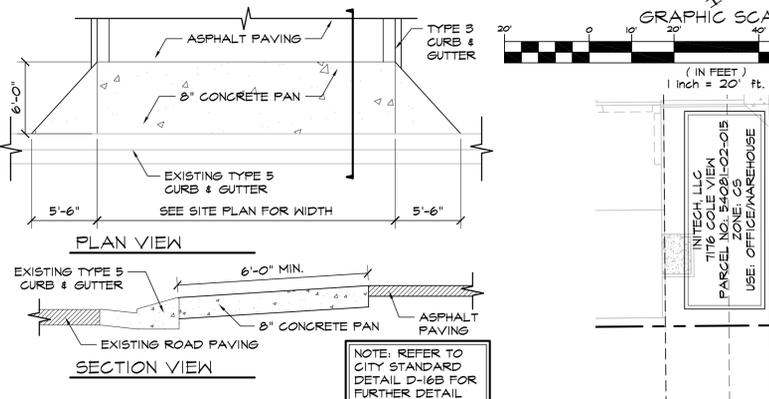
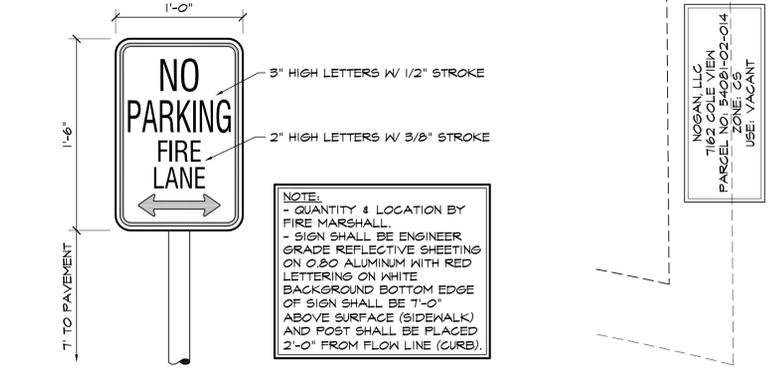


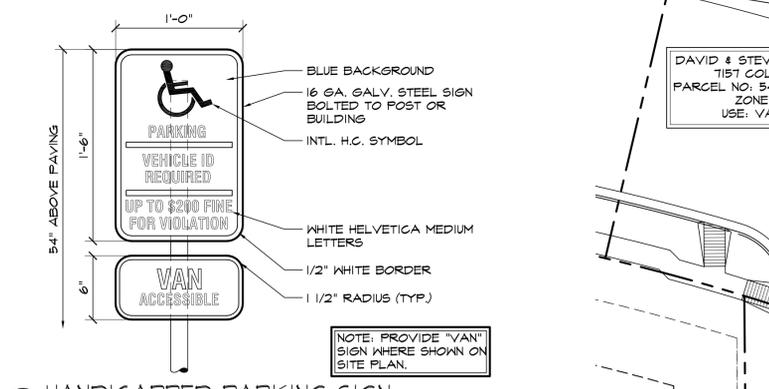
8 WALL PACK LIGHT DETAIL SCALE: 1/4"=1'-0"
 4 CHAINLINK FENCE DETAIL SCALE: 1/2"=1'-0"



5 DRIVEWAY DETAIL NOT TO SCALE

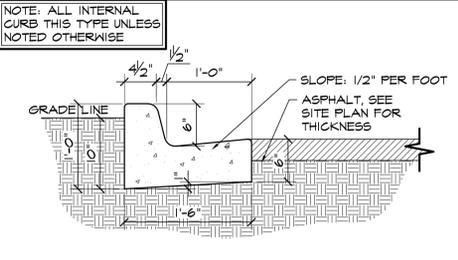


6 FIRE LANE SIGN SCALE: 1 1/2"=1'-0"

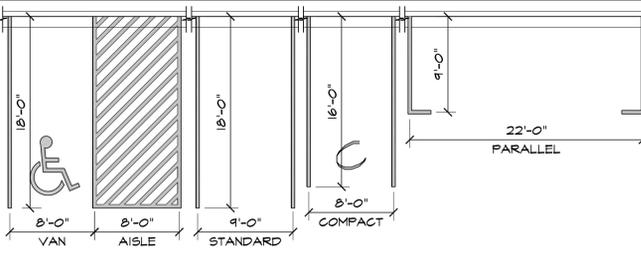


7 HANDICAPPED PARKING SIGN SCALE: 1 1/2"=1'-0"

FENCE SPECS. POSTS:
 - ALL POSTS WILL BE SET IN CONC. END & CORNER
 - 2 3/8" T-40 LINE POSTS
 - 2" T-40 @ 10'-0" OC TOP RAIL
 - 1 5/8" T-20 CHAINLINK FABRIC:
 - 2" MESH x 11 GA - GALVANIZED AFTER HEAVING
 - ATTACH W/ STL TIES - START 1" A.F.F. SLATS:
 - DOUBLE WALL PVC PRIVACY FILLER STRIPS
 - LOCKING TRACK ON BOTTOM
 - START 2" A.F.F. GATES:
 - ROLLING GATES TO INCLUDE SAFETY POST INSIDE GATE ROLL AREAS



3 EPC TYPE B CURB SCALE: 1"=1'-0"



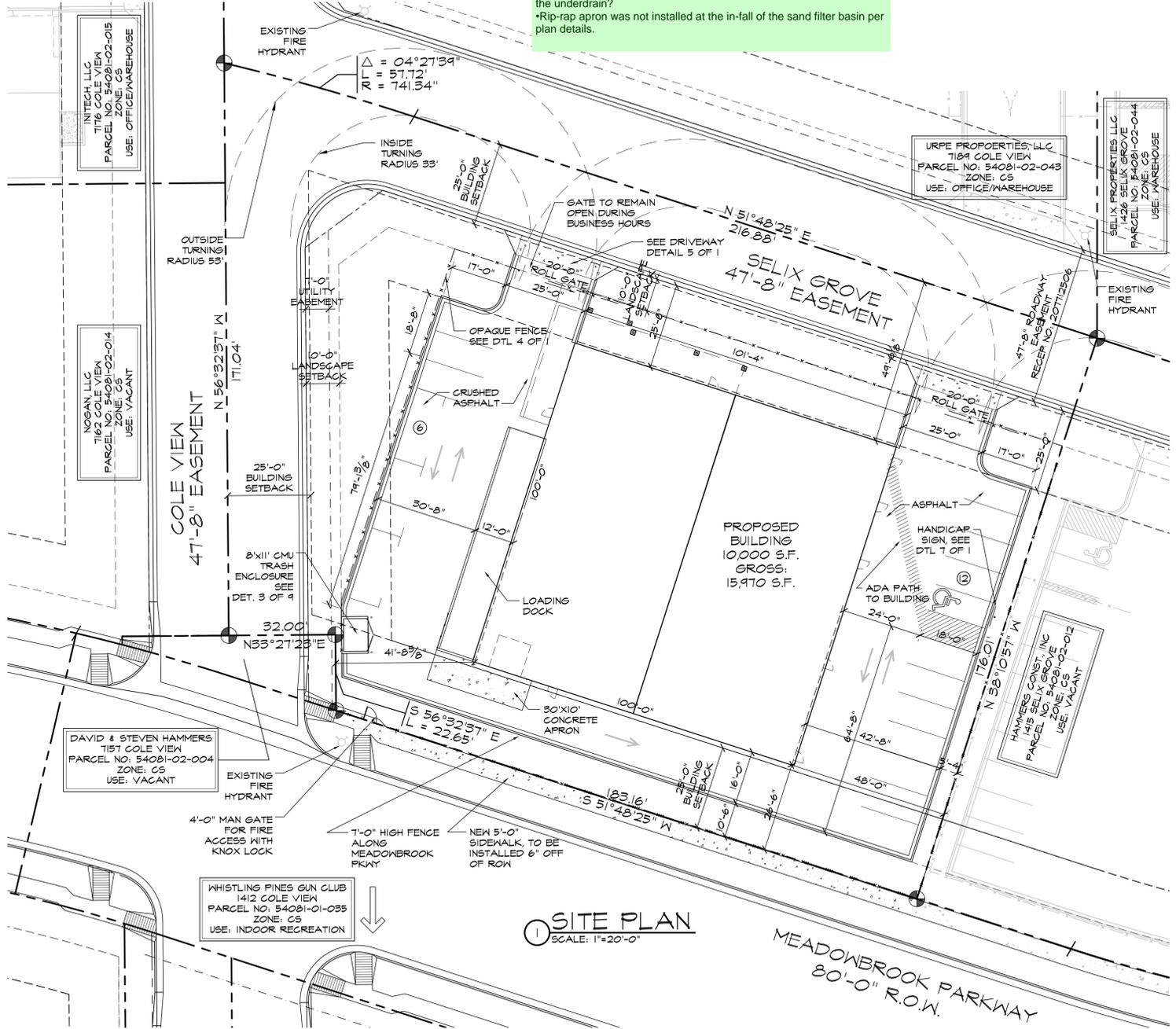
2 ADA / STANDARD PARKING SCALE: 1/8"=1'-0"

GENERAL NOTES

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

Prior to CO the Stormwater Quality Division shall inspect the property to verify that those defects identified have been resolved. Those defects identified upon inspection include, but are not necessarily limited to:
 • Sides sand filter basin were not stabilized and have not reached 70% of the original vegetation.
 • Erosion is occurring on the slopes as a result of inadequate stabilization.
 • Straw wattles were left in the Sand Filter Basin. These are temporary control measures and should be removed when they are not required.
 • Sand in the filter basin is tight and compacted which will contribute to slower infiltration during storm events.
 • Clean out is not visible within the basin, was this installed along with the underdrain?
 • Rip-rap apron was not installed at the in-fall of the sand filter basin per plan details.

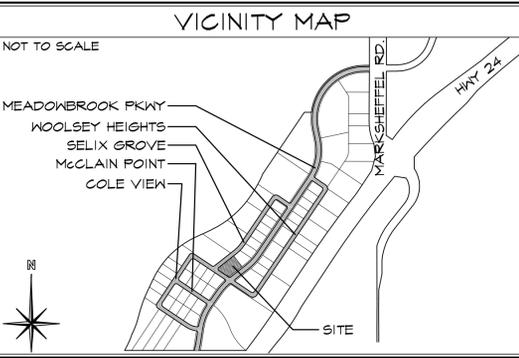
Approved
 By: Craig Dossey, Executive Director
 Date: 08/26/2019
 El Paso County Planning & Community Development



1 SITE PLAN SCALE: 1"=20'-0"

DRAWING INDEX

1	OF 10	- SITE PLAN & DETAILS, PROJECT INFO., DRAWING INDEX
C-2	OF 10	- UTILITY PLAN
C1-3	OF 10	- GRADING & EROSION CONTROL PLAN
C11-4	OF 10	- GRADING & EROSION CONTROL PLAN DETAILS
C12-5	OF 10	- GRADING & EROSION CONTROL PLAN DETAILS
L-6	OF 10	- LANDSCAPE PLAN
L-7	OF 10	- LANDSCAPE DETAILS AND NOTES
SFO-1-8	OF 10	- SITE PHOTOMETRIC PLAN
9	OF 10	- DP BUILDING ELEVATIONS
10	OF 10	- DP BUILDING ELEVATIONS



PROJECT INFORMATION

PROPERTY INFORMATION	
OWNER NAME:	FATHER & SONS WHISKEY PURVEYORS 16730 E 2ND AVE. AURORA, CO 80011
LEGAL DESCRIPTION:	LOT 9, FILING 2 OF CLAREMONT BUSINESS PARK 54081-02-013
PARCEL NUMBER LOT 9:	54081-02-013
ZONING:	CS
LOT SIZE LOT 9:	42,714 SF (0.981 ACRES)
CURRENT USE:	VACANT
FLOODPLAIN STATEMENT:	ZONE X (MAP NO. 0804/COT52 6, DATED DECEMBER 07, 2018)
BUILDING INFORMATION	
GROSS BUILDING AREA:	15,970 SF
BUILDING FOOTPRINT AREA:	10,000 SF
BUILDING OCCUPANCY:	A-2, B, H-3, F-1
TYPE OF CONSTRUCTION:	II-B
FIRE SYSTEMS:	SPRINKLED
AREA SEPARATION WALLS:	YES - 2 HR.
ZONING CODE STUDY	
PROPOSED PRINCIPAL USE:	MEMBERSHIP CLUB/ WAREHOUSE/ OFFICE/ BOTTLING
STRUCTURAL COVERAGE:	12%
PAVEMENT COVERAGE:	41%
STREET COVERAGE:	12%
BUILDING STRUCTURAL HEIGHT:	34'-2 5/8" (45'-0" MAX)
FRONT YARD SETBACK:	25'-0"
SIDE YARD SETBACK:	0'-0"
REAR YARD SETBACK:	0'-0"
REQUIRED PARKING SPACES:	
WAREHOUSE-(1 SPACE/1,000 S.F.) (1,315 S.F. / 1,000 S.F.)	1
BOTTLING-(1 SPACE/150 S.F.) (1,040 S.F. / 150 S.F.)	7
OFFICE-(1 SPACE/200 S.F.) (1,020 S.F. / 200 S.F.)	5
CLUB-(1 SPACE/ 3 SEATS) (6,476 S.F. / 12 SEATS)	57
NUMBER OF EMPLOYEES @ MAX SHIFT:	3
H.C.-(1 SPACE/25 SEAT)	12
TOTAL PARKING SPACES REQUIRED:	53
TOTAL PARKING SPACES PROVIDED:	18
STANDARD SPACES PROVIDED:	14
H.C. SPACES PROVIDED:	1
COMPACT SPACES PROVIDED:	0
PARALLEL PARKING PROVIDED:	3
LOADING SPACE PROVIDED:	3
(SEE DETAIL 2 OF 1 FOR DIMENSIONS)	
NOTE: REMAINING PARKING TO BE OBTAINED WITH PARKING AGREEMENT WITH 1411 WOOLSEY HEIGHTS COLORADO SPRINGS, CO 80915	
DEVELOPMENT SCHEDULE	
CONSTRUCTION:	SPRING 2019
LANDSCAPING:	EXISTING
DEVELOPMENT APPLICANT	
COMPANY:	HAMMERS CONSTRUCTION, INC. 1411 WOOLSEY HEIGHTS COLO. SFGS. CO 80915
PHONE NUMBER:	(719)-570-1549
FAX NUMBER:	(719)-570-7008
APPLICANT NAME:	LISA PETERSON
APPLICANT E-MAIL:	lpeterson@hammersconstruction.com

SITE LEGEND

---	PROPERTY LINE
---	RIGHT OF WAY
---	BUILDING SETBACK
---	LANDSCAPE SETBACK
---	UTILITY/DRAINAGE EASEMENT
---	ELECTRICAL EASEMENT
---	ACCESS EASEMENT
---	OPAQUE CHAINLINK FENCE
---	6" HIGH WROUGHT IRON FENCE
---	GAS LINE
---	WATER LINE
---	ELECTRICAL LINE
---	SANITARY SEWER LINE
---	STORM SEWER LINE
---	RETAINING WALL
---	NEW SIDEWALK LOCATIONS W/ CONTROL JOINTS @ 5'-0" OC.
●	PROPERTY CORNER
○	SIGN
○	MANHOLE
○	ELECTRICAL TRANSFORMER
○	EXISTING FIRE HYDRANT
○	PROPOSED FIRE HYDRANT
○	WALL PACK LIGHTING

COUNTY FILE NO. PPR-19-026

HAMMERS CONSTRUCTION INC.
 COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN/BUILD
 PRESIDENT: STEVE R. HAMMERS
 VICE PRES: DAVID J. HAMMERS
 1411 WOOLSEY HEIGHTS
 COLORADO SPRINGS, CO 80915
 (719) 570-1549 FAX (719) 570-7008
 www.hammersconstruction.com

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FATHER & SONS
 CLAREMONT BUSINESS PARK-LOT 9-2
 1405 SELIX GROVE
 COLORADO SPRINGS, CO 80915
 EL PASO COUNTY, COLORADO

Central Marksheffel District Fee
 Industrial Use - 9528 sq ft x \$1.50 = \$14,292.00
 Office/ Retail Use - 6442 sq ft x \$2.00 = 12,884.00
 TOTAL on amount due = \$27,176.00

DATE: MARCH 11, 2019
 DRAWN BY: W. VENEROS
 PROJ. MGR: R. GREEN
 SCALE: SEE PLAN
 APPROVED BY:
 JOB NO: 1065

RESUBMITTALS:
 6-18-19 / COMMENTS 6-12-19