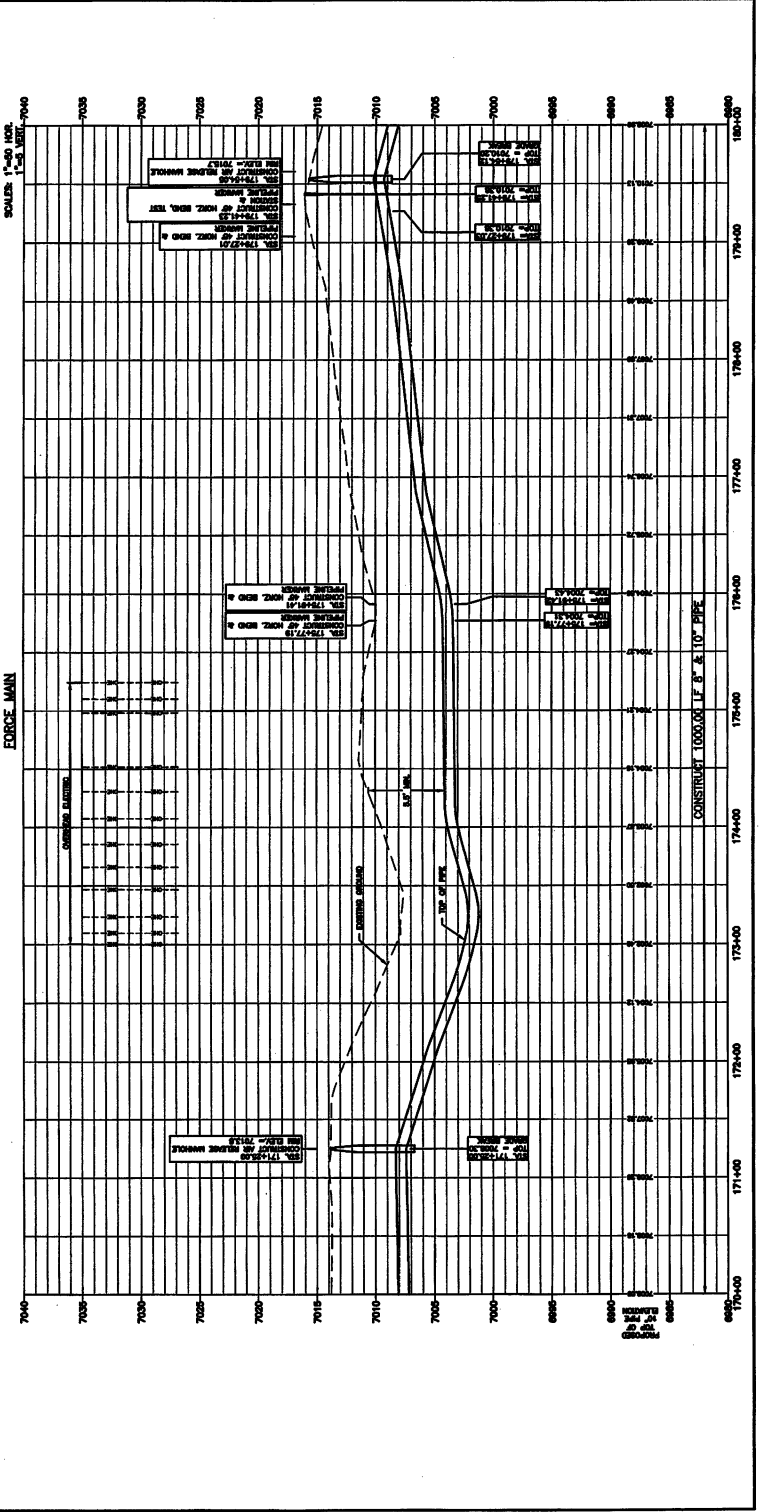
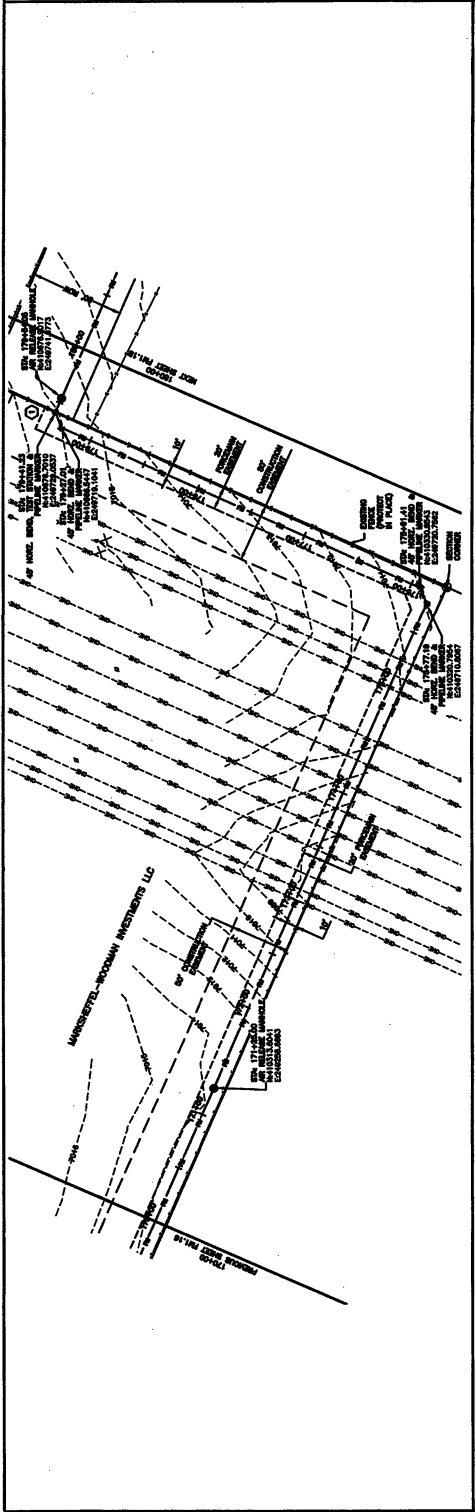
SCALE: 1"=40' HORIZ.
1"=4' VERT.

CONSTRAINT 1000.00 LF 8" & 10" PIPE



- NOTES:**
- SEE SHEET 001 FOR GENERAL NOTES.
 - STATIONING IS SHOWN ON THE CENTERLINE BETWEEN THE 8" AND 10" FORCE MAIN.
 - ALL EXISTING UTILITIES ARE SHOWN ON THE ATTACHED UTILITY PLAN.
 - THE PROPOSED FORCE MAIN IS SHOWN IN SOLID LINES AND THE EXISTING FORCE MAIN IS SHOWN IN DASHED LINES.
 - CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES AND THE STATE OF COLORADO.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 1' OF CLEARANCE FROM ALL EXISTING UTILITIES.
 - CONTRACTOR SHALL PLACE SURVEY CONTROL POINTS AT REGULAR INTERVALS ALONG THE FORCE MAIN.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 1' OF CLEARANCE FROM ALL EXISTING UTILITIES.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 1' OF CLEARANCE FROM ALL EXISTING UTILITIES.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 1' OF CLEARANCE FROM ALL EXISTING UTILITIES.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 1' OF CLEARANCE FROM ALL EXISTING UTILITIES.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 1' OF CLEARANCE FROM ALL EXISTING UTILITIES.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 1' OF CLEARANCE FROM ALL EXISTING UTILITIES.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 1' OF CLEARANCE FROM ALL EXISTING UTILITIES.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 1' OF CLEARANCE FROM ALL EXISTING UTILITIES.

- REVISIONS:**
- NO. 1 - INITIAL TO LF OF EXISTING FORCE MAIN.



DATE	11/11/11
BY	JM
CHECKED BY	JM
SCALE	1" = 40'
PROJECT NO.	1518011
DATE	11/11/11
BY	JM
CHECKED BY	JM

STERLING RANCH LIFT STATION AND FORCE MAIN
STERLING RANCH METROPOLITAN DISTRICT NO. 1

LAMP RYNEARSON & ASSOCIATES
 12508 West Beyond Avenue, Suite 300, CO 80127, 303.871.1077
 14820 Colorado, CO 80238
 14820 Colorado, CO 80238

FORCE MAIN PLAN & PROFILE
 STA. 190+00 TO STA. 200+00

QUALITY ASSURANCE

DATE

BY

SCALE

1" = 40'

1518011

11/11/11

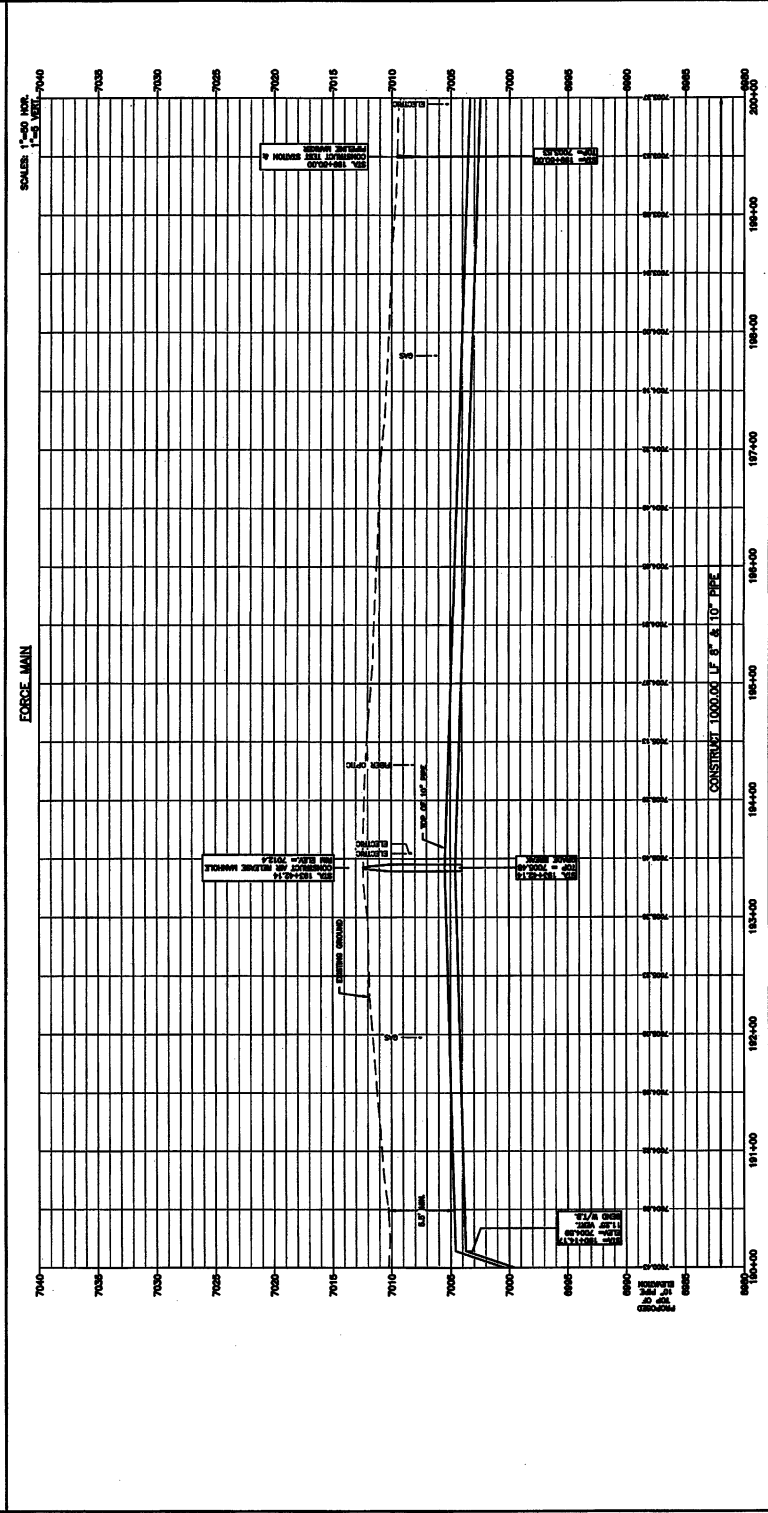
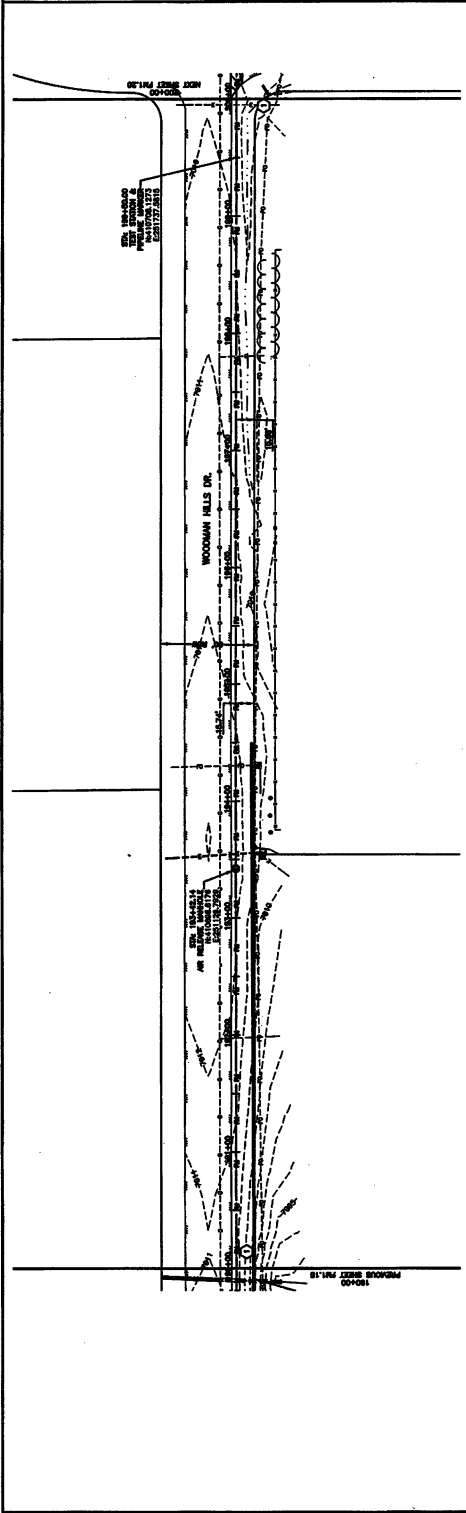
JM

JM

- NOTES:**
- SEE SHEET 002 FOR GENERAL NOTES.
 - STATIONING IS BASED ON THE CENTERLINE BETWEEN THE 2' AND 12' FORCE MAINS.
 - EXISTING AND PROPOSED ELEVATIONS OF ALL UTILITIES AND "N" VALUES ARE SHOWN.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND "N" VALUES FROM THE APPLICABLE AGENCIES.
 - CONTRACTOR SHALL BE RESPONSIBLE TO CITY AND FOR THE PROTECTION OF ALL UTILITIES AND "N" VALUES SHOWN ON THIS PLAN AND PROFILE. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND "N" VALUES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND "N" VALUES FROM THE APPLICABLE AGENCIES.
 - CONTRACTOR SHALL PROTECT ALL UTILITIES OF OTHER AGENCIES AND ALL "N" VALUES SHOWN ON THIS PLAN AND PROFILE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND "N" VALUES FROM THE APPLICABLE AGENCIES.
 - CONTRACTOR SHALL PROTECT ALL UTILITIES OF OTHER AGENCIES AND ALL "N" VALUES SHOWN ON THIS PLAN AND PROFILE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND "N" VALUES FROM THE APPLICABLE AGENCIES.
 - CONTRACTOR SHALL PROTECT ALL UTILITIES OF OTHER AGENCIES AND ALL "N" VALUES SHOWN ON THIS PLAN AND PROFILE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND "N" VALUES FROM THE APPLICABLE AGENCIES.
 - CONTRACTOR SHALL PROTECT ALL UTILITIES OF OTHER AGENCIES AND ALL "N" VALUES SHOWN ON THIS PLAN AND PROFILE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND "N" VALUES FROM THE APPLICABLE AGENCIES.
 - CONTRACTOR SHALL PROTECT ALL UTILITIES OF OTHER AGENCIES AND ALL "N" VALUES SHOWN ON THIS PLAN AND PROFILE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND "N" VALUES FROM THE APPLICABLE AGENCIES.
 - CONTRACTOR SHALL PROTECT ALL UTILITIES OF OTHER AGENCIES AND ALL "N" VALUES SHOWN ON THIS PLAN AND PROFILE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND "N" VALUES FROM THE APPLICABLE AGENCIES.
 - CONTRACTOR SHALL PROTECT ALL UTILITIES OF OTHER AGENCIES AND ALL "N" VALUES SHOWN ON THIS PLAN AND PROFILE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND "N" VALUES FROM THE APPLICABLE AGENCIES.
 - CONTRACTOR SHALL PROTECT ALL UTILITIES OF OTHER AGENCIES AND ALL "N" VALUES SHOWN ON THIS PLAN AND PROFILE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND "N" VALUES FROM THE APPLICABLE AGENCIES.
 - CONTRACTOR SHALL PROTECT ALL UTILITIES OF OTHER AGENCIES AND ALL "N" VALUES SHOWN ON THIS PLAN AND PROFILE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND "N" VALUES FROM THE APPLICABLE AGENCIES.
 - CONTRACTOR SHALL PROTECT ALL UTILITIES OF OTHER AGENCIES AND ALL "N" VALUES SHOWN ON THIS PLAN AND PROFILE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND "N" VALUES FROM THE APPLICABLE AGENCIES.

REMARKS:

CONTRACTOR SHALL PROTECT ALL UTILITIES OF OTHER AGENCIES AND ALL "N" VALUES SHOWN ON THIS PLAN AND PROFILE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND "N" VALUES FROM THE APPLICABLE AGENCIES.



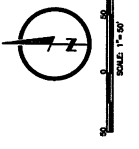


DATE: 08/11/11
 SHEET NO.: 11
 PROJECT: STERLING RANCH METROPOLITAN DISTRICT NO. 1
 DRAWING: FORCE MAIN PLAN & PROFILE
 SCALE: 1" = 40'

FORCE MAIN PLAN & PROFILE
 STA. 200+00 TO STA. 210+00

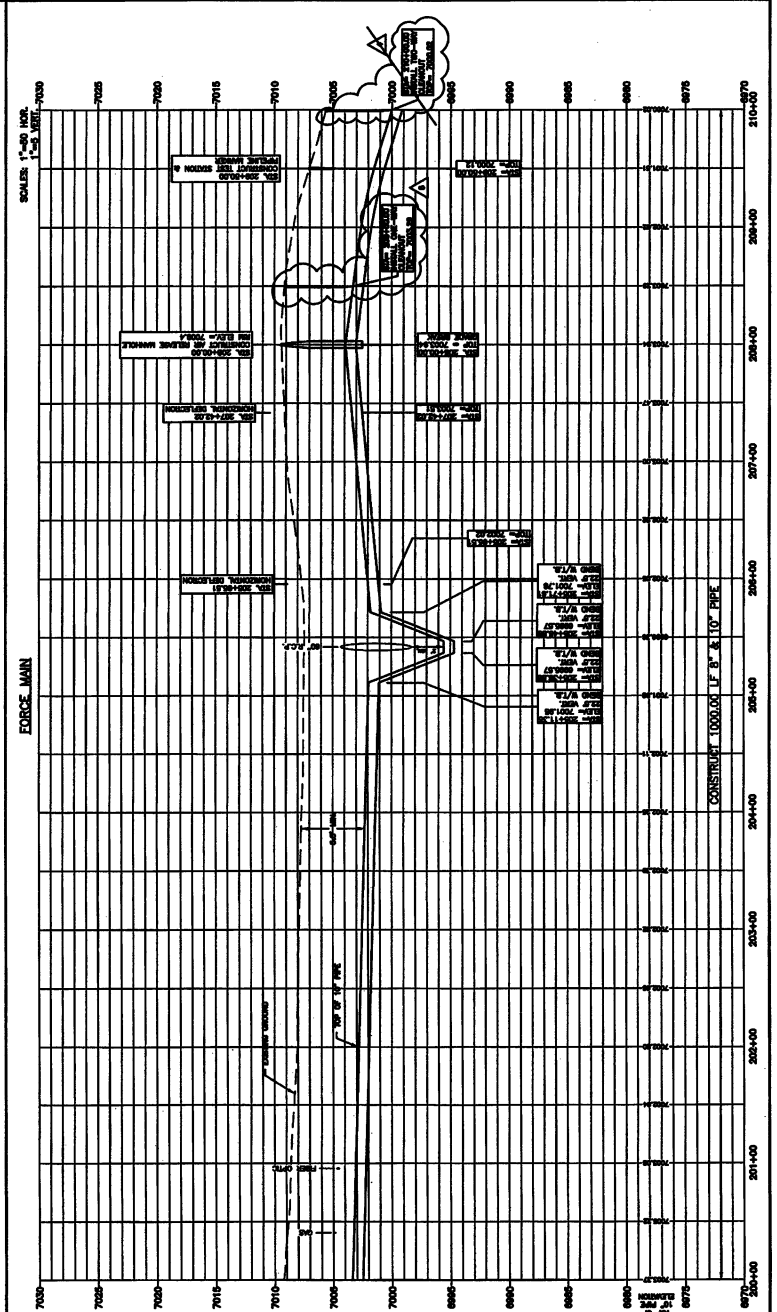
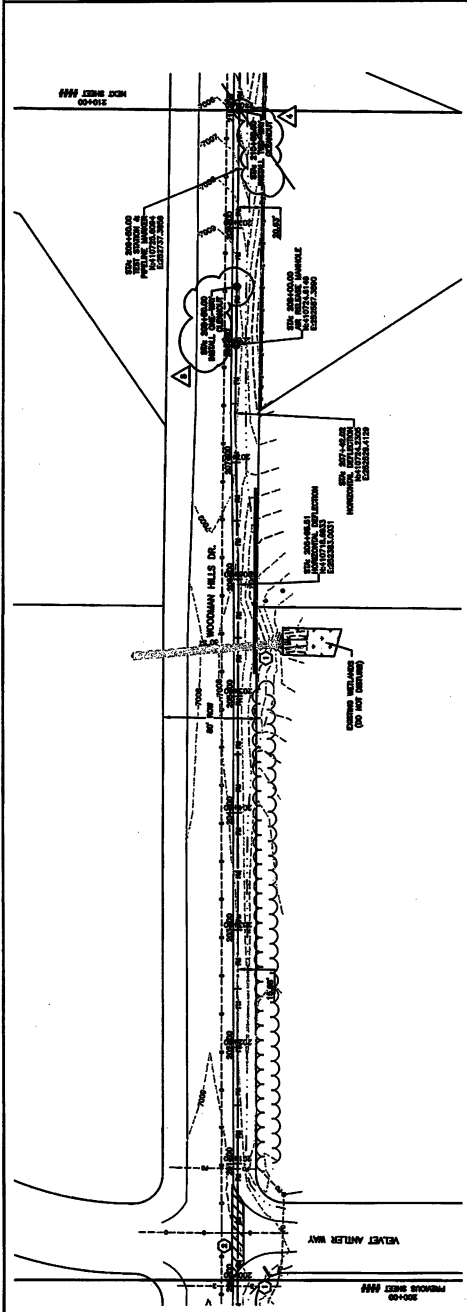
LAMP RYNEARSON & ASSOCIATES
 12555 West Dwyer Avenue, Suite 200, Dallas, Texas 75244
 Phone: (972) 412-1111
 Fax: (972) 412-1112
 Website: www.lampryne.com

STERLING RANCH METROPOLITAN DISTRICT NO. 1
 FORCE MAIN PLAN & PROFILE
 STA. 200+00 TO STA. 210+00



- NOTES:**
- SEE SHEET FOR OTHER NOTES.
 - STATIONING IS BASED ON THE CENTERLINE BETWEEN THE 2 LANE 40' WIDE ROADWAY AND THE CENTERLINE OF THE EXISTING 10' WIDE SIDEWALK.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND STRUCTURES BEFORE CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF DALLAS AND THE STATE OF TEXAS.
 - CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 - CONTRACTOR SHALL PLACE SIGNAGE AT ALL CONSTRUCTION SITES.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 5' CLEARANCE FROM ALL UTILITIES AND STRUCTURES.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 5' CLEARANCE FROM ALL ADJACENT PROPERTIES.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 5' CLEARANCE FROM ALL PUBLIC AREAS.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 5' CLEARANCE FROM ALL PRIVATE AREAS.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 5' CLEARANCE FROM ALL OTHER AREAS.

- REMARKS:**
- REMARK CONTROL LOS FOR DATA SHEET FILE.
 - CONTRACTOR SHALL SEE CIVIL, MECHANICAL & ELECTRICAL DRAWINGS FOR ALL UTILITIES.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 5' CLEARANCE FROM ALL UTILITIES AND STRUCTURES.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 5' CLEARANCE FROM ALL ADJACENT PROPERTIES.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 5' CLEARANCE FROM ALL PUBLIC AREAS.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 5' CLEARANCE FROM ALL PRIVATE AREAS.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 5' CLEARANCE FROM ALL OTHER AREAS.

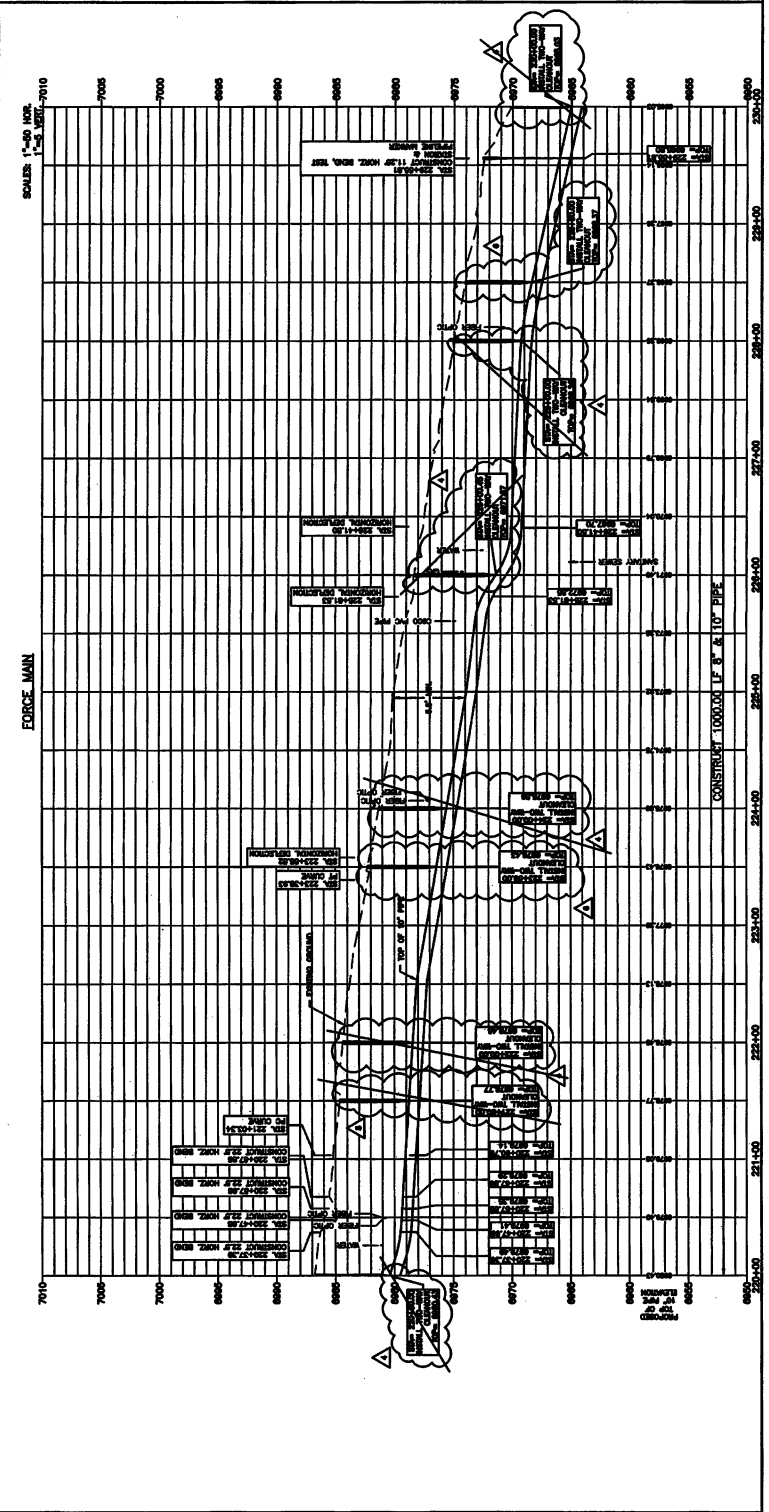
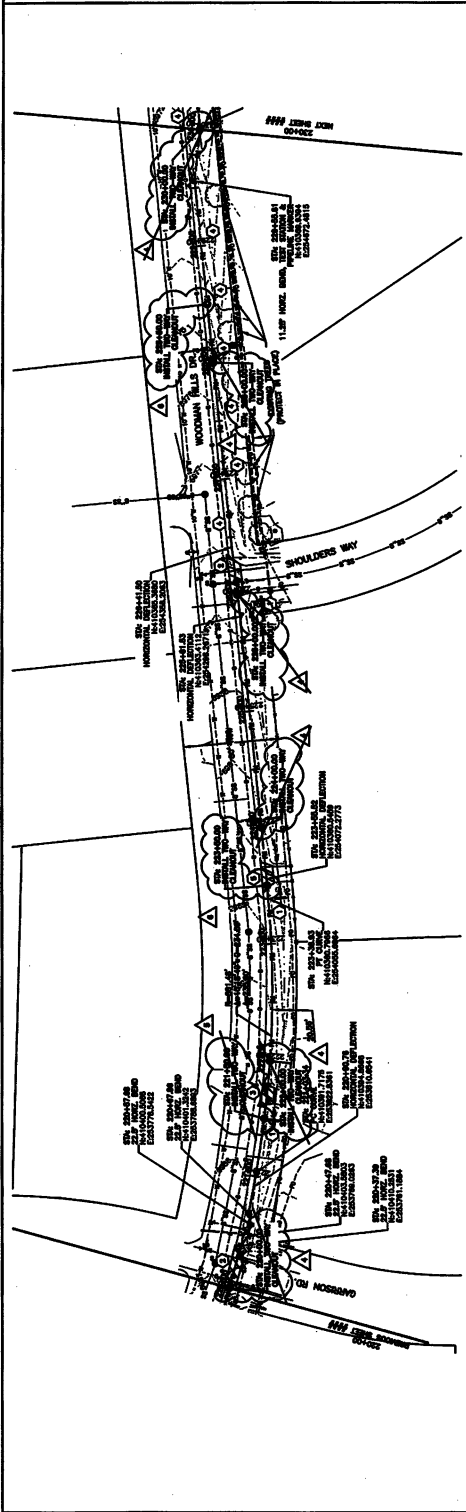


LAMP RYNEARSON & ASSOCIATES
 12556 West Beyond Avenue, Suite 300, 80237
 Lakewood, Colorado 80238
 303.971.0000
 303.971.0077
 LAMP RYNEARSON & ASSOCIATES

DATE	DESCRIPTION
01/21/11	ISSUED FOR PERMITS
01/21/11	ISSUED FOR PERMITS
01/21/11	ISSUED FOR PERMITS
01/21/11	ISSUED FOR PERMITS
01/21/11	ISSUED FOR PERMITS
01/21/11	ISSUED FOR PERMITS
01/21/11	ISSUED FOR PERMITS
01/21/11	ISSUED FOR PERMITS
01/21/11	ISSUED FOR PERMITS
01/21/11	ISSUED FOR PERMITS

NOTES:

- SEE SHEET FOR PERMITS.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF STREETS AND SIDEWALKS.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF UTILITIES.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF STRUCTURES.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF TRAFFIC CONTROL DEVICES.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF LANDSCAPE ARCHITECTURE.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC SAFETY.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC TRANSPORTATION.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC RECREATION.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC CULTURE AND ARTS.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC HISTORY AND HERITAGE.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC ENVIRONMENTAL QUALITY.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC ECONOMIC DEVELOPMENT.



KEYNOTES:

- SEE SHEET FOR PERMITS.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF STREETS AND SIDEWALKS.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF UTILITIES.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF STRUCTURES.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF TRAFFIC CONTROL DEVICES.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF LANDSCAPE ARCHITECTURE.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC SAFETY.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC TRANSPORTATION.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC RECREATION.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC CULTURE AND ARTS.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC HISTORY AND HERITAGE.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC ENVIRONMENTAL QUALITY.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC ECONOMIC DEVELOPMENT.

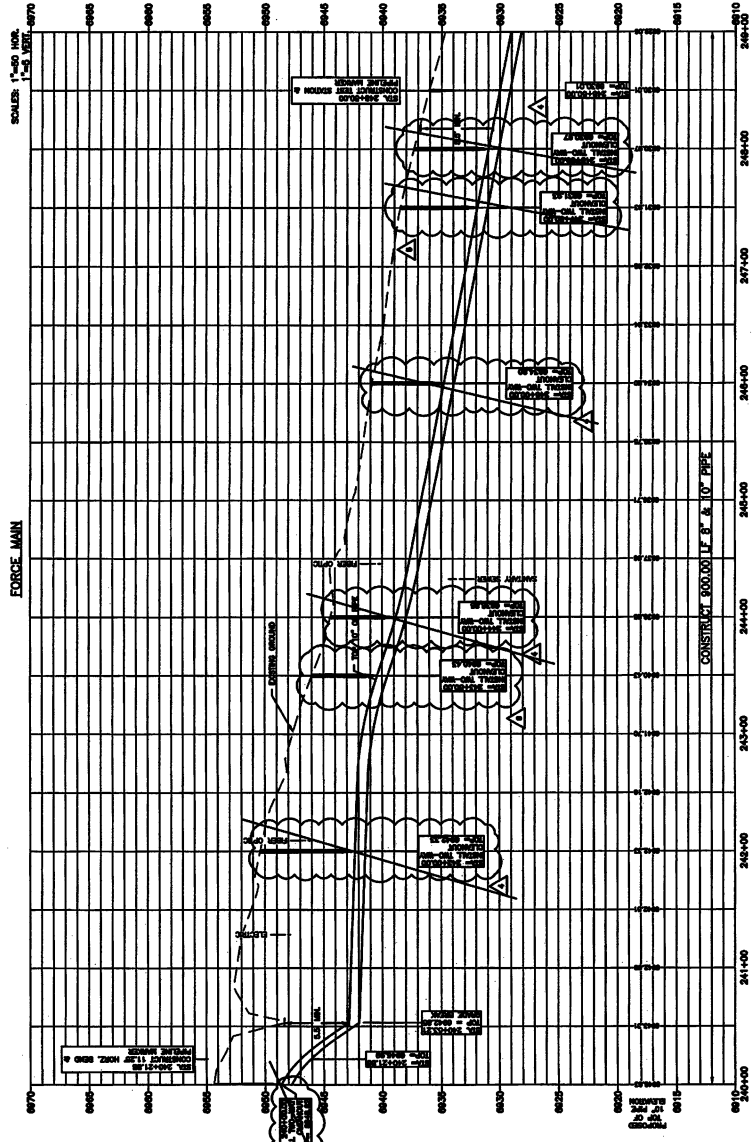
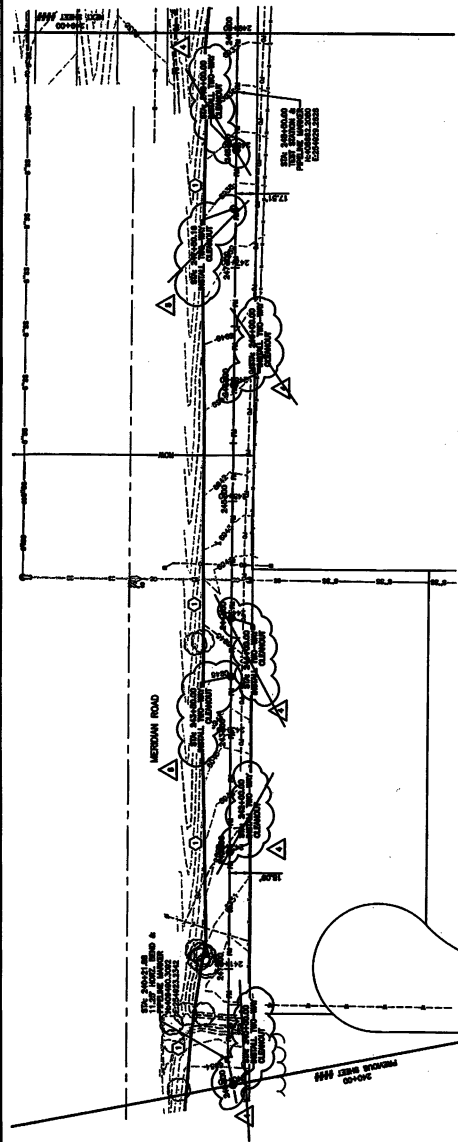


FORCE MAIN PLAN & PROFILE
STA. 240+00 TO STA. 250+00

LAMP RYNEARSON & ASSOCIATES
1296 West Beyond Avenue, Suite 200
Linwood, Colorado 80228
303.871.0077
LRA@LRA.COM | WWW.LRA.COM

DESIGNED BY	MM/2/13
CHECKED BY	MM/2/13
DATE	MM/2/13
PROJECT NO.	MM/2/13
CITY	MM/2/13
COUNTY	MM/2/13
STATE	MM/2/13
CLIENT	MM/2/13

- NOTES:**
- SEE SHEET FOR GENERAL NOTES.
 - STATIONING IS GIVEN TO THE CENTERLINE UNLESS OTHERWISE NOTED.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF EXISTING UTILITIES AND STRUCTURES PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM 5' OF CLEARANCE FROM ALL EXISTING UTILITIES AND STRUCTURES.
 - CONTRACTOR SHALL PLACE ALL MATERIALS WITHIN THE PROJECT AREA.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES WITHIN THE PROJECT AREA.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES WITHIN THE PROJECT AREA.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES WITHIN THE PROJECT AREA.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES WITHIN THE PROJECT AREA.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES WITHIN THE PROJECT AREA.

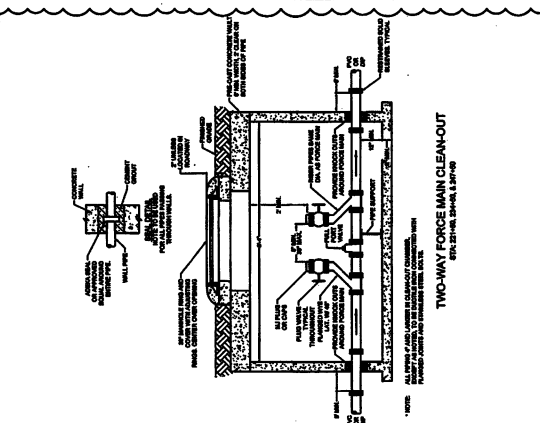
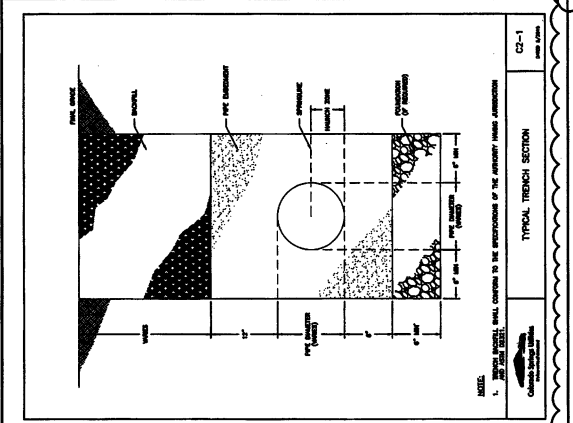
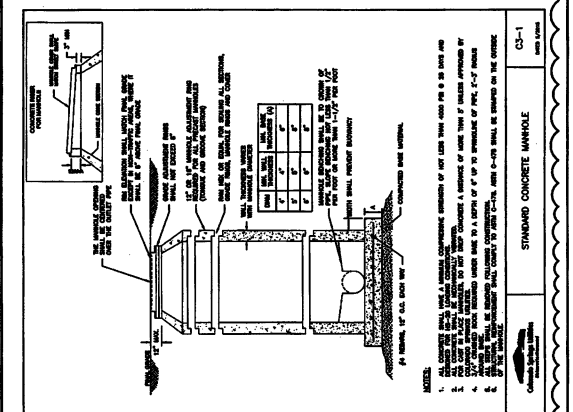
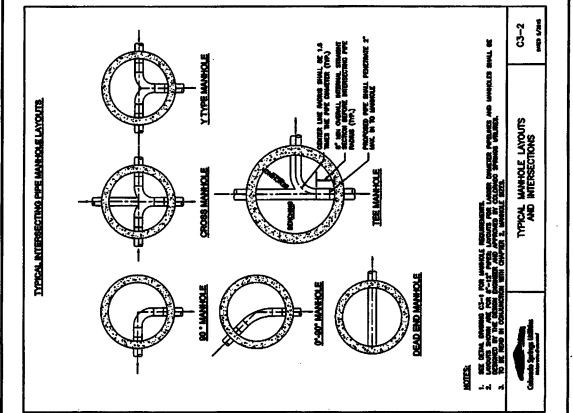
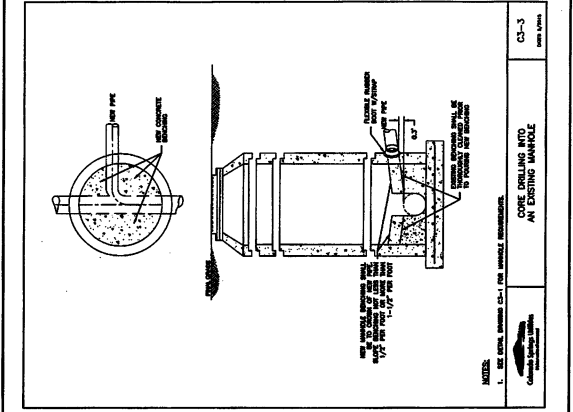
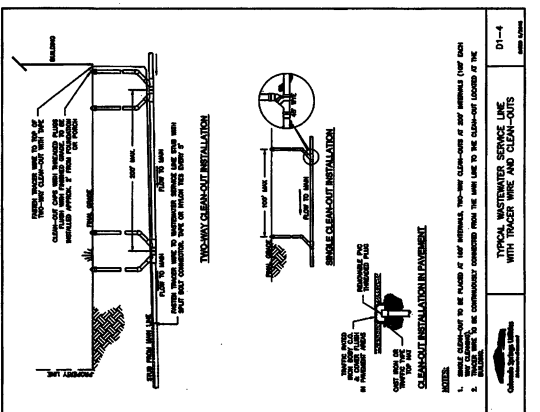
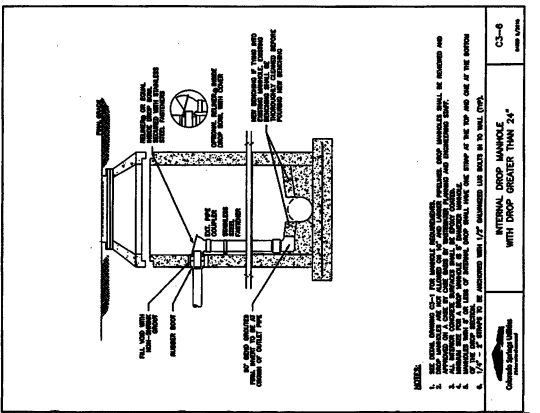
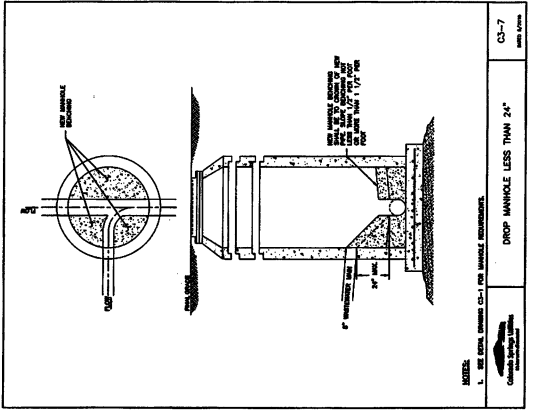


REVISIONS:
① REVISION CONTROL LOG FOR DETAIL SHEET FILE.



FORCE MAIN
CONSTRUCTION DETAILS

LAMP RYNEARSON & ASSOCIATES
1259 West Bayshore Avenue, Suite 300
305.871.0300
LRA-HQ.com | 726RYNEARSON.COM
STERLING RANCH LIFT STATION AND FORCE MAIN
DISTRICT NO. 1



EC-2 Temporary and Permanent Seeding (TS/PS)

Seeding rates for the highest erosion probability of potential erosion along the Force Main are generally in the range from 400 lbs/acre to 600 lbs/acre. The seeding rate for the Force Main is 400 lbs/acre and the appropriate seeding rate.

Table TS/PS-1. Minimum Drift Seeding Rates for Potential Erosion

Soil Type	Seeding Rate (lb/acre)	Seeding Rate (lb/acre)	Seeding Rate (lb/acre)
1. Class I	400	400	400
2. Class II	400	400	400
3. Class III	400	400	400
4. Class IV	400	400	400
5. Class V	400	400	400
6. Class VI	400	400	400
7. Class VII	400	400	400
8. Class VIII	400	400	400
9. Class IX	400	400	400
10. Class X	400	400	400
11. Class XI	400	400	400
12. Class XII	400	400	400
13. Class XIII	400	400	400
14. Class XIV	400	400	400
15. Class XV	400	400	400
16. Class XVI	400	400	400
17. Class XVII	400	400	400
18. Class XVIII	400	400	400
19. Class XIX	400	400	400
20. Class XX	400	400	400
21. Class XXI	400	400	400
22. Class XXII	400	400	400
23. Class XXIII	400	400	400
24. Class XXIV	400	400	400
25. Class XXV	400	400	400
26. Class XXVI	400	400	400
27. Class XXVII	400	400	400
28. Class XXVIII	400	400	400
29. Class XXIX	400	400	400
30. Class XXX	400	400	400

Table TS/PS-2. Minimum Drift Seeding Rates for Potential Erosion

Soil Type	Seeding Rate (lb/acre)	Seeding Rate (lb/acre)	Seeding Rate (lb/acre)
1. Class I	400	400	400
2. Class II	400	400	400
3. Class III	400	400	400
4. Class IV	400	400	400
5. Class V	400	400	400
6. Class VI	400	400	400
7. Class VII	400	400	400
8. Class VIII	400	400	400
9. Class IX	400	400	400
10. Class X	400	400	400
11. Class XI	400	400	400
12. Class XII	400	400	400
13. Class XIII	400	400	400
14. Class XIV	400	400	400
15. Class XV	400	400	400
16. Class XVI	400	400	400
17. Class XVII	400	400	400
18. Class XVIII	400	400	400
19. Class XIX	400	400	400
20. Class XX	400	400	400
21. Class XXI	400	400	400
22. Class XXII	400	400	400
23. Class XXIII	400	400	400
24. Class XXIV	400	400	400
25. Class XXV	400	400	400
26. Class XXVI	400	400	400
27. Class XXVII	400	400	400
28. Class XXVIII	400	400	400
29. Class XXIX	400	400	400
30. Class XXX	400	400	400

Table TS/PS-3. Minimum Drift Seeding Rates for Potential Erosion

Soil Type	Seeding Rate (lb/acre)	Seeding Rate (lb/acre)	Seeding Rate (lb/acre)
1. Class I	400	400	400
2. Class II	400	400	400
3. Class III	400	400	400
4. Class IV	400	400	400
5. Class V	400	400	400
6. Class VI	400	400	400
7. Class VII	400	400	400
8. Class VIII	400	400	400
9. Class IX	400	400	400
10. Class X	400	400	400
11. Class XI	400	400	400
12. Class XII	400	400	400
13. Class XIII	400	400	400
14. Class XIV	400	400	400
15. Class XV	400	400	400
16. Class XVI	400	400	400
17. Class XVII	400	400	400
18. Class XVIII	400	400	400
19. Class XIX	400	400	400
20. Class XX	400	400	400
21. Class XXI	400	400	400
22. Class XXII	400	400	400
23. Class XXIII	400	400	400
24. Class XXIV	400	400	400
25. Class XXV	400	400	400
26. Class XXVI	400	400	400
27. Class XXVII	400	400	400
28. Class XXVIII	400	400	400
29. Class XXIX	400	400	400
30. Class XXX	400	400	400

Table TS/PS-4. Minimum Drift Seeding Rates for Potential Erosion

Soil Type	Seeding Rate (lb/acre)	Seeding Rate (lb/acre)	Seeding Rate (lb/acre)
1. Class I	400	400	400
2. Class II	400	400	400
3. Class III	400	400	400
4. Class IV	400	400	400
5. Class V	400	400	400
6. Class VI	400	400	400
7. Class VII	400	400	400
8. Class VIII	400	400	400
9. Class IX	400	400	400
10. Class X	400	400	400
11. Class XI	400	400	400
12. Class XII	400	400	400
13. Class XIII	400	400	400
14. Class XIV	400	400	400
15. Class XV	400	400	400
16. Class XVI	400	400	400
17. Class XVII	400	400	400
18. Class XVIII	400	400	400
19. Class XIX	400	400	400
20. Class XX	400	400	400
21. Class XXI	400	400	400
22. Class XXII	400	400	400
23. Class XXIII	400	400	400
24. Class XXIV	400	400	400
25. Class XXV	400	400	400
26. Class XXVI	400	400	400
27. Class XXVII	400	400	400
28. Class XXVIII	400	400	400
29. Class XXIX	400	400	400
30. Class XXX	400	400	400

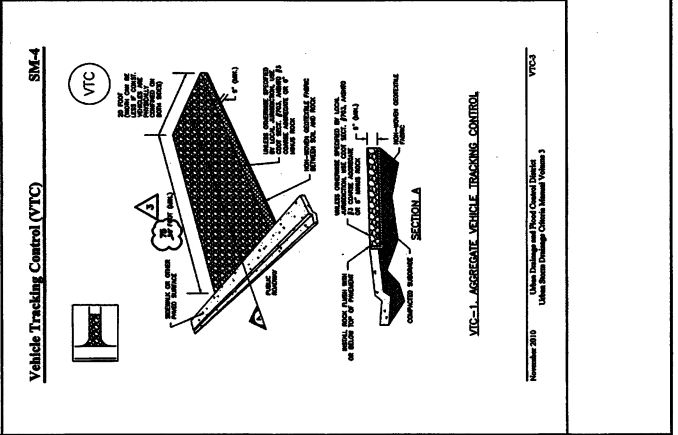
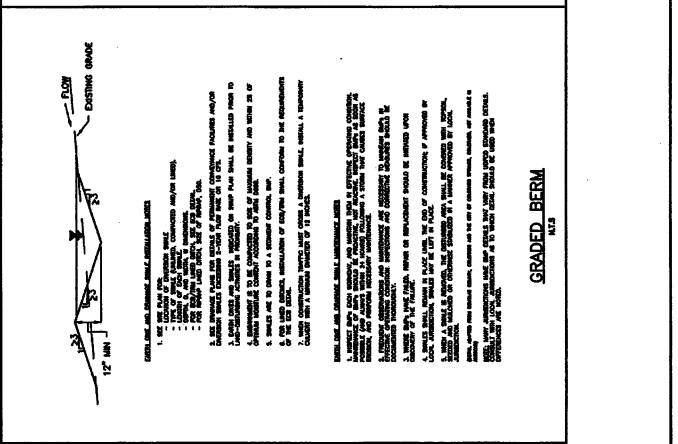
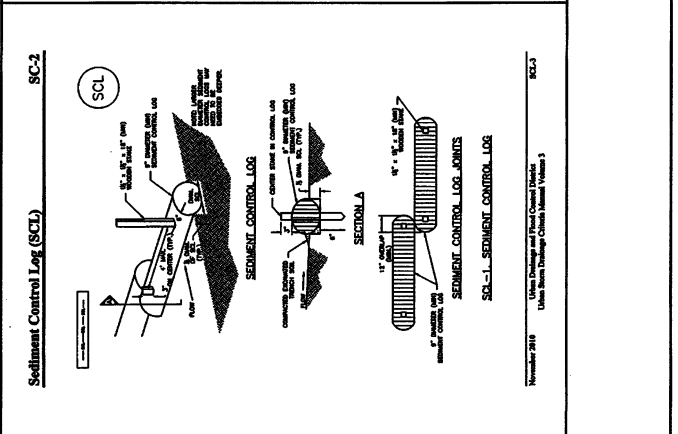
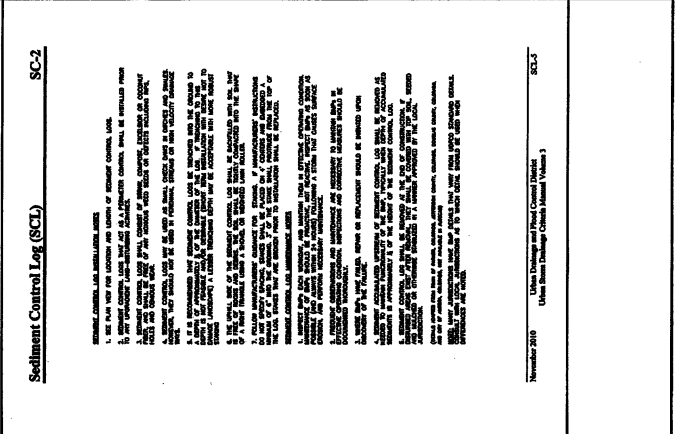


EXHIBIT B
SUBDIVISION IMPROVEMENTS AGREEMENT
Homestead at Sterling Ranch Filing No. 2

2019 Financial Assurance Estimate Form
(with pre-plate construction)

Updated: 6/7/2019

PROJECT INFORMATION		
Sterling Ranch Forced Main	2/10/2020	PPR 1763
Project Name	Date	PCD File No.

Description	Quantity	Units	Unit Cost	Total	(with Pre-Plate Construction)	
					% Complete	Remaining
SECTION 1 - GRADING AND EROSION CONTROL (Construction and Permanent BMPs)						
* Earthwork						
less than 1,000; \$5,000 min		CY	\$ 8.00	=	\$ -	\$ -
1,000-5,000; \$5,000 min		CY	\$ 6.00	=	\$ -	\$ -
5,001-20,000; \$30,000 min		CY	\$ 8.00	=	\$ -	\$ -
20,001-50,000; \$100,000 min		CY	\$ 3.50	=	\$ -	\$ -
50,001-200,000; \$175,000 min		CY	\$ 2.50	=	\$ -	\$ -
greater than 200,000; \$500,000 min		CY	\$ 2.00	=	\$ -	\$ -
* Permanent Seeding (inc. noxious weed mgmt.)	8.3	AC	\$ 800.00	=	\$ 6,664.00	\$ 6,664.00
* Maching	8.3	AC	\$ 780.00	=	\$ 6,247.50	\$ 6,247.50
* Permanent Erosion Control Blanket		SY	\$ 6.00	=	\$ -	\$ -
* Permanent Pond/BMP Construction		CY	\$ 20.00	=	\$ -	\$ -
* Permanent Pond/BMP (Spillway)		EA		=	\$ -	\$ -
* Permanent Pond/BMP (Outlet Structure)		EA		=	\$ -	\$ -
Safety Fence		LF	\$ 3.00	=	\$ -	\$ -
Temporary Erosion Control Blanket		SY	\$ 3.00	=	\$ -	\$ -
Vehicle Tracking Control	1.0	EA	\$ 2,370.00	=	\$ 2,370.00	\$ 2,370.00
Silt Fence	100	LF	\$ 2.50	=	\$ 250.00	\$ 250.00
Temporary Seeding		AC	\$ 625.00	=	\$ -	\$ -
Temporary Mulch		AC	\$ 780.00	=	\$ -	\$ -
Erosion Bales	20	EA	\$ 25.00	=	\$ 500.00	\$ 500.00
Erosion Logs/Saw Waste	3,441	LF	\$ 5.00	=	\$ 17,205.50	\$ 17,205.50
Rock Check Dams	10	EA	\$ 500.00	=	\$ 5,000.00	\$ 5,000.00
Inlet Protection		EA	\$ 167.00	=	\$ -	\$ -
Sediment Basin		EA	\$ 1,762.00	=	\$ -	\$ -
Concrete Washout Basin		EA	\$ 600.00	=	\$ -	\$ -
<i>(Short items not listed but part of construction plans)</i>						
MAINTENANCE (39% of Construction BMPs)				=	\$ 8,663.75	\$ 8,663.75
Section 1 Subtotal				=	\$ 47,100.25	\$ 47,100.25

* - Subject to defect warranty financial assurance. A minimum of 20% shall be retained until final acceptance (MAXIMUM OF 80% COMPLETE ALL ITEMS)

SECTION 2 - PUBLIC IMPROVEMENTS *

ROADWAY IMPROVEMENTS						
Construction Traffic Control		LS		=	\$ -	\$ -
Aggregate Base Course (135 lbs/cf)		Tons	\$ 28.00	=	\$ -	\$ -
Aggregate Base Course (135 lbs/cf)	40.0	CY	\$ 50.00	=	\$ 2,000.00	\$ 2,000.00
Asphalt Pavement (2" thick)	290	SY	\$ 14.00	=	\$ 4,060.00	\$ 4,060.00
Asphalt Pavement (4" thick)		SY	\$ 19.00	=	\$ -	\$ -
Asphalt Pavement (6" thick)		SY	\$ 28.00	=	\$ -	\$ -
Asphalt Pavement (147 lbs/cf) 1" thick		Tons	\$ 66.00	=	\$ -	\$ -
Raised Median, Paved		SF	\$ 8.00	=	\$ -	\$ -
Regulatory Sign/Advisory Sign		EA	\$ 300.00	=	\$ -	\$ -
Guide/Street Name Sign		EA		=	\$ -	\$ -
Epoxy Pavement Marking		SF	\$ 13.00	=	\$ -	\$ -
Thermoplastic Pavement Marking		SF	\$ 23.00	=	\$ -	\$ -
Barcode - Type 3		EA	\$ 200.00	=	\$ -	\$ -
Delinicator - Type I		EA	\$ 24.00	=	\$ -	\$ -
Curb and Gutter, Type A (6" Vertical)		LF	\$ 30.00	=	\$ -	\$ -
Curb and Gutter, Type B (Median)		LF	\$ 30.00	=	\$ -	\$ -
Curb and Gutter, Type C (Ramp)		LF	\$ 30.00	=	\$ -	\$ -
4" Sidewalk (common areas only)		SY	\$ 48.00	=	\$ -	\$ -
6" Sidewalk		SY	\$ 60.00	=	\$ -	\$ -
8" Sidewalk		SY	\$ 72.00	=	\$ -	\$ -
10" Sidewalk		SY	\$ 90.00	=	\$ -	\$ -
Pedestrian Ramp		EA	\$ 1,160.00	=	\$ -	\$ -
Cross Pan, local (6" thick, 6' wide to include return)		LF	\$ 51.00	=	\$ -	\$ -
Cross Pan, collector (6" thick, 6' wide to include return)		LF	\$ 92.00	=	\$ -	\$ -
Curb Chase		EA	\$ 1,480.00	=	\$ -	\$ -
Guardrail Type 3 (W-Beam)		LF	\$ 49.00	=	\$ -	\$ -
Guardrail Type 7 (Concrete)		LF	\$ 72.00	=	\$ -	\$ -
Guardrail End Anchorage		EA	\$ 2,068.00	=	\$ -	\$ -
Guardrail Impact Attenuator		EA	\$ 3,767.00	=	\$ -	\$ -
Sound Barrier Fence (CMU block, 6' high)		LF	\$ 78.00	=	\$ -	\$ -
Sound Barrier Fence (panels, 6' high)		LF	\$ 80.00	=	\$ -	\$ -
Electrical Conduit, Size =		LF	\$ 16.00	=	\$ -	\$ -
Traffic Signal, complete intersection		EA	\$ 425,000	=	\$ -	\$ -

PROJECT INFORMATION

Sterling Ranch Forced Main

2/10/2020

PFR 1763

Project Name

Date

PCD File No.

Description	Quantity	Units	Unit Cost		Total	(with Pre-Plant Construction)		
						% Complete	Remaining	
<i>[Insert Name not listed but part of construction plans]</i>								
STORM DRAIN IMPROVEMENTS								
Concrete Box Culvert (M Standard), Size (W x H)		LF			\$ -		\$ -	
18" Reinforced Concrete Pipe		LF	\$ 66.00		\$ -		\$ -	
24" Reinforced Concrete Pipe		LF	\$ 78.00		\$ -		\$ -	
30" Reinforced Concrete Pipe		LF	\$ 97.00		\$ -		\$ -	
36" Reinforced Concrete Pipe		LF	\$ 120.00		\$ -		\$ -	
42" Reinforced Concrete Pipe		LF	\$ 160.00		\$ -		\$ -	
48" Reinforced Concrete Pipe		LF	\$ 186.00		\$ -		\$ -	
54" Reinforced Concrete Pipe		LF	\$ 246.00		\$ -		\$ -	
60" Reinforced Concrete Pipe		LF	\$ 288.00		\$ -		\$ -	
66" Reinforced Concrete Pipe		LF	\$ 332.00		\$ -		\$ -	
72" Reinforced Concrete Pipe		LF	\$ 380.00		\$ -		\$ -	
18" Corrugated Steel Pipe		LF	\$ 84.00		\$ -		\$ -	
24" Corrugated Steel Pipe		LF	\$ 94.00		\$ -		\$ -	
30" Corrugated Steel Pipe		LF	\$ 122.00		\$ -		\$ -	
36" Corrugated Steel Pipe		LF	\$ 147.00		\$ -		\$ -	
42" Corrugated Steel Pipe		LF	\$ 188.00		\$ -		\$ -	
48" Corrugated Steel Pipe		LF	\$ 178.00		\$ -		\$ -	
54" Corrugated Steel Pipe		LF	\$ 260.00		\$ -		\$ -	
60" Corrugated Steel Pipe		LF	\$ 280.00		\$ -		\$ -	
66" Corrugated Steel Pipe		LF	\$ 340.00		\$ -		\$ -	
72" Corrugated Steel Pipe		LF	\$ 400.00		\$ -		\$ -	
78" Corrugated Steel Pipe		LF	\$ 480.00		\$ -		\$ -	
84" Corrugated Steel Pipe		LF	\$ 560.00		\$ -		\$ -	
Flared End Section (FES) PCP Size = (unit cost = for pipe unit cost)		EA			\$ -		\$ -	
Flared End Section (FES) CWP Size = (unit cost = for pipe unit cost)		EA			\$ -		\$ -	
End Treatment- Headwall		EA			\$ -		\$ -	
End Treatment- Vitrified		EA			\$ -		\$ -	
End Treatment - Culvert Wall		EA			\$ -		\$ -	
Curb Inlet (Type R) L=8', Depth < 8'		EA	\$ 8,542.00		\$ -		\$ -	
Curb Inlet (Type R) L=8', 8' ≤ Depth < 10'		EA	\$ 7,188.00		\$ -		\$ -	
Curb Inlet (Type R) L=8', 10' ≤ Depth < 15'		EA	\$ 8,345.00		\$ -		\$ -	
Curb Inlet (Type R) L=10', Depth < 8'		EA	\$ 7,827.00		\$ -		\$ -	
Curb Inlet (Type R) L=10', 8' ≤ Depth < 10'		EA	\$ 7,881.00		\$ -		\$ -	
Curb Inlet (Type R) L=10', 10' ≤ Depth < 15'		EA	\$ 9,841.00		\$ -		\$ -	
Curb Inlet (Type R) L=15', Depth < 8'		EA	\$ 9,918.00		\$ -		\$ -	
Curb Inlet (Type R) L=15', 8' ≤ Depth < 10'		EA	\$ 10,633.00		\$ -		\$ -	
Curb Inlet (Type R) L=15', 10' ≤ Depth < 15'		EA	\$ 11,827.00		\$ -		\$ -	
Curb Inlet (Type R) L=20', Depth < 8'		EA	\$ 10,870.00		\$ -		\$ -	
Curb Inlet (Type R) L=20', 8' ≤ Depth < 10'		EA	\$ 11,867.00		\$ -		\$ -	
Grated Inlet (Type C), Depth < 8'		EA	\$ 4,640.00		\$ -		\$ -	
Grated Inlet (Type C), Depth < 8'		EA	\$ 5,731.00		\$ -		\$ -	
Storm Sewer Manhole, Box Base		EA	\$ 11,827.00		\$ -		\$ -	
Storm Sewer Manhole, Slab Base		EA	\$ 6,388.00		\$ -		\$ -	
Geotextile (Erosion Control)		SY	\$ 6.00		\$ -		\$ -	
Rip Rap, #30 size from 6" to 24"		Tons	\$ 80.00		\$ -		\$ -	
Rip Rap, Grouted		Tons	\$ 95.00		\$ -		\$ -	
Drainage Channel Construction, Size (W x H)		LF			\$ -		\$ -	
Drainage Channel Lining, Concrete		CY	\$ 870.00		\$ -		\$ -	
Drainage Channel Lining, Rip Rap		CY	\$ 112.00		\$ -		\$ -	
Drainage Channel Lining, Grass		AC	\$ 1,488.00		\$ -		\$ -	
Drainage Channel Lining, Other Stabilization					\$ -		\$ -	
<i>[Insert Name not listed but part of construction plans]</i>								
* - Subject to default warranty financial assurance. A minimum of 20% shall be retained until final acceptance (MAXIMUM OF 80% COMPLETE ALLOWED)								
Section 2 Subtotal					\$	6,060.00	\$	6,060.00

PROJECT INFORMATION		
Starling Ranch Forced Main	2/10/2020	PPR 1763
Project Name	Date	PCD File No.

Description	Quantity	Units	Unit Cost	Total	(with Pre-Plot Construction)	
					% Complete	Remaining
AS-BUILT PLANS (Public Improvements Inc. Permanent WQCV BMPs)		LS	=	\$		\$
POND/BMP CERTIFICATION (inc. elevations and volume calculations)		LS	=	\$		\$
Total Construction Financial Assurance					\$	1,164,760.25
(Sum of all section subtotals plus as-builts and pond/BMP certification)						
Total Remaining Construction Financial Assurance (with Pre-Plot Construction)					\$	683,160.25
(Sum of all section totals less credit for items complete plus as-builts and pond/BMP certification)						
Total Defect Warranty Financial Assurance					\$	3,794.30
(20% of all items identified as (*). To be collateralized at time of preliminary acceptance)						

Approvals

I hereby certify that this is an accurate and complete estimate of costs for the work as shown on the Grading and Erosion Control Plan and Construction Drawings associated with the Project.

Engineer (P.E. Seal Required) _____ Date: 2-11-2020

Approved by Owner / Applicant _____ Date: _____

Approved by El Paso County Engineer / BOM Administrator _____ Date: _____

Approved

By: Elizabeth Nijkamp

Date: 03/05/2020

El Paso County Planning & Community Development