

Vicinity Map 

Western States Fire Protection

Tenant Interior Renovation

1485 Tuskegee Place, Suite E
Colorado Springs, CO

Construction Documents



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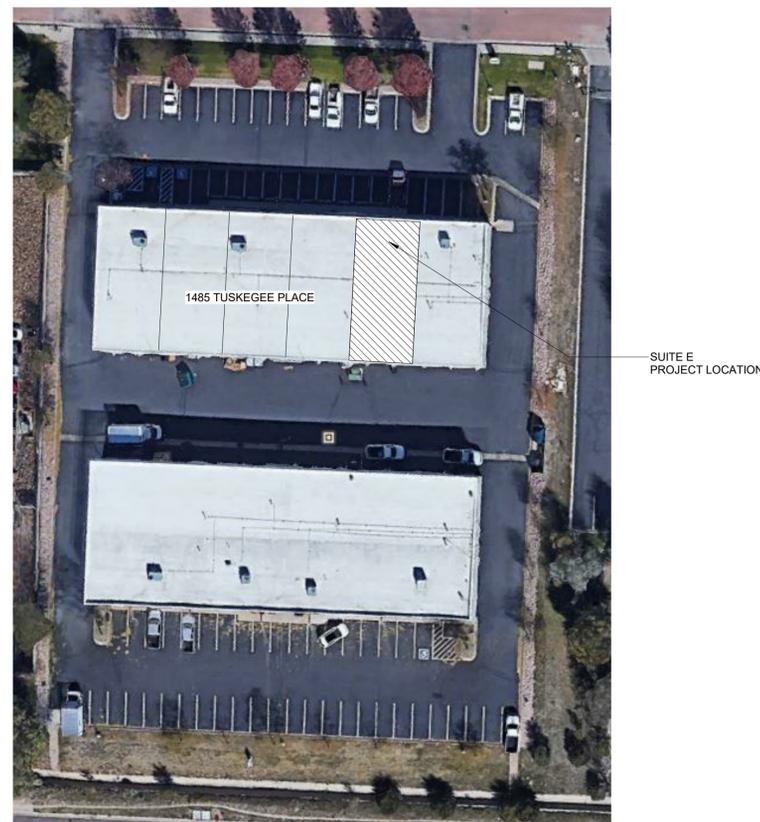
Project Team

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1 LOCATION PLAN 

Design/Build General Notes

- All work to be in compliance with all authorities having jurisdiction (AHJ), applicable building codes, and all plans and specifications related to the Work. All product materials must comply with Project Standards per the Specifications. Material to be installed per applicable standards. All work to be completed in conformance with contract documents.
- Subcontractor has reviewed, includes, and understands applicable information from the Project Geotechnical Reports as required per project and scope of work.
- Subcontractor to coordinate layout with the Contractor's surveyors as required and protect benchmarks and staking from being disturbed or damaged. Subcontractor to request all staking a minimum of 72 hours prior to commencement of work.
- Subcontractor will be responsible to provide their own security and temporary protection of stored material and equipment. Subcontractor shall closely coordinate and gain approval for equipment / material laydown, temporary storage facilities, and fencing locations as well as access to the building with Contractor's onsite Superintendent. Protection and security means and methods shall be reviewed and approved by the Contractor's onsite Superintendent.
- Subcontractor will coordinate with the Contractor's Superintendent for scheduled deliveries and will include unloading, inventory, and storage of his incoming deliveries. Subcontractor shall be responsible for lost, stolen, or damaged materials once received and stored onsite.
- Subcontractor includes all equipment as required to complete their scope of work, including but not limited to: all excavating equipment, fork lifts, pumps, boom lifts, cranes, hand tools, power tools, and generators unless otherwise agreed on. Subcontractor shall coordinate lifts, equipment, and any specific material rigging. If required, Subcontractor shall provide required lifting, picking, and rigging documentation and develop plans for review and approval by the Contractor's Safety Manager and Superintendent.
- Subcontractor has reviewed the jobsite conditions and agrees to work within the space constraints as they exist. Contractor shall work with the Subcontractor to provide as much space as possible for staging, stocking, and makeup of Subcontractor's materials. Subcontractor acknowledges that the site staging and material storage areas are limited and agrees to coordinate all material deliveries, material storage and staging operations with the Contractor's Superintendent. Subcontractor agrees to cooperate and coordinate with the superintendent regarding the above issues.
- All trades are responsible for their own independent layout, any discrepancies between their layout and other trades are to be brought to the Contractor's attention immediately.
- Maintaining clean streets is critical. Subcontractor shall take all necessary measures to prevent tracking of mud onto surrounding streets and driveways. General street cleaning and / or sweeping will be provided by the Contractor. Any major cleaning as a direct result of Subcontractor negligence or carelessness while performing his work shall be the responsibility of this Subcontractor.
- Subcontractor's foreman / competent person shall be fluent in the English Language. Onsite supervision shall have the authority to make all decisions on behalf of the subcontractor necessary to maintain progress. Subcontractor's foreman / competent person shall attend and participate in the weekly foreman's meetings. If the subcontractor mobilizes after the start of the project their foreman / competent person is expected to be involved in at least two weekly foreman's meetings prior to their mobilization onsite to coordinate with other trades.
- Subcontractor shall coordinate temporary water requirements with onsite Project Superintendent. Water will be provided from the existing hydrants or taps on-site. Water distribution from these locations to the areas of work shall be the responsibility of this subcontractor.
- Subcontractor includes continuous coordination with Contractor, adjacent, and other trades including, but not limited to, site electrical, site utilities, mason, mechanical, electrical, plumbing, roofing contractors, and any lifts and equipment access required by others to establish routes, entrances and elevations for its installation and other installations and to ensure complete operational systems.
- Subcontractor includes any traffic control measure and flagmen as required during the completion of their scope in accordance with local requirements. Special traffic control permits, and lane closures may be required. It is the responsibility of the subcontractor to pay the fees for these permits and lane closures and have them in place prior to the execution of their work.
- Subcontractor responsible for the protection of all unfinished work from moisture intrusion damage.
- Special inspections and initial testing, if required, will be at Contractor/Owner's expense. This Subcontractor shall be responsible for any costs associated with re-testing charges necessitated by failure of initial tests.
- Correction of testing/inspection deficiencies must occur within two working days of notification in writing.
- Subcontractor to cover material price increases or fluctuations throughout the duration of the project.
- Subcontractor includes as many mobilizations as required to complete their scope of work in accordance with the Contractor's schedule.

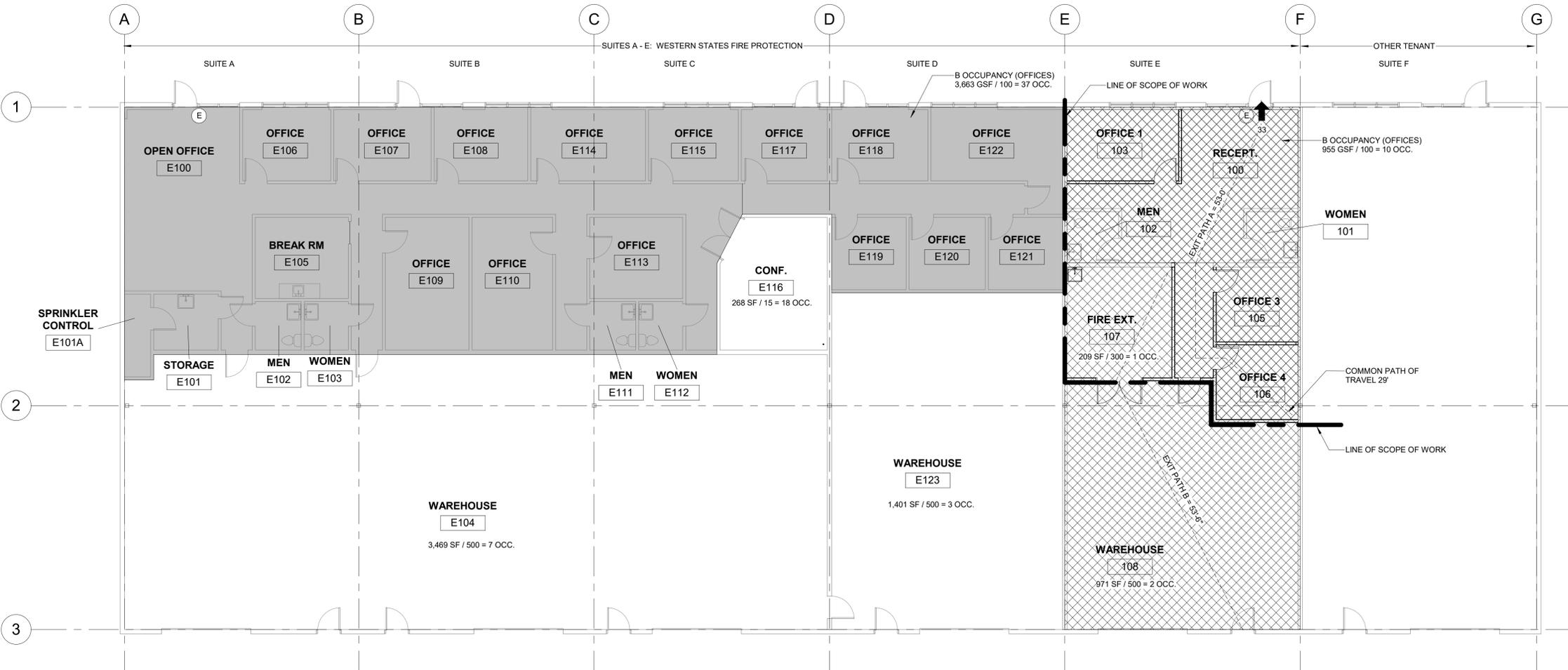
Tenant Interior Renovation

1485 Tuskegee Place, Suite E
Colorado Springs, CO

JOB NO.: P21-04

DATE: 06/03/2021

JOB NO.: P21-04



1 LIFE SAFETY PLAN
 CA100 1/8" = 1'-0" E EXIT SIGN, TYP.

OCCUPANT LOAD	
OCC. TYPE	OCCUPANTS
B	10
S	3
TOTAL	13

PLUMBING FIXTURES:
 13 / 2 = 7 MEN, 6 WOMEN

B OCCUPANCY REQUIRES
 1:25 FOR FIRST 50 WATER CLOSETS
 REQUIRD WATER CLOSETS: 1 MEN, 1 WOMEN.
 PROVIDED: 1 MEN, 1 WOMEN (OKAY)

LAVATORIES REQUIRED: 1 MEN, 1 WOMEN.
 PROVIDED: 1 MEN, 1 WOMEN (OKAY)

CODE ANALYSIS	
CLIENT:	Western States Fire Protection 1485 Tuskegee Place, Suite A Colorado Springs, CO
PROJECT:	Office/Warehouse Tenant Space Renovation
Codes In Force:	2017 Pikes Peak Regional Building Code 2015 International Building Code (IBC) 2015 International Fire Code (IFC) 2015 International Mechanical Code (IMC) 2015 International Fuel Gas Code (IFGC) 2015 International Plumbing Code (IPC) 2015 International Energy Conservation Code (IECC) 2017 National Electric Code (NEC) 2009 ICC / ANSI 117.1 Accessibility Standards
Project Description:	Interior Renovation to an existing tenant Office/Warehouse space.
Tax Schedule No.:	5406306001
Legal Description:	LOT 2 BLK 2 PALMER PARK BUSINESS CENTER SUB FIL NO 2
Zoning Classification:	I-2 CAD-0
Fire Jurisdiction:	Cimarron Hills Fire Protection
Occupancy Types:	B Office S-2 Storage/Warehouse Non-separated Use
Construction Type:	II-B, Non-Sprinklered
Area of Scope of Work:	1,193 SF
Existing Building Area:	13,330 SF
Existing Building Height:	19 FT
Existing Building Construction Date:	2000
Fire Resistant Ratings for Building Elements (IBC Table 601):	Primary Structural Frame: 0 hours Bearing Walls - Exterior: 0 hours Bearing Walls - Interior: 0 hours Non-bearing Walls & Partitions - Ext: 0 hours Non-bearing Walls & Partitions - Int: 0 hours Floor Construction & Secondary Members: 0 hours Roof Construction & Secondary Members: 0 hours
Exiting:	Max. travel distance (IBC Table 1017.2) 200 feet See Life Safety Plan for actual travel distance.
	2 Exits required for occupant load. See Life Safety Plan for actual exit locations and sizes.
	Max. common path of travel (IBC Table 1006.2.1): 75 feet. See Life Safety Plan for actual common path travel distance.
Corridor Walls:	IBC Table 1020.1, In B occupancy, no rating is required where occupant load is less than 30.

Tenant Interior Renovation

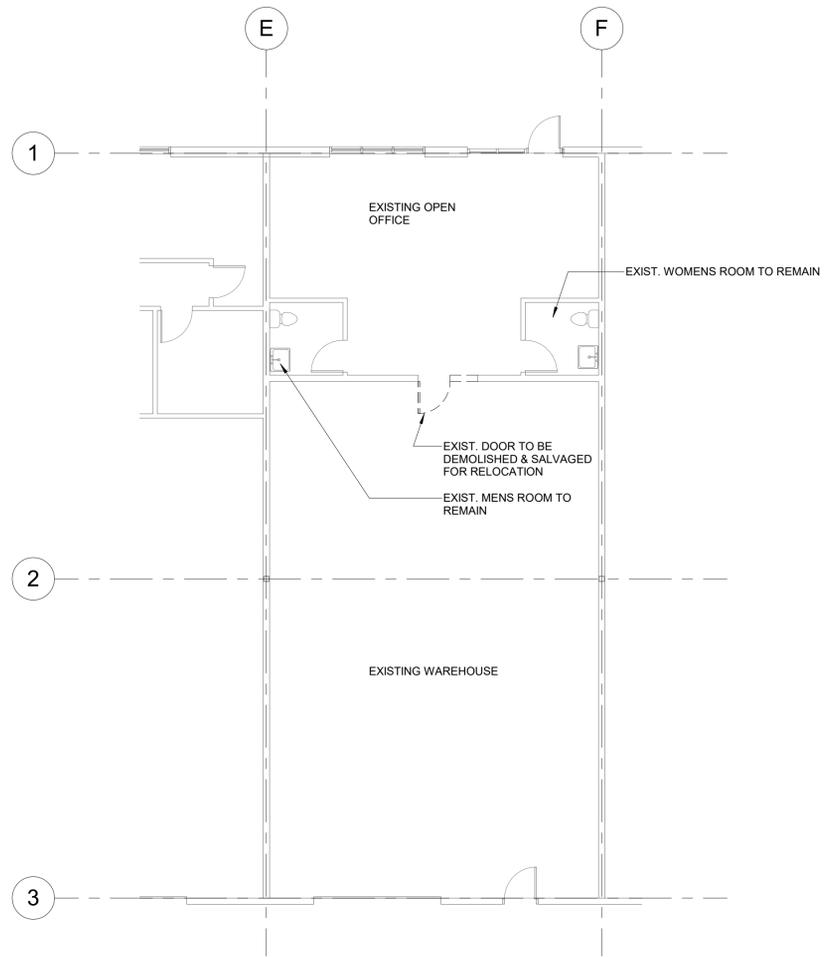
1485 Tuskegee Place, Suite E
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LIFE SAFETY PLAN & CODE ANALYSIS

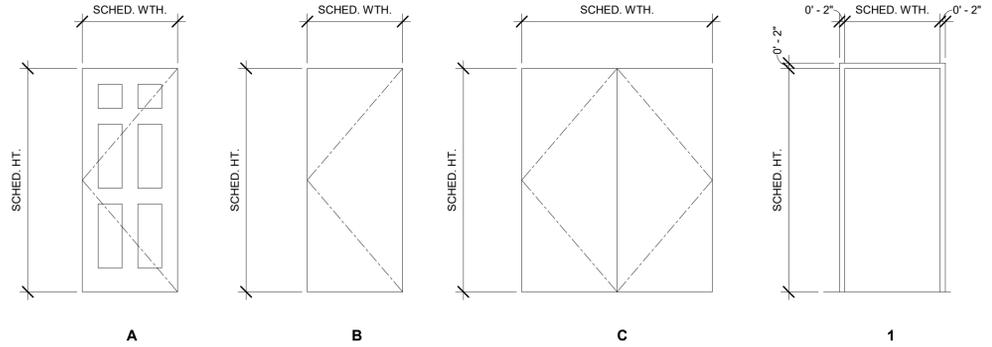
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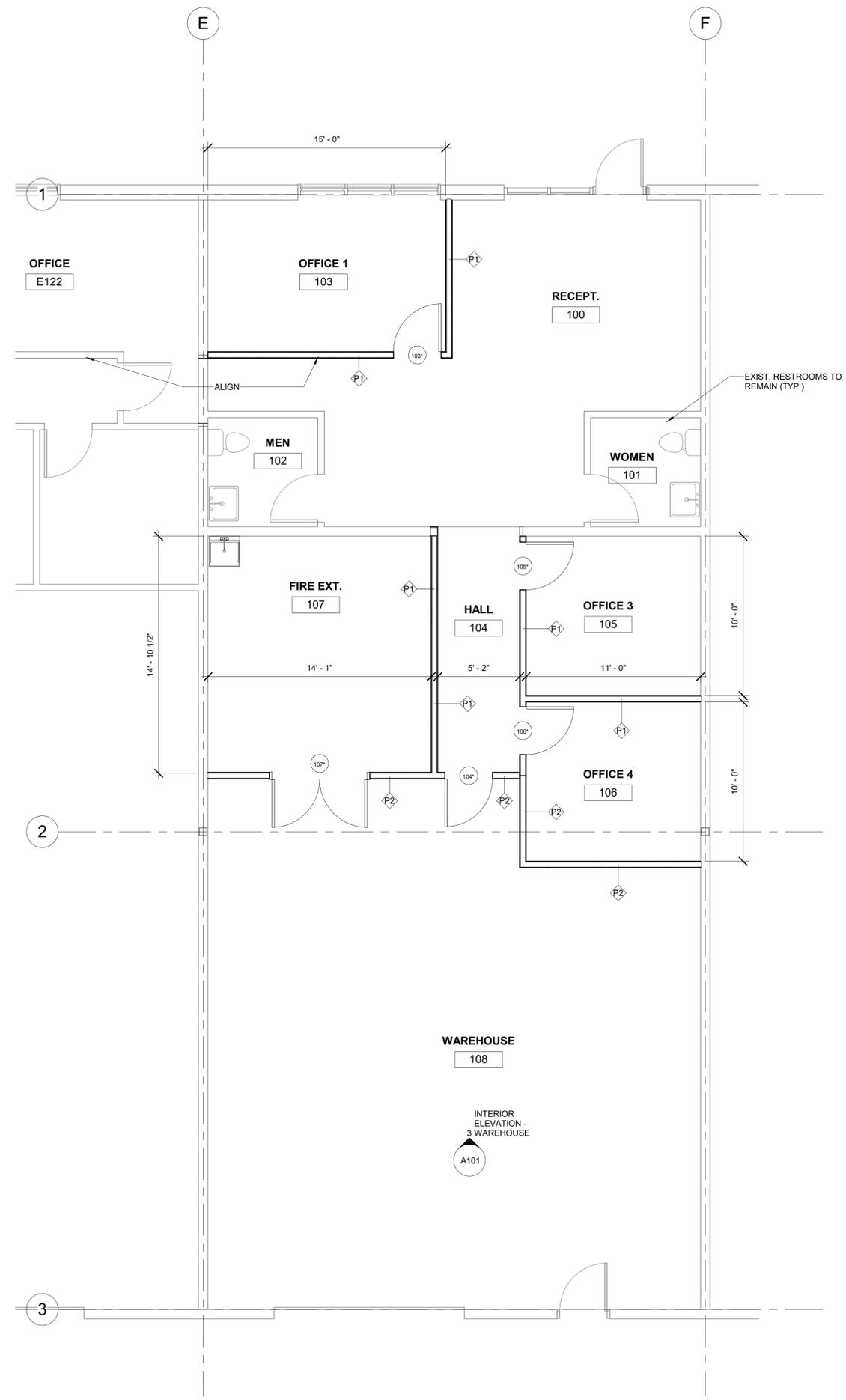
2 DEMOLITION FLOOR PLAN
 A100 1/8" = 1'-0"

Door Schedule													
Door Number	Type	Door						Fire Rating	Hardware	Frame			Comments
		Width	Height	Thickness	Material	Finish	Type			Material	Finish		
103*	A	3' - 0"	6' - 8"	0' - 1 3/4"	WD 6-PANEL	ST	N/A	SET 1	1	HM	ST	MATCH EXIST. OFFICE DOORS	
104*	B	3' - 0"	7' - 0"	0' - 1 3/4"	FLUSH SC WD	ST	N/A	SET 2	1	HM	PT	EXIST. DOOR RELOCATED	
105*	A	3' - 0"	6' - 8"	0' - 1 3/4"	WD 6-PANEL	ST	N/A	SET 1	1	HM	ST	MATCH EXIST. OFFICE DOORS	
106*	A	3' - 0"	6' - 8"	0' - 1 3/4"	WD 6-PANEL	ST	N/A	SET 1	1	HM	ST	MATCH EXIST. OFFICE DOORS	
107*	C	6' - 0"	7' - 0"	0' - 1 3/4"	FLUSH HM	PT	N/A	SET 3	1	HM	PT		



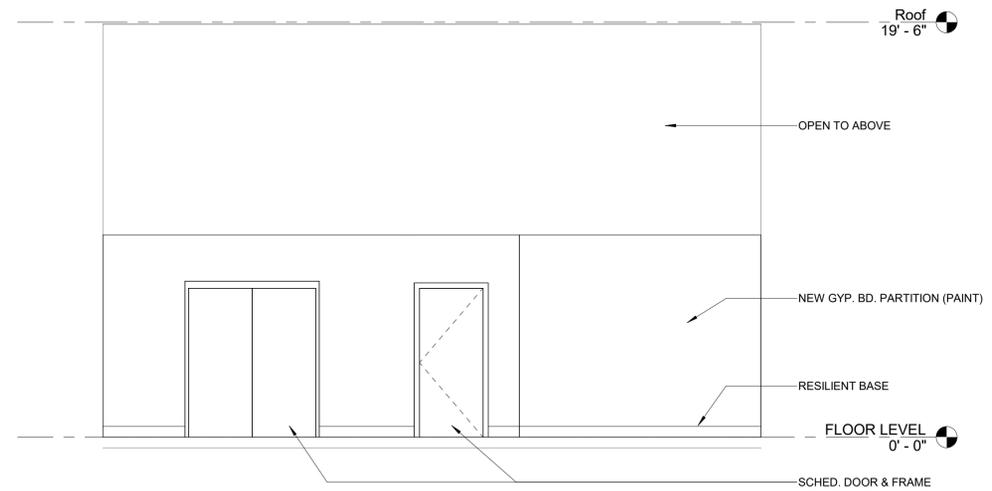
DOOR HARDWARE	
SET 1	1-1/2 PR HINGES 1 EA. LOCKSET, OFFICE FUNCTION 1 SET. ACoust. SEALS
SET 2	EXIST. HARDWARE RELOCATED
SET 3	2 PR HINGES 1 EA. MANUAL FLUSH BOLT, TOP & BOT (INACTIVE LEAF) 1 EA. LOCKSET, STORAGE FUNCTION (ACTIVE LEAF) 1 SET. WEATHER SEALS 2 EA. DOOR SWEEPS

3 DOOR & FRAME ELEVATIONS
 A100 3/8" = 1'-0"



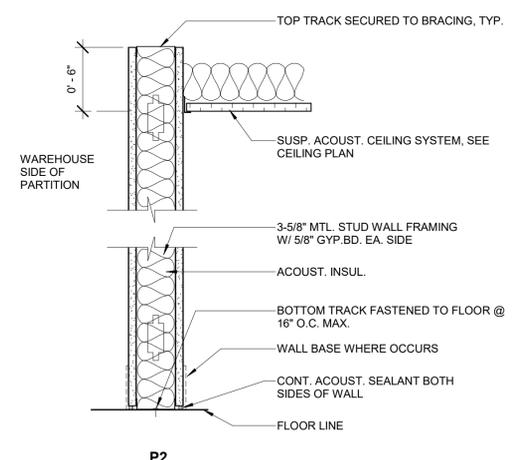
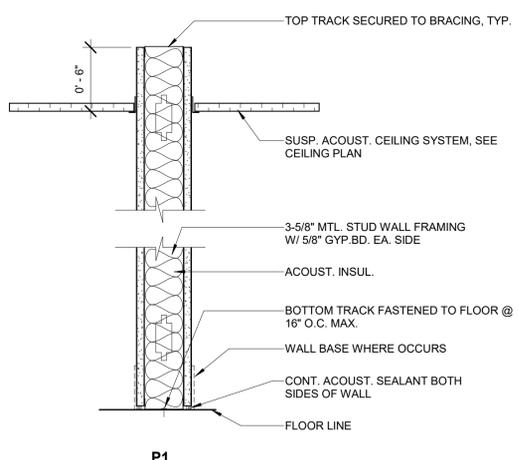
1 FLOOR LEVEL
 A100 1/4" = 1'-0"



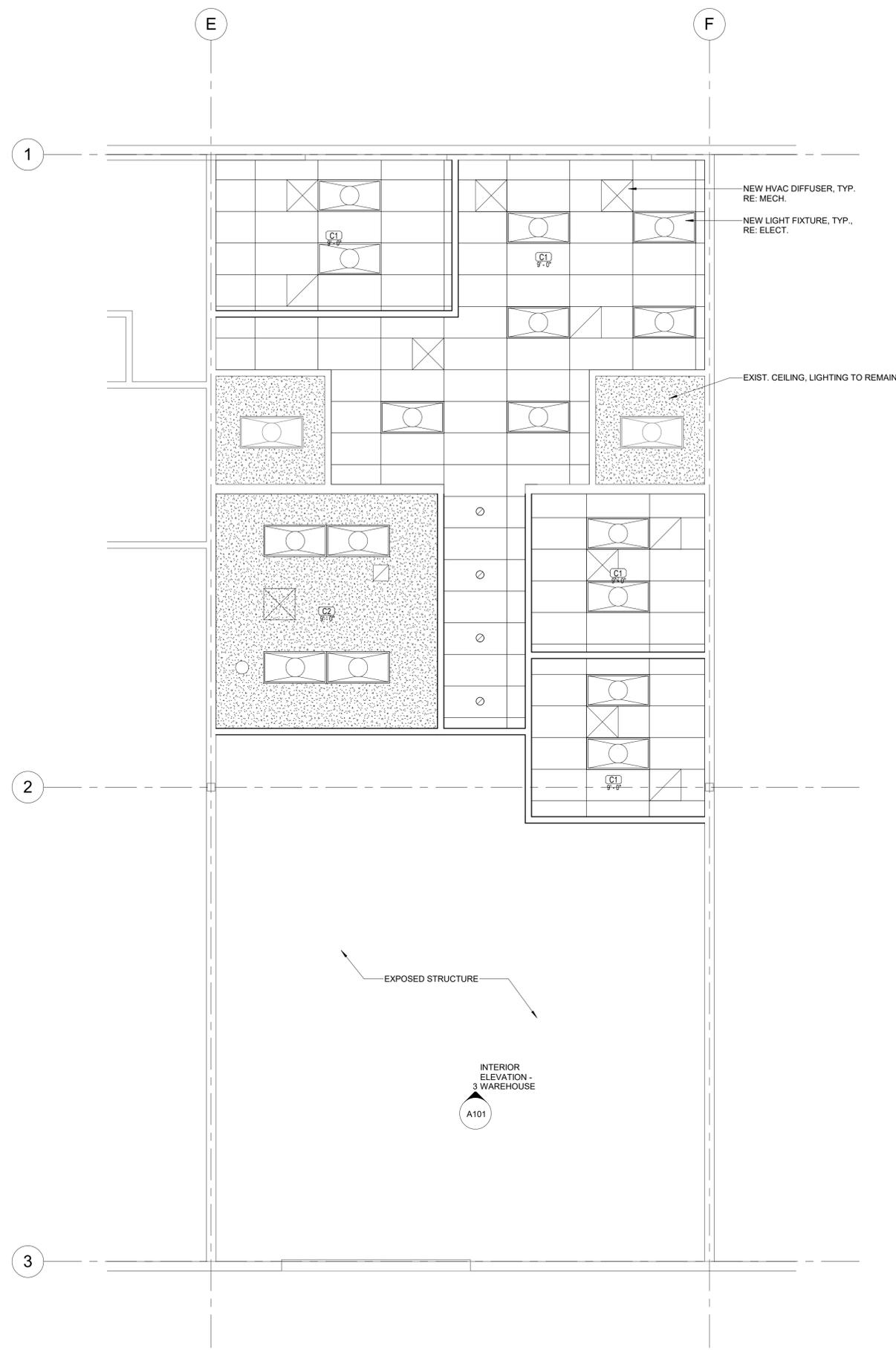


3 INTERIOR ELEVATION - WAREHOUSE
A101 1/4" = 1'-0"

CEILING TYPES	
C1	2X4 SUSPENDED ACOUSTIC CEILING SYSTEM TO MATCH EXISTING OFFICE AREA CEILING SYSTEM.
C2	5/8" TYPE X GYP. BOARD CEILING ON SUSPENSION GRID SYSTEM OR METAL STUD FRAMING (CONTRACTOR OPTION), TAPE, BED, TEXTURE, & PAINT
NOTES:	
-	SEE CEILING PLAN FOR CEILING HEIGHTS.
-	REFER TO MECHANICAL DRAWINGS FOR HVAC INFORMATION.
-	REFER TO ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION.



2 PARTITION TYPES
A101 1 1/2" = 1'-0"



1 CEILING PLAN
A101 1/4" = 1'-0"

REVISIONS

Tenant Interior Renovation
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Colorado Springs, CO



CEILING PLAN,
INTERIOR
ELEVATIONS, &
PARTITION TYPES

JOB P21-04
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A101