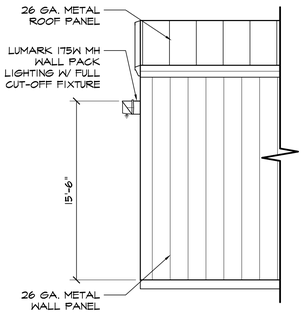
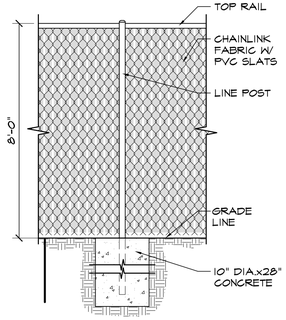


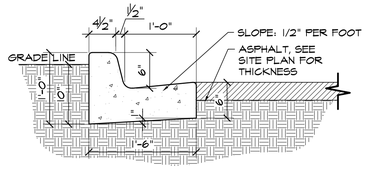
8 WALL PACK LIGHT DETAIL
SCALE: 1/4"=1'-0"



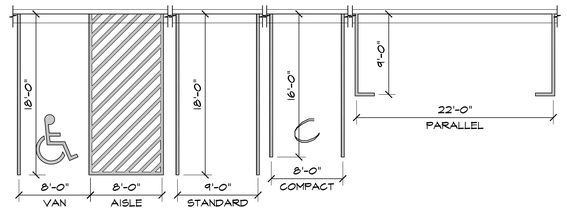
FENCE SPECS:
POSTS:
- ALL POSTS WILL BE SET IN CONC.
END & CORNER
- 2 3/8" T-40
LINE POSTS
- 2" T-40 @ 10'-0" OC
TOP RAIL:
- 1 5/8" T-20
CHAINLINK FABRIC:
- 2" MESH x 11 GA
- GALVANIZED AFTER WEAVING
- ATTACH W/ STL TIES
- START 1" A.F.F.
SLATS:
- DOUBLE WALL PVC PRIVACY FILLER STRIPS
- LOCKING TRACK ON BOTTOM
- START 2" A.F.F.
GATES:
- ROLLING GATES TO INCLUDE SAFETY POST INSIDE GATE ROLL AREAS

4 CHAINLINK FENCE DETAIL
SCALE: 1/2"=1'-0"

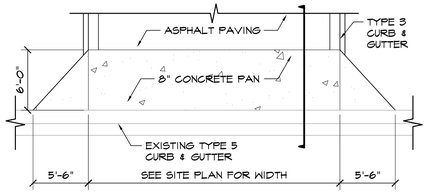
NOTE: ALL INTERNAL CURB THIS TYPE UNLESS NOTED OTHERWISE



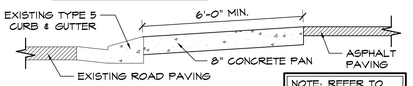
3 EPC TYPE B CURB
SCALE: 1"=1'-0"



2 ADA / STANDARD PARKING
SCALE: 1/8"=1'-0"



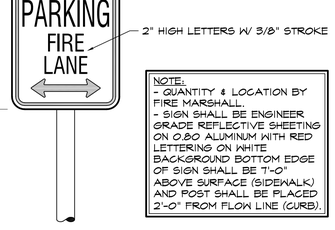
PLAN VIEW



SECTION VIEW

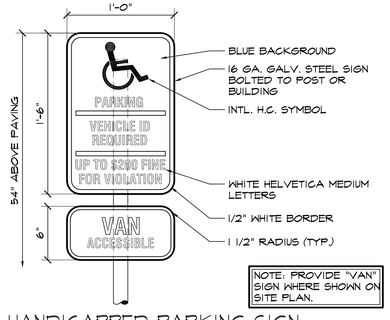
NOTE: REFER TO CITY STANDARD DETAIL D-16B FOR FURTHER DETAIL

5 DRIVEWAY DETAIL
NOT TO SCALE



NOTE:
- QUANTITY & LOCATION BY FIRE MARSHALL.
- SIGN SHALL BE ENGINEER GRADE REFLECTIVE SHEETING ON 0.80 ALUMINUM WITH RED LETTERING ON WHITE BACKGROUND BOTTOM EDGE OF SIGN SHALL BE 7'-0" ABOVE SURFACE (SIDEWALK) AND POST SHALL BE PLACED 2'-0" FROM FLOW LINE (CURB).

6 FIRE LANE SIGN
SCALE: 1 1/2"=1'-0"



NOTE: PROVIDE "VAN" SIGN WHERE SHOWN ON SITE PLAN.

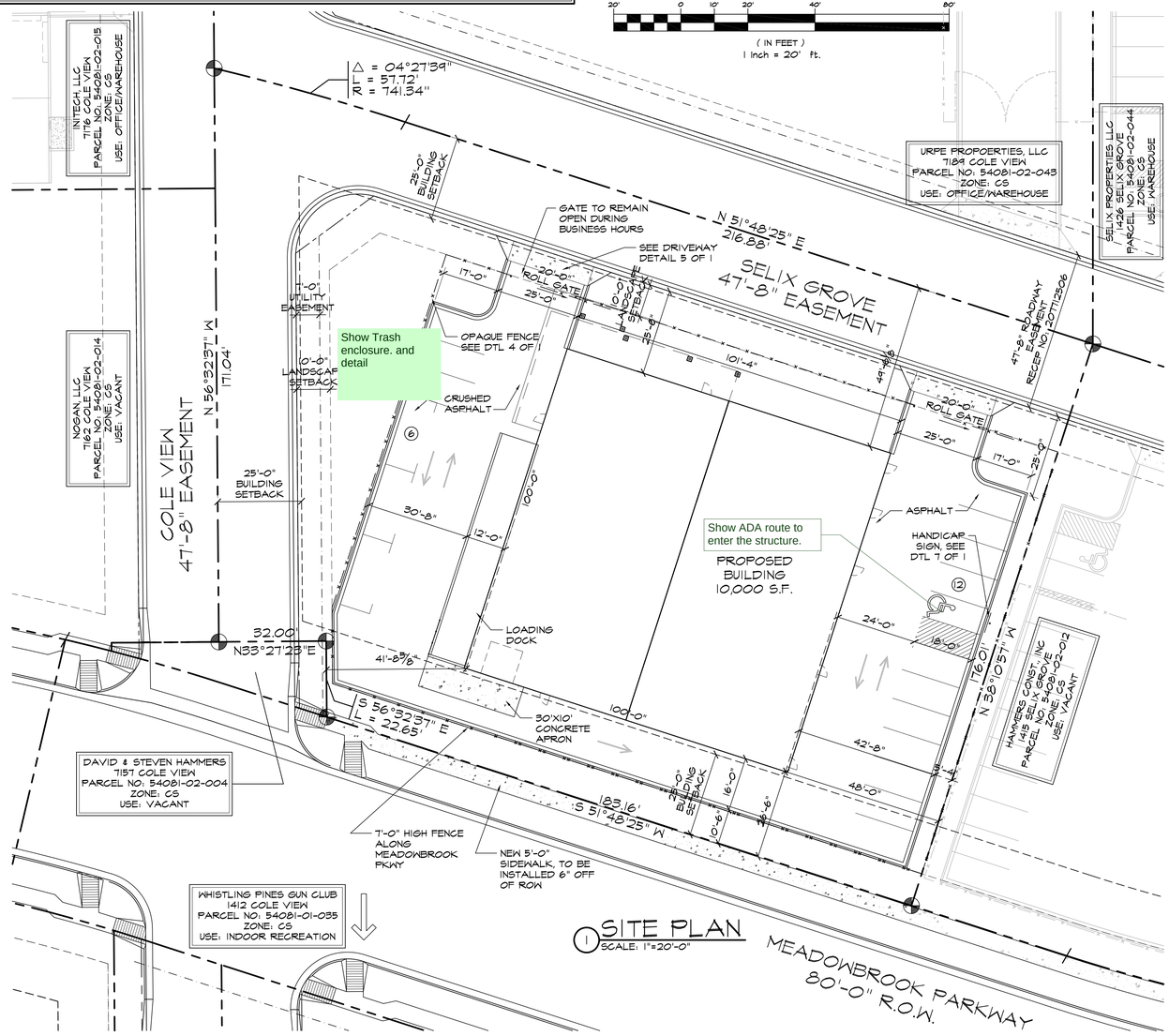
7 HANDICAPPED PARKING SIGN
SCALE: 1 1/2"=1'-0"

GENERAL NOTES

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

NORTH

GRAPHIC SCALE
20' 0 10' 20' 40' 80'
(IN FEET)
1 inch = 20' ft.

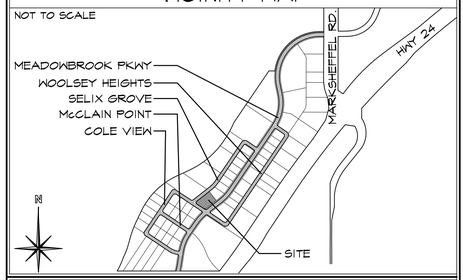


1 SITE PLAN
SCALE: 1"=20'-0"

DRAWING INDEX

1 OF 10 - SITE PLAN & DETAILS, PROJECT INFO., DRAWING INDEX
C-2 OF 10 - UTILITY PLAN
C1-3 OF 10 - GRADING & EROSION CONTROL PLAN
C1.1-4 OF 10 - GRADING & EROSION CONTROL PLAN DETAILS
C1.2-5 OF 10 - GRADING & EROSION CONTROL PLAN DETAILS
L-6 OF 10 - LANDSCAPE PLAN
L-7 OF 10 - LANDSCAPE DETAILS AND NOTES
SP01-8 OF 10 - SITE PHOTOMETRIC PLAN
9 OF 10 - DP BUILDING ELEVATIONS
10 OF 10 - DP BUILDING ELEVATIONS

VICINITY MAP



PROJECT INFORMATION

PROPERTY INFORMATION
OWNER NAME: FATHER & SONS WHISKEY PURVEYORDS, 16730 E 2ND AVE., AURORA, CO 80011
LEGAL DESCRIPTION: LOT 9, FILING 2 OF CLAREMONT BUSINESS PARK
PARCEL NUMBER LOT 9: 54081-02-013
ZONING: CS
LOT SIZE LOT 9: 42,714 SF (0.981 ACRES)
CURRENT USE: VACANT
FLOODPLAIN STATEMENT: ZONE X (MAP NO. 08041C0752 F, DATED MARCH 17, 1997 & AS MODIFIED BY LOMR 06-08-B137P EFFECTIVE DATE DEC. 13, 2006)

BUILDING INFORMATION
GROSS BUILDING AREA: 15,970 SF
BUILDING FOOTPRINT AREA: 10,000 SF
BUILDING OCCUPANCY: A-2, B, H-3, F-1
TYPE OF CONSTRUCTION: II-B
FIRE SYSTEMS: SPRINKLED
AREA SEPARATION WALLS: YES - 2 HR.

ZONING CODE STUDY
PROPOSED PRINCIPAL USE: MEMBERSHIP CLUB/ WAREHOUSE/ OFFICE/ BOTTLING
STRUCTURAL COVERAGE: 12%
PAVEMENT COVERAGE: 41%
STREET COVERAGE: 12%
BUILDING STRUCTURAL HEIGHT: 34'-2 5/8" (45'-0" MAX)
FRONT YARD SETBACK: 25'-0"
SIDE YARD SETBACK: 0'-0"
REAR YARD SETBACK: 0'-0"

REQUIRED PARKING SPACES:
WAREHOUSE-(1 SPACE/1,000 S.F.) (7,315 S.F. / 1,000 S.F.) 8
BOTTLING-(1 SPACE/150 S.F.) (1,040 S.F. / 150 S.F.) 2
OFFICE-(1 SPACE/200 S.F.) (1,120 S.F. / 200 S.F.) 6
CLUB-(1 SPACE/150 S.F.) (5,322 S.F. / 150 S.F.) 36
H.C.-(1 SPACE/25 REQ'D) 2
TOTAL PARKING SPACES REQUIRED: 53
TOTAL PARKING PROVIDED: 18
STANDARD SPACES PROVIDED 14
H.C. SPACES PROVIDED 1
COMPACT SPACES PROVIDED 0
PARALLEL PARKING PROVIDED 3
LOADING SPACE PROVIDED (SEE DETAIL 2 OF 1 FOR DIMENSIONS) LOADING DOCK

NOTE:
REMAINING PARKING TO BE OBTAINED WITH RECIPROCAL PARKING AGREEMENT WITH 1411 WOOLSEY HEIGHTS COLORADO SPRINGS, CO 80915

DEVELOPMENT SCHEDULE
CONSTRUCTION: SPRING 2019
LANDSCAPING: EXISTING

DEVELOPMENT APPLICANT
COMPANY: HAMMERS CONSTRUCTION, INC., 1411 WOOLSEY HEIGHTS COLO. SPGS., CO 80915
PHONE NUMBER: (719)-570-1599
FAX NUMBER: (719)-570-7008
APPLICANT NAME: LISA PETERSON
APPLICANT E-MAIL: lpeterson@hammersconstruction.com

Parking ratio for club is 1 space per 3 seats plus 1 space per employee on maximum shift.

SITE LEGEND

- PROPERTY LINE
- RIGHT OF WAY
- BUILDING SETBACK
- LANDSCAPE SETBACK
- UTILITY/DRAINAGE EASEMENT
- ELECTRICAL EASEMENT
- ACCESS EASEMENT
- OPAQUE CHAINLINK FENCE
- 6' HIGH WROUGHT IRON FENCE
- GAS LINE
- WATER LINE
- ELECTRICAL LINE
- SANITARY SEWER LINE
- STORM SEWER LINE
- RETAINING WALL
- NEW SIDEWALK LOCATIONS W/ CONTROL JOINTS @ 5'-0" O.C.

PROPERTY CORNER · SIGN · EXISTING FIRE HYDRANT
TRAFFIC FLOW · MH MANHOLE · PROPOSED FIRE HYDRANT
WALL PACK LIGHTING · T ELECTRICAL TRANSFORMER

COUNTY FILE NO. PPR-18-007

HAMMERS CONSTRUCTION INC.
COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD
PRESIDENT: STEVE R. HAMMERS
VICE PRES: DAVID J. HAMMERS
1411 WOOLSEY HEIGHTS
COLORADO SPRINGS, CO 80915
(719) 570-1599 FAX (719) 570-7008
www.hammersconstruction.com

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FATHER & SONS
CLAREMONT BUSINESS PARK-LOT 9-2
1405 SELIX GROVE
COLORADO SPRINGS, CO 80915
EL PASO COUNTY, COLORADO

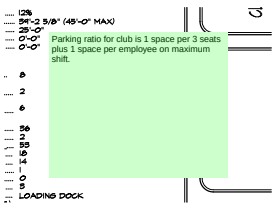
DATE: MAY 2, 2019
DRAWN BY: W. VENEROS
PROJ. MNGR: R. GREEN
SCALE: SEE PLAN
APPROVED BY:
JOB NO: 1065

RESUBMITTALS:

1 of 10
SITE PLAN

Site Development plan-redline.pdf Markup Summary

Parking ratio for club is 1 space per 3 seats plus 1 space per employee on maximum shift. (1)



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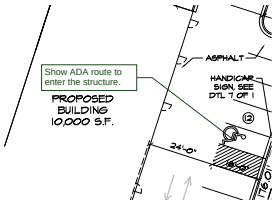
Parking ratio for club is 1 space per 3 seats plus 1 space per employee on maximum shift.

Show ADA route to enter the structure. (1)



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Show ADA route to enter the structure.

Show Trash enclosure. and detail (1)

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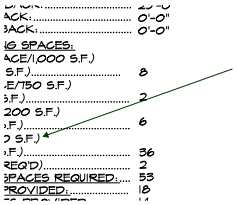
Show Trash enclosure. and detail

(1)



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