OWL MARKETPLACE FILING NO. 1

EL PASO COUNTY, COLORADO CIVIL CONSTRUCTION PLANS

AGENCY CONTACTS:

EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT RYAN HOWSER, PLANNER

2880 INTERNATIONAL CIRCLE, SUITE 110

COLORADO SPRINGS, CO 80910

(719) 520-6300

FALCON FIRE DEPARTMENT TRENT HARWIG, FIRE CHIEF 7030 OLD MERIDIAN ROAD

FALCON, CO 80831 (719)495-4050

WOODMEN HILLS METROPOLITAN DISTRICT 8046 EASTONVILLE ROAD

FALCON, CO 80831 (719) 495-2500

<u>WASTEWATER</u> WOODMEN HILLS METROPOLITAN DISTRICT

8046 EASTONVILLE ROAD FALCON, CO 8083 (719) 495-2500

MOUNTAIN VIEW ELECTRIC ASSOCIATION

LES ULFERS 11140 E. WOODMEN ROAD FALCON, CO 80831

(719) 495-2283 COLORADO SPRINGS UTILITIES

TODD STURTEVANT

1521 HANCOCK EXPRESSWAY

COLORADO SPRINGS, CO 80947 (719) 668-3556

<u>TELEPHONE</u> CENTURY LINK

> (719) 636-4329(LOCATORS) (719) 597-8418

(LOCATORS) (719) 635-3674

COMCAST

DALE STEWART

(719) 442-4733

213 N. UNION BLVD COLORADO SPRINGS, CO 80909

EASTONVILLE RD. E. WOODMEN R

VICINITY MAP

NTS

inlcude lot 14

LEGAL DESCRIPTION:

LOT 15, FALCON RANCHETTES, ACCORDING TO THE PLAT AS RECORDED OCTOBER 21, 1986 AT RECEPTION NO. 1470182, COUNTY OF EL PASO, STATE OF COLORADO.

FLOODPLAIN STATEMENT:

THE EFFECTIVE FLOODPLAIN ZONE A LIMITS ARE DEFINED ON THE FIRM FOR EL PASO COUNTY, COLORADO AND UNINCORPORATED AREAS, MAP NUMBER 08041C0553G, EFFECTIVE DATE DECEMBER 7, 2018.

A CLOMR TO MODIFY THE FLOODPLAIN WAS APPROVED BY FEMA CASE NO. 22-08-0669R (DEC 21, 2022).

BENCHMARK:

ELEVATIONS ARE BASED ON COLORADO SPRINGS UTILITIES FACILITIES INFORMATION SYSTEM (FIMS) "BLT 167", A 2" ALUMINUM CAP IN CONCRETE LOCATED ON AN ELECTRIC TRANSFORMER PAD AT THE SOUTHEAST CORNER OF WOODMEN ROAD AND MERIDIAN ROAD, WITH AN ELEVATION OF 6873.18 (NGVD 29).

TIMING:

ANTICIPATED STARTING AND COMPLETION TIME PERIOD OF SITE GRADING: FALL/WINTER 2023-SUMMER 2024

AREAS:

TOTAL AREA OF THE SITE TO BE CLEARED, EXCAVATED OR GRADED: APPROXIMATELY 4.61

RECEIVING WATERS:

FALCON WATERSHED - UNNAMED TRIBUTARY TO UPPER BLACK SQUIRREL CREEK

SOILS:

HYDROLOGIC TYPE A: COLUMBINE GRAVELLY SANDY LOAM (NO. 19)

Move this to the County signature block

NOTE:

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

DESIGN ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO CRITERIA ESTABLISHED BY THE COUNTY FOR THE DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES/FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERROPS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

TIM D. MCCONNELL P.E. # 33797

OWNER'S STATEMENT:

I. THE OWNER/DEVELOPER HAVE READ AND/WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

BRIAN ZUREK

EL PASO COUNTY

COUNTY ENGINEER

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

JOSHUA PALMER, P.E.

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> Know what's below. Call before you dig.

 $\sim\sim\sim\sim$

CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

PREPARED BY:



Engineers • Surveyors 3 SOUTH 7TH STREET COLORADO SPGS, COLORADO 809 CONTACT: TIM D. McCONNELL, P.

> (719)260-0887 COLORADO SPRINGS • LAFAYETTE

> > CLIENT:

BH RE INVESTMENTS, LLC 450 N MCCLINTOCK DRIVE CHANDLER, AZ 85226 (480) 313-2724

ISSUE DATE INITIAL ISSUE 08/04/2023

DESIGNED BY: DRAWN BY: CHECKED BY: FILE NAME: 21611—CVR

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE: HORIZONTAL: N/A VERTICAL: N/A

COVER SHEET

PROJECT NO. 21611-01CSCV DRAWING NO.

SHEET: 1 OF 15

STANDARD NOTES FOR EL PASO COUNTY GRADING AND EROSION CONTROL PLANS

- 1.STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
- 2.NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS. INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- 3.A SEPARATE STORMWATER MANAGEMENT PLAN (SMWP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- 4.ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED. THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- 5.CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- 6.ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
- 7. TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
- 8.FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- 9.ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT AFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- 10. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
- 11. COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
- 12. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
- 13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.
- 14. DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
- 15. EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- 16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- 17. WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET. ALLEY. OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- 18. TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- 19. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- 20. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- 21. NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ONSITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- 22. BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ONSITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
- 23. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
- 24. OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- 25. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
- 26. PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- 27. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- 28. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY GROUND ENGINEERING, DATED AUGUST 25, 2015, WITH ADDENDA #1, DATED MARCH 17, 2017, AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- 29. AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT WATER QUALITY CONTROL DIVISION

WQCD - PERMITS 4300 CHERRY CREEK DRIVE SOUTH DENVER, CO 80246-1530

ATTN: PERMITS UNIT

STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS

- 1.ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA
- 2.CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- 3.CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
- a.EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM) b.CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2 c.COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION d.CDOT M & S STANDARDS
- 4.NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS. STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO
- 5.IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- 6.CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- 7.IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- 8.CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR
- 9.ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD. WATERTIGHT JOINTS SHALL BE PROVIDED ON THE SPECIFIED PIPES.
- 10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- 11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- 12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- 13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
- 14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- 15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

SIGNAGE AND STRIPING NOTES

SIGNING AND STRIPING NOTES:

1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.

3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.

- 4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
- 5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS. / 35
- 6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.

7. ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCÁL ROADWAY SIGNS BÉING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED, MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS" ٨

8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.

9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.

10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.

11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMÓPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. W<mark>ord an</mark> SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES \$HALL BE 12" WIDE AND & LONG PER CDOT S-627-1.

12. ALL\LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY COOT S-627-1.

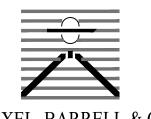
13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.

14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

> please make the highlighted its own

Please add: Signa ole mounted and overhead street name signs shall be per MUTCH size

PREPARED BY:



DREXEL, BARRELL & CC Engineers • Surveyors 3 SOUTH 7TH STREET

COLORADO SPGS, COLORADO 8090: CONTACT: TIM D. McCONNELL, P.E (719)260-0887 COLORADO SPRINGS • LAFAYETTE

CLIENT:

BH RE INVESTMENTS, LLC 450 N MCCLINTOCK DRIVE CHANDLER, AZ 85226 (480) 313-2724

D

DATE INITIAL ISSUE 08/04/202 DESIGNED BY: DRAWN BY: CHECKED BY:

FILE NAME: | 21611-CVR

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

> DRAWING SCALE: HORIZONTAL: N/A VERTICAL: N/A

GENERAL NOTES & ROAD

CROSS SECTIONS

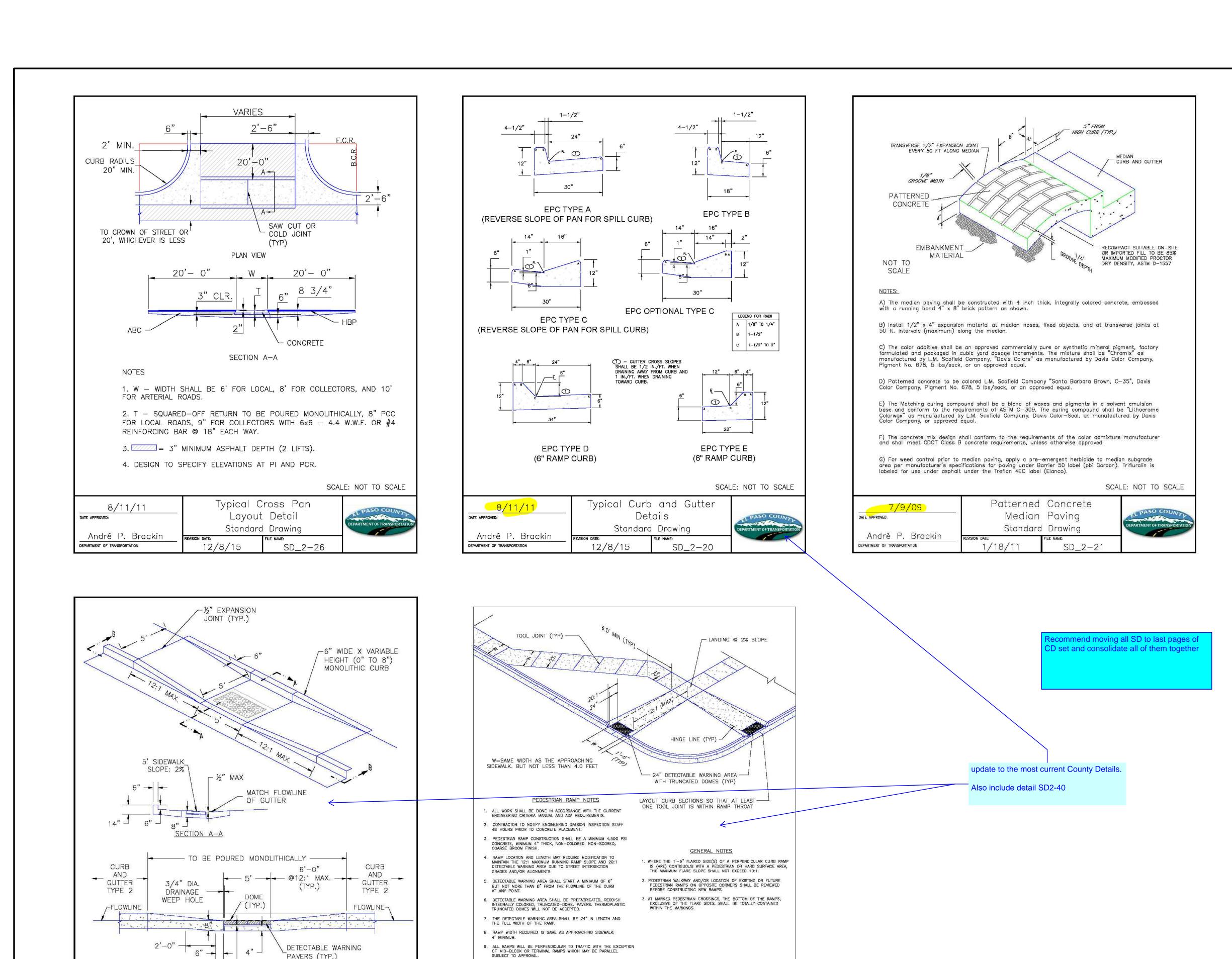
PROJECT NO. 21611-01CSCV

DRAWING NO.

SHEET: 2 OF 15

Know what's **below**. BEFORE YOU DIG, GRADE, OR

Call before you dig. CALL 2-BUSINESS DAYS IN ADVANCE EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



AVOID PLACING DRAINAGE STRUCTURES, TRAFFIC SIGNAL/SIGNAGE, UTILITIES/JUNCTION BOXES, OR OTHER OBSTRUCTIONS WITHIN PROPOSED RAMP AREAS.

7/9/09

André P. Brackin

DEPARTMENT OF TRANSPORTATION

DATE APPROVED:

Pedestrian Intersection

Ramp

Standard Drawing

SD_2-41

12/8/15

PAVERS (TYP.)

SD_2-50

SCALE: NOT TO SCALE

SECTION B-B

Parallel Pedestrian

Ramp Detail

Standard Drawing

1" SAND FOUNDATION (TYP.)

12/8/15

DATE APPROVED:

André P. Brackin

DEPARTMENT OF TRANSPORTATION

INITIAL ISSUE 08/04/202 DESIGNED BY: KGV DRAWN BY: CHECKED BY: TDM FILE NAME: 21611-DTL

ISSUE

DATE

PREPARED BY:

DREXEL, BARRELL & CO

Engineers • Surveyors 3 SOUTH 7TH STREET

COLORADO SPGS, COLORADO 80903

CONTACT: TIM D. McCONNELL, P.E

COLORADO SPRINGS . LAFAYETTE

CLIENT:

BH RE INVESTMENTS, LLC

450 N MCCLINTOCK DRIVE CHANDLER, AZ 85226 (480) 313-2724

(719)260-0887

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE: HORIZONTAL: N/A VERTICAL: N/A

> STANDARD **DETAILS**

PROJECT NO. 21611-01CSCV DRAWING NO.

Know what's below.

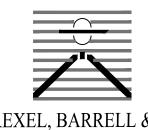
Call before you dig.

EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR

SHEET: 3 OF 15

PREPARED BY:



DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905

COLORADO SPGS, COLORADO 80905 CONTACT: TIM D. McCONNELL, P.E. (719)260-0887 COLORADO SPRINGS • LAFAYETTE

CLIENT:

BH RE INVESTMENTS, LLC 450 N MCCLINTOCK DRIVE CHANDLER, AZ 85226 (480) 313-2724

AARKETPLACE

ISSUE DATE
INITIAL ISSUE 08/04/2023

DESIGNED BY: KGV

DRAWN BY: KGV

CHECKED BY: TDM

FILE NAME: 21611-DTL

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:
HORIZONTAL: N/A
VERTICAL: N/A

STANDARD DETAILS

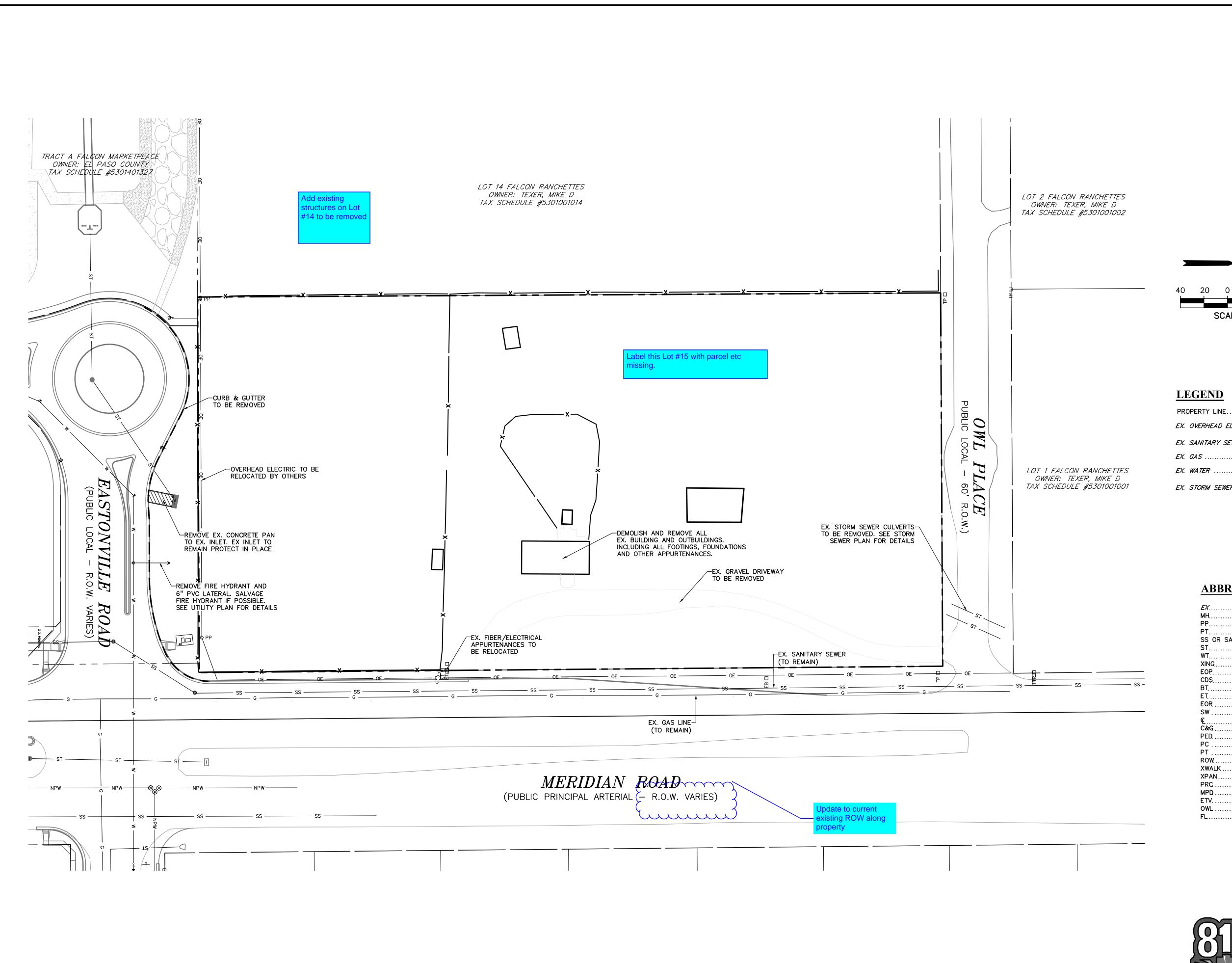
PROJECT NO. 21611-01CSCV
DRAWING NO.

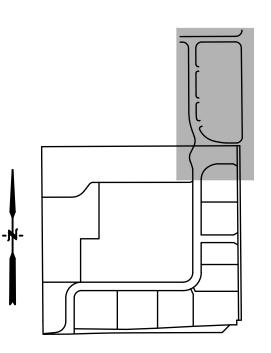
C4

Know what's **below. Call** before you dig.

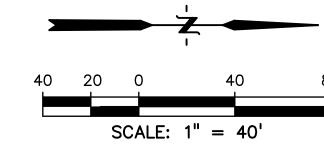
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

SHEET: 4 OF 15





KEY MAP



PROPERTY LINE	
EX. OVERHEAD ELECTRIC	——— OE ———
EX. SANITARY SEWER	ss
EX. GAS	G
EX. WATER	w
EX. STORM SEWER	ST

ABBREBIATION

<i>EX</i>		EXISTING
MH.		MANHOLE
PP		PROPOSED
		SANITARY SEWER
		STORM SEWER
	.	• • • • • • • • • • • • • • • • • • • •
		•
		BEGIN TRANSITION
		END TRANSITION
		EDGE OF ROAD
Q.		
¬	• • • • • • • • • • • • • • • • • • •	CURB AND GUTTER
		POINT OF CURVATURE
		POINT OF TANGENCY
		RIGHT OF WAY
	.LK	
	N	
		POINT OF REVERSE CURVE
MPD	٠	MERIDIAN PARK DRIVE
ETV.		NORTH FL EASTONVILLE ROAD
OWL		OWL PLACE

Know what's below.
Call before you dig.

CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR
EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

...FLOWLINE

PREPARED BY:



DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905
CONTACT: TIM D. McCONNELL, P.E.
(719)260-0887
COLORADO SPRINGS • LAFAYETTE

CLIENT:

BH RE INVESTMENTS, LLC 450 N MCCLINTOCK DRIVE CHANDLER, AZ 85226

(480) 313-2724

OWL RKETPLACE

ISSUE DATE
INITIAL ISSUE 08/04/2023

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CHECKED BY: TDM
FILE NAME: 21611-DMO

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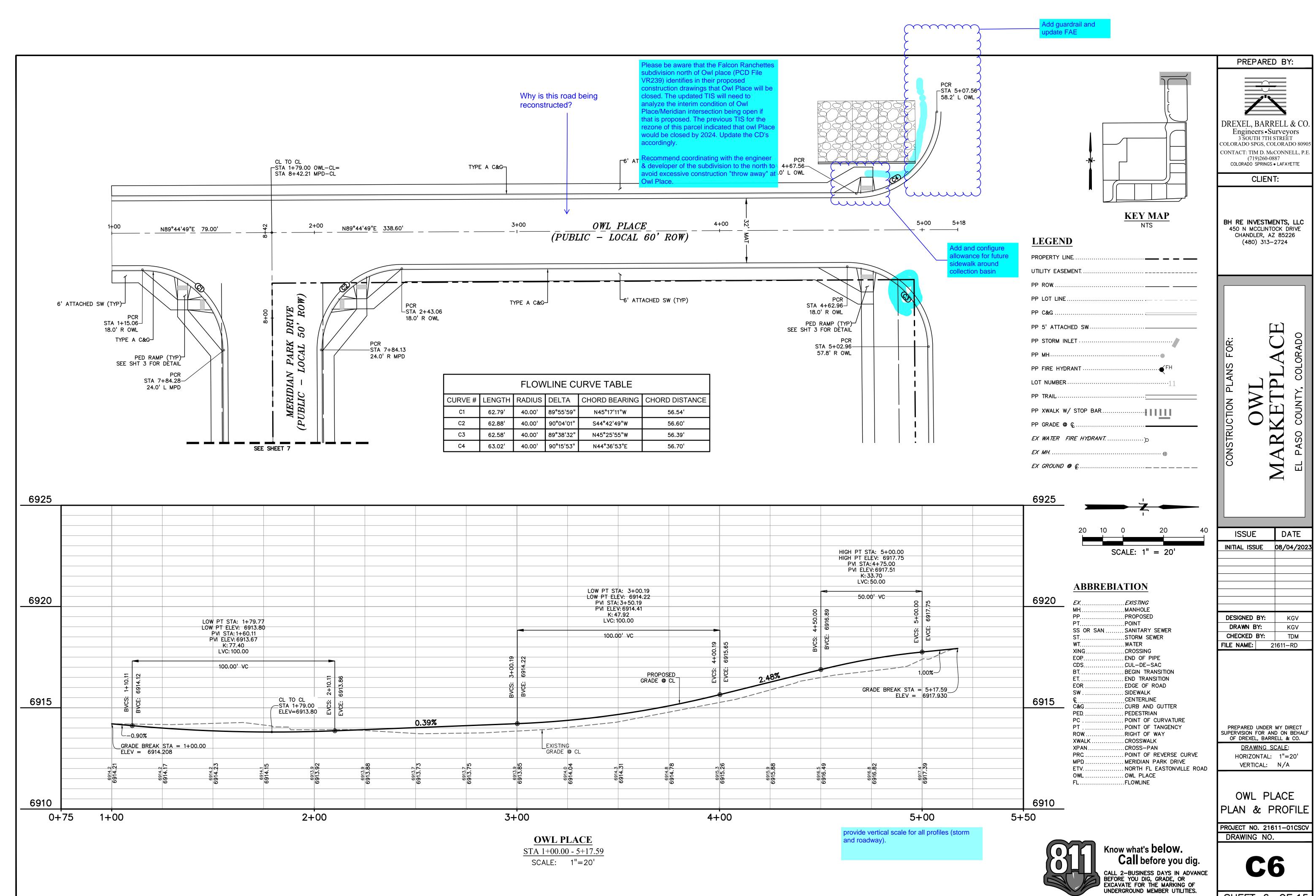
<u>DRAWING SCALE</u>: HORIZONTAL: 1" = 40' VERTICAL: N/A

EXISTING
CONDITIONS &
SITE DEMO

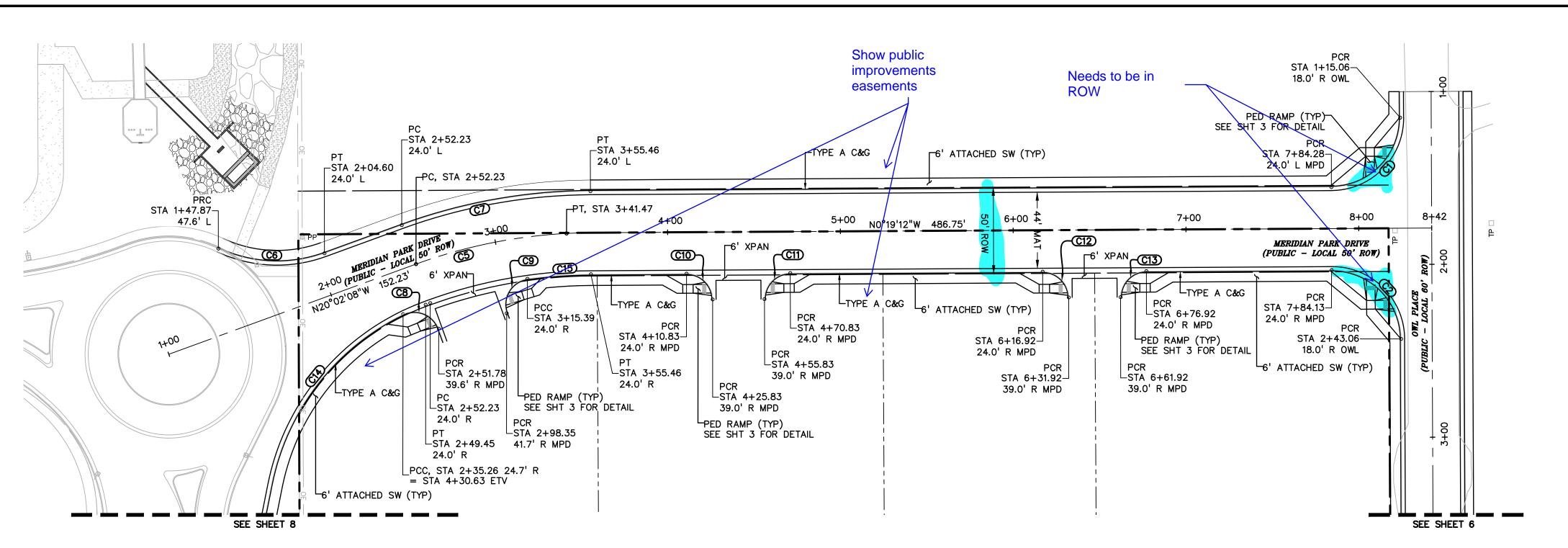
PROJECT NO. 21611-01CSCV DRAWING NO.

C5

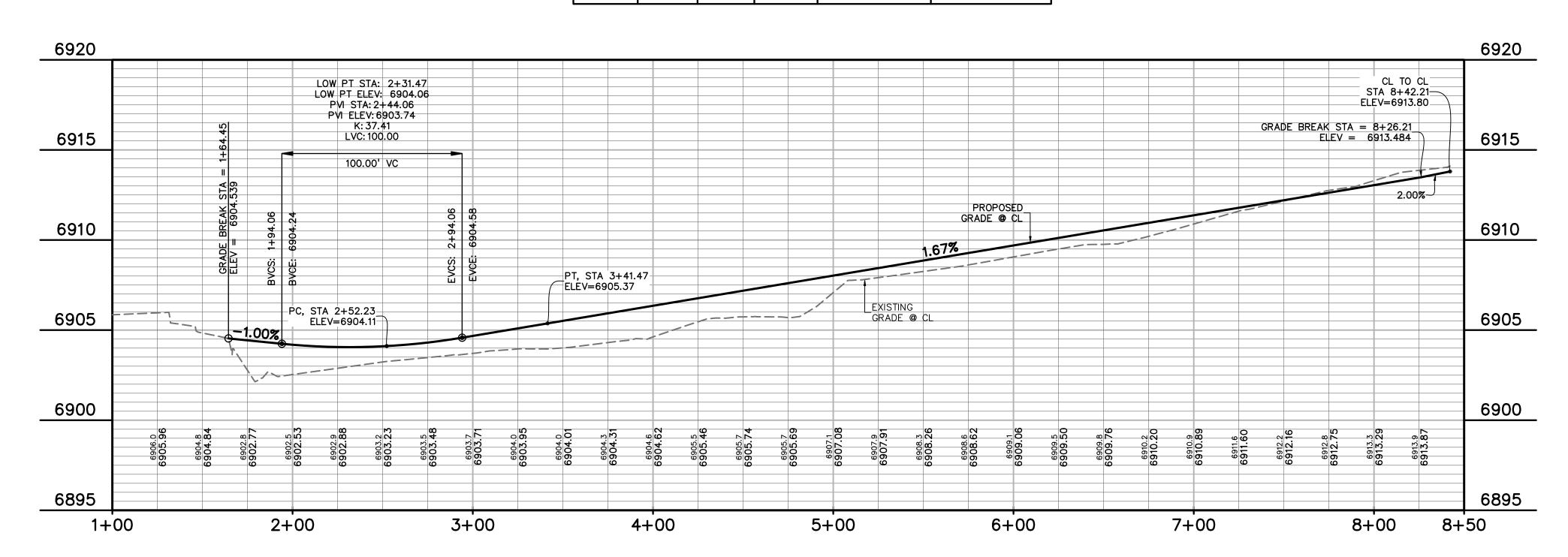
SHEET: 5 OF 15



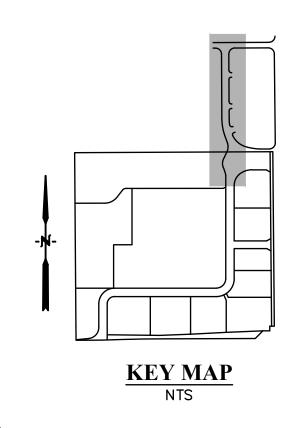
SHEET: 6 OF 15



CENTERLINE/FLOWLINE CURVE TABLE					
CURVE#	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	62.79'	40.00'	89°55'59"	N45°17'11"W	56.54'
C2	62.88'	40.00'	90°04'01"	S44°42'49"W	56.60'
C5	103.23'	300.00'	19°42'56"	S10°10'40"E	102.72'
C6	63.06'	80.00'	45°09'49"	N02°32'46"E	61.44'
C7	111.49'	324.00'	19°42'56"	S10°10'40"E	110.94'
C8	25.09'	15.00'	95°49'10"	S22°03'17"W	22.26'
C9	26.72'	15.00'	102°03'48"	S59°00'14"E	23.32'
C10	23.56'	15.00'	90°00'00"	S44°40'48"W	21.21'
C11	23.56'	15.00'	90°00'00"	S45°19'12"E	21.21'
C12	23.56'	15.00'	90°00'00"	S44°40'48"W	21.21'
C13	23.56'	15.00'	90°00'00"	S45°19'12"E	21.21'
C14	129.20'	140.00'	52°52'36"	S52°17'36"E	124.67'
C15	36.86'	276.00'	7°39'08"	S04°08'46"E	36.83'

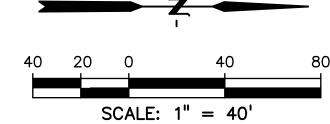


MERIDIAN PARK DRIVE S<u>TA 1+00.00 - 8+42.21</u> SCALE: 1"=40'



LEGEND

PP C&G PP 5' ATTACHED SW	
PP LOT LINE	
PP C&G	
PP 5' ATTACHED SW	
PP STORM INLET	
PP MH	
PP FIRE HYDRANT	
LOT NUMBER11	
PP TRAIL	
PP XWALK W/ STOP BAR	
PP GRADE @ Q	
EX WATER FIRE HYDRANT	
<i>EX MH</i>	
EX GROUND @ @	



ABBREBIATION

<i>EX</i>	. EXISTING
MH	.MANHOLE
PP	.PROPOSED
PT	
	.SANITARY SEWER
ST	
WT	WATER
XING	
EOP	
CD\$	
BT	BEGIN TRANSITION
ET	
EOR	
SW	
<u>Ç</u>	
C&G	CURB AND GUTTER
PED	. PEDESTRIAN
PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
ROW	
VWALIZ	CDOCCWALK

XWALK. .. CROSSWALK XPAN. ...CROSS-PAN .. POINT OF REVERSE CURVE . MERIDIAN PARK DRIVE ETV. . ..NORTH FL EASTONVILLE ROAD .. OWL PLACE

...FLOWLINE



PREPARED BY:

DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905

CLIENT:

CONTACT: TIM D. McCONNELL, P.E (719)260-0887 COLORADO SPRINGS • LAFAYETTE

BH RE INVESTMENTS, LLC 450 N MCCLINTOCK DRIVE CHANDLER, AZ 85226 (480) 313-2724

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DESIGNED	BY:	KGV
DRAWN B	Y:	KGV
CHECKED	BY:	TDM
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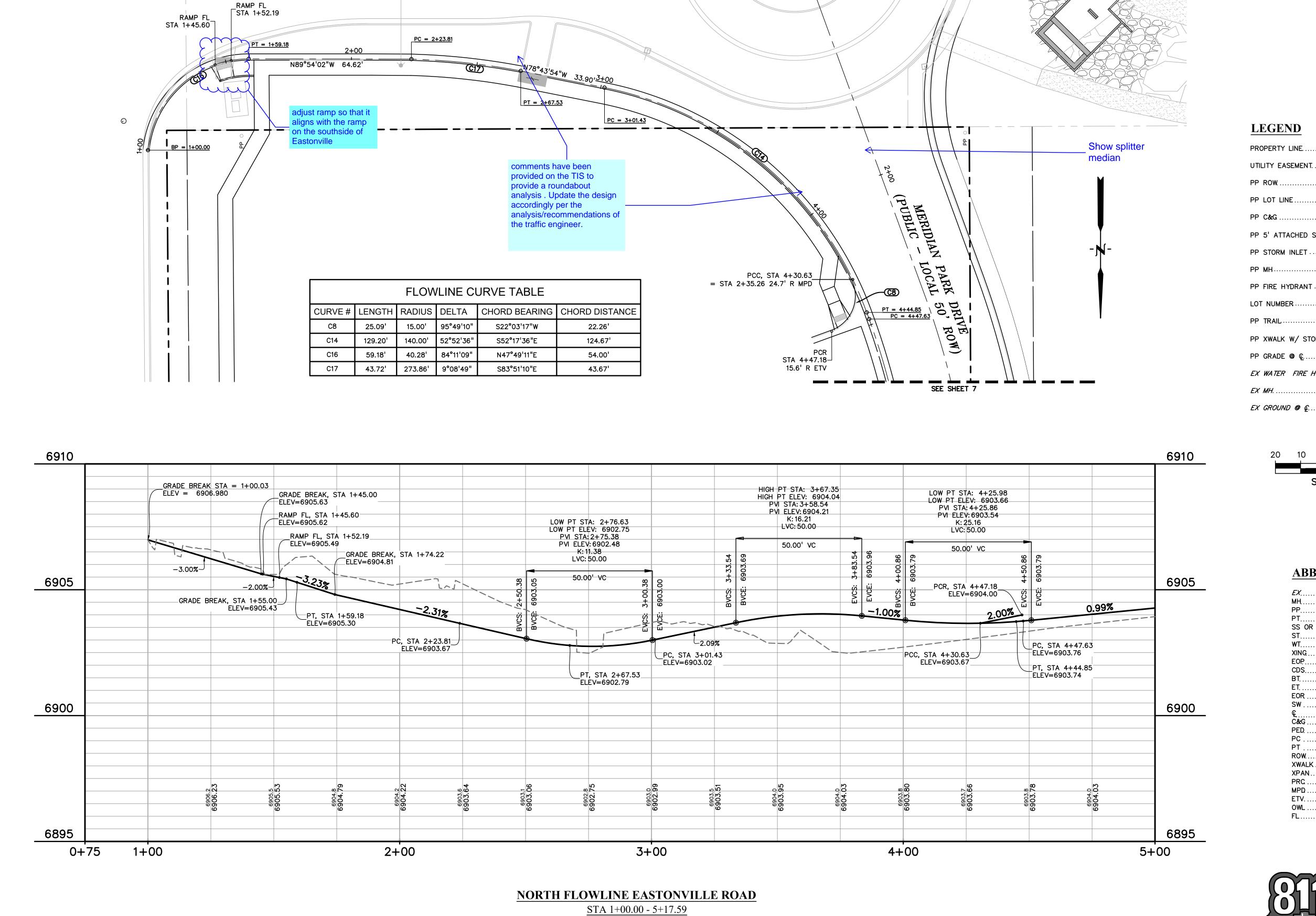
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE: HORIZONTAL: 1"=40' VERTICAL: N/A

MERIDIAN PARK DRIVE PLAN & PROFILE

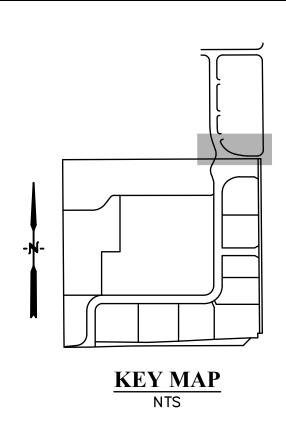
PROJECT NO. 21611-01CSCV DRAWING NO.

SHEET: 7 OF 15



SCALE: 1"=20'

EASTONVILLE ROAD



LEGEND

-
PROPERTY LINE
UTILITY EASEMENT.
PP ROW
PP LOT LINE
PP C&G
PP 5' ATTACHED SW
PP STORM INLET
PP MH
PP FIRE HYDRANT
LOT NUMBER11
PP TRAIL
PP XWALK W/ STOP BAR
PP GRADE @ C
EX WATER FIRE HYDRANT
<i>EX MH</i>



ABBREBIATION

<i>EX</i>	EXISTING
мң	
	PROPOSED
PT	
	SANITARY SEWER
	STORM SEWER
WT	
XING	
EOP	END OF PIPE
	CUL-DE-SAC
BT	BEGIN TRANSITION
ET	END TRANSITION
EOR	EDGE OF ROAD
SW	SIDEWALK
Ç	CENTERLINE
C&G	CURB AND GUTTER
PED	PEDESTRIAN
PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
ROW	RIGHT OF WAY
XWALK	CROSSWALK
XPAN	CROSS-PAN
PRC	POINT OF REVERSE CURV
MPD	MERIDIAN PARK DRIVE
ETV	NORTH FL EASTONVILLE F
OWL	OWL PLACE
FL	FLOWLINE



Know what's **below. Call** before you dig. CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

PREPARED BY:

DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905 CONTACT: TIM D. McCONNELL, P.E (719)260-0887 COLORADO SPRINGS • LAFAYETTE

CLIENT:

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DATE **ISSUE** INITIAL ISSUE 08/04/2023 DESIGNED BY: KGV DRAWN BY: KGV CHECKED BY: TDM FILE NAME: 21611-RD

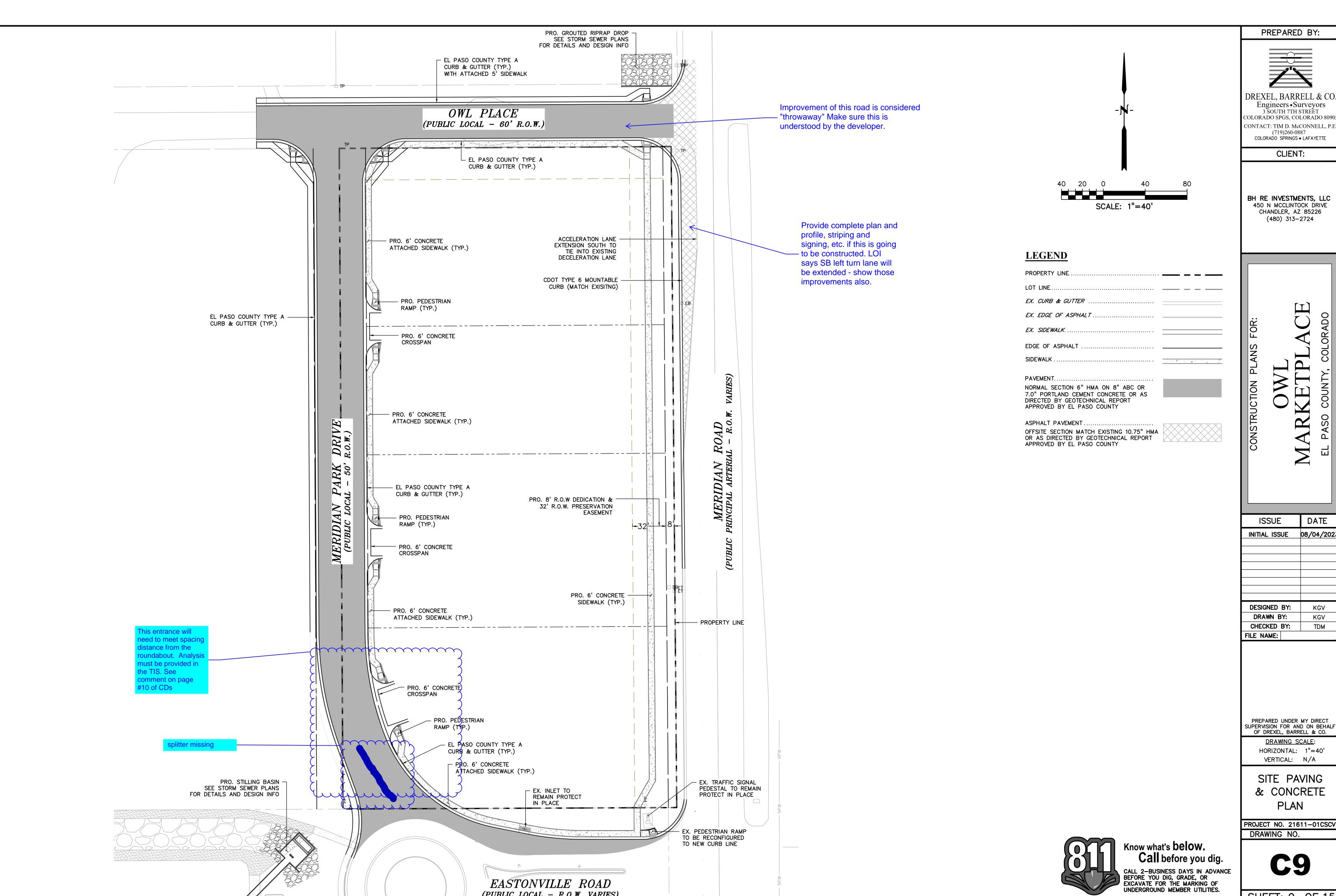
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE: HORIZONTAL: 1"=20' VERTICAL: N/A

NORTH FLOWLINE EASTONVILLE ROAD PLAN & PROFILE

PROJECT NO. 21611-01CSCV DRAWING NO.

SHEET: 8 OF 15



EASTONVILLE ROAD (PUBLIC LOCAL - R.O.W. VARIES) PREPARED BY:

DREXEL, BARRELL & CO. Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905

CLIENT:

BH RE INVESTMENTS, LLC 450 N MCCLINTOCK DRIVE CHANDLER, AZ 85226

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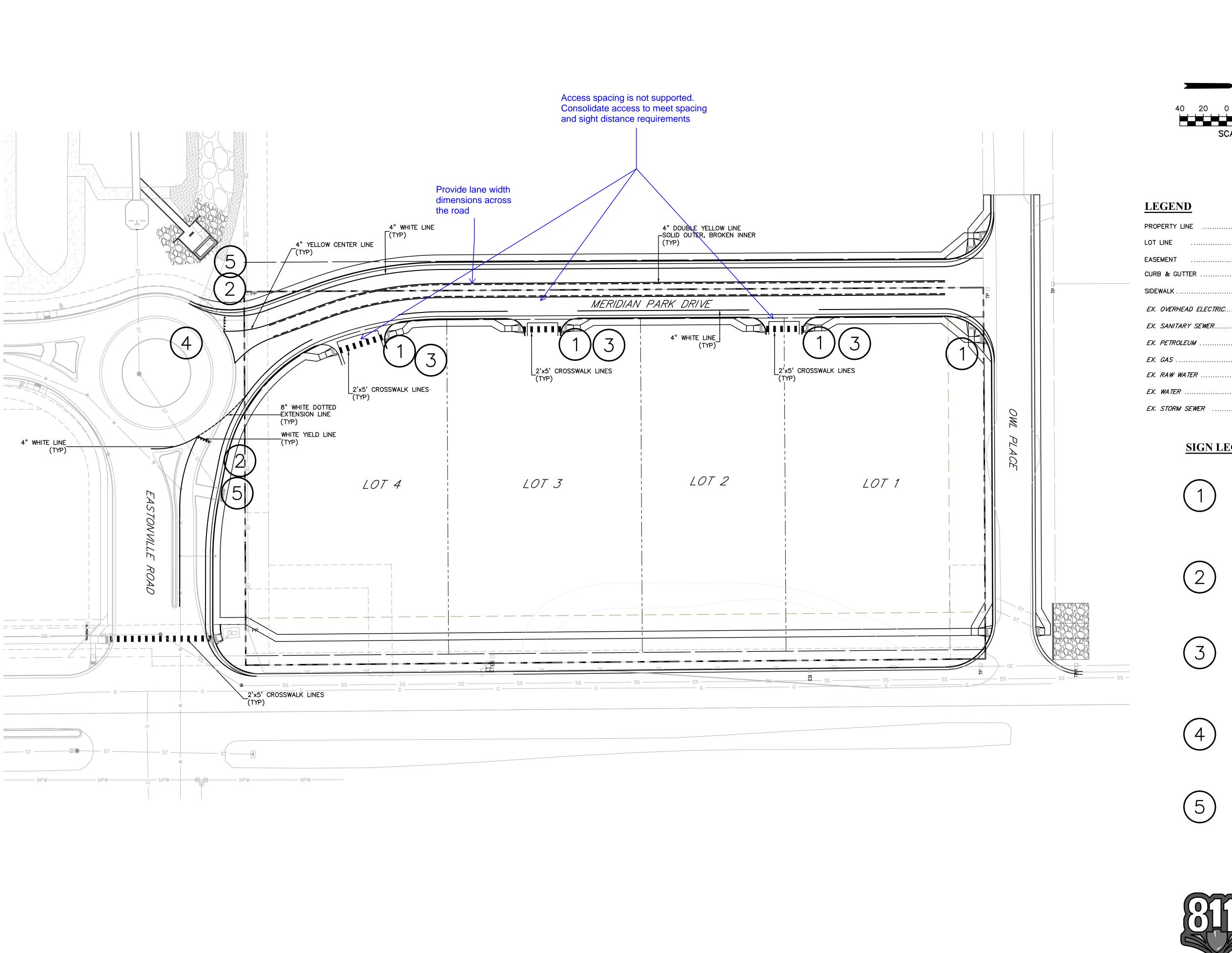
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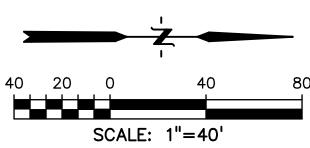
DRAWING SCALE: HORIZONTAL: 1"=40' VERTICAL: N/A

SITE PAVING & CONCRETE PLAN

PROJECT NO. 21611-01CSCV DRAWING NO.

SHEET: 9 OF 15

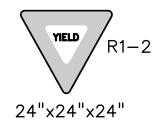




PROPERTY LINE	
LOT LINE	
EASEMENT	
CURB & GUTTER	
SIDEWALK	
EX. OVERHEAD ELECTRIC	- OE
EX. SANITARY SEWER	- ss
EX. PETROLEUM	— UP ————
EX. GAS	– G ––––
EX. RAW WATER	— RW ————
EX. WATER	— w ———
EX. STORM SEWER	- st

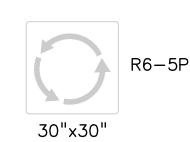
SIGN LEGEND













PREPARED BY:

DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905

CONTACT: TIM D. McCONNELL, P.E (719)260-0887 COLORADO SPRINGS • LAFAYETTE CLIENT:

BH RE INVESTMENTS, LLC 450 N MCCLINTOCK DRIVE CHANDLER, AZ 85226 (480) 313-2724

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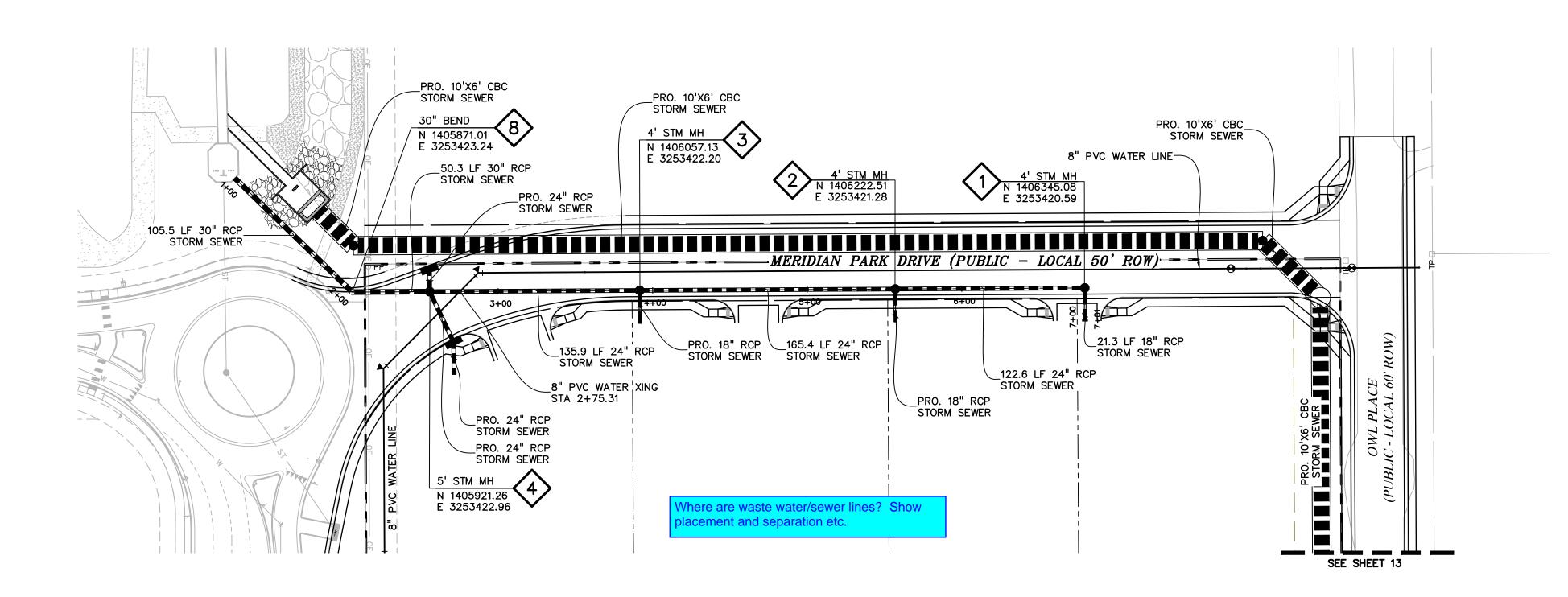
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

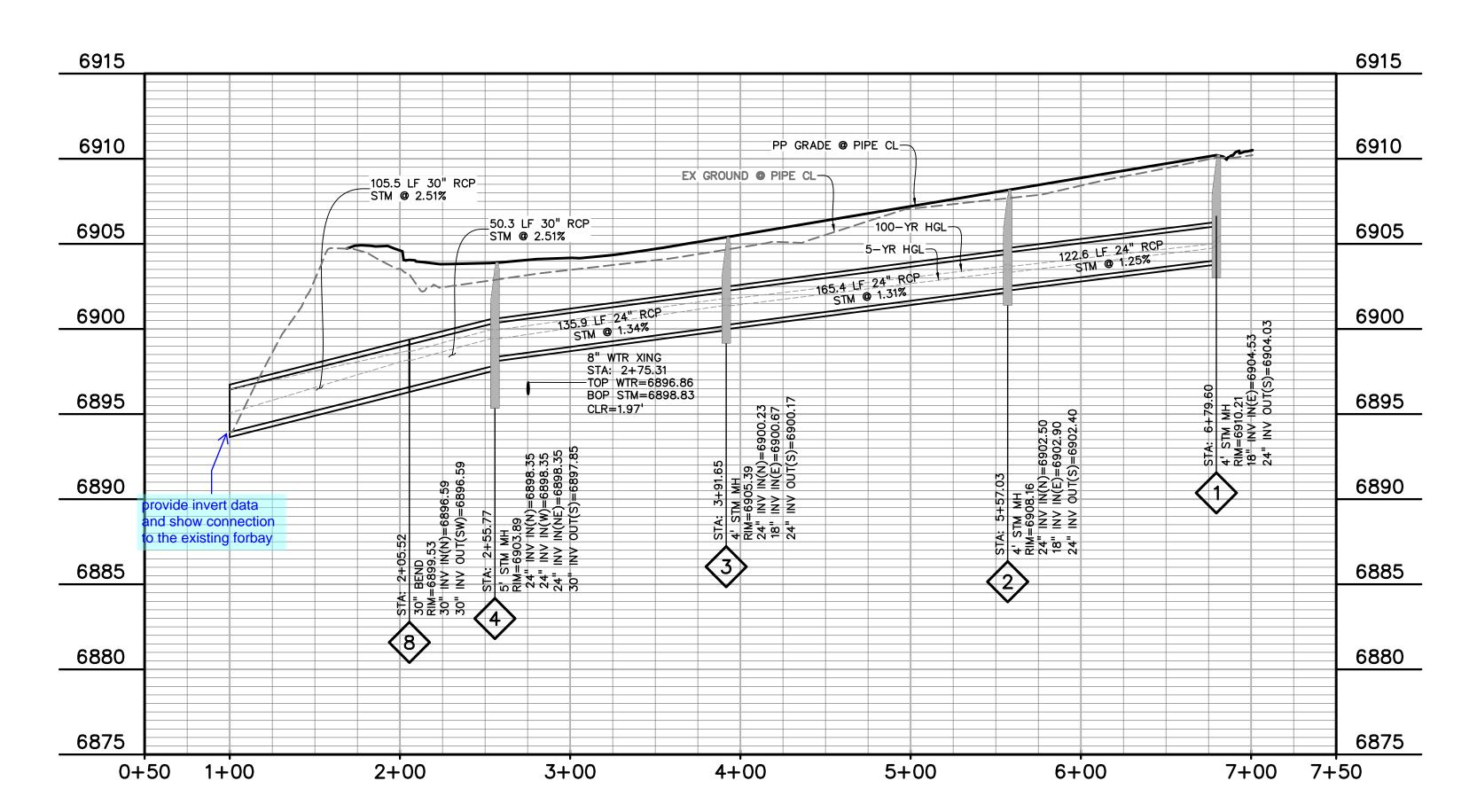
DRAWING SCALE: HORIZONTAL: 1"=40' VERTICAL: N/A

SIGNAGE & STRIPING PLAN

PROJECT NO. 21611-01CSCV DRAWING NO.

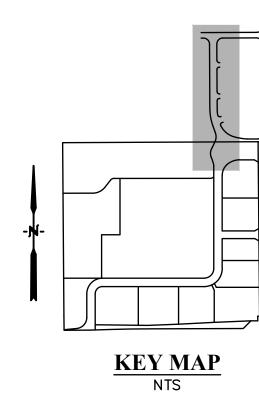
SHEET:10 OF 15





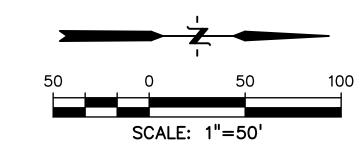
24" EASTERN STORM PIPE - MERIDIAN PARK DRIVE

STA 1+00.00 - 7+01.00 SCALE: 1"=50'



LEGEND

PROPERTY LINE	
LOT LINE	
EASEMENT	
CURB & GUTTER	
SIDEWALK	
PRO. WATER LINE	
PRO. FIRE HYDRANT	
PRO. RAW WATER	
PRO. SANITARY SEWER	
PRO. STORM SEWER	
EX. OVERHEAD ELECTRIC	—— OE ———
EX. SANITARY SEWER	ss
EX. PETROLEUM	UP
EX. GAS	G
EX. RAW WATER	RW
EX. WATER	w
EX. STORM SEWER	st



ABBREBIATION

<i>EX</i>	EXISTING
MH	MANHOLE
PP	PROPOSED
PT	POINT
SS OR SAN	ŞANITARY SEWER
ST	STORM SEWER
WT	WATER
XING	CROSSING
EOP	END OF PIPE
CD\$	CUL-DE-SAC
BT	BEGIN TRANSITION
ET	END TRANSITION
EOR	EDGE OF ROAD
SW	
Q	CENTERLINE
C&G	CURB AND GUTTER
PED	PEDESTRIAN
PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
ROW	RIGHT OF WAY
XWALK	CROSSWALK
XPAN	CROSS-PAN
	POINT OF REVERSE CURVE
MPD	MERIDIAN PARK DRIVE
ETV	NORTH FL EASTONVILLE ROAD
OWL	
FL	FLOWLINE



. CONCRETE BOX CULVERT

PREPARED BY:

EXEL, BARRELL & C

DREXEL, BARRELL & CO.
Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 80905
CONTACT: TIM D. McCONNELL, P.E.
(719)260-0887
COLORADO SPRINGS • LAFAYETTE

CLIENT:

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FILE NAME:	21611-STM1	

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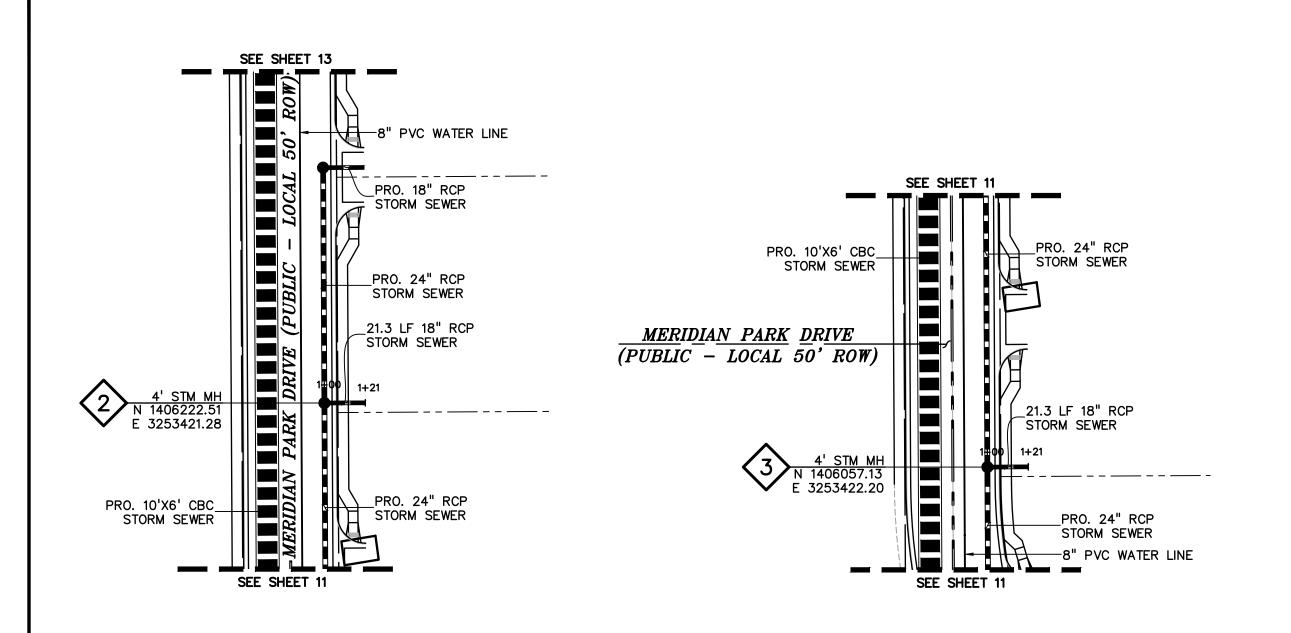
DRAWING SCALE:
HORIZONTAL: 1"=50'
VERTICAL: N/A

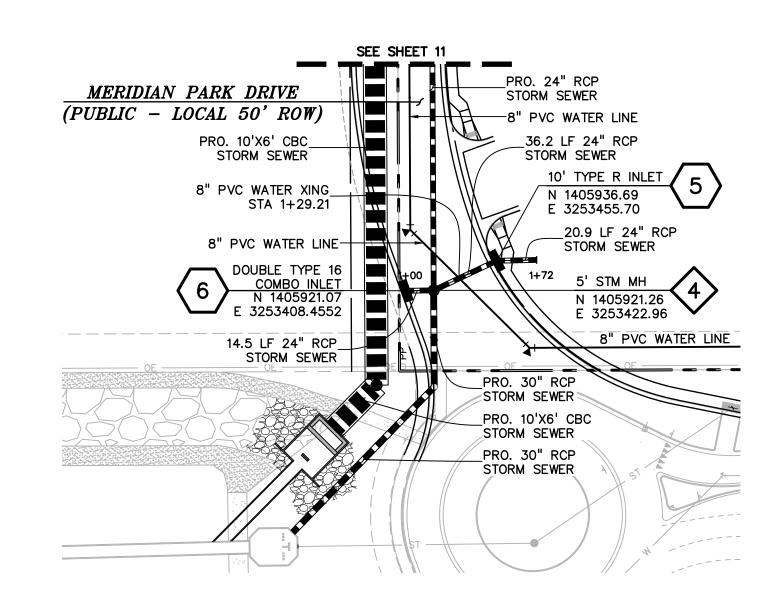
STORM SEWER
PLAN & PROFILE
EAST MPD

PROJECT NO. 21611-01CSCV
DRAWING NO.

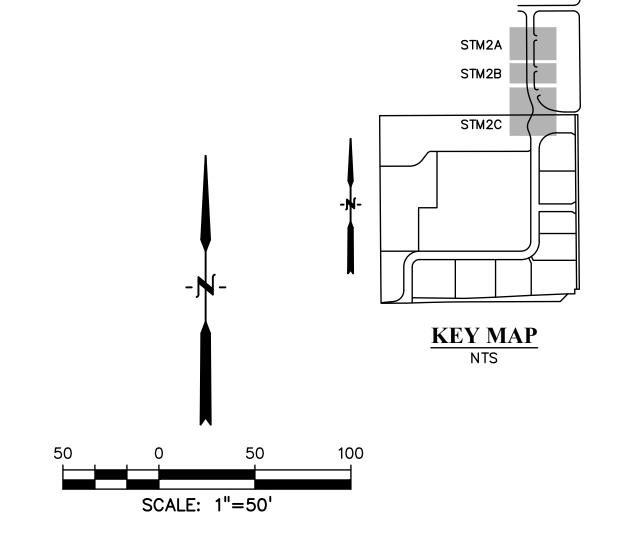
C11

SHEET: 11 OF 15





6910



LEGEND

PROPERTY LINE

CURB & GUTTER

PRO. WATER LINE.

PRO. FIRE HYDRANT

PRO. SANITARY SEWER.

EX. OVERHEAD ELECTRIC..

EX. SANITARY SEWER.

EX. PETROLEUM .

EX. RAW WATER

EX. STORM SEWER

EX. GAS ..

EX. WATER .

PRO. STORM SEWER .

PRO. RAW WATER.

LOT LINE .

EASEMENT.

SIDEWALK .

6910



CLIENT:

BH RE INVESTMENTS, LLC 450 N MCCLINTOCK DRIVE CHANDLER, AZ 85226 (480) 313-2724

CONSTRUCTION PLANS	OWL	TATITAT	MAKKEIFL
ISS	SUE		D/
INITIAL	ISSLIE		h8 /n

ISSUE	•	DATE
INITIAL ISS	UE	08/04/202
DESIGNED	BY:	KGV
DRAWN E	BY:	KGV
CHECKED	BY:	TDM
FILE NAME:	21611-STM1	

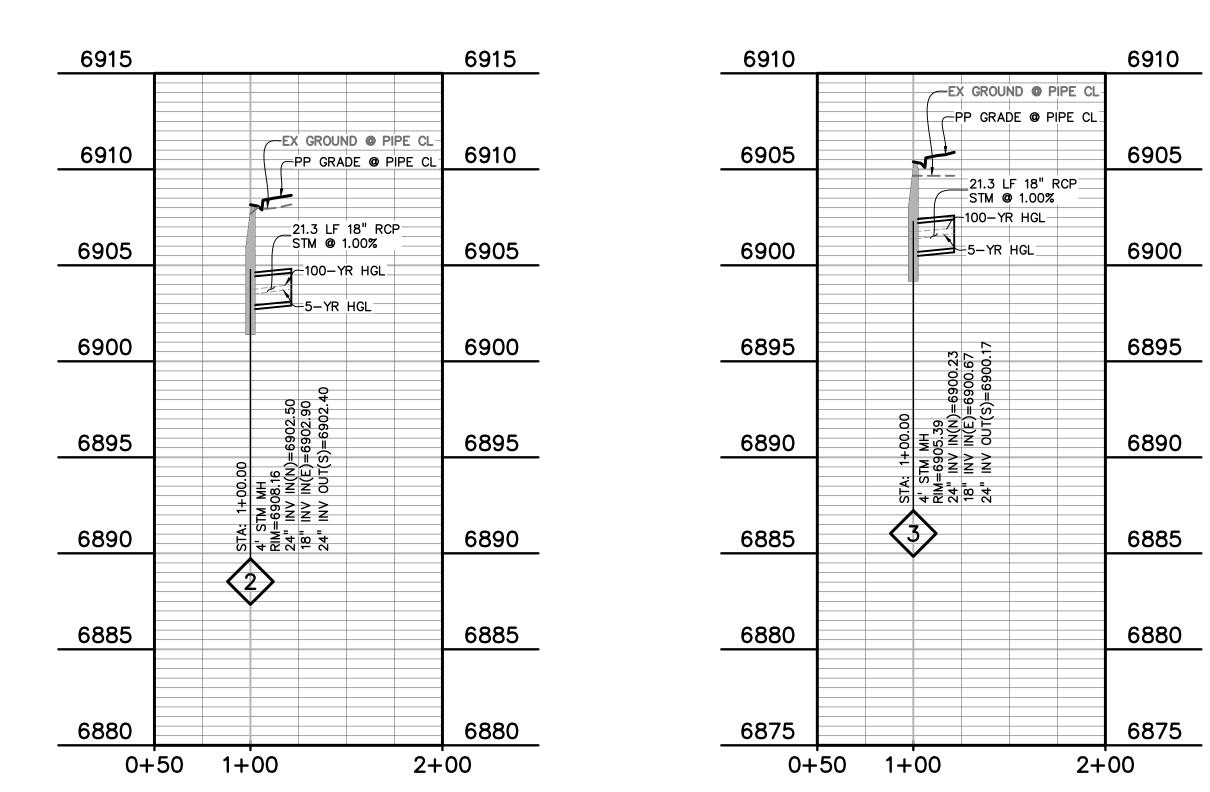
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO. DRAWING SCALE: HORIZONTAL: 1"=50' VERTICAL: N/A

STORM SEWER PLAN & PROFILE EAST MPD

PROJECT NO. 21611-01CSCV DRAWING NO.

SHEET: 12 OF 15

Know what's below. Call before you dig. CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



18" EASTERN STORM PIPE - MPD (STM2A)

STA 1+00.00 - 1+21.00

SCALE: 1"=50'

18" EASTERN STORM PIPE - MPD (STM2B) STA 1+00.00 - 1+21.00 SCALE: 1"=50'

36.2 LF 24" RCP-STORM SEWER 6905 PP GRADE @ PIPE CL -14.5 LF 24" RCP STORM SEWER EX GROUND @ PIPE CL-6900 6900 5-YR HGL _20.9 LF 24" RCP STORM SEWER 6895 6895 1+50.70, 0.00' 1+00.00, 0.00' DOUBLE TYPE 16 10' TYPE R INLET RIM = 6904.37COMBO INLET INV. IN = 6898.81' (E)RIM # 6903.61' INV. OUT = 6898.71' (SW) INV. OUT = 6898.49(E)6890 6890 8" WTR XING STA: 1+29.21 TOP WTR=6896.72 BOP STM=6898.73 CLR=2.01' does not match 6885 6885 narrative and 5TA: 1+14.50 5' STM MH RIM=6903.89 24" INV IN(N)= 24" INV IN(NE) 30" INV OUT(S) calculation. Revise 6880 6880 6875 6875 6870 6870 0+00 1+00 2+00 2+75

> 24" EASTERN STORM PIPE - MPD (STM2C) STA 1+00.00 - 1+72.00 SCALE: 1"=50'

XPAN..

ETV. .

ABBREBIATION

. EXISTING .MANHOLE

.PROPOSED .POINT

. WATER .CROSSING .END OF PIPE . CUL-DE-SAC . BEGIN TRANSITION

.. SANITARY SEWER

. END TRANSITION . EDGE OF ROAD

CURB AND GUTTER

. POINT OF CURVATURE

POINT OF TANGENCY

. POINT OF REVERSE CURVE

. NORTH FL EASTONVILLE ROAD

. MERIDIAN PARK DRIVE

. CONCRETE BOX CULVERT

. SIDEWALK

CENTERLINE

. PEDESTRIAN

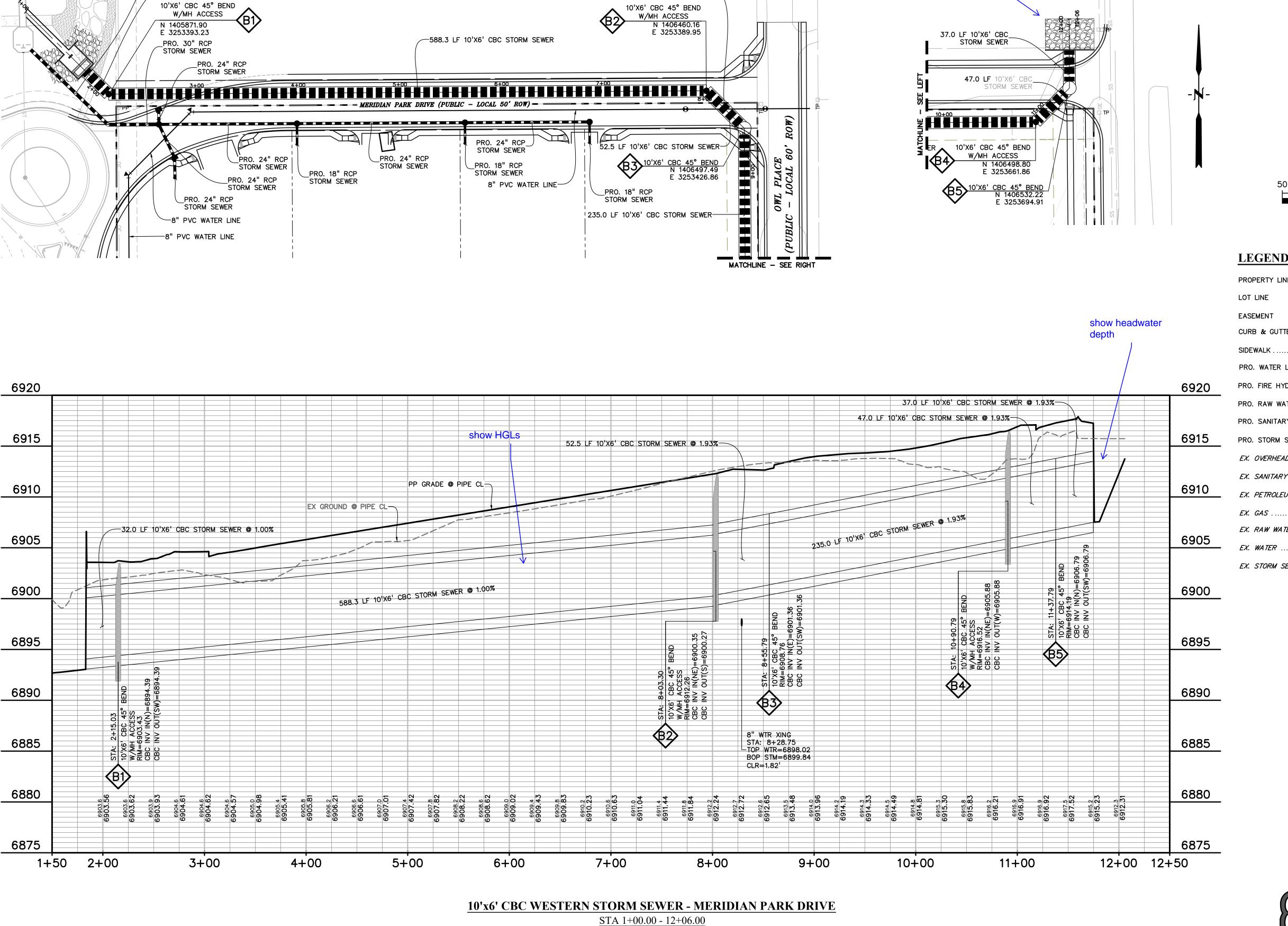
.RIGHT OF WAY . CROSSWALK

.CROSS-PAN

.OWL PLACE

.FLOWLINE

.STORM SEWER



SCALE: 1"=50'

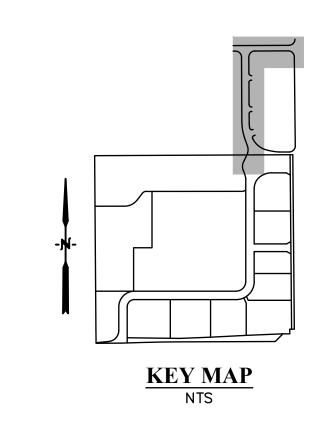
8" PVC WATER XING_

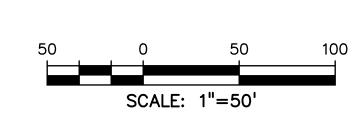
STA 8+28.75

PRO. 30" RCP

-32.0 LF 10'X6' CBC STORM SEWER

STORM SEWER





Label property and

show easements

LEGEND	
PROPERTY LINE	
LOT LINE	
EASEMENT	
CURB & GUTTER	
SIDEWALK	
PRO. WATER LINE	
PRO. FIRE HYDRANT	<u> </u>
PRO. RAW WATER	
PRO. SANITARY SEWER	
PRO. STORM SEWER	
EX. OVERHEAD ELECTRIC	—— OE ———
EX. SANITARY SEWER	ss
EX. PETROLEUM	UP
EX. GAS	G
EX. RAW WATER	RW
EX. WATER	w
EX. STORM SEWER	ST

ABBREBIATION

MH	.MANHOLE
PP	.PROPOSED
PT	.POINT
SS OR SAN	.SANITARY SEWER
ST	.STORM SEWER
WT	. WATER
XING	CROSSING
EOP	.END OF PIPE
CD\$.CUL-DE-SAC
BT	BEGIN TRANSITION
ET	. END TRANSITION
EOR	.EDGE OF ROAD
SW	
<u>C</u>	CENTERLINE
C&G	CURB AND GUTTER
PED	. PEDESTRIAN
PC	. POINT OF CURVATURE
PT	. POINT OF TANGENCY
ROW	.RIGHT OF WAY
XWALK	. CROSSWALK
XPAN	.CROSS-PAN
PRC	. POINT OF REVERSE CURVE
MPD	.MERIDIAN PARK DRIVE
ETV	. NORTH FL EASTONVILLE ROAD
∩WI	OWI PLACE

... EXISTING



..FLOWLINE

.. CONCRETE BOX CULVERT

DREXEL, BARRELL & CO Engineers • Surveyors

PREPARED BY:

Engineers • Surveyors
3 SOUTH 7TH STREET
COLORADO SPGS, COLORADO 8090.
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OWL

DESIGNED BY: KGV

INITIAL ISSUE 08/04/2023

DATE

DESIGNED BY: KGV

DRAWN BY: KGV

CHECKED BY: TDM

FILE NAME: 21611-STM2

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:

HORIZONTAL: 1"=50'

VERTICAL: N/A

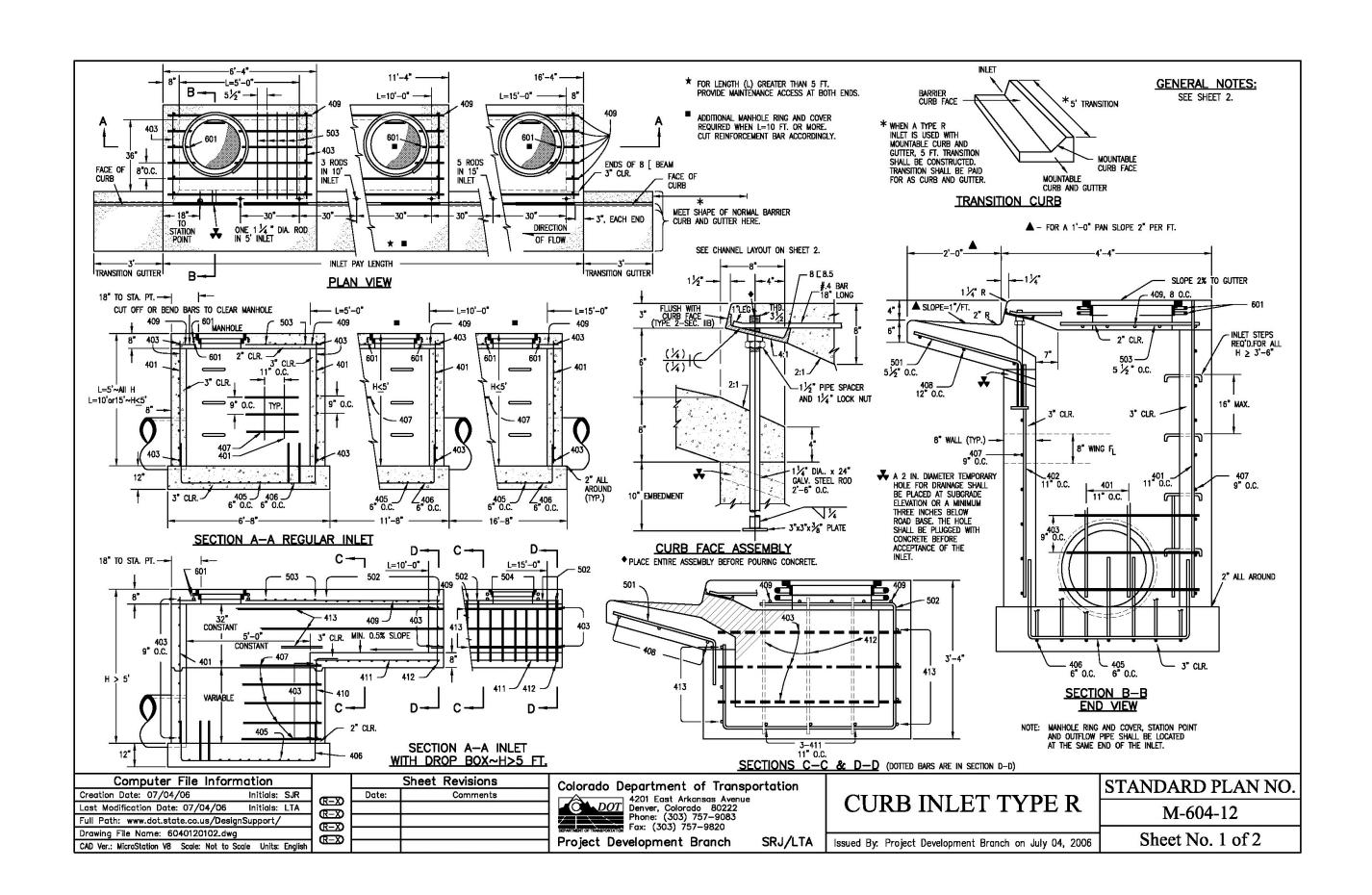
STORM SEWER
PLAN & PROFILE

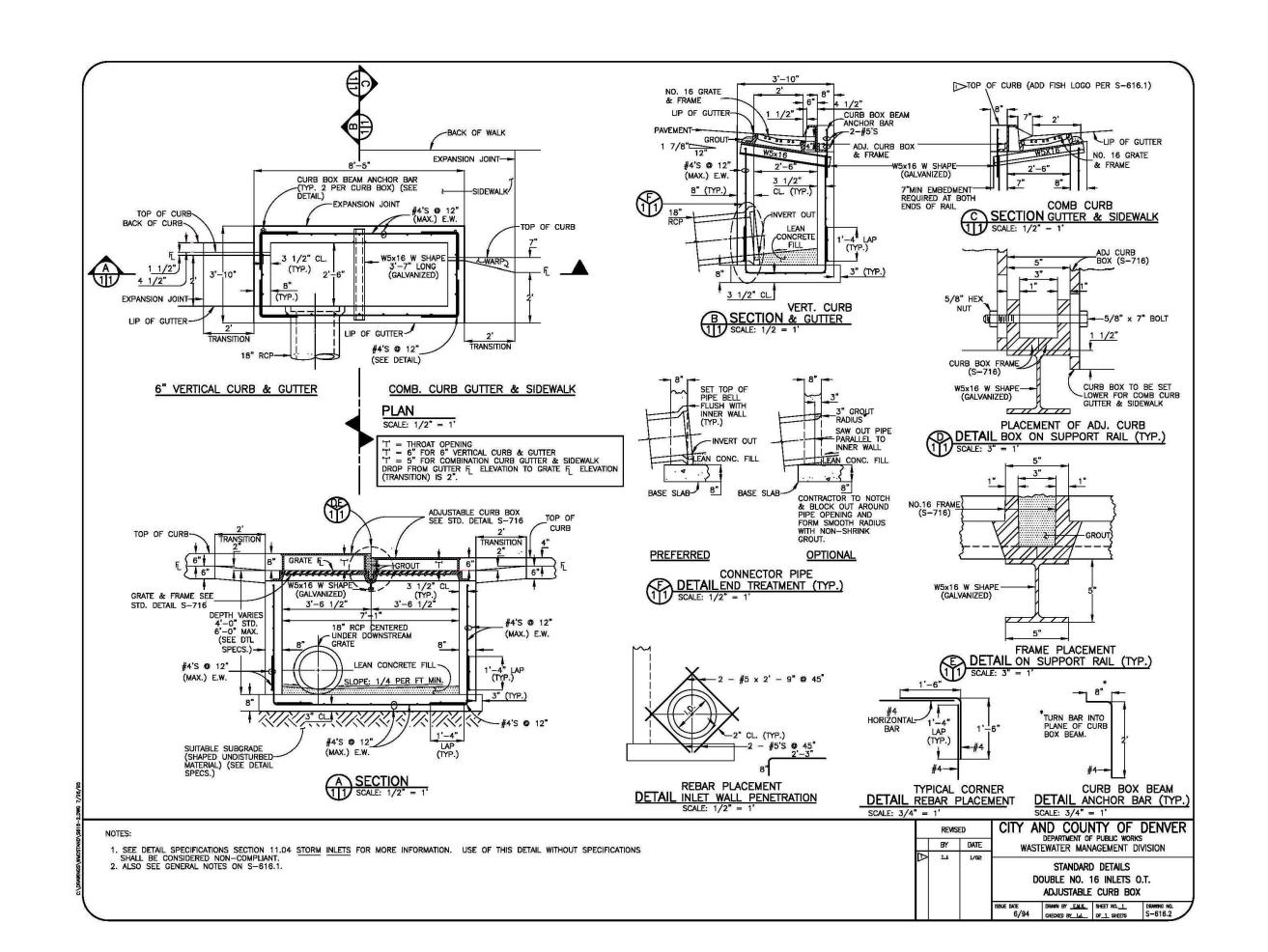
WEST MPD

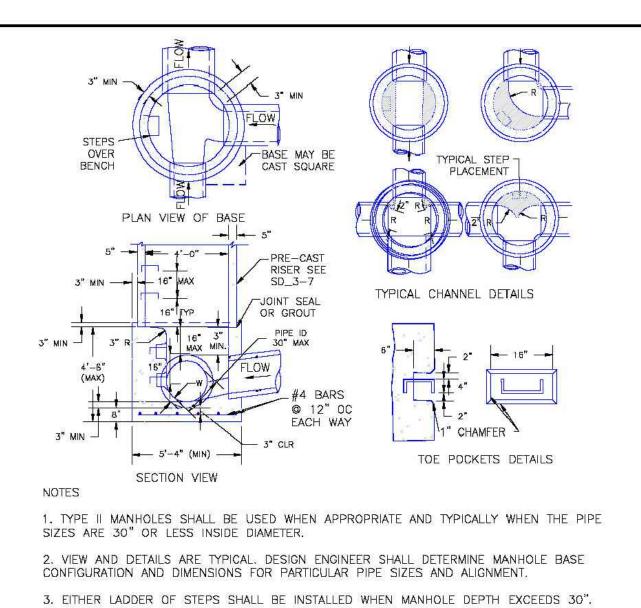
PROJECT NO. 21611-01CSCV
DRAWING NO.

C13

SHEET:13 OF 15







STEPS IN BASE SHALL BE INSTALLED IN "TOE POCKETS" (SEE DETAIL THIS SHEET). LOWEST STEP SHALL BE A MAXIMUM OF 16" ABOVE THE FLOOR.

4. PIPES SHALL BE TRIMMED TO FINAL SHAPE AND SET BEFORE MANHOLE IS POURED. 5. BENCH SHALL BE SLOPED TOWARD CENTER OF MANHOLE BASE (4:1 MAX., 1/2" PER

FOOT. MIN.). 6. FLOOR OF MANHOLE SHALL BE TROWELLED TO A SMOOTH, HARD SURFACE AND SHALL SLOPE TOWARDS THE OUTLET (8:1., ½" PER FT. MIN.) . FLOOR SHALL BE SHAPED AND CHANNELED; SEE DETAILS THIS SHEET.

SCALE: NOT TO SCALE

Storm Sewer Manhole Detai Type II André P. Brackin DEPARTMENT OF TRANSPORTATION 11/10/04 SD 3-2

d missing standard design and consolidate SD sheets 2-22 Plowable Median Nose Detail

_2-40 Pedestrian Curb Ramp Detail

D_2-42 Detectable Warning Surface Details

PREPARED BY:



DREXEL, BARRELL & CO Engineers • Surveyors 3 SOUTH 7TH STREET

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ISSUE DATE INITIAL ISSUE 08/04/2023

DESIGNED BY: DRAWN BY: CHECKED BY: FILE NAME:

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

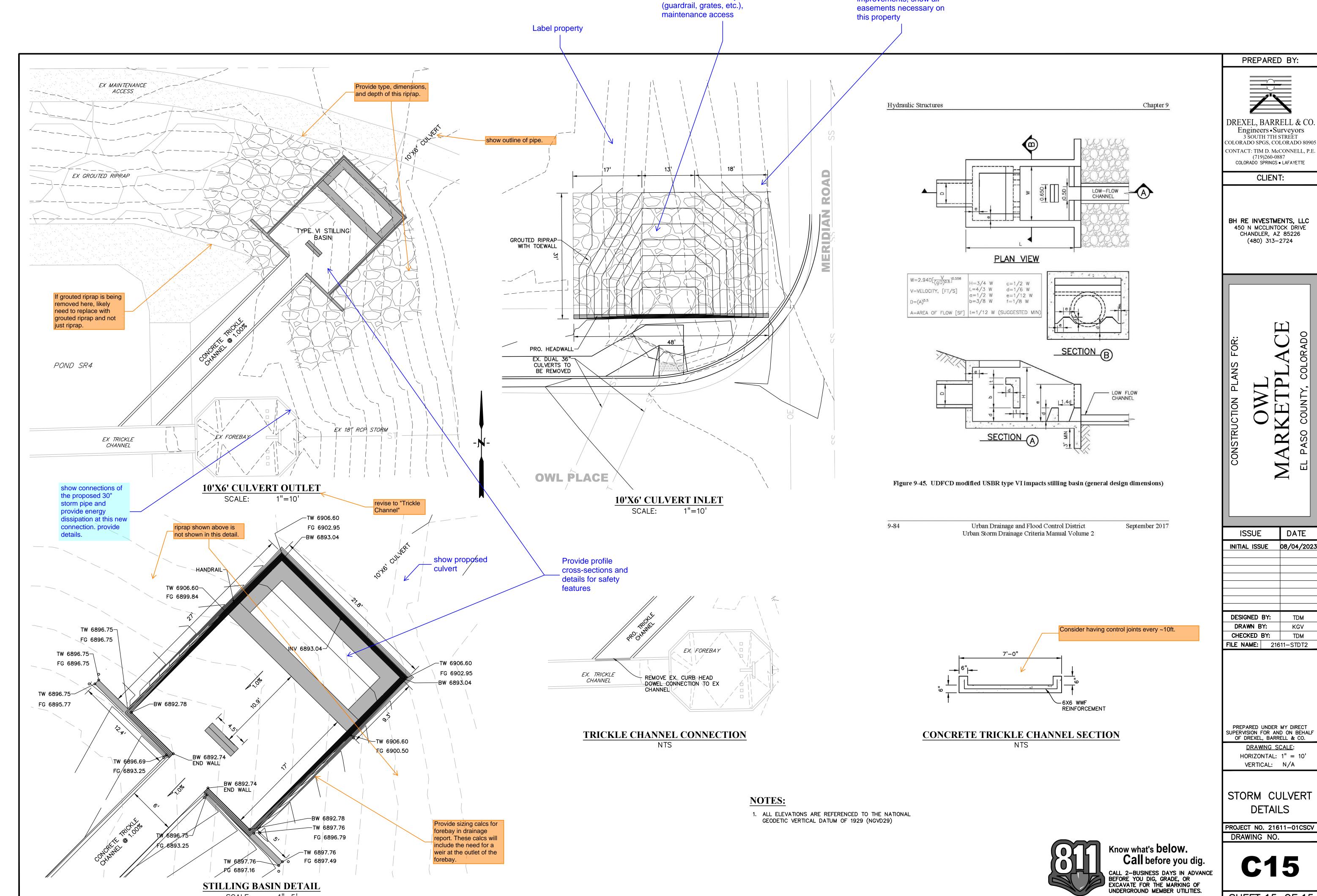
DRAWING SCALE: HORIZONTAL: N/A VERTICAL: N/A

STORM SEWER **DETAILS**

PROJECT NO. 21611-01CSCV DRAWING NO.

SHEET:14 OF 15

Know what's **below. Call** before you dig. CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



STILLING BASIN DETAIL

Provide additional detail including

cross-sections, safety features

Call out offsite

improvements, show all

DREXEL, BARRELL & CO.

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BH RE INVESTMENTS, LLC

DATE INITIAL ISSUE 08/04/2023

TDM FILE NAME: 21611—STDT2

HORIZONTAL: 1'' = 10'

SHEET:15 OF 15