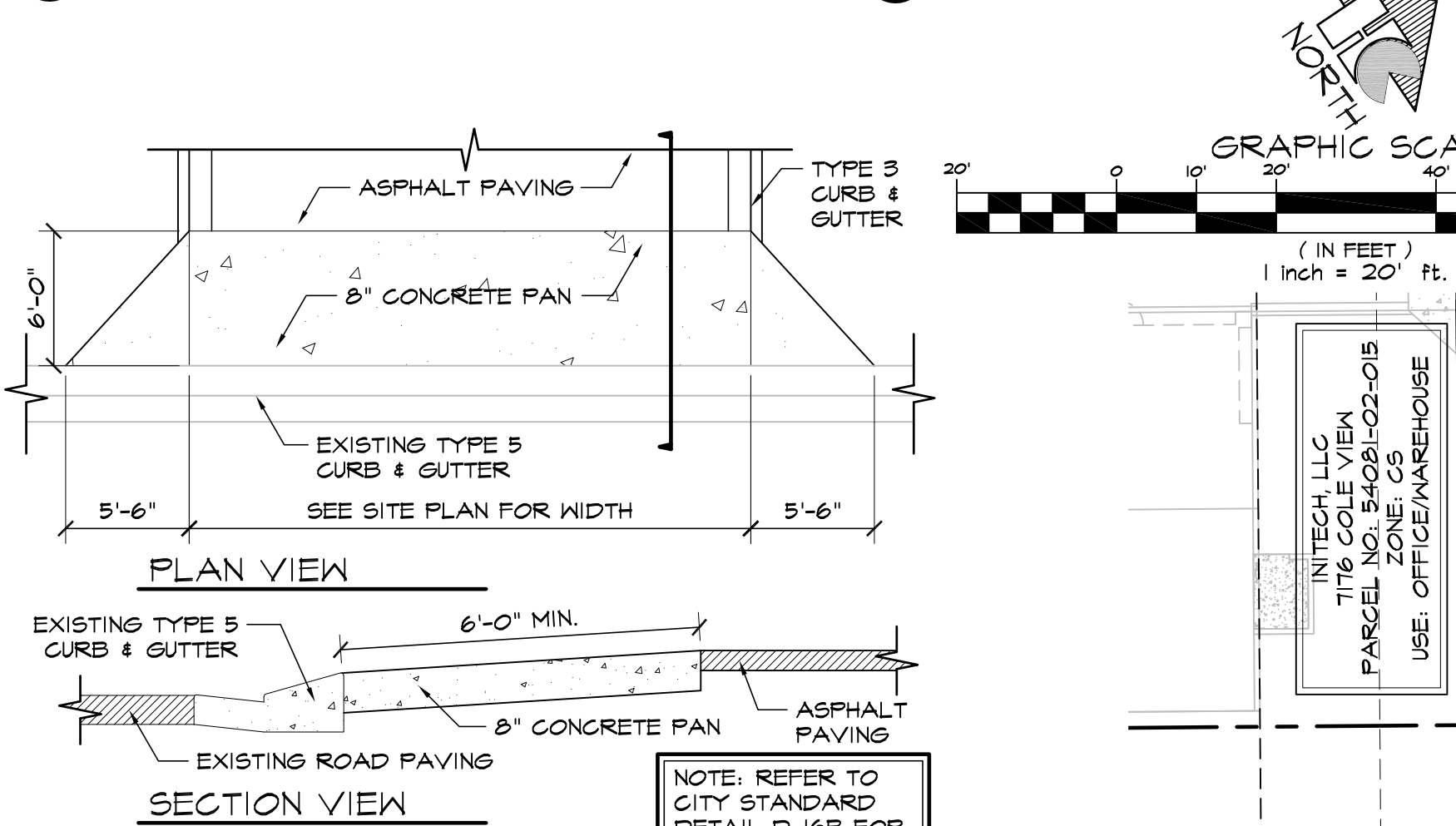
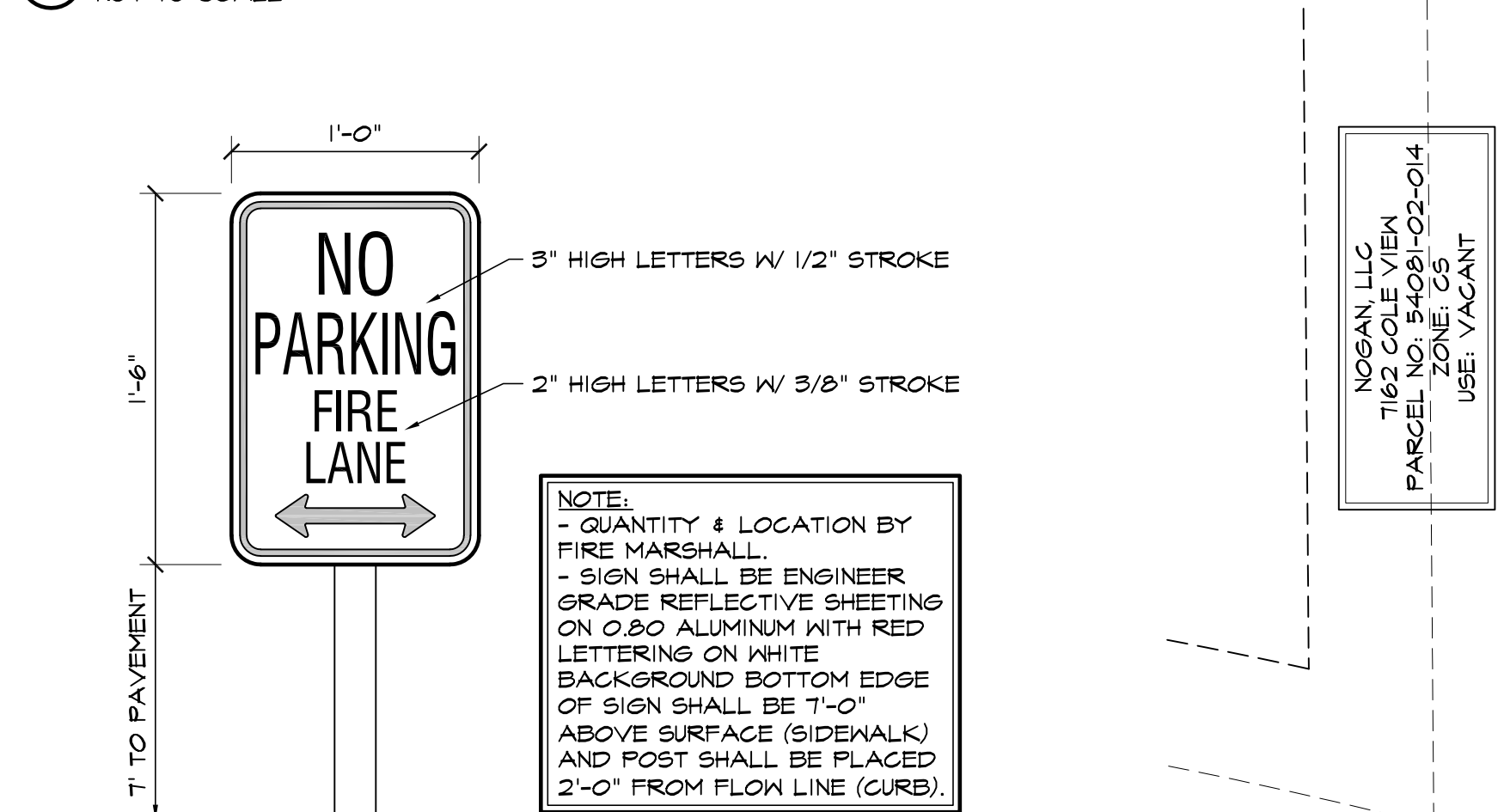


3 WALL PACK LIGHT DETAIL
SCALE: 1/4"=1'-0"

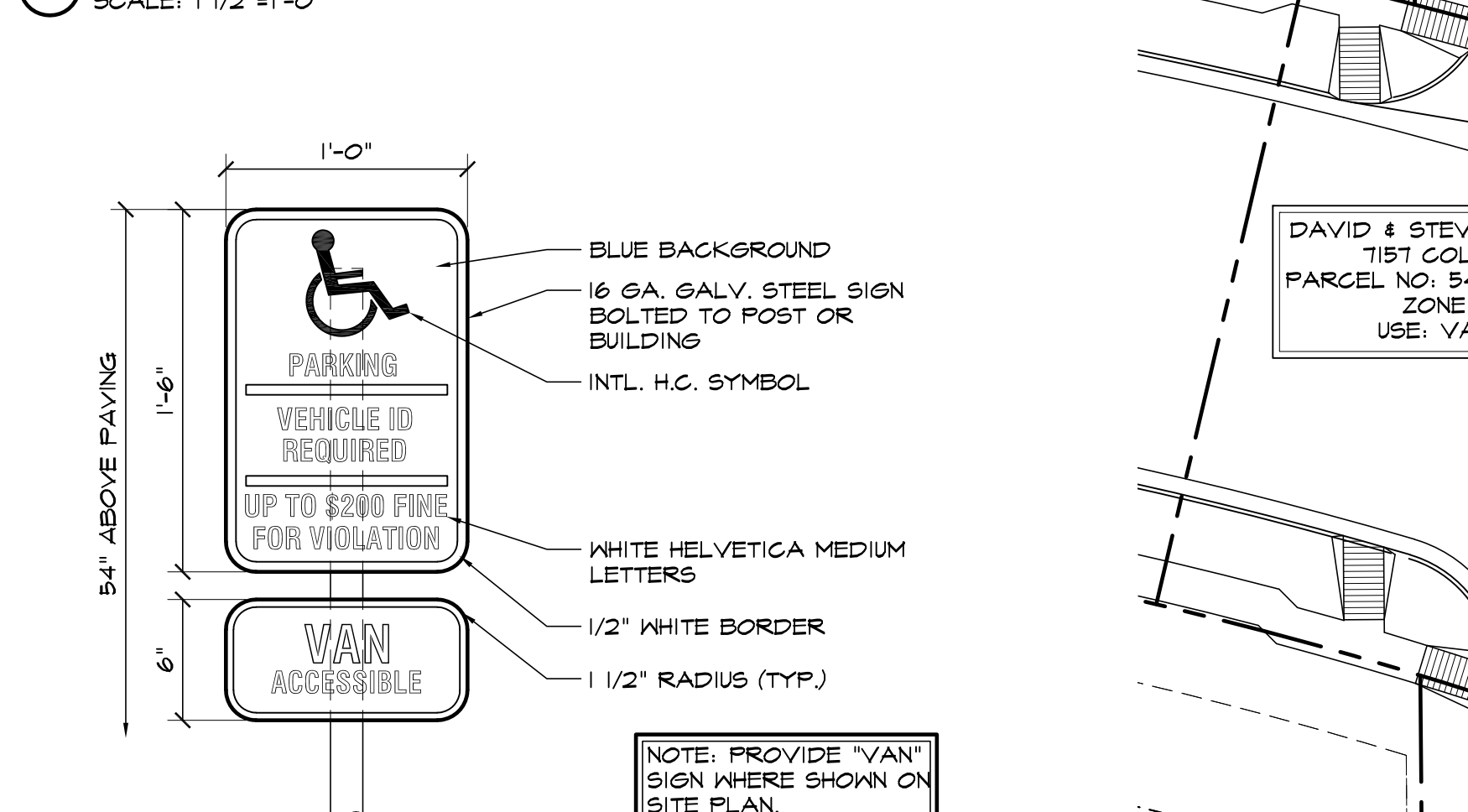
4 CHAINLINK FENCE DETAIL
SCALE: 1/2"=1'-0"



5 DRIVEWAY DETAIL
NOT TO SCALE

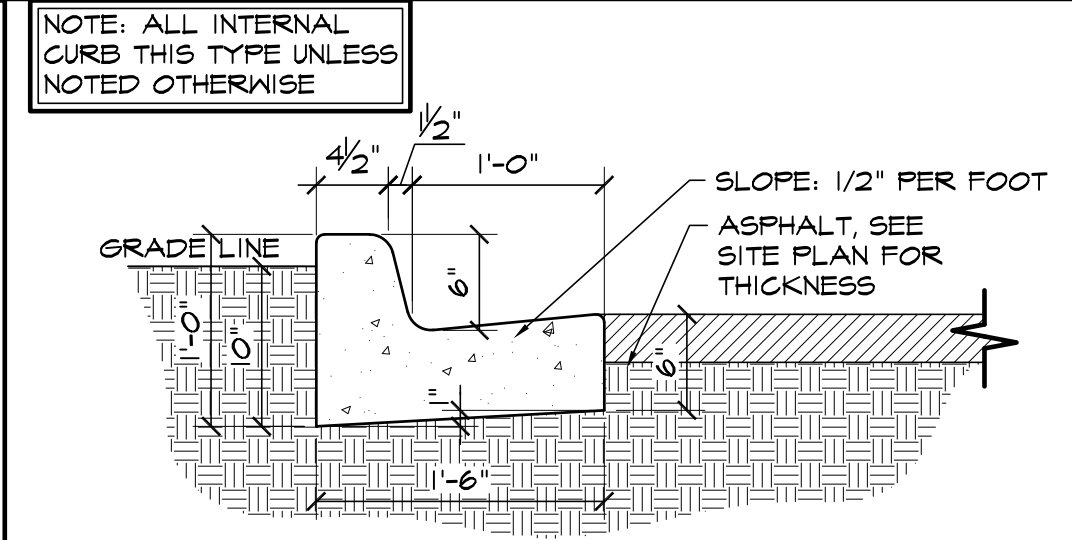


6 FIRE LANE SIGN
SCALE: 1 1/2"=1'-0"



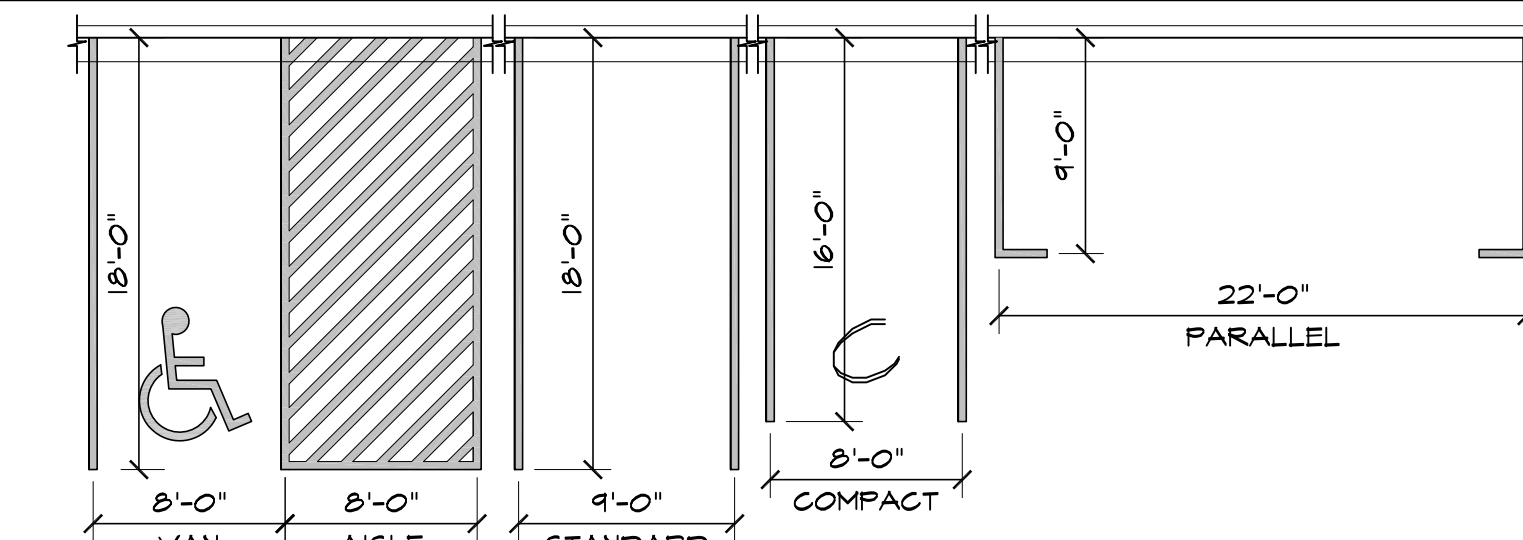
7 HANDICAPPED PARKING SIGN
SCALE: 1 1/2"=1'-0"

FENCE SPECS. POSTS:
- ALL POSTS WILL BE SET IN CONC. END & CORNER
- 2 3/8" T-40 LINE POSTS
- 2" T-40 @ 10'-0" OC TOP RAIL:
- 1 5/8" T-20 CHAINLINK FABRIC:
- 2" MESH x 11 GA
- GALVANIZED AFTER HEAVING
- ATTACH W/ STL TIES - START 1" A.F.F.
SLATS:
- DOUBLE WALL PVC PRIVACY FILLER STRIPS
- LOCKING TRACK ON BOTTOM
- START 2" A.F.F.
GATES:
- ROLLING GATES TO INCLUDE SAFETY POST INSIDE GATE ROLL AREAS



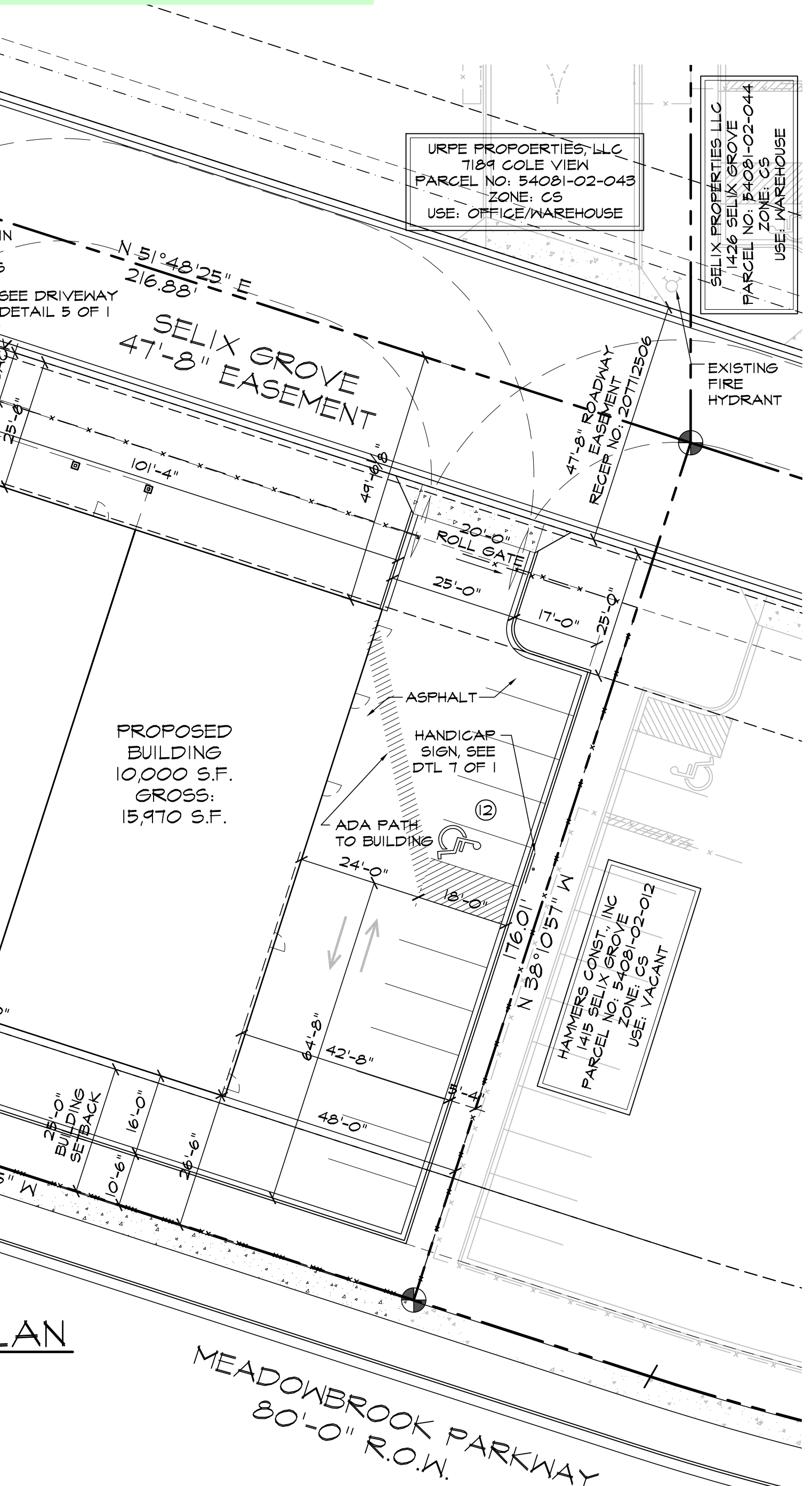
3 EPC TYPE B CURB
SCALE: 1"=1'-0"

GENERAL NOTES
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.



2 ADA / STANDARD PARKING
SCALE: 1/8"=1'-0"

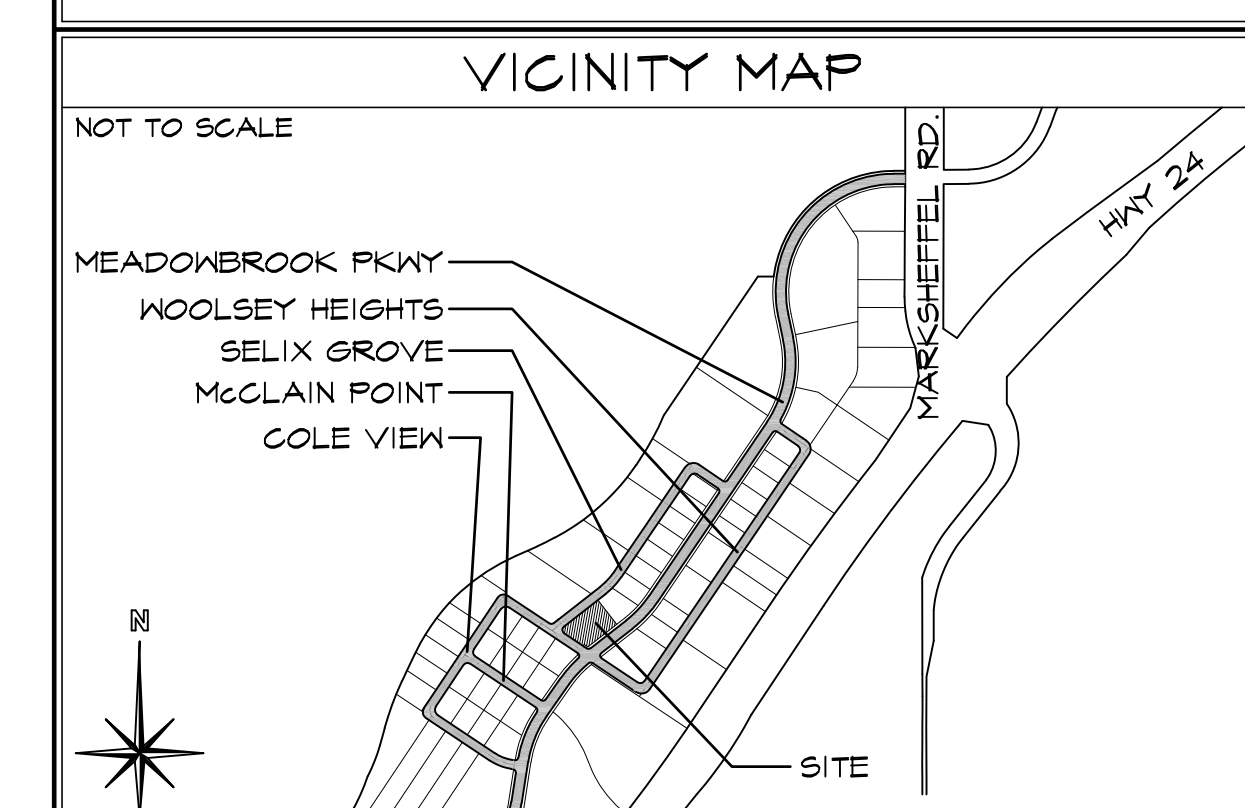
Prior to CO the Stormwater Quality Division shall inspect the property to verify that those defects identified have been resolved. Those defects identified upon inspection include, but are not necessarily limited to:
• Sides sand filter basin were not stabilized and have not reached 70% of the original vegetation.
• Erosion is occurring on the slopes as a result of inadequate stabilization.
• Straw wattles were left in the Sand Filter Basin. These are temporary control measures and should be removed when they are not required.
• Sand in the filter basin is tight and compacted which will contribute to slower infiltration during storm events.
• Clean out is not visible within the basin, was this installed along with the underdrain?
• Rip-rap apron was not installed at the in-fall of the sand filter basin per plan details.



1 SITE PLAN
SCALE: 1"=20'-0"

DRAWING INDEX

1 OF 10	- SITE PLAN & DETAILS, PROJECT INFO., DRAWING INDEX
C-2 OF 10	- UTILITY PLAN
C1-3 OF 10	- GRADING & EROSION CONTROL PLAN
C11-4 OF 10	- GRADING & EROSION CONTROL PLAN DETAILS
C12-5 OF 10	- GRADING & EROSION CONTROL PLAN DETAILS
L-6 OF 10	- LANDSCAPE PLAN
L-7 OF 10	- LANDSCAPE DETAILS AND NOTES
SPO1-8 OF 10	- SITE PHOTOMETRIC PLAN
9 OF 10	- DP BUILDING ELEVATIONS
10 OF 10	- DP BUILDING ELEVATIONS



NOT TO SCALE

PROJECT INFORMATION

PROPERTY INFORMATION
OWNER NAME: FATHER & SONS WHISKEY PURVEYORS
16730 E 2ND AVE.
AURORA, CO 80011
LEGAL DESCRIPTION: LOT 4, FILING 2 OF CLAREMONT BUSINESS PARK
PARCEL NO. 54081-02-013
ZONING: CS
LOT SIZE LOT 4: 42,714 SF (0.981 ACRES)
CURRENT USE: VACANT
FLOODPLAIN STATEMENT: ZONE X (MAP NO. 0804/COT52 G, DATED DECEMBER 07, 2018)

BUILDING INFORMATION
GROSS BUILDING AREA: 15,970 S.F.
BUILDING FOOTPRINT AREA: 10,000 S.F.
BUILDING OCCUPANCY: A-2, B, H-3, F-1
TYPE OF CONSTRUCTION: II-B
FIRE SYSTEMS: SPRINKLED
AREA SEPARATION WALLS: YES - 2 HR.

ZONING CODE STUDY
PROPOSED PRINCIPAL USE: MEMBERSHIP CLUB/ WAREHOUSE/ OFFICE/ BOTTLING

STRUCTURAL COVERAGE: 12%
PAVEMENT COVERAGE: 41%
STREET COVERAGE: 12%
BUILDING STRUCTURAL HEIGHT: 34'-2 5/8" (45'-0" MAX)
FRONT YARD SETBACK: 25'-0"
SIDE YARD SETBACK: 0'-0"
REAR YARD SETBACK: 0'-0"

REQUIRED PARKING SPACES:
WAREHOUSE-(1 SPACE/1,000 S.F.)
BOTTLING-(1 SPACE/750 S.F.)
OFFICE-(1 SPACE/200 S.F.)
CLUB-(1 SPACE/ 3 SEATS)
H.C. SPACES PROVIDED: 37
NUMBER OF EMPLOYEES @ MAX SHIFT: 3
H.C.-(1 SPACE/25 SEAT)
TOTAL PARKING SPACES REQUIRED: 53
TOTAL PARKING SPACES PROVIDED: 18
STANDARD SPACES PROVIDED: 14
H.C. SPACES PROVIDED: 1
COMPACT SPACES PROVIDED: 0
PARALLEL PARKING PROVIDED: 3
LOADING DOCK (SEE DETAIL 2 OF 1 FOR DIMENSIONS): 3

NOTE: REMAINING PARKING TO BE OBTAINED WITH PARKING AGREEMENT WITH 1411 WOOLSEY HEIGHTS COLORADO SPRINGS, CO 80915

DEVELOPMENT SCHEDULE
CONSTRUCTION: SPRING 2019
LANDSCAPING: EXISTING
DEVELOPMENT APPLICANT: HAMMERS CONSTRUCTION, INC.
COMPANY: 1411 WOOLSEY HEIGHTS, COLO. SPRGS., CO 80915
PHONE NUMBER: (719)-570-1549
FAX NUMBER: (719)-570-1008
APPLICANT NAME: LISA PETERSON
APPLICANT E-MAIL: lpeterson@hammersconstruction.com

SITE LEGEND

---	PROPERTY LINE
---	RIGHT OF WAY
---	BUILDING SETBACK
---	LANDSCAPE SETBACK
---	UTILITY/DRAINAGE EASEMENT
---	ELECTRICAL EASEMENT
---	ACCESS EASEMENT
---	OPAQUE CHAINLINK FENCE
---	6" HIGH WROUGHT IRON FENCE
---	GAS LINE
---	WATER LINE
---	ELECTRICAL LINE
---	SANITARY SEWER LINE
---	STORM SEWER LINE
---	RETAINING WALL
---	NEW SIDEWALK LOCATIONS W/ CONTROL JOINTS @ 5'-0" O.C.
●	PROPERTY CORNER
→	TRAFFIC FLOW
□	WALL PACK LIGHTING
---	SIGN
○	MANHOLE
⊕	ELECTRICAL TRANSFORMER
○	EXISTING FIRE HYDRANT
●	PROPOSED FIRE HYDRANT

COUNTY FILE NO. PPR-19-026

HAMMERS CONSTRUCTION INC.
COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD
PRESIDENT: STEVE R. HAMMERS
VICE PRES: DAVID J. HAMMERS
1411 WOOLSEY HEIGHTS
COLORADO SPRINGS, CO 80915
(719) 570-1599 FAX (719) 570-7008
www.hammersconstruction.com

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FATHER & SONS
CLAREMONT BUSINESS PARK LOT 4-2
1405 SELIX GROVE
COLORADO SPRINGS, CO 80915
EL PASO COUNTY, COLORADO

Central Marksheffel District Fee
Industrial Use - 9528 sq ft x \$1.50 = \$14,292.00
Office/ Retail Use - 6442 sq ft x \$2.00 = 12,884.00
TOTAL on amount due= \$27,176.00

DATE: MARCH 11, 2019
DRAWN BY: W. VENEROS
PROJ. MGR: R. GREEN
SCALE: SEE PLAN
APPROVED BY:
JOB NO: 1065

RESUBMITTALS:
6-18-19 / COMMENTS 6-12-19