

# THE COMMONS AT FALCON FIELD - FILING NO. 2

EAST HALF OF SECTION 7, TOWNSHIP 13 SOUTH, RANGE 64 WEST OF THE 6TH P.M.

PEYTON, EL PASO COUNTY, COLORADO

## CONSTRUCTION PLANS

### LEGAL DESCRIPTION:

TRACT F OF THE COMMONS AT FALCON FIELD FILING NO. 1.

### AGENCY CONTACTS:

**COUNTY** EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT  
RYAN HOWSER, PLANNER  
2880 INTERNATIONAL CIRCLE, SUITE 110  
COLORADO SPRINGS, CO 80910  
(719) 520-6300

**FIRE** FALCON FIRE DEPARTMENT  
TRENT HARWIG, FIRE CHIEF  
7030 OLD MERIDIAN ROAD  
FALCON, CO 80831  
(719)495-4050

**WATER** WOODMEN HILLS METROPOLITAN DISTRICT  
8046 EASTONVILLE ROAD  
FALCON, CO 80831  
(719) 495-2500

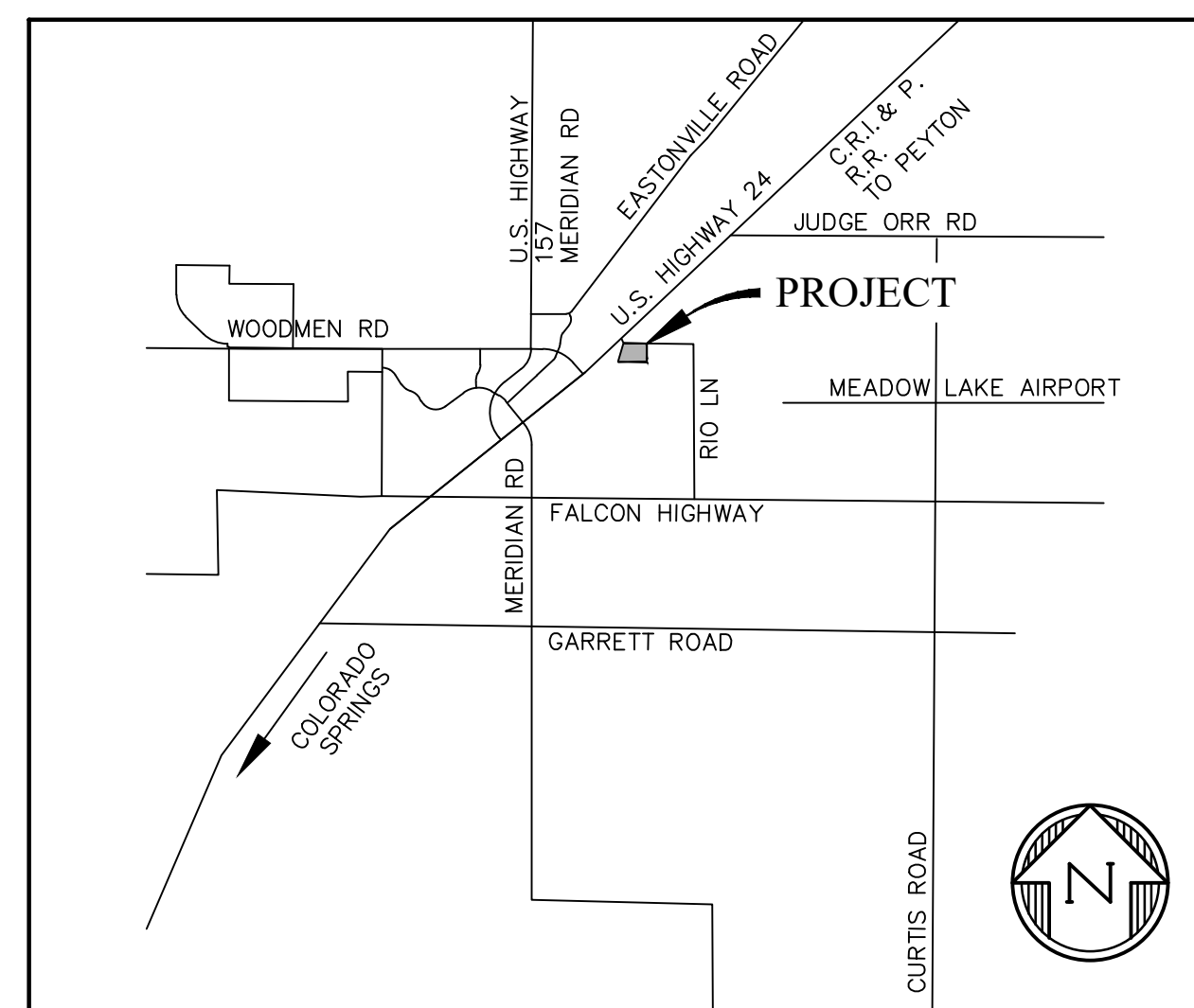
**WASTEWATER** WOODMEN HILLS METROPOLITAN DISTRICT  
8046 EASTONVILLE ROAD  
FALCON, CO 80831  
(719) 495-2500

**ELECTRIC** MOUNTAIN VIEW ELECTRIC ASSOCIATION  
LES ULFERS  
11140 E. WOODMEN ROAD  
FALCON, CO 80831  
(719) 495-2283

**GAS** COLORADO SPRINGS UTILITIES  
TODD STURTEVANT  
1521 HANCOCK EXPRESSWAY  
COLORADO SPRINGS, CO 80947  
(719) 668-3556

**TELEPHONE** CENTURY LINK  
SALLY KLEIN  
(719) 636-4329  
(LOCATORS) (719) 597-8418  
AT&T  
(LOCATORS) (719) 635-3674

**CABLE** COMCAST  
DALE STEWART  
213 N. UNION BLVD  
COLORADO SPRINGS, CO 80909  
(719) 442-4733



VICINITY MAP  
NTS

### DESIGN ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

TIM MCCONNELL, P.E. #33797 \_\_\_\_\_ DATE \_\_\_\_\_

### OWNER/DEVELOPER STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

STEVE ROSSOLL \_\_\_\_\_ DATE \_\_\_\_\_  
PRO TERRA PROPERTIES  
1846 WOODMOOR DR. MONUMENT, CO 80132

### EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

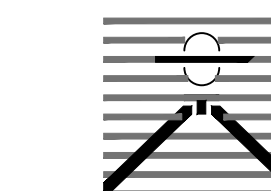
IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JOSHUA PALMER \_\_\_\_\_ DATE \_\_\_\_\_  
COUNTY ENGINEER / ECM ADMINISTRATOR

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PREPARED BY:



DREXEL, BARRELL & CO.  
Engineers & Surveyors  
101 SAWATCH ST., SUITE 100  
COLORADO SPGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
(719)260-0887  
COLORADO SPRINGS • LAFAYETTE

CLIENT:

FALCON FIELD, LLC  
1864 WOODMOOR DRIVE  
MONUMENT, CO 80132  
(719) 476-0800  
CONTACT: STEVE ROSSOLL

CONSTRUCTION DOCUMENTS FOR:

THE COMMONS AT FALCON FIELD  
FILING No. 2

12445 RIO LANE, AND VACANT LAND  
PEYTON, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	02/04/25
RESUBMITTAL	03/20/26

DESIGNED BY: KGV  
DRAWN BY: CGH  
CHECKED BY: TDM  
FILE NAME: CV&NOTES

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF  
DREXEL, BARRELL & CO.

DRAWING SCALE:  
HORIZONTAL: N/A  
VERTICAL: N/A

COVER SHEET

PROJECT NO. 21604-00CSCV  
DRAWING NO.

C1

SHEET: 1 OF 14



Know what's below.  
Call before you dig.

CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

COUNTY FILE NO. SF255

**STANDARD NOTES FOR EL PASO COUNTY GRADING AND EROSION CONTROL PLANS**

- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP IS APPROVED AND A NOTICE TO PROCEED HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEO. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
- TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
- FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT AFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE EGM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
- COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENEF PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.
- DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
- EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ONSITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE EGM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ONSITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
- OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE EGM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY GROUND ENGINEERING, DATED AUGUST 25, 2015, WITH ADDENDA #1, DATED MARCH 17, 2017, AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT  
 WATER QUALITY CONTROL DIVISION  
 WQCD - PERMITS  
 4300 CHERRY CREEK DRIVE SOUTH  
 DENVER, CO 80246-1530  
 ATTN: PERMITS UNIT

**STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS**

- DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:  
 a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)  
 b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2  
 c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION  
 d. CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD. WATERTIGHT JOINTS SHALL BE PROVIDED ON THE SPECIFIED PIPES.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.
- EL PASO COUNTY DOES NOT OWN AND IS NOT RESPONSIBLE FOR THE UNDERDRAINS OR GROUNDWATER DISCHARGE SYSTEMS SHOWN ON THESE PLANS AND ASSUMES NO LIABILITY FOR WATER RIGHTS ADMINISTRATION BY APPROVING THESE PLANS. MAINTENANCE AND WATER RIGHTS ARE THE RESPONSIBILITY OF THE DEVELOPER AND FALCON FIELD METROPOLITAN DISTRICT.

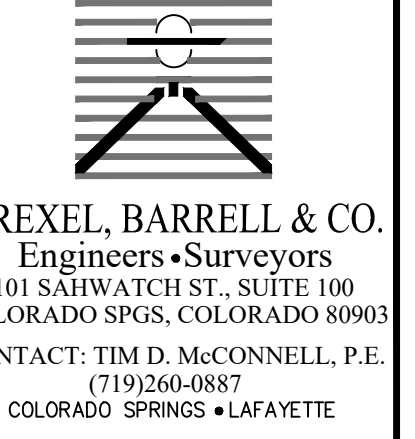
**ABBREVIATION**

ASTM	AMERICAN SOCIETY OF TESTING AND MATERIALS	MUTCD	MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES
APPROX	APPROXIMATE OR APPROXIMATELY	N	NORTH
BCR	BEGIN CURB RADIUS	NTS	NOT TO SCALE
BLVD	BOULEVARD	OHE	OVERHEAD ELECTRIC LINE
BP	BEGIN PIPE	PC	POINT OF CURVATURE
BT	BEGIN TRANSITION	PCC	POINT OF COMPOUND CURVE
C&G	CURB AND GUTTER	PCR	POINT OF CURVE RETURN
CDOT	COLORADO DEPARTMENT OF TRANSPORTATION	PED	PEDESTRIAN
CL	CENTERLINE	PGL	PROFILE GRADE LINE
CLR	CLEARANCE	PH	PHONE LINE
CONC	CONCRETE	PI	POINT OF INTERSECTION
DWA	DETECTABLE WARNING AREA	PL	PROPERTY LINE
DWG	DRAWING	PNT	POINT
DR	DRIVE	P&P	PLAN AND PROFILE
EA	EAST	PP	PROPOSED
ECR	END CURB RADIUS	PRC	POINT OF REVERSE CURVE
ELEV	ELEVATION	PRI	PRIVATE
EOA	EDGE OF ASPHALT	PT	POINT OF TANGENCY
EDC	EDGE OF CONCRETE	PUB	PUBLIC
EP	END PIPE	PVC	POINT OF VERTICAL CURVE OR POLYVINYL CHLORIDE
EPC	EL PASO COUNTY	PV	POINT OF VERTICAL INTERSECTION
ESMT	EASEMENT	PVMT	PAVEMENT
ET	END TRANSITION	PVT	POINT OF VERTICAL TANGENT
EW	EACH WAY	RD	ROAD
EZ	EXISTING	ROW	RIGHT-OF-WAY
FL	FLOWLINE	RT	RIGHT
FT	FOOT/FEET	S	SOUTH
G	GAS LINE	SHT	SHEET
HBP	HOT BITUMINOUS PAVEMENT	SS	SANITARY SEWER
HCL	HORIZONTAL CONTROL LINE	ST	STREET
HGL	HYDROLOGIC GRADE LINE	STA	STATION
HP	HIGH POINT	STD	CITY OF COLORADO SPRINGS STANDARD SPECIFICATION
K	VERTICAL CURVE FACTOR	STM	STORM SEWER
LP	LOW POINT	SW	SIDEWALK
LT	LEFT	TBC	TOP BACK CURB
MAX	MAXIMUM	TFC	TOP FRONT CURB
MH	MANHOLE	TYP	TYPICAL
MN	MINIMUM	TER	TERRACE
		UT	UTILITY
		W	WEST
		WT	WATER
		WWF	WELDED WIRE FABRIC
		WY	WAY
		XING	CROSSING
		XPAN	CROSSSPAN

**SIGNAGE AND STRIPING NOTES**

- SIGNING AND STRIPING NOTES:
- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
  - REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
  - ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
  - ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
  - STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
  - ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
  - ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 35 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 12" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS". SIGNAL POLE MOUNTED AND OVERHEAD STREET NAME SIGNS SHALL BE SIZED TO "MUTCD" SIZE STANDARDS.
  - ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
  - ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SUBBASE DESIGN.
  - ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
  - ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALK LINES SHALL BE 24" WIDE AND 9' LONG.
  - WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE.
  - ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
  - THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
  - THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

PREPARED BY:



CLIENT:

FALCON FIELD, LLC  
 1864 WOODMOOR DRIVE  
 MONUMENT, CO 80132  
 (719) 476-0800  
 CONTACT: STEVE ROSSOLL

CONSTRUCTION DOCUMENTS FOR:  
 THE COMMONS AT FALCON FIELD  
 FILING No. 2  
 12445 RIO LANE, AND VACANT LAND  
 PEYTON, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	02/04/25
RESUBMITTAL	03/20/26
DESIGNED BY:	KGV
DRAWN BY:	SDM
CHECKED BY:	TDH
FILE NAME:	CV&NOTES

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF  
 DREXEL, BARRELL & CO.

DRAWING SCALE:  
 HORIZONTAL: N/A  
 VERTICAL: N/A

GENERAL NOTES  
 &  
 ABBREVIATION

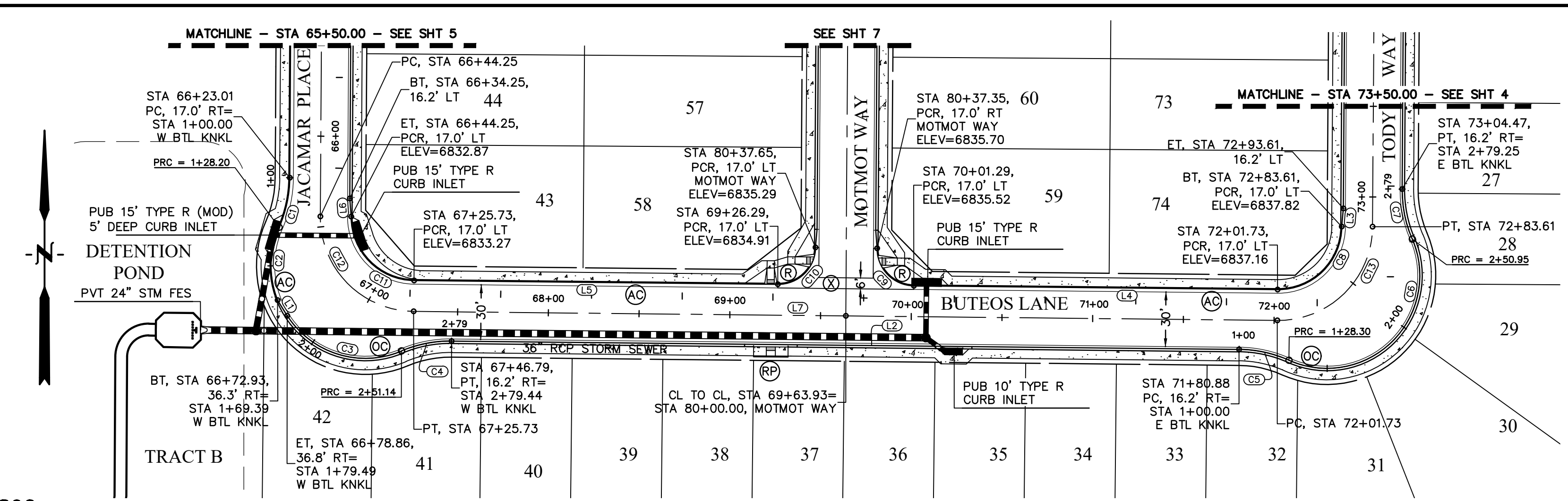
PROJECT NO. 21604-00CSCV  
 DRAWING NO.

**C2**

SHEET: 2 OF 14

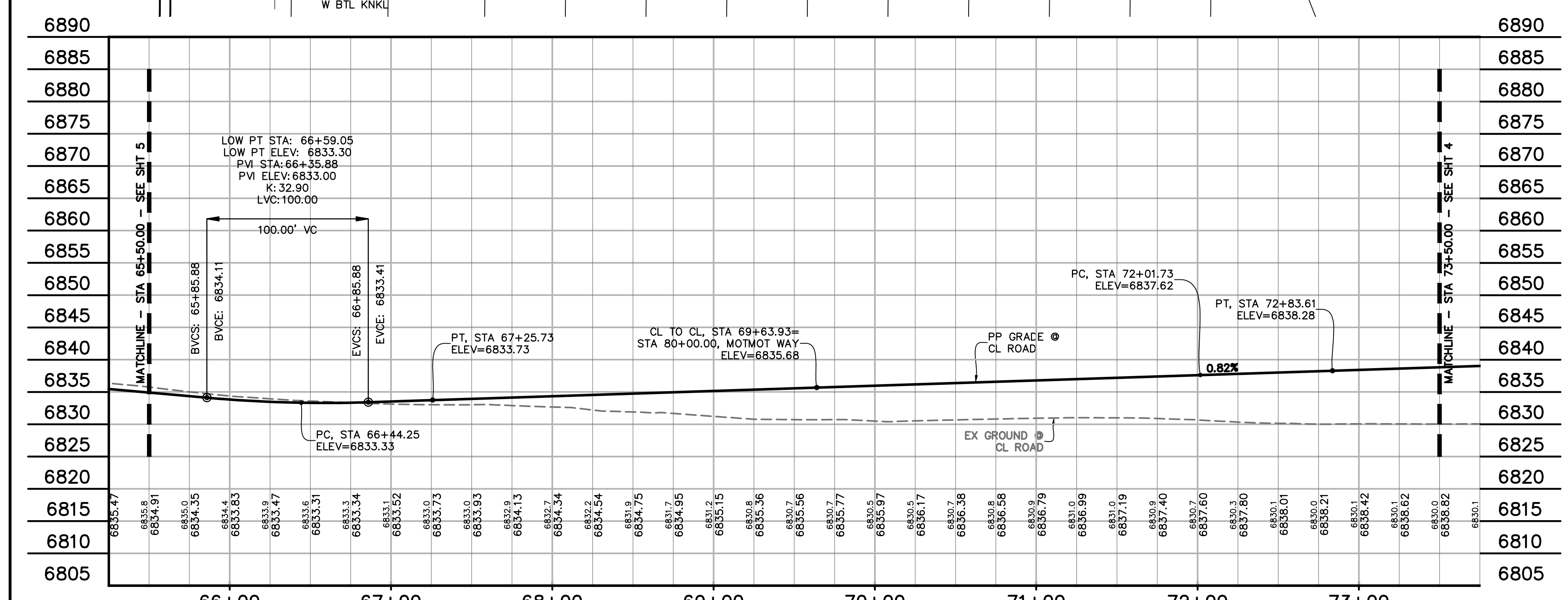
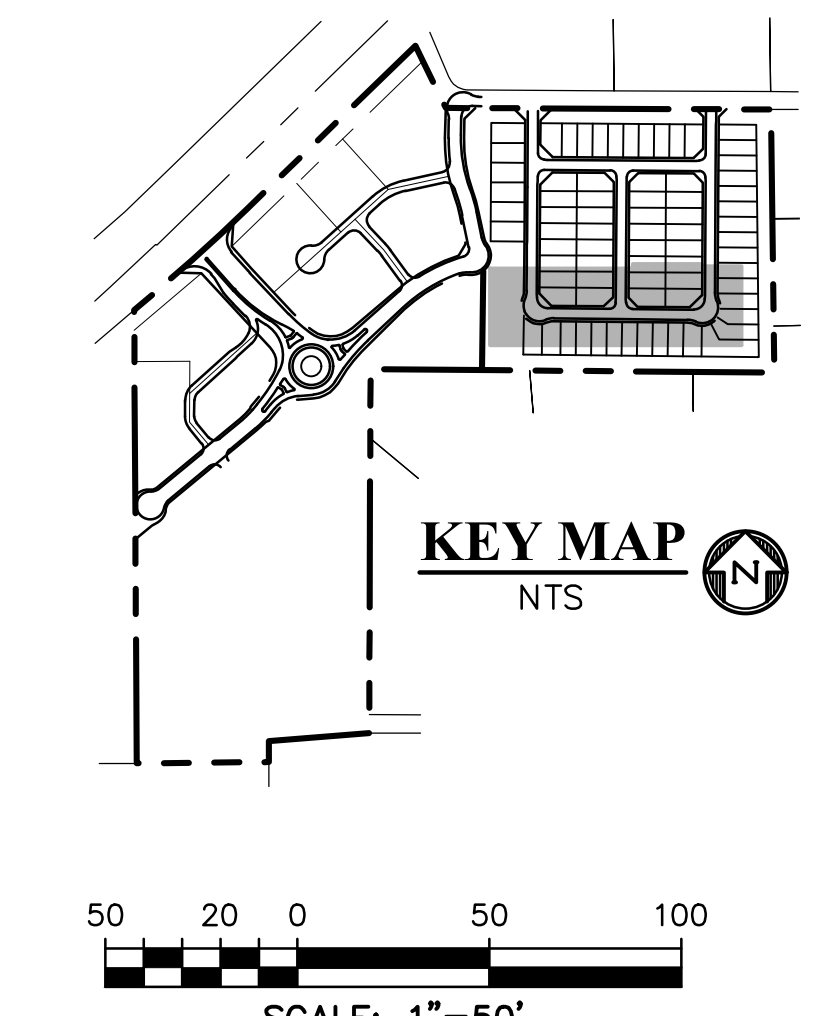


COUNTY FILE NO. SF255

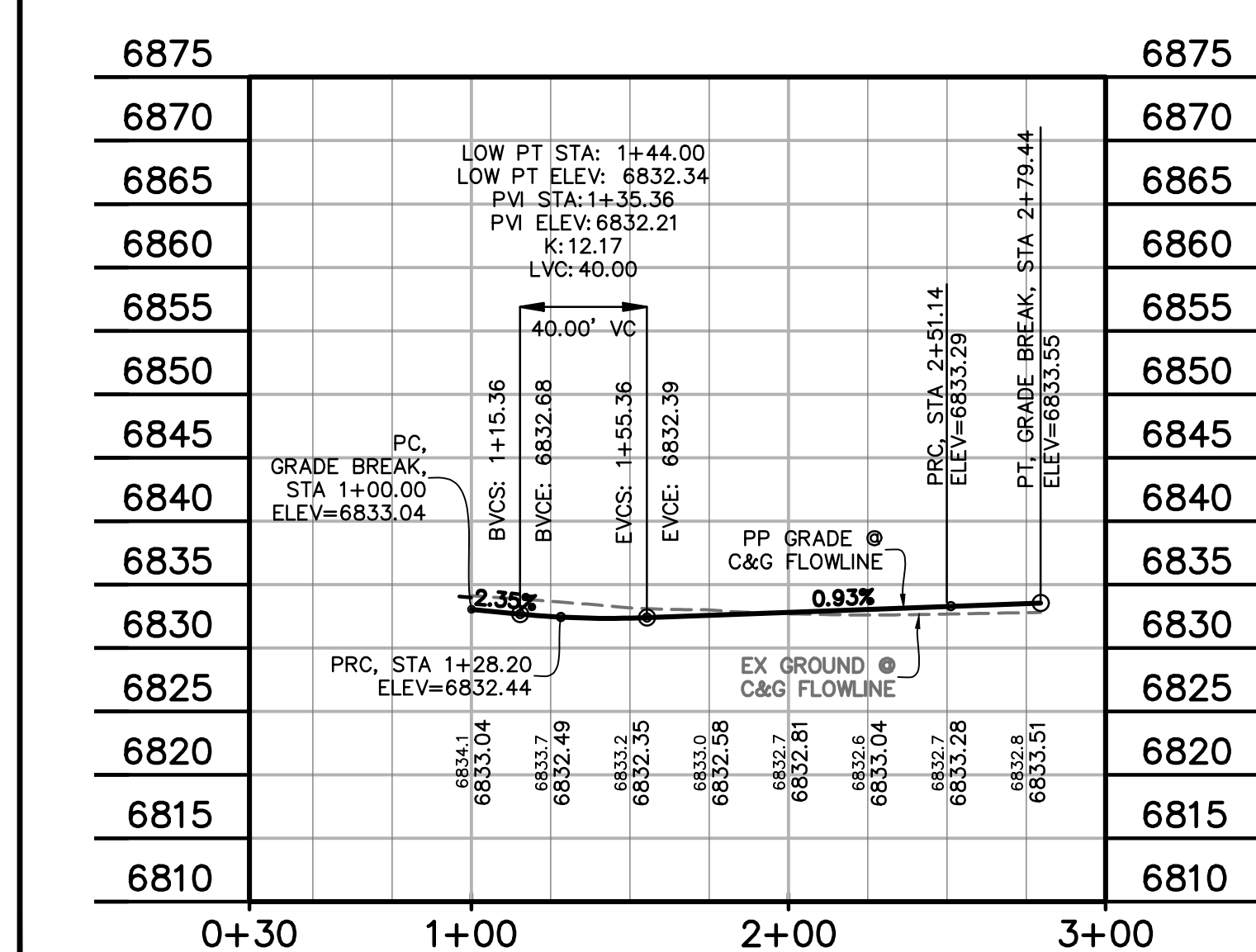


LINE #	LENGTH	DIRECTION
L1	10.10'	N31°49'42"W
L2	434.09'	N89°24'00"W
L3	10.03'	N5°07'22"E
L4	200.45'	S89°24'00"E
L5	200.56'	S89°24'00"E
L6	10.03'	S4°22'00"E
L7	476.00'	S89°24'00"E

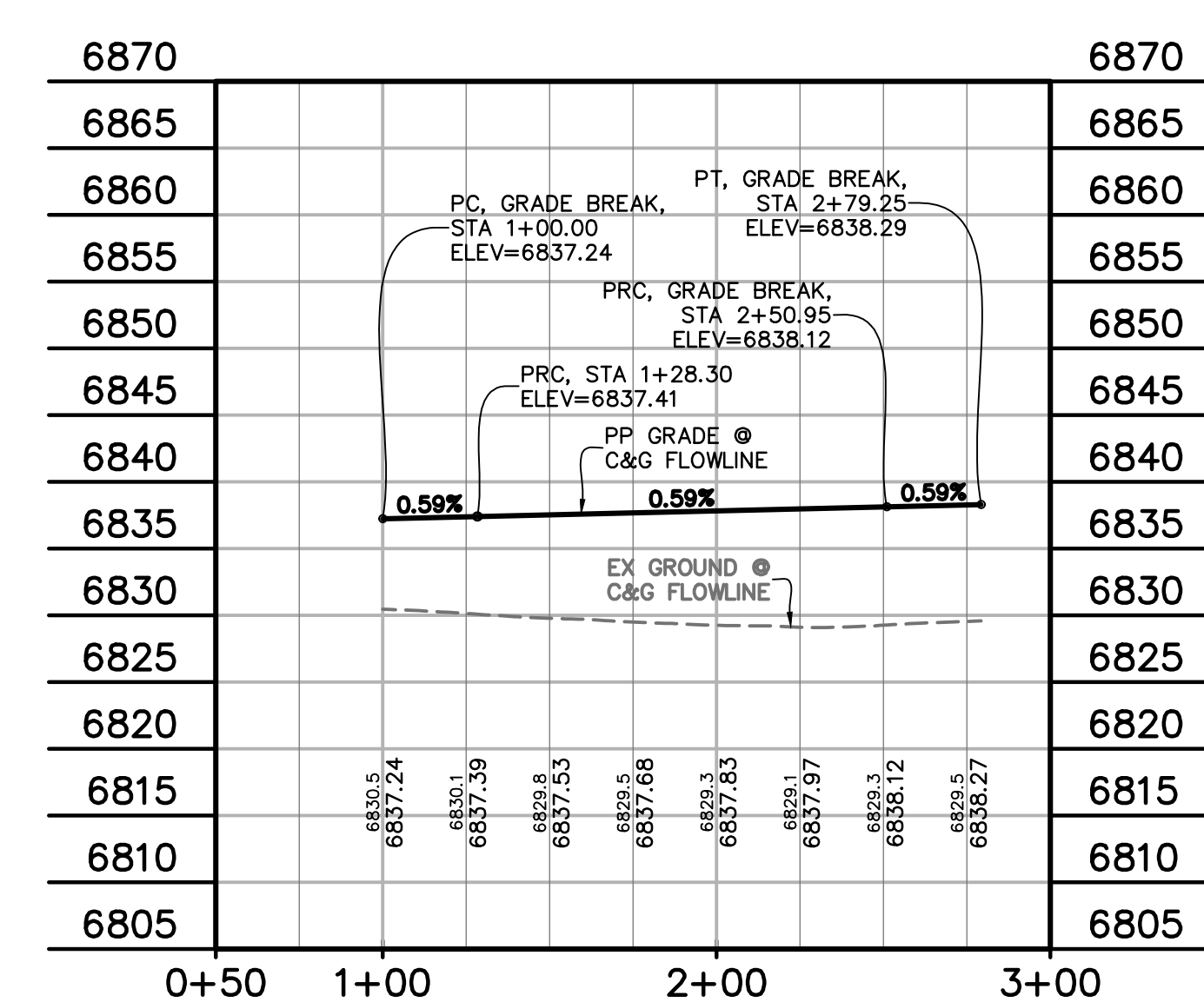
CURVE #	LENGTH	RADIUS	DELTA
C1	28.20'	68.83'	23°28'27"
C2	41.20'	52.00'	45°23'25"
C3	71.64'	51.17'	80°13'16"
C4	28.30'	68.83'	23°33'23"
C5	28.30'	68.83'	23°33'23"
C6	122.65'	51.17'	137°20'06"
C7	28.30'	68.83'	23°33'23"
C8	55.11'	35.00'	90°13'19"
C9	32.12'	20.50'	89°46'41"
C10	32.28'	20.50'	90°13'19"
C11	54.84'	35.00'	89°46'41"
C12	81.48'	52.00'	89°46'41"
C13	81.88'	52.00'	90°13'19"



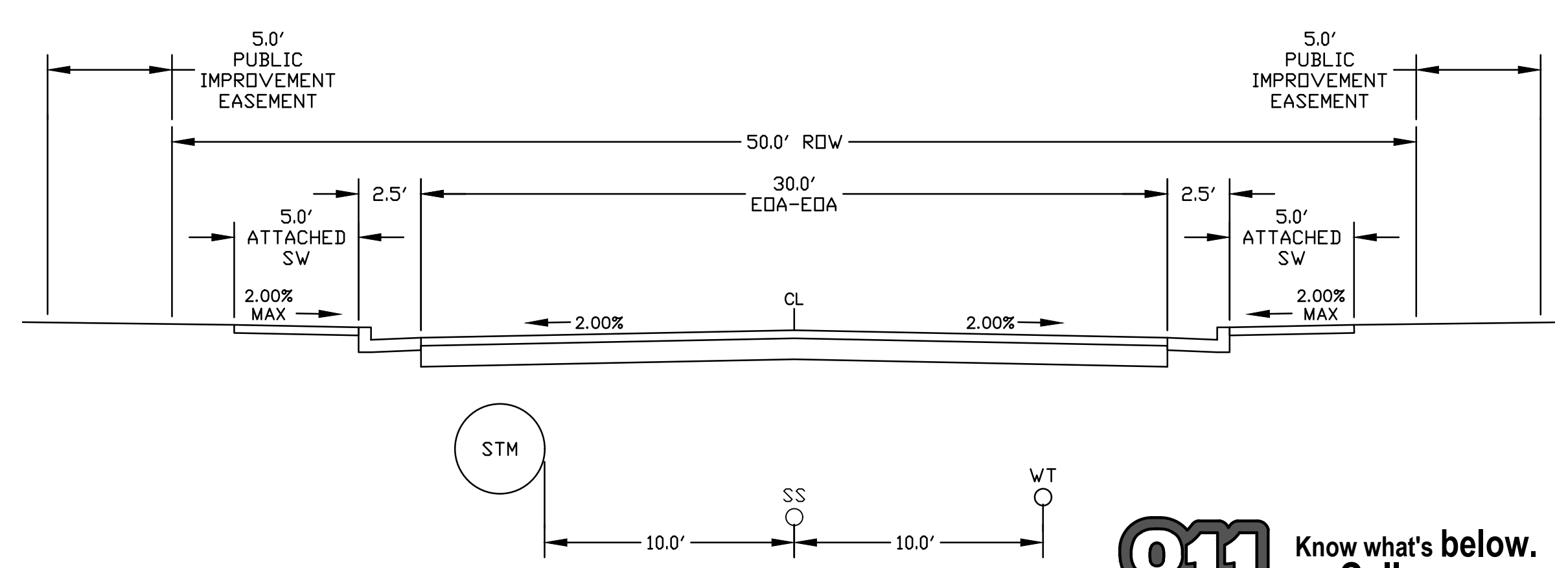
**BUTEOS LANE**  
STA 55+50.00 - 73+50.00  
SCALE: 1"=50'



**WEST BUTEOS LANE KNUCKLE**  
STA 1+00.00 - 2+79.44  
SCALE: 1"=50'



**EAST BUTEOS LANE KNUCKLE**  
STA 1+00.00 - 2+79.25  
SCALE: 1"=50'



**BUTEOS LANE**  
(URBAN LOCAL - PUBLIC 50' ROW - 25 MPH)  
SCALE: 1"=5'

**811** Know what's below.  
Call before you dig.  
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.  
COUNTY FILE NO. SF255

PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
 Engineers + Surveyors  
 101 SAWATCH ST., SUITE 100  
 COLORADO SPGS, COLORADO 80903  
 CONTACT: TIM D. MCCONNELL, P.E.  
 (719) 476-0800  
 COLORADO SPRINGS • LAFAYETTE

CLIENT:  
**FALCON FIELD, LLC**  
 1864 WOODMOOR DRIVE  
 MONUMENT, CO 80132  
 (719) 476-0800  
 CONTACT: STEVE ROSSOLL

CONSTRUCTION DOCUMENTS FOR:  
**THE COMMONS AT FALCON FIELD**  
 FILING No. 2  
 12445 RIO LANE, AND VACANT LAND  
 PEYTON, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	02/04/25
RESUBMITTAL	03/20/26

DESIGNED BY: KGV  
 DRAWN BY: SDM  
 CHECKED BY: TDM  
 FILE NAME: NE RES

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

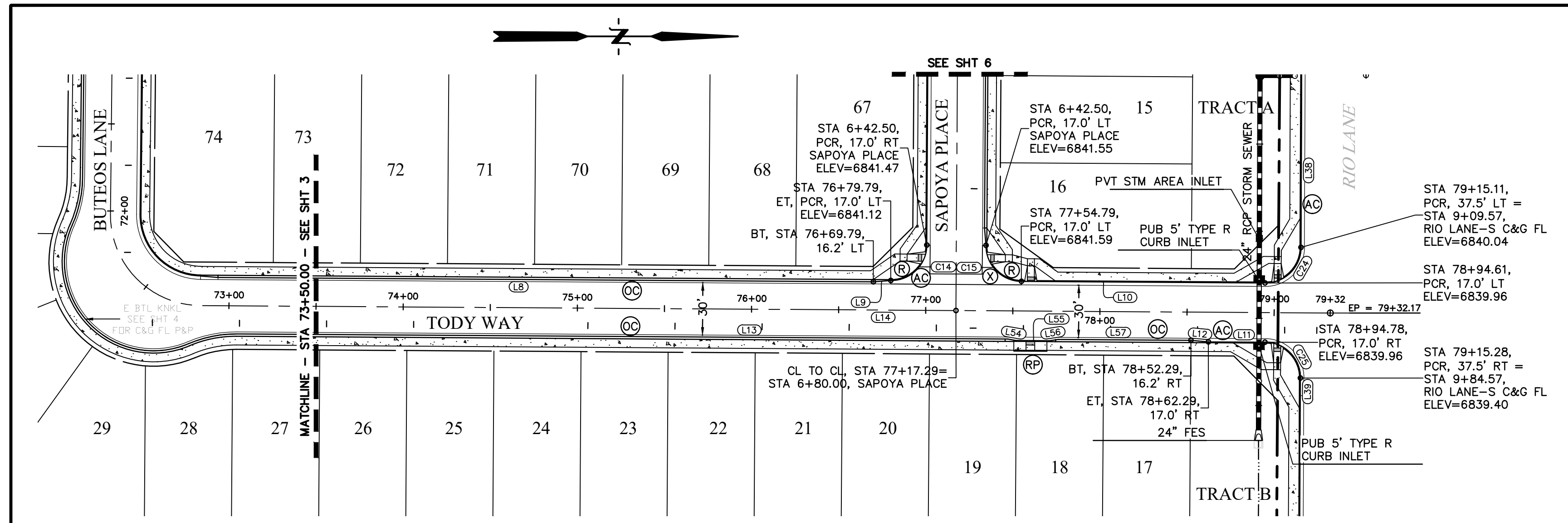
DRAWING SCALE:  
 HORIZONTAL: 1" = 50'  
 VERTICAL: 1" = 12.5'

**BUTEOS LANE, W&E BUTEOS LANE KNUCKLE P&P**

PROJECT NO. 21604-00CSV  
 DRAWING NO.

**C3**

SHEET: 3 OF 14

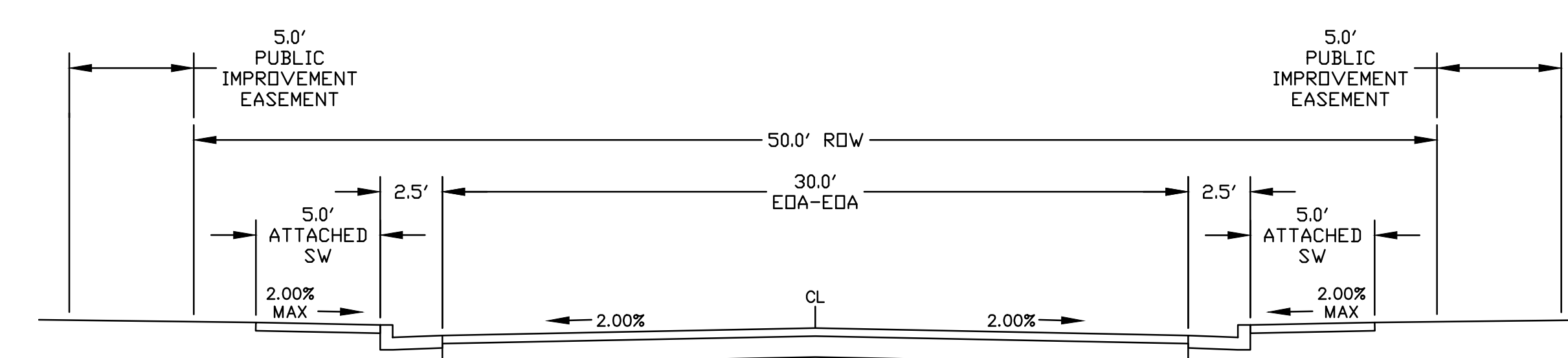
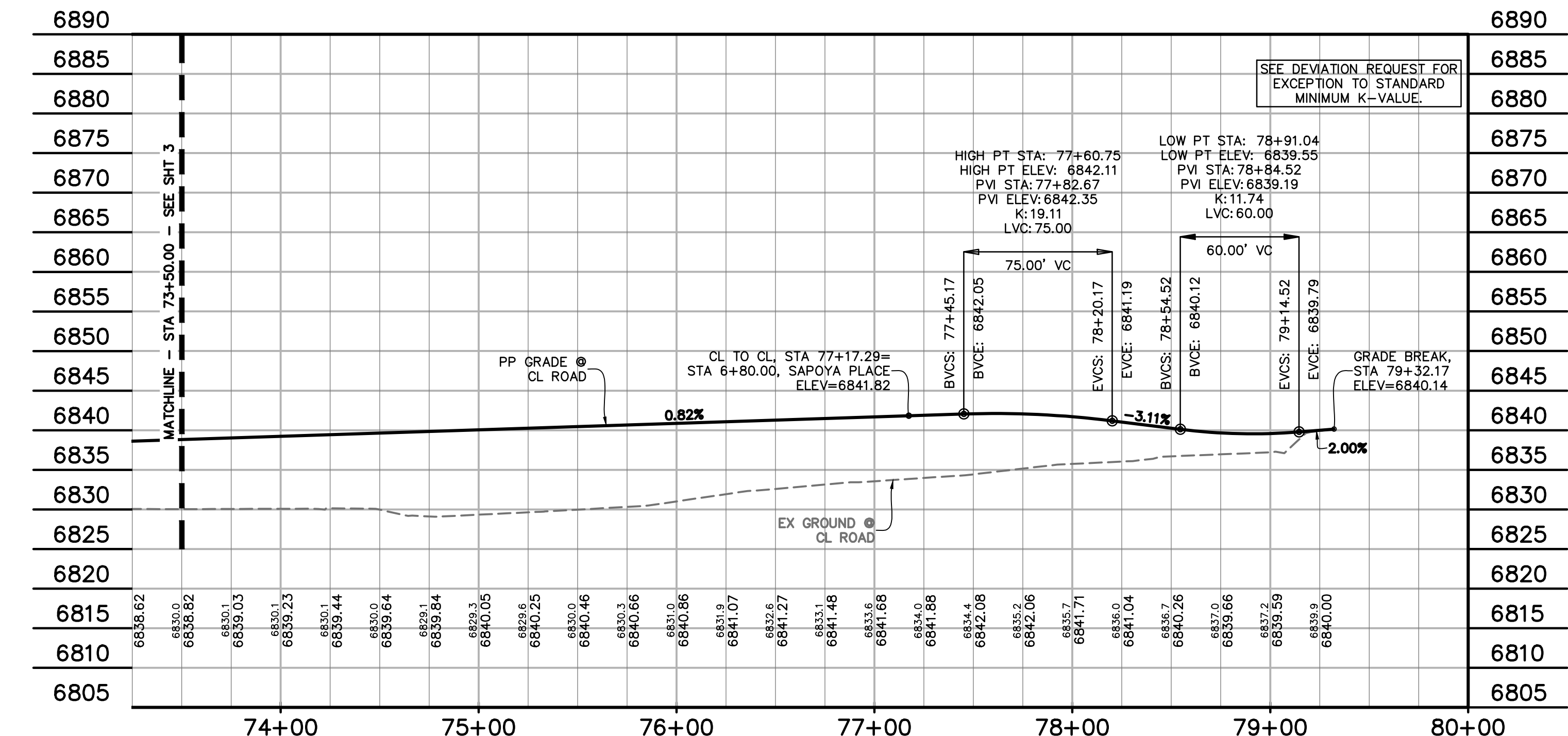
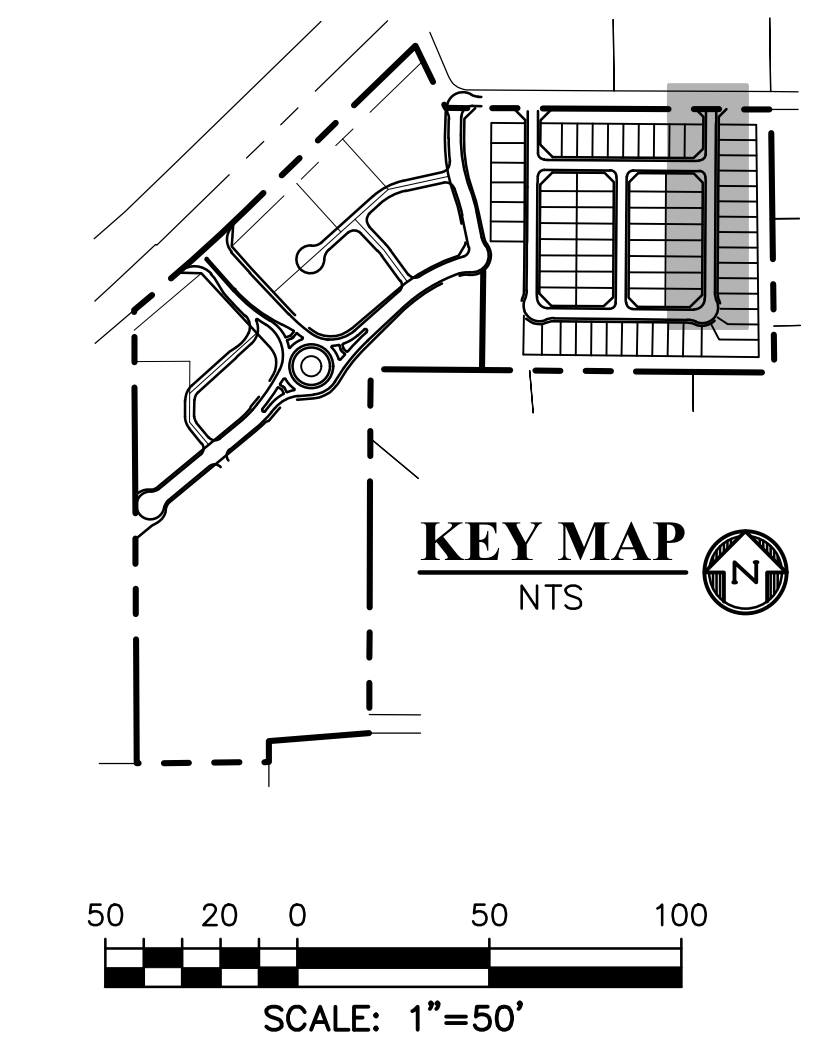


**TODDY WAY CURVE TABLE**

CURVE #	LENGTH	RADIUS	DELTA
C14	32.20'	20.50'	90°00'00"
C15	32.20'	20.50'	90°00'00"
C24	32.25'	20.50'	90°07'41"
C25	32.16'	20.50'	89°52'19"

**TODDY WAY LINE TABLE**

LINE #	LENGTH	DIRECTION
L8	376.18'	N0°22'41"E
L9	10.03'	N4°22'00"W
L10	139.82'	N0°22'41"E
L11	32.49'	S0°22'41"W
L12	10.03'	S5°07'22"W
L13	442.71'	S0°22'41"W
L14	636.69'	N0°22'41"E
L38	314.53'	N89°45'00"W
L39	10.00'	N89°45'00"W
L54	5.07'	S9°48'12"W
L55	19.00'	N0°22'41"E
L56	5.07'	N9°02'49"W
L57	76.11'	S0°22'41"W



**TODDY WAY**  
 (URBAN LOCAL - PUBLIC 50' ROW - 25 MPH)  
 SCALE: 1"=5'

PREPARED BY:  
  
 DREXEL, BARRELL & CO.  
 Engineers • Surveyors  
 101 SAWATCH ST., SUITE 100  
 COLORADO SPGS, COLORADO 80903  
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CONSTRUCTION DOCUMENTS FOR:  
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 PEYTON, EL PASO COUNTY, COLORADO

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DESIGNED BY: KGV  
 DRAWN BY: SDM  
 CHECKED BY: TDM  
 FILE NAME: NE RES

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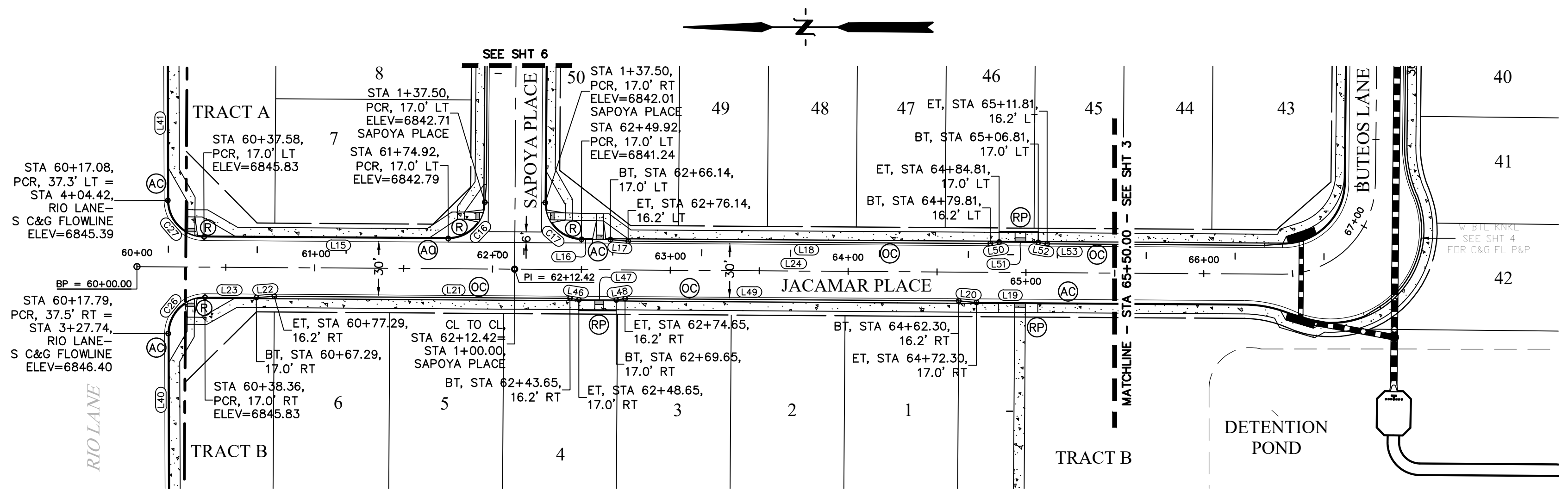
DRAWING SCALE:  
 HORIZONTAL: 1" = 50'  
 VERTICAL: 1" = 12.5'

TODDY WAY  
 PLAN & PROFILE

PROJECT NO. 21604-00CSCV  
 DRAWING NO.

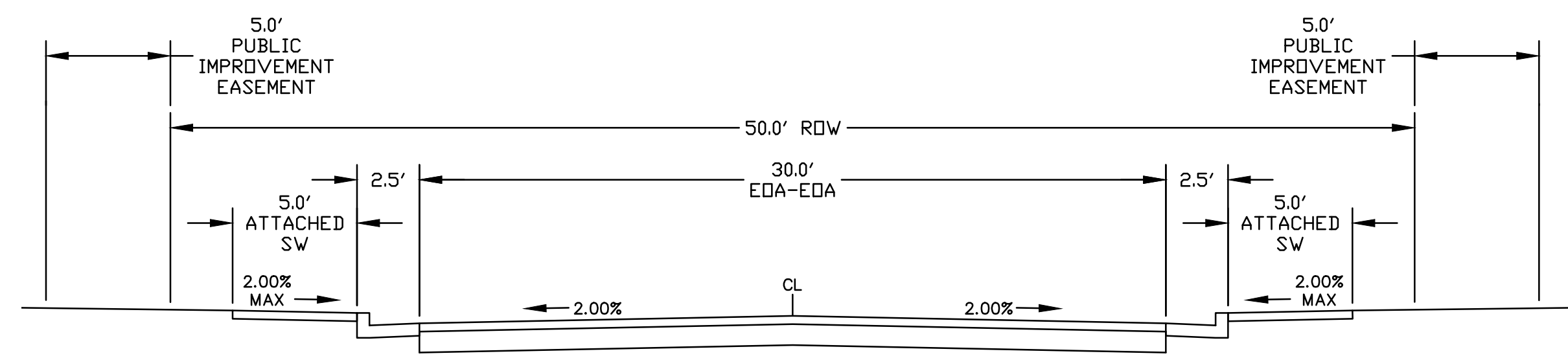
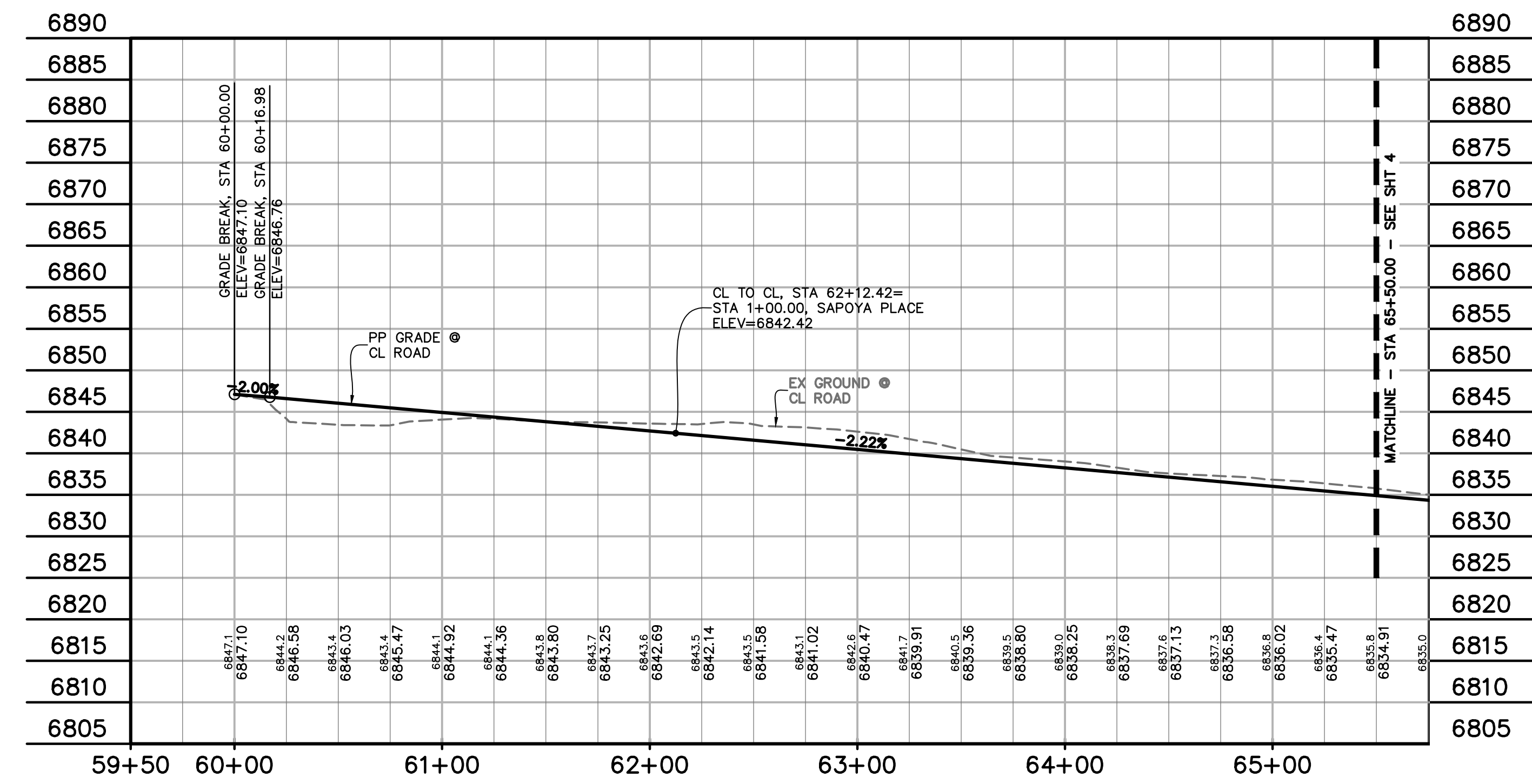
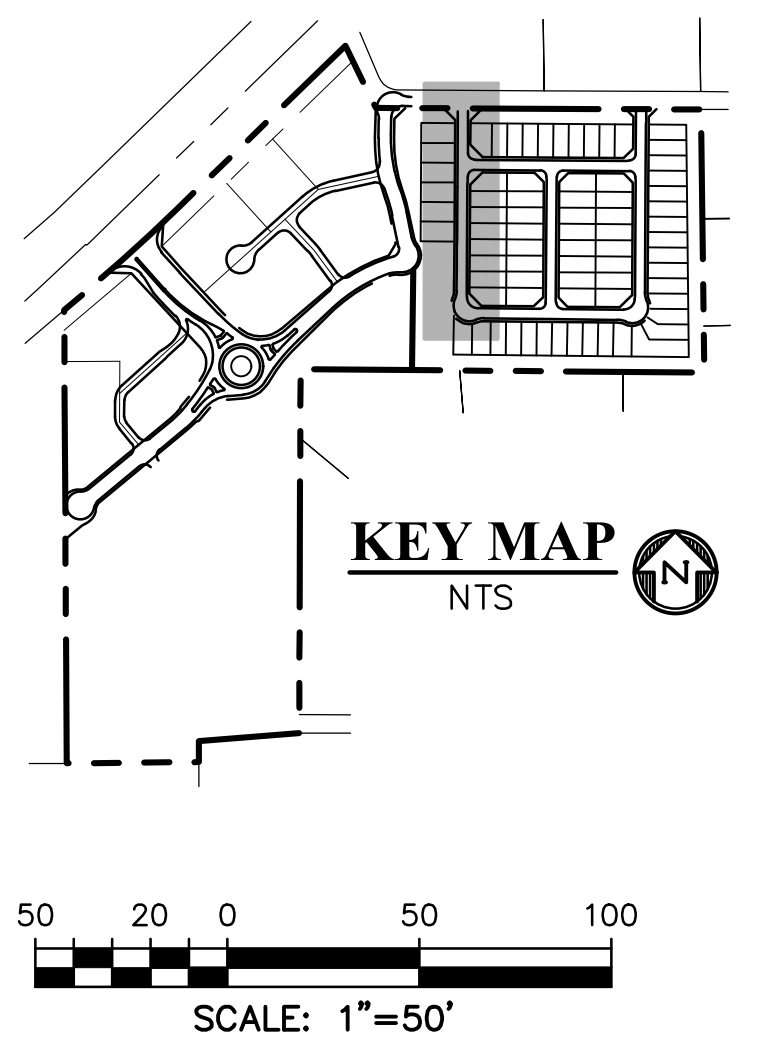
**C4**  
 SHEET: 4 OF 14

**811** Know what's below. Call before you dig.  
 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.  
 COUNTY FILE NO. SF255



JACAMAR PLACE CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C16	32.20'	20.50'	90°00'00"
C17	32.20'	20.50'	90°00'00"
C26	32.28'	20.50'	90°13'19"
C27	32.01'	20.50'	89°27'45"

JACAMAR PLACE LINE TABLE		
LINE #	LENGTH	DIRECTION
L15	137.33'	S0°22'41"W
L16	16.22'	S0°22'41"W
L17	10.03'	S5°07'22"W
L18	203.67'	S0°22'41"W
L19	150.71'	N0°22'41"E
L20	10.04'	N5°07'22"E
L21	166.35'	S0°22'57"W
L22	10.03'	N4°22'01"W
L23	28.93'	S0°22'41"W
L24	632.18'	N0°22'41"E
L40	173.10'	S89°50'26"W
L41	190.62'	S89°50'26"W
L46	5.07'	S9°38'35"W
L47	21.00'	S0°22'41"W
L48	5.07'	S9°02'51"E
L49	187.65'	S0°22'41"W
L50	5.07'	N9°02'49"W
L51	22.00'	N0°22'41"E
L52	5.07'	N9°48'12"E
L53	122.44'	S0°22'41"W



**JACAMAR PLACE**  
 (URBAN LOCAL - PUBLIC 50' ROW - 25 MPH)  
 SCALE: 1"=5'

PREPARED BY:  
  
 DREXEL, BARRELL & CO.  
 Engineers • Surveyors  
 101 SAWATCH ST., SUITE 100  
 COLORADO SPGS, COLORADO 80903  
 CONTACT: TIM D. MCCONNELL, P.E.  
 (719) 476-0800  
 COLORADO SPRINGS • LAFAYETTE

CLIENT:  
 FALCON FIELD, LLC  
 1864 WOODMOOR DRIVE  
 MONUMENT, CO 80132  
 (719) 476-0800  
 CONTACT: STEVE ROSSLOLL

CONSTRUCTION DOCUMENTS FOR:  
 THE COMMONS AT FALCON FIELD  
 FILING No. 2  
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 PEYTON, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	02/04/25
RESUBMITTAL	03/20/26

DESIGNED BY: KGV  
 DRAWN BY: SDM  
 CHECKED BY: TDM  
 FILE NAME: NE RES

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

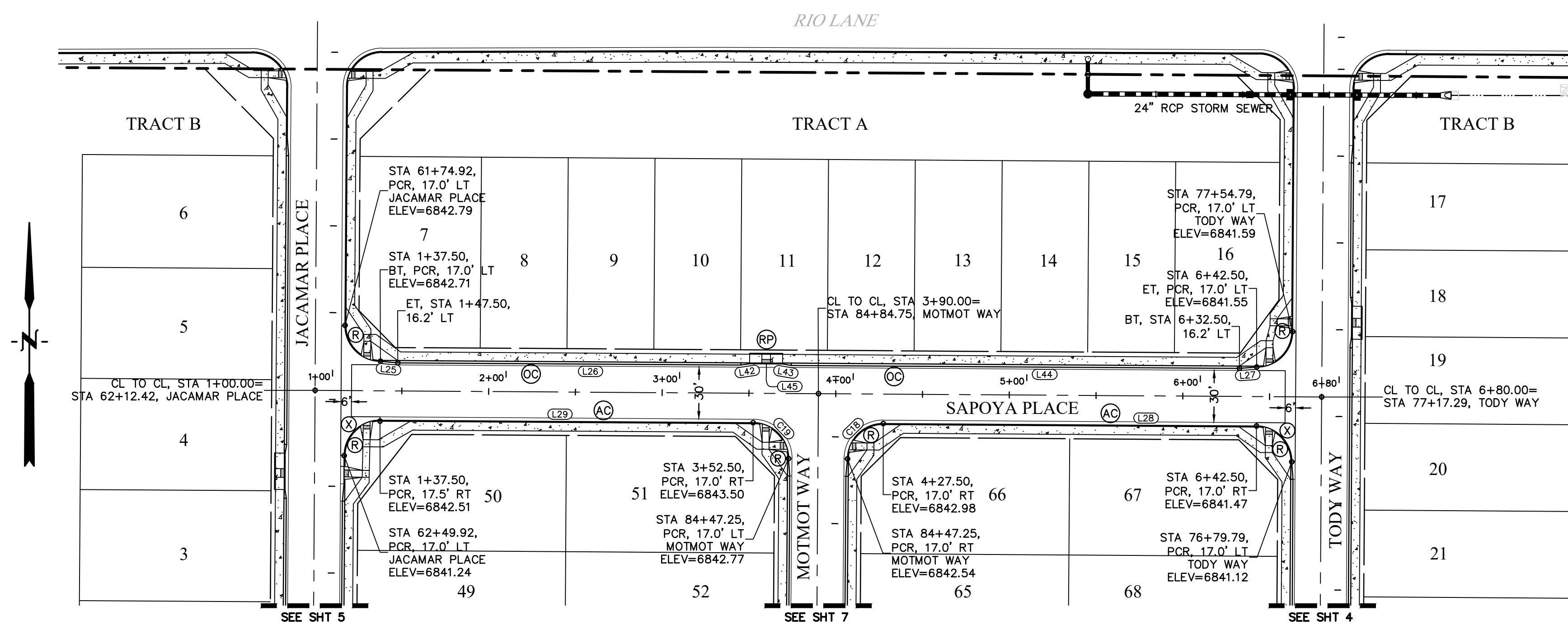
DRAWING SCALE:  
 HORIZONTAL: 1" = 50'  
 VERTICAL: 1" = 12.5'

JACAMAR PLACE  
 PLAN & PROFILE

PROJECT NO. 21604-00CSCV  
 DRAWING NO.

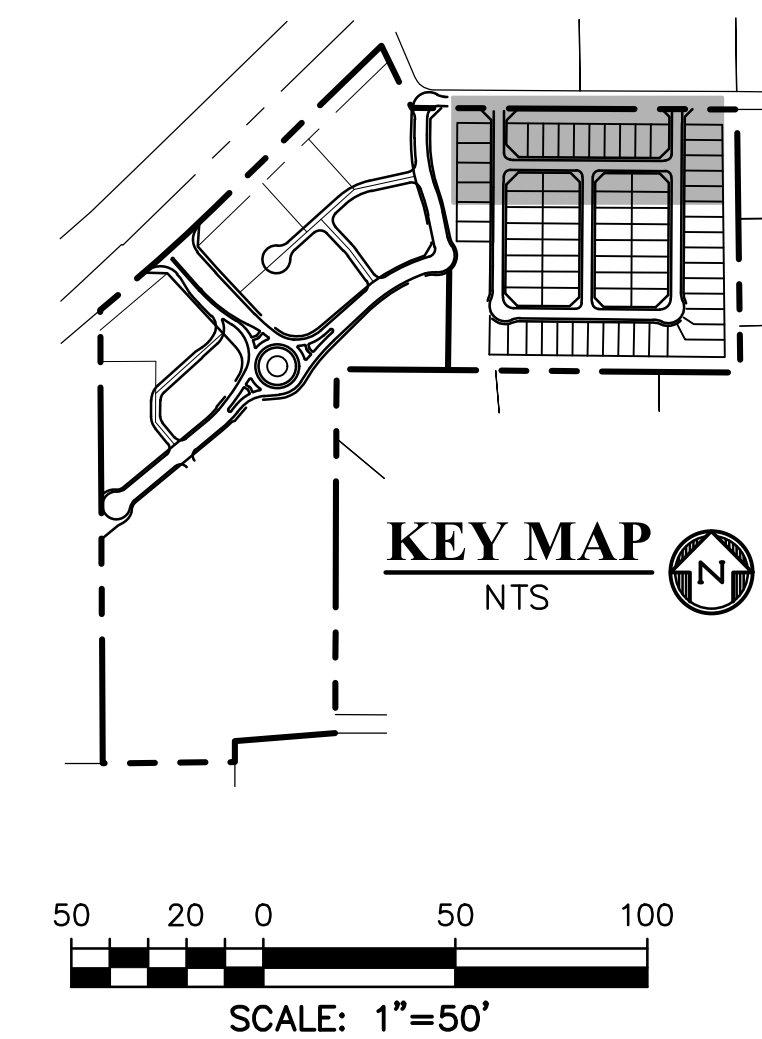
**C5**

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 COUNTY FILE NO. SF255



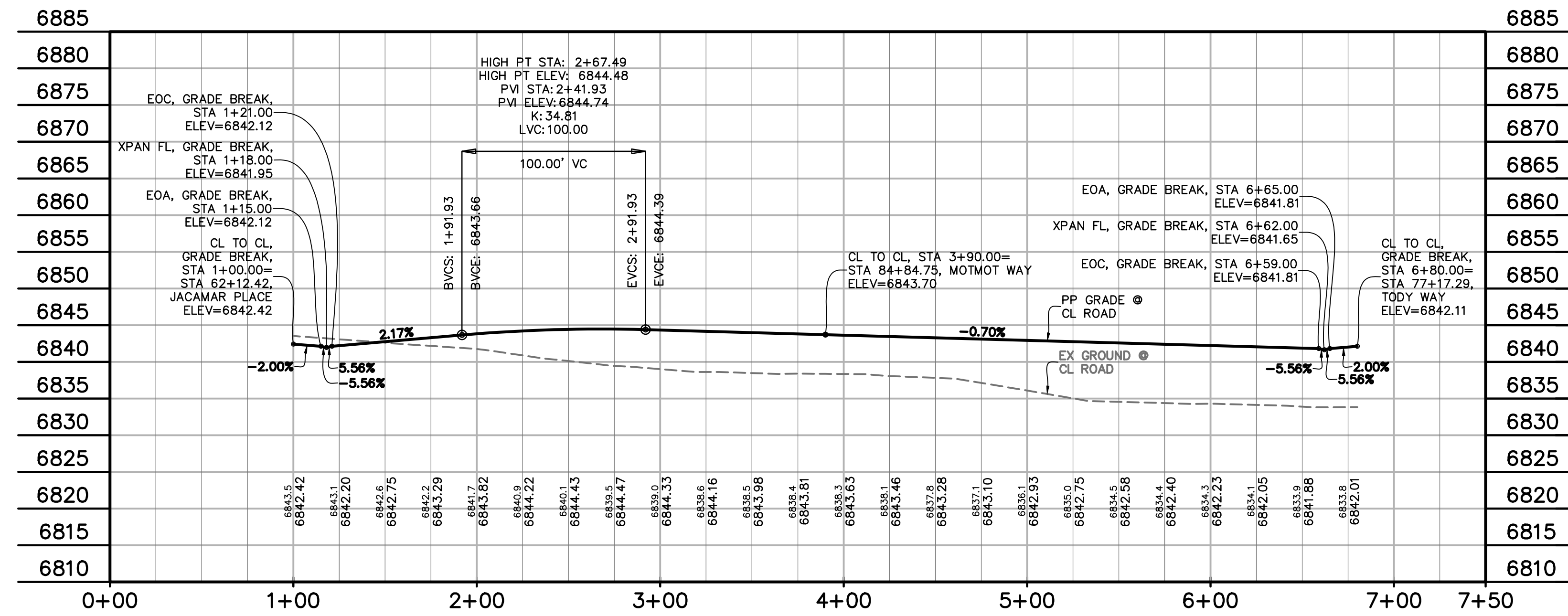
SAPOYA PLACE CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C18	32.20'	20.50'	90°00'00"
C19	32.20'	20.50'	90°00'00"

SAPOYA PLACE LINE TABLE		
LINE #	LENGTH	DIRECTION
L25	10.03'	S84°52'38"E
L26	197.78'	S89°37'19"E
L27	10.03'	N85°38'00"E
L28	215.00'	N89°37'19"W
L29	215.00'	N89°37'19"W
L30	580.00'	S89°37'19"E
L42	5.07'	S80°57'11"W
L43	5.07'	S80°11'48"E
L44	258.22'	S89°37'19"E
L45	19.00'	S89°37'19"E



PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
 Engineers & Surveyors  
 101 SAWATCH ST., SUITE 100  
 COLORADO SPGS, COLORADO 80903  
 CONTACT: TIM D. MCCONNELL, P.E.  
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CLIENT:  
**FALCON FIELD, LLC**  
 1864 WOODMOOR DRIVE  
 MONUMENT, CO 80132  
 (719) 476-0800  
 CONTACT: STEVE ROSSLOTT



- LEGEND**
- PROPERTY LINE .....
  - PP RIGHT OF WAY .....
  - PP LOT LINE .....
  - PP CENTERLINE ROAD .....
  - EASEMENT .....
  - PP CURB & GUTTER .....
  - PP SIDEWALK .....
  - PP POND .....
  - PP TRACT LINE .....
  - PP STORM SEWER LINE .....
  - PP LOT NUMBER .....
  - PP PEDESTRIAN RAMP (SEE SHT 13 FOR DETAILS SD\_2-40 & SD\_2-41) .....
  - PP PEDESTRIAN PARALLEL RAMP (SEE SHT 13 FOR DETAIL SD\_2-50) .....
  - PP EPC TYPE A C&G (CATCH) .....
  - PP EPC OPTIONAL TYPE C C&G (CATCH) .....
  - PP 6' CROSSSPAN (SEE SHT 13 FOR DETAIL SD\_2-26) .....
  - WEST BUTEOS LANE KNUCKLE .....
  - EAST BUTEOS LANE KNUCKLE .....

CONSTRUCTION DOCUMENTS FOR:  
**THE COMMONS AT FALCON FIELD**  
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 DRAWN BY: SDM  
 CHECKED BY: TDM  
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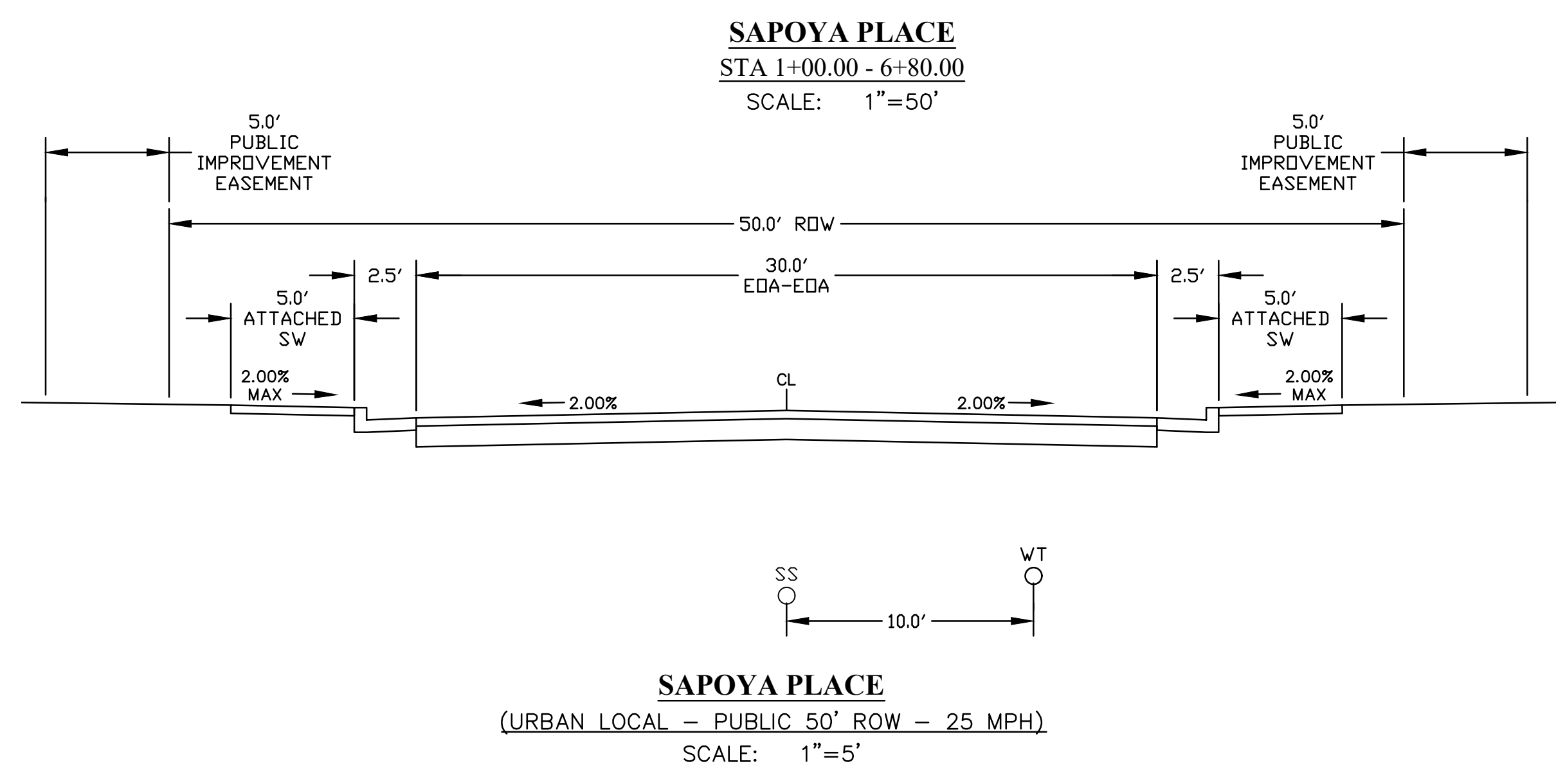
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF  
**DREXEL, BARRELL & CO.**

DRAWING SCALE:  
 HORIZONTAL: 1" = 50'  
 VERTICAL: 1" = 12.5'

**SAPOYA PLACE**  
**PLAN & PROFILE**

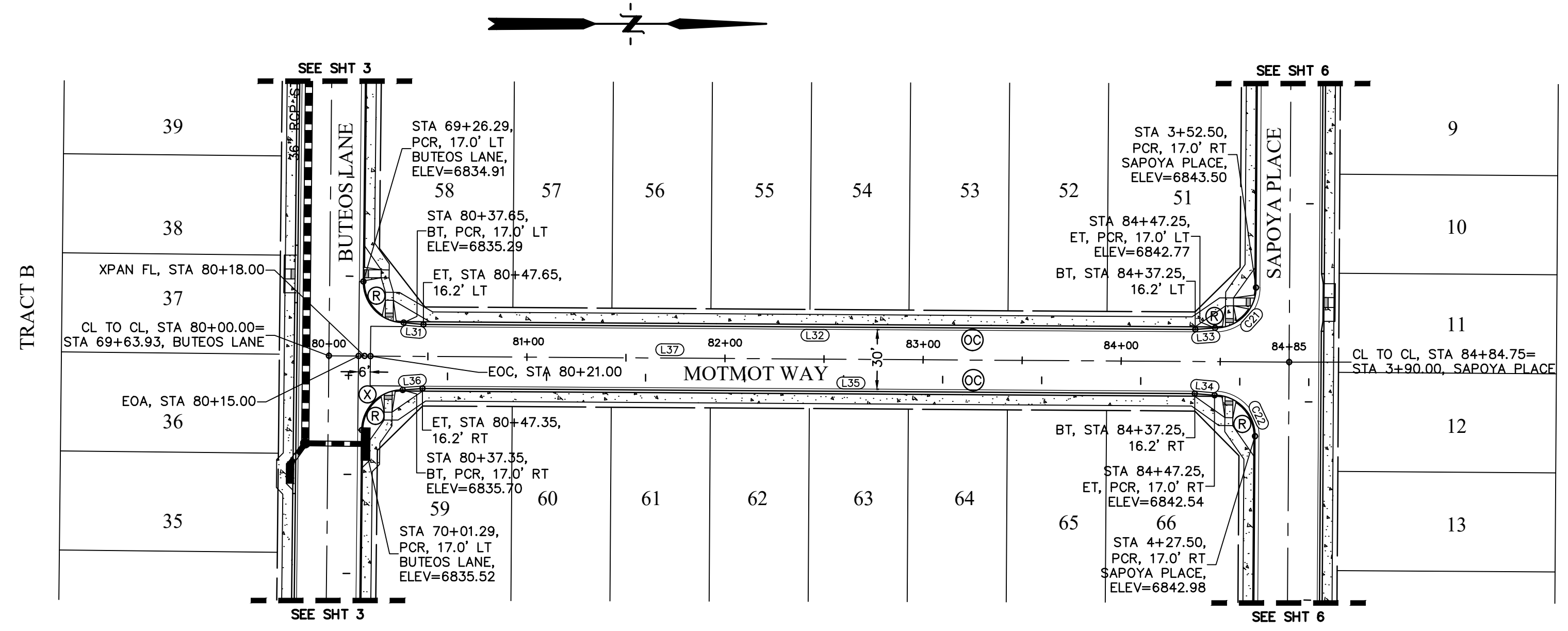
PROJECT NO. 21604-00CSCV  
 DRAWING NO.

**C6**  
 SHEET: 6 OF 14

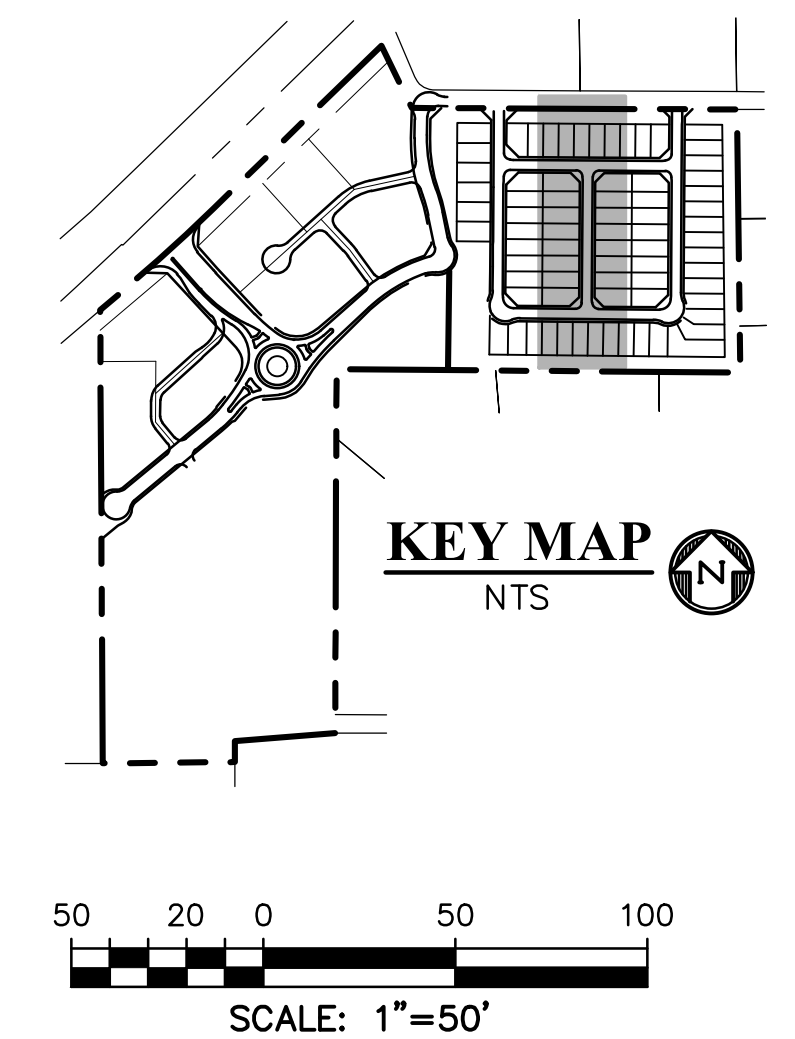


CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

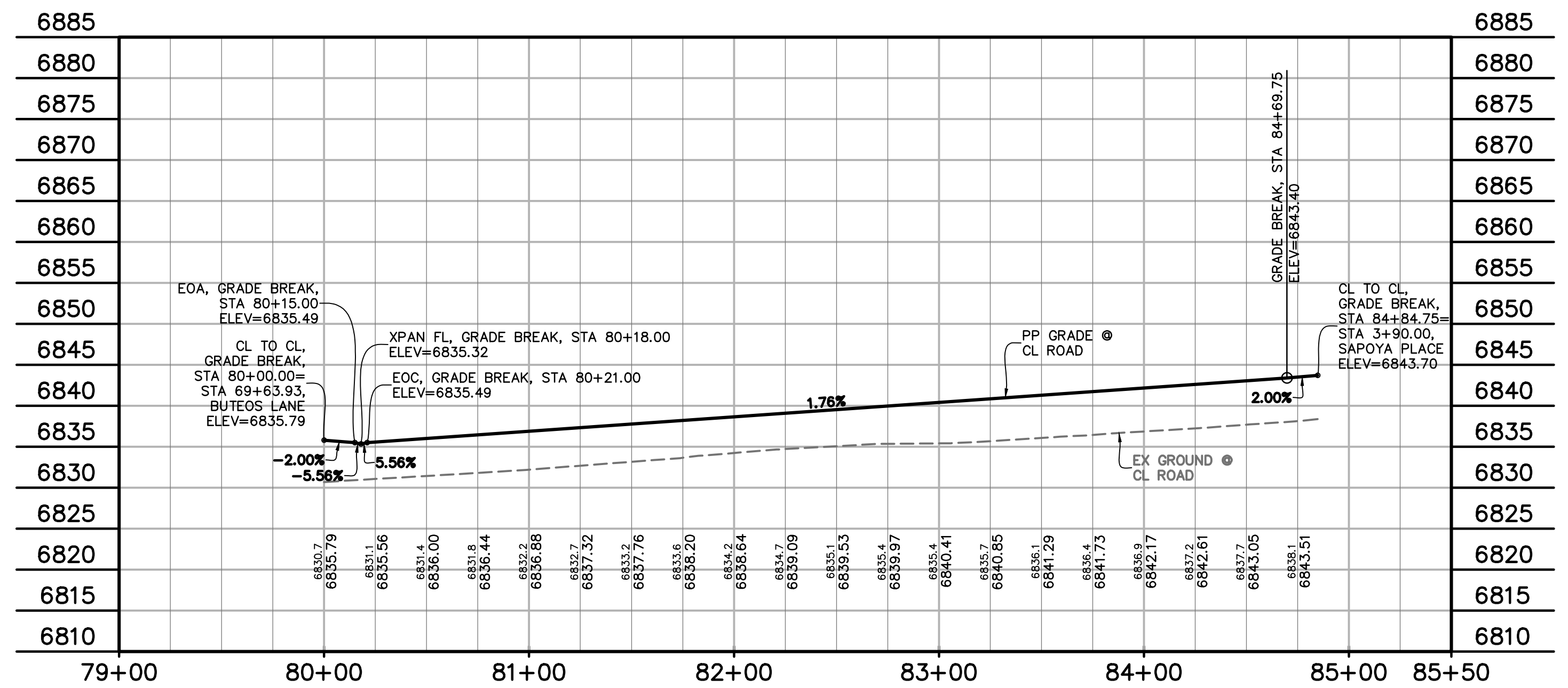
COUNTY FILE NO. SF255



MOTMOT WAY LINE TABLE		
LINE #	LENGTH	DIRECTION
L31	10.03'	N5°07'22"E
L32	389.61'	N0°22'41"E
L33	10.03'	N4°22'00"W
L34	10.03'	S5°07'22"W
L35	389.90'	S0°22'41"W
L36	10.03'	S4°22'00"E
L37	484.75'	N0°22'41"E

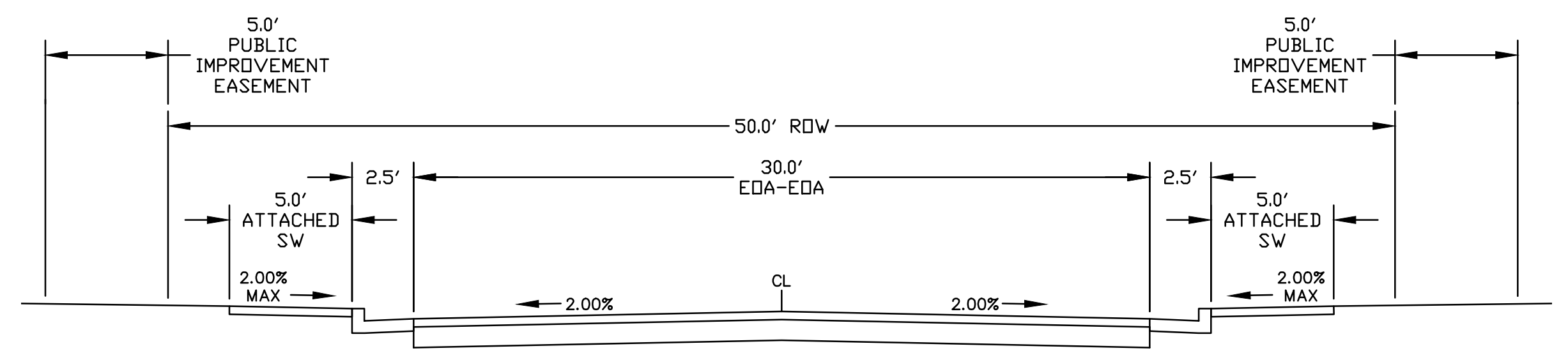


MOTMOT WAY CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C21	32.20'	20.50'	90°00'00"
C22	32.20'	20.50'	90°00'00"



- LEGEND**
- PROPERTY LINE .....
  - PP RIGHT OF WAY .....
  - PP LOT LINE .....
  - PP CENTERLINE ROAD .....
  - EASEMENT .....
  - PP CURB & GUTTER .....
  - PP SIDEWALK .....
  - PP POND .....
  - PP TRACT LINE .....
  - PP STORM SEWER LINE .....
  - PP LOT NUMBER .....
  - PP PEDESTRIAN RAMP (SEE SHT 13 FOR DETAILS SD\_2-40 & SD\_2-41) .....
  - PP PEDESTRIAN PARALLEL RAMP (SEE SHT 13 FOR DETAIL SD\_2-50) .....
  - PP EPC TYPE A C&G (CATCH) .....
  - PP EPC OPTIONAL TYPE C C&G (CATCH) .....
  - PP 6' CROSSSPAN (SEE SHT 13 FOR DETAIL SD\_2-26) .....
  - WEST BUTEOS LANE KNUCKLE.....W BTL KNKL
  - EAST BUTEOS LANE KNUCKLE.....E BTL KNKL

**MOTMOT WAY**  
 STA 9+55.00 - 15+90.64  
 SCALE: 1"=50'



**MOTMOT WAY**  
 (URBAN LOCAL - PUBLIC 50' ROW - 25 MPH)  
 SCALE: 1"=5'

PREPARED BY:



CLIENT:

FALCON FIELD, LLC  
 1864 WOODMOOR DRIVE  
 MONUMENT, CO 80132  
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DRAWING SCALE:  
 HORIZONTAL: 1" = 50'  
 VERTICAL: 1" = 12.5'

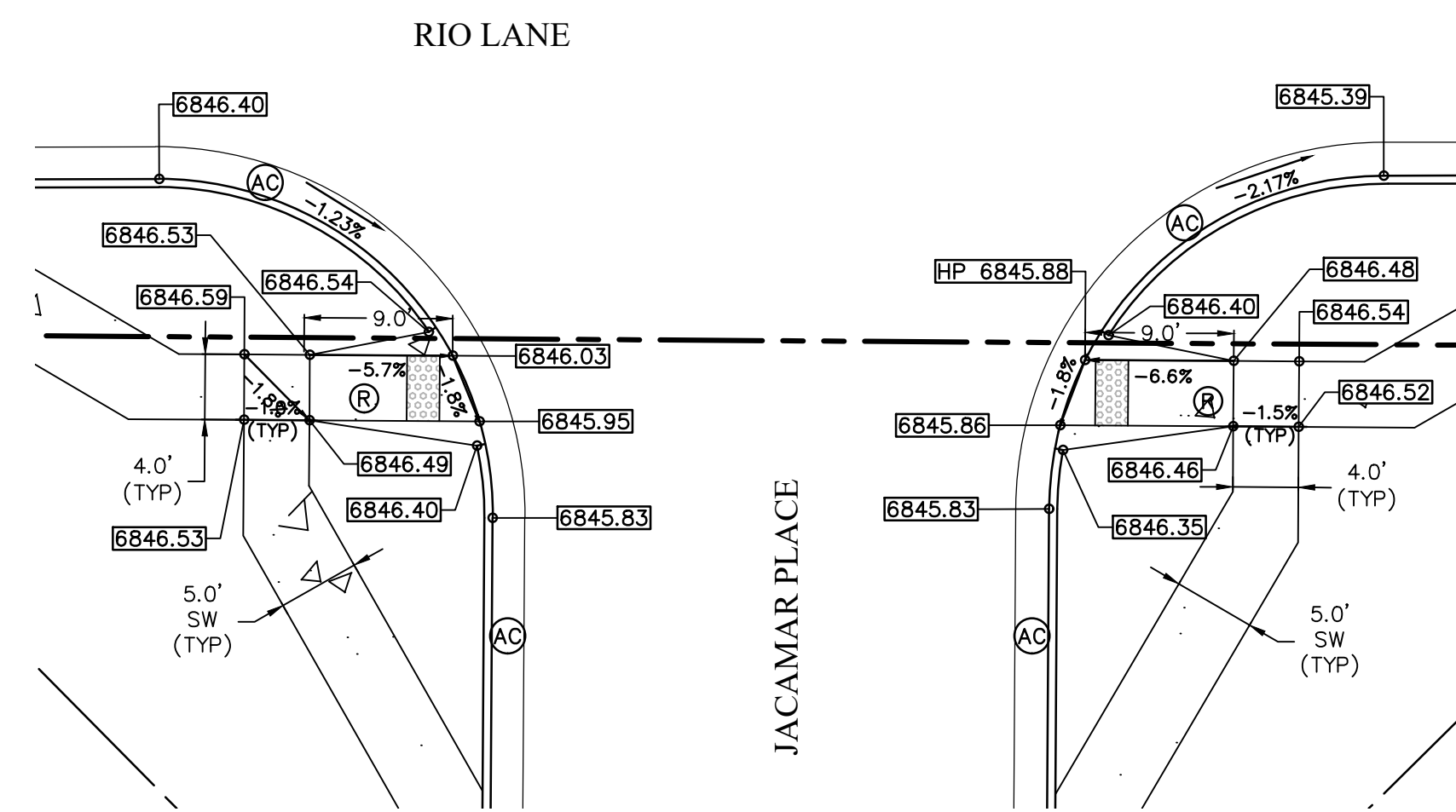
**MOTMOT WAY**  
**PLAN & PROFILE**

PROJECT NO. 21604-00CSCV  
 DRAWING NO.

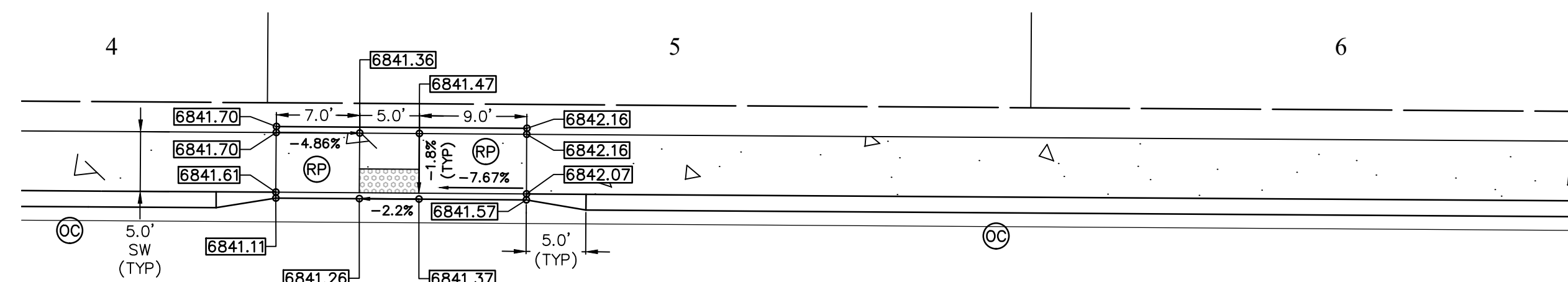
**C7**

SHEET: 7 OF 14

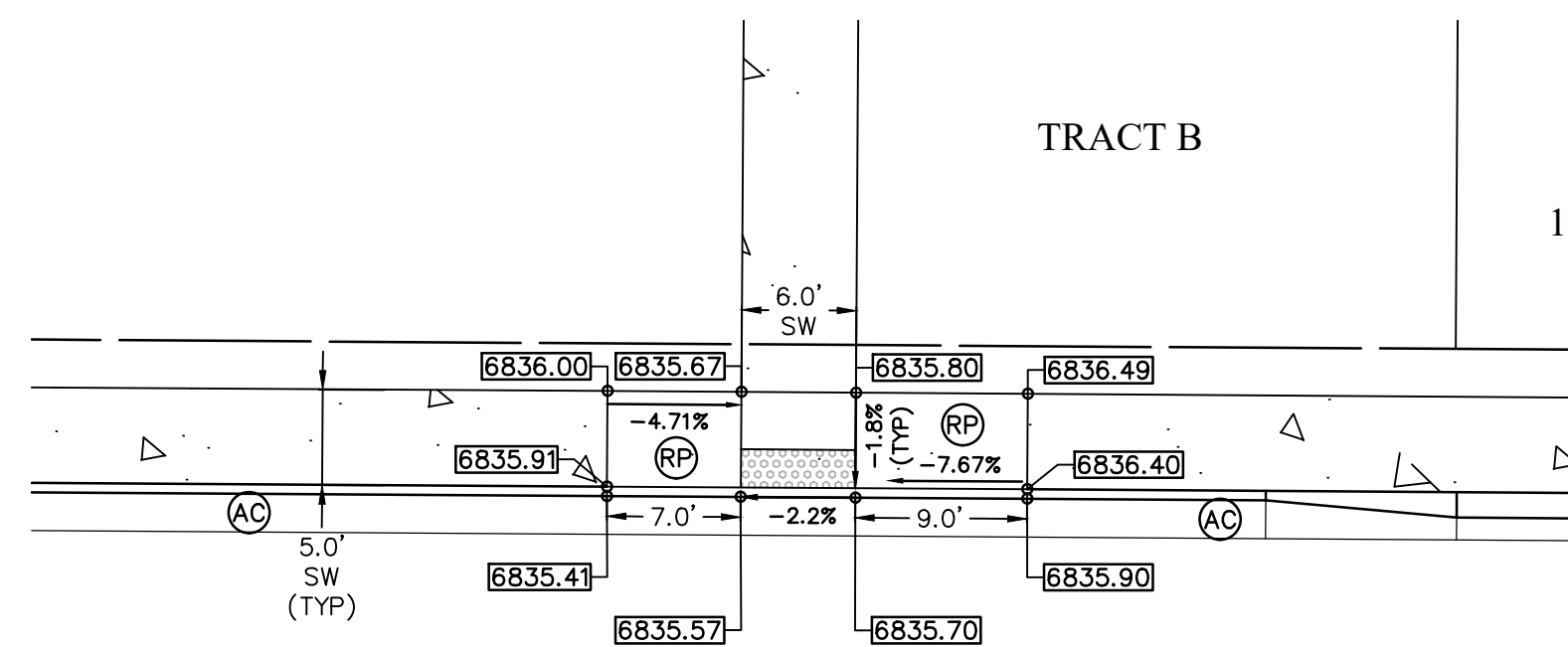
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 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.  
 COUNTY FILE NO. SF255



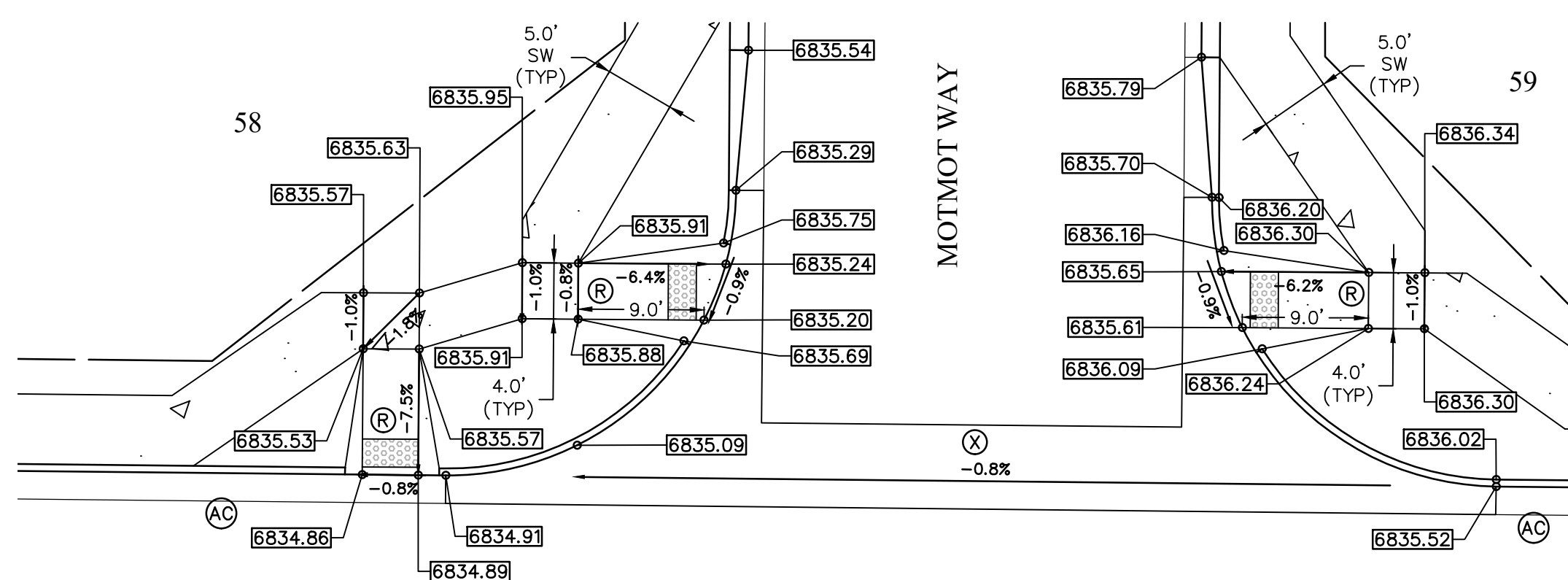
**RIO LANE & JACAMAR PLACE INTERSECTION**  
SCALE: 1"=10'



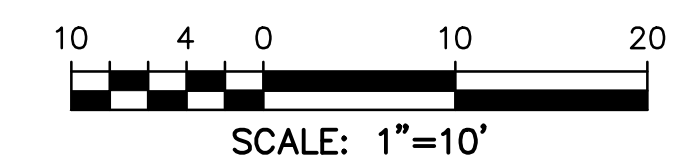
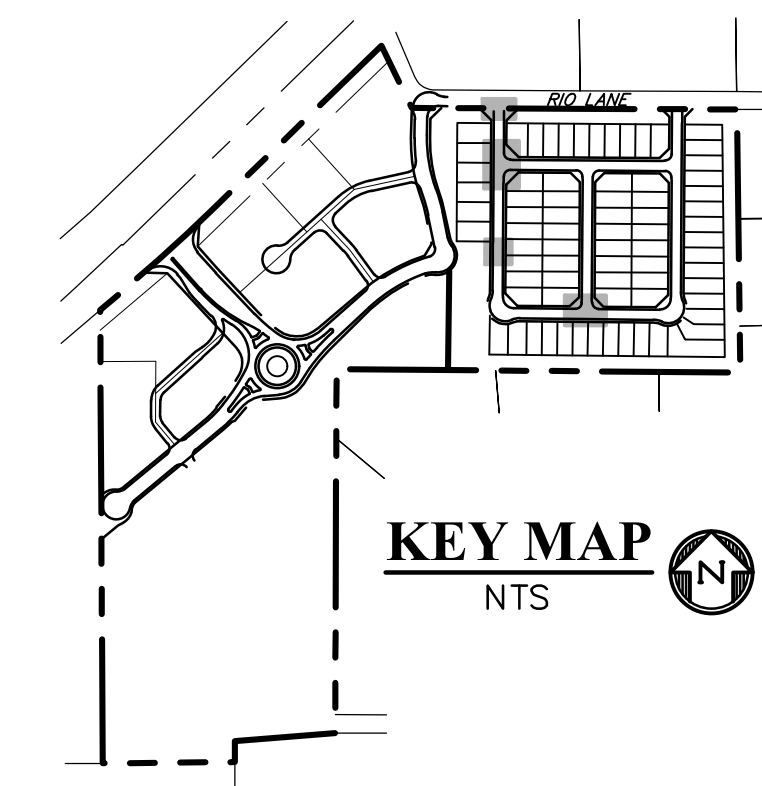
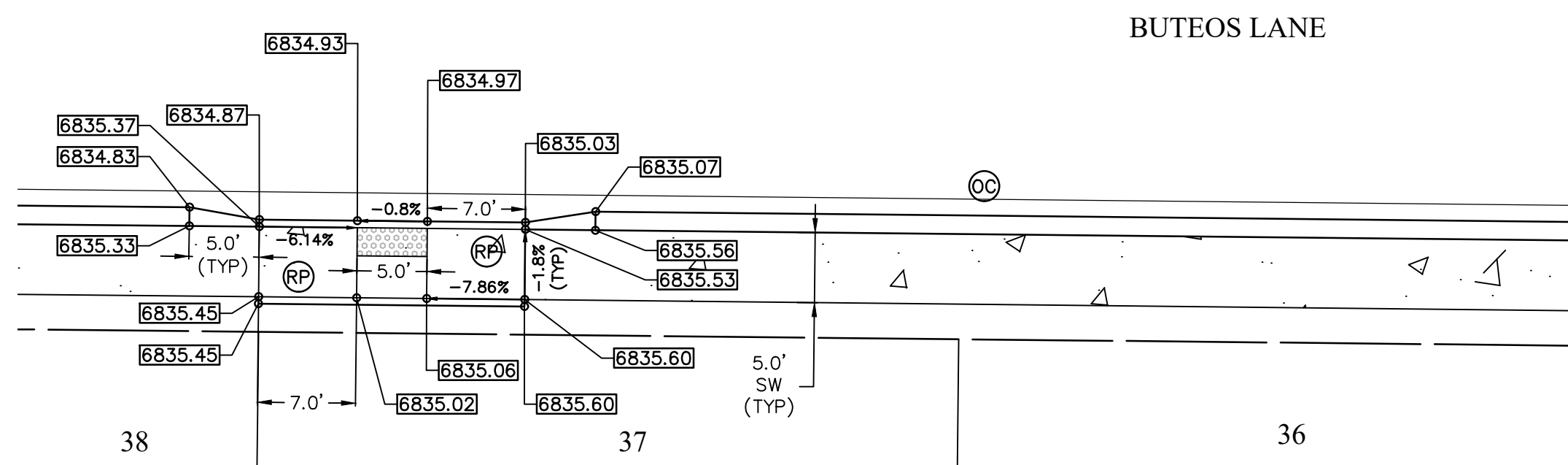
**JACAMAR & SAPOYA PLACE INTERSECTION**  
SCALE: 1"=10'



**JACAMAR PLACE PARALLEL RAMPS**  
SCALE: 1"=10'



**BUTEOS LANE & MOTMOT WAY INTERSECTION**  
SCALE: 1"=10'



**LEGEND**

- PROPERTY LINE .....
- PP RIGHT OF WAY .....
- PP LOT LINE .....
- PP CENTERLINE ROAD .....
- EASEMENT .....
- PP CURB & GUTTER .....
- PP SIDEWALK .....
- PP POND .....
- PP TRACT LINE .....
- PP STORM SEWER LINE .....
- PP LOT NUMBER .....
- PP PEDESTRIAN RAMP (SEE SHT 11 FOR DETAILS SD\_2-40 & SD\_2-41) .....
- PP PEDESTRIAN PARALLEL RAMP (SEE SHT 11 FOR DETAIL SD\_2-50) .....
- PP EPC TYPE A C&G (CATCH) .....
- PP EPC OPTIONAL TYPE C C&G (CATCH) .....
- PP 6' CROSSSPAN (SEE SHT 11 FOR DETAIL SD\_2-26) .....

PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
Engineers & Surveyors  
101 SAWATCH ST., SUITE 100  
COLORADO SPGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
(719) 260-0887  
COLORADO SPRINGS • LAFAYETTE

CLIENT:  
**FALCON FIELD, LLC**  
1864 WOODMOOR DRIVE  
MONUMENT, CO 80132  
(719) 476-0800  
CONTACT: STEVE ROSSOLL

CONSTRUCTION DOCUMENTS FOR:  
**THE COMMONS AT FALCON FIELD**  
FILING No. 2  
12445 RIO LANE, AND VACANT LAND  
PEYTON, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	02/04/25
RESUBMITTAL	03/20/26

DESIGNED BY: KGV  
DRAWN BY: CGH  
CHECKED BY: TDM  
FILE NAME: ISGP-F2

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF  
**DREXEL, BARRELL & CO.**

DRAWING SCALE:  
HORIZONTAL: 1" = 10"  
VERTICAL: N/A

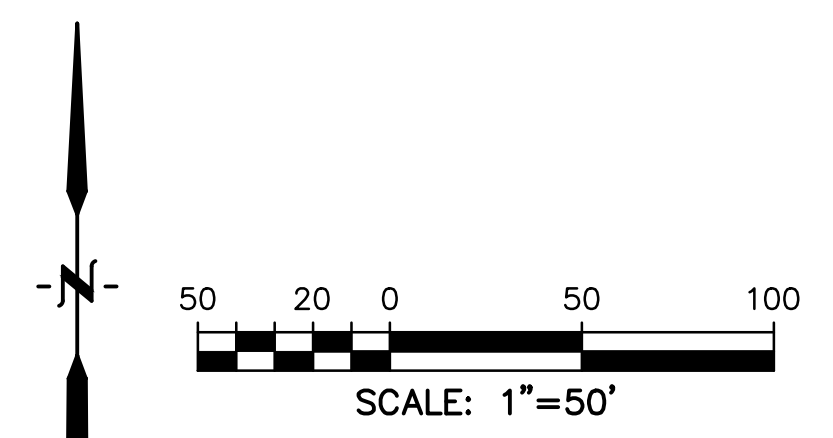
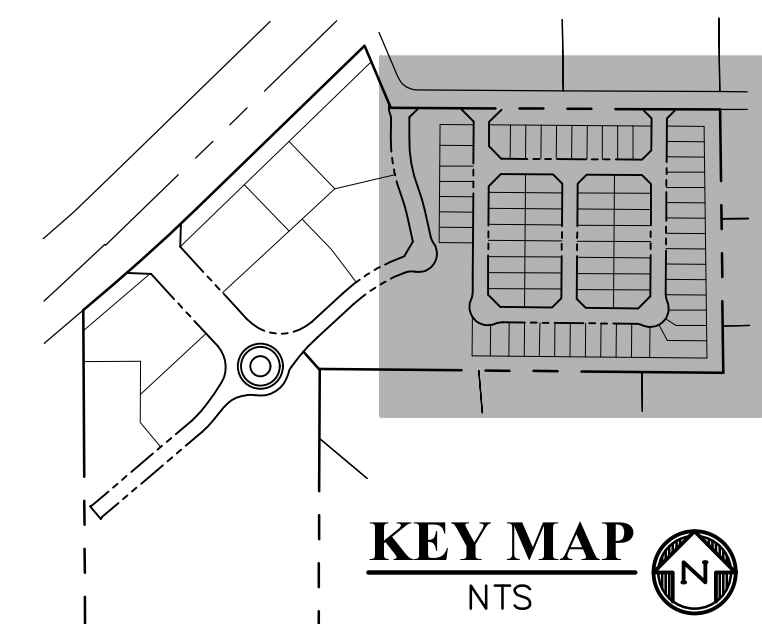
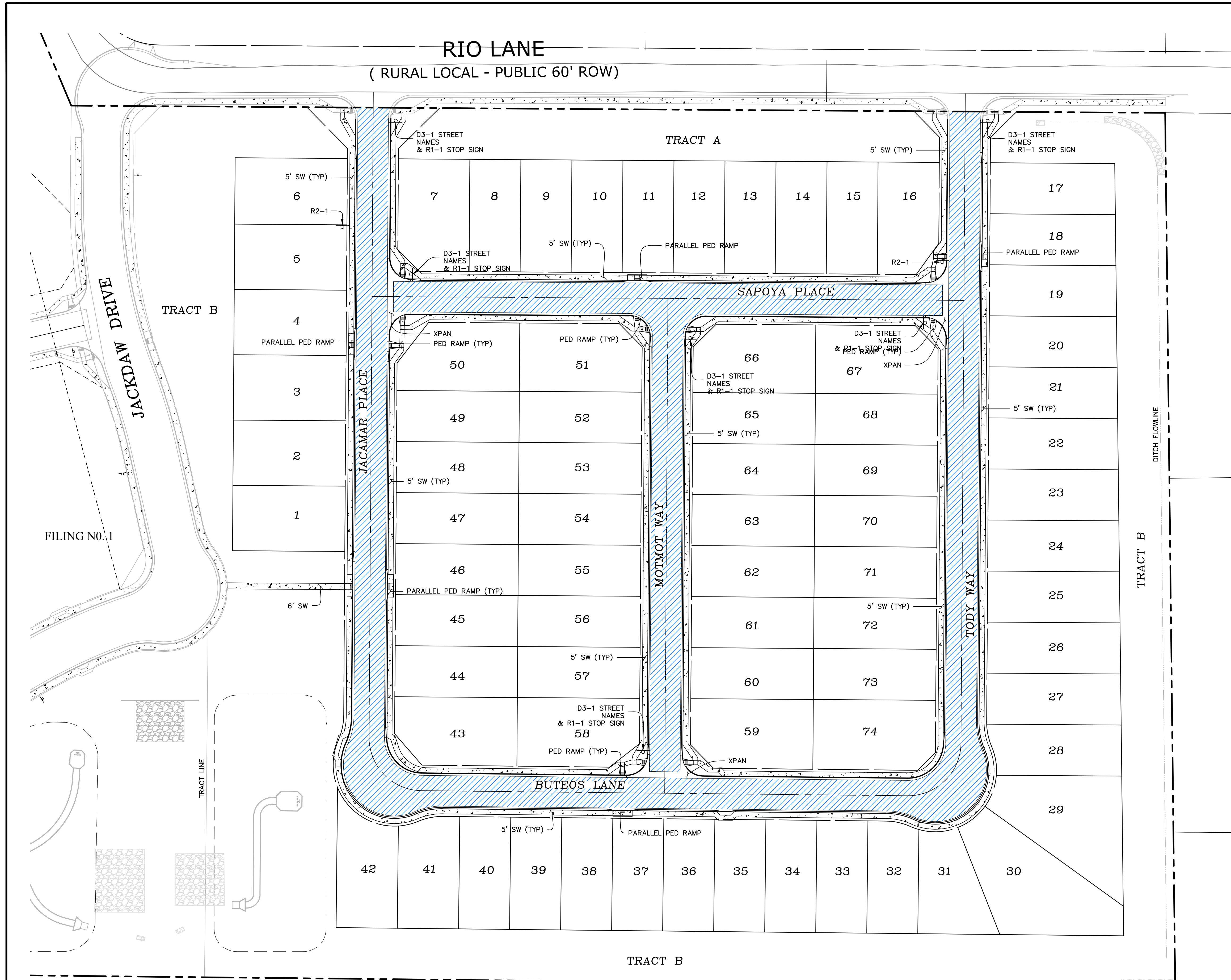
**INTERSECTION SPOT GRADE PLAN**

PROJECT NO. 21604-00CSCV  
DRAWING NO.

**C8**  
SHEET: 8 OF 14

**811** Know what's below.  
Call before you dig.  
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.  
COUNTY FILE NO. SF255





**LEGEND**

- PROPERTY LINE.....
- RIGHT OF WAY.....
- LOT LINE.....
- CENTERLINE ROAD.....
- CURB & GUTTER.....
- SIDEWALK.....
- POND.....
- EASEMENT.....
- LOT NUMBER..... 28
- ROAD SIGN.....
- D3-1..... STREET NAMES
- D3-1 (GREEN - PUBLIC) **JACAMAR PLACE**
- D3-1 (GREEN - PUBLIC) **SAPOYA PLACE**
- D3-1 (GREEN - PUBLIC) **MOTMOT WAY**
- D3-1 (GREEN - PUBLIC) **TODDY WAY**
- D3-1 (GREEN - PUBLIC) **BUTEOS LANE**
- D3-1 (GREEN - PUBLIC) **RIO LANE**
- R1-1 (30"x30").....
- R2-1 (24"x30").....
- ASPHALT PAVEMENT.....
- ON-SITE SECTION 5" HMA ON 6" ABC OR AS DIRECTED BY GEOTECHNICAL REPORT APPROVED BY EL PASO COUNTY
- CONCRETE (SIDEWALK, CURB & GUTTER, CROSS PAN & PEDESTRIAN RAMPS).....

PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
 Engineers • Surveyors  
 101 SAWATCH ST., SUITE 100  
 COLORADO SPGS, COLORADO 80903  
 CONTACT: TIM D. MCCONNELL, P.E.  
 (719)260-0887  
 COLORADO SPRINGS • LAFAYETTE

CLIENT:  
**FALCON FIELD, LLC**  
 1864 WOODMOOR DRIVE  
 MONUMENT, CO 80132  
 (719) 476-0800  
 CONTACT: STEVE ROSSOLL

CONSTRUCTION DOCUMENTS FOR:  
**THE COMMONS AT FALCON FIELD**  
 FILING No. 2  
 12445 RIO LANE, AND VACANT LAND  
 PEYTON, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	02/04/25
RESUBMITTAL	03/20/26

DESIGNED BY: KGV  
 DRAWN BY: SDM  
 CHECKED BY: TDM  
 FILE NAME: PAV&S&S

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:  
 HORIZONTAL: 1"=50'  
 VERTICAL: N/A

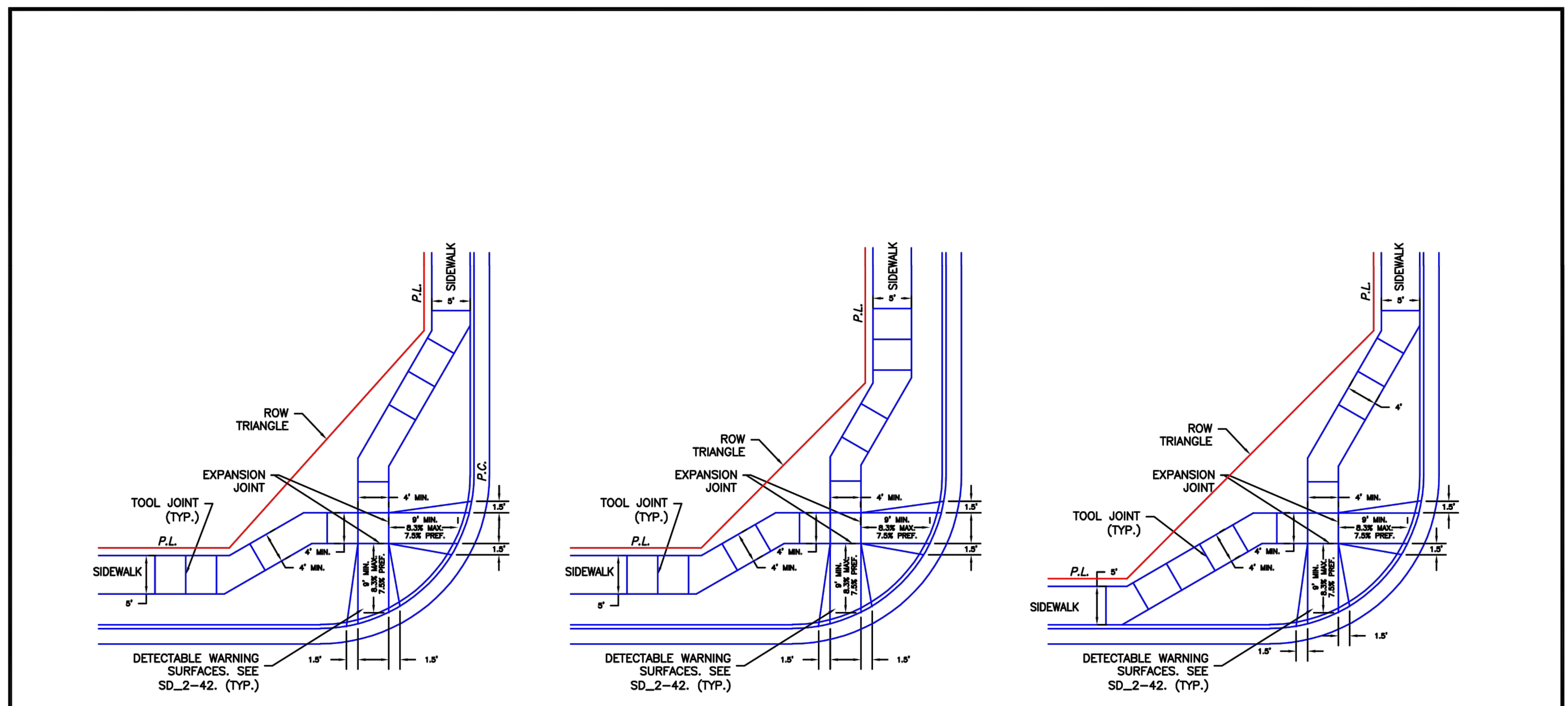
**SIGNAGE, STRIPING, PAVING & CONCRETE PLAN**

PROJECT NO. 21604-00CSCV  
 DRAWING NO.

**C10**

SHEET: 10 OF 14

**811** Know what's below. Call before you dig.  
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 COUNTY FILE NO. SF255


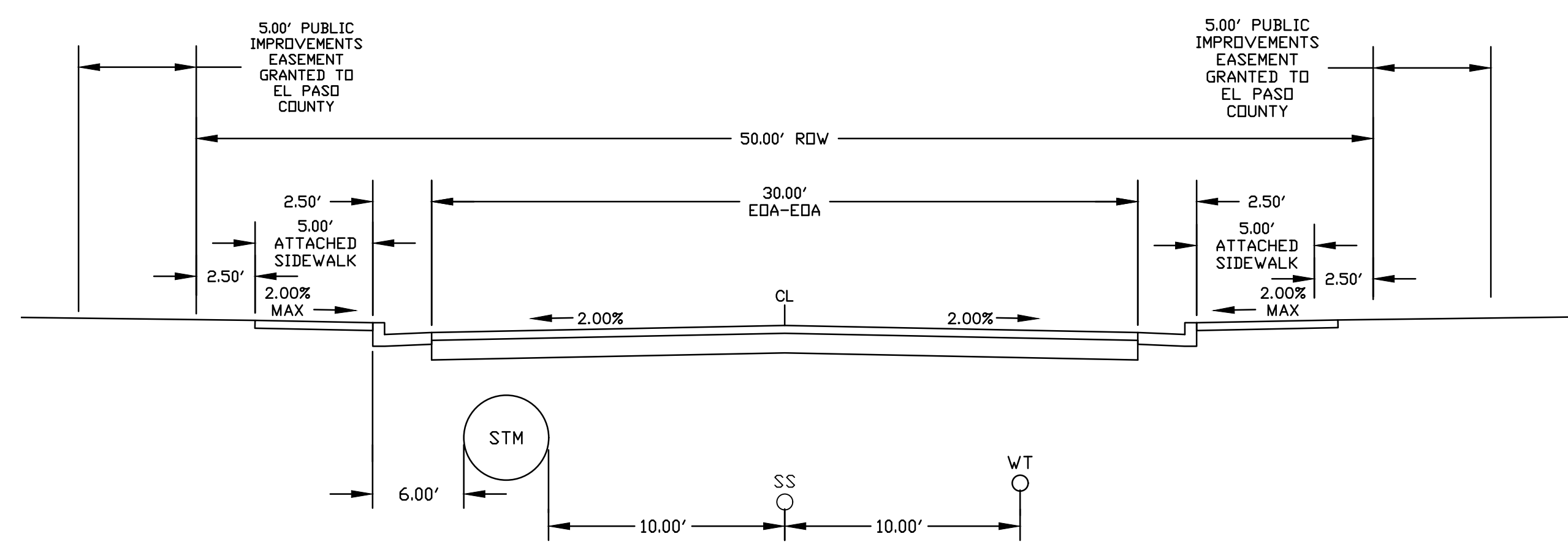


SCALE: NOT TO SCALE

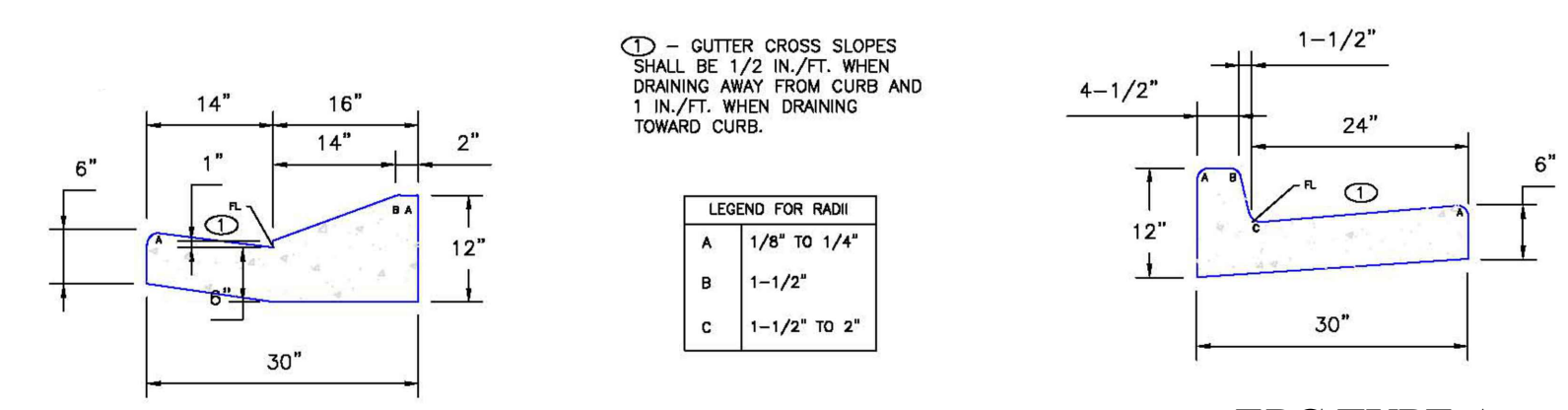
6/23/20  
DATE APPROVED:  
Jennifer E. Irvine  
DEPARTMENT OF PUBLIC WORKS

Pedestrian Curb Ramp Detail Standard Drawing

REVISION DATE: 6/23/20 FILE NAME: SD\_2-40

URBAN LOCAL ROADWAY  
STANDARD CROSS SECTION  
(PUBLIC 50' ROW - 25 MPH)  
SCALE: 1"=5'  
FILING NO. 2 RESIDENTIAL ROADWAYS: SAFOYA PL,  
JACAMAR PL, MOTMOT WAY, TODDY WAY, BUTEOS LN



EPC OPTIONAL TYPE C  
SCALE: NTS

EPC TYPE A  
(REVERSE SLOPE OF PAN FOR SPILL CURB)  
SCALE: NTS

TRUNCATED DOME DETAILS

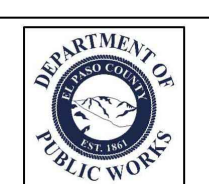
DOME SPACING ELEVATION VIEW

SIDE CROSS SECTION VIEW OF  
DETECTABLE WARNING SURFACE, CURB AND GUTTER

6/23/20  
DATE APPROVED:  
Jennifer E. Irvine  
DEPARTMENT OF PUBLIC WORKS

Detectable Warning Surface Details Standard Drawing

REVISION DATE: 6/23/20 FILE NAME: SD\_2-42

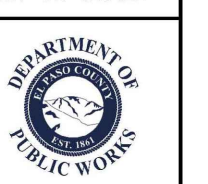


SECTION A-A SECTION B-B

6/23/20  
DATE APPROVED:  
Jennifer E. Irvine  
DEPARTMENT OF PUBLIC WORKS

Parallel Pedestrian Curb Ramp Detail Standard Drawing

REVISION DATE: 6/23/20 FILE NAME: SD\_2-50



PEDESTRIAN RAMP NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT ENGINEERING SPECIFICATIONS AND AASHTO STANDARDS.
- CONTRACTOR TO NOTIFY ENGINEERING DESIGN INSPECTION STAFF 48 HOURS PRIOR TO CONCRETE PLACEMENT.
- PEDESTRIAN CURB RAMP CONSTRUCTION SHALL BE A MINIMUM 4.00' PCC CONCRETE, MINIMUM 4" THICK, NON-COLORED, NON-SOURCED, CORNER BROOK FINISH.
- PEDESTRIAN CURB RAMP LOCATION AND LENGTH MAY REQUIRE MODIFICATION TO MAINTAIN TO 8.3% MAXIMUM RAMP SLOPE DUE TO STREET INTERSECTION SPACES AND/OR ALIGNMENTS. SEE FOR SECTION 6.0.0 FOR PEDESTRIAN PROVISIONS LOCATION REQUIREMENTS.
- DETECTABLE WARNING SURFACE SHALL HAVE A MINIMUM OF 6" HEIGHT (0" TO 8") MONOLITHIC CURB.
- DETECTABLE WARNING SURFACE SHALL BE PREPARED WITH CAST IRON OR POLYMER CONCRETE TRUNCATED DOME AND FINISH SHALL NOT BE ACCEPTED.
- THE DETECTABLE WARNING SURFACE SHALL BE 34" IN LENGTH AND THE FULL WIDTH OF THE RAMP.
- PEDESTRIAN CURB RAMP WIDTH REQUIRED IS SAME AS APPROACHING SIDEWALK 4' MINIMUM.
- ALL PEDESTRIAN CURB RAMP SHALL BE PERPENDICULAR TO TRAFFIC WITH THE EXCEPTION OF 90-DEGREE OR TANGENTIAL RAMP WHICH MAY BE PARALLEL.
- DRAINAGE STRUCTURES, TRAFFIC SIGNALS, SIGNAGE, UTILITIES, LANTERN BODIES, OR OTHER OBSTRUCTIONS WITHIN PROPOSED CURB RAMP AREAS AND LANDINGS ARE PROHIBITED.
- THE COUNTER SLOPE OF THE GUTTER OR ROAD AT THE FOOT OF A RAMP SHALL NOT EXCEED 8%.

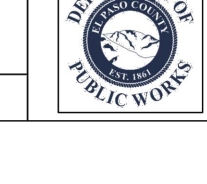
GENERAL NOTES

- WITHIN THE 1'-4" FLARED SIDING OF A PERPENDICULAR CURB RAMP SHALL BE CONGRUOUS WITH A PEDESTRIAN OR HAND SIGNAL AREA AT ANY POINT.
- PEDESTRIAN WALKWAY (PEDESTRIAN ACCESS ROUTE) AND/OR LOCATION OF CROSSING OR CURB PEDESTRIAN RAMP OR OPPOSITE CORNER SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMP.
- IF WARRING INTERFERES, THE BOTTOM OF THE RAMP, LOCATIONS OF THE FLARE SLOPE SHALL BE TOTALLY CORRELATED WITH THE WARRING.

6/23/20  
DATE APPROVED:  
Jennifer E. Irvine  
DEPARTMENT OF PUBLIC WORKS

Pedestrian Curb Ramp Detail Standard Drawing

REVISION DATE: 6/23/20 FILE NAME: SD\_2-41



PLAN VIEW SECTION A-A

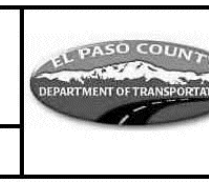
NOTES

- W - WIDTH SHALL BE 6' FOR LOCAL, 8' FOR COLLECTORS, AND 10' FOR ARTERIAL ROADS.
- T - SQUARED-OFF RETURN TO BE POURED MONOLITHICALLY, 8" PCC FOR LOCAL ROADS, 9" FOR COLLECTORS WITH 6x6 - 4.4 W.W.F. OR #4 REINFORCING BAR @ 18" EACH WAY.
- 3" = 3" MINIMUM ASPHALT DEPTH (2 LIFTS).
- DESIGN TO SPECIFY ELEVATIONS AT PI AND PCR.

6/11/11  
DATE APPROVED:  
André P. Brackin  
COMMISSIONER OF TRANSPORTATION

Typical Cross Pan Layout Detail Standard Drawing

REVISION DATE: 12/8/15 FILE NAME: SD\_2-26




Know what's below.  
Call before you dig.  
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COUNTY FILE NO. SF255

PREPARED BY:



DREXEL, BARRELL & CO.  
Engineers & Surveyors  
101 SAWATCH ST., SUITE 100  
COLORADO SPGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
(719)260-0887  
COLORADO SPRINGS • LAFAYETTE

CLIENT:

FALCON FIELD, LLC  
1864 WOODMOOR DRIVE  
MONUMENT, CO 80132  
(719) 476-0800  
CONTACT: STEVE ROSSOLL

CONSTRUCTION DOCUMENTS FOR:

THE COMMONS AT FALCON FIELD  
FILING No. 2  
12445 RIO LANE, AND VACANT LAND  
PEYTON, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	02/04/25
RESUBMITTAL	03/20/26

DESIGNED BY: KGV  
DRAWN BY: SDM  
CHECKED BY: TDM  
FILE NAME: RD SEC&DET

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF  
DREXEL, BARRELL & CO.

DRAWING SCALE:  
HORIZONTAL: N/A  
VERTICAL: N/A

ROADWAY SECTION & DETAILS

PROJECT NO. 21604-00CSCV  
DRAWING NO.

C11

SHEET: 11 OF 14

PREPARED BY:



CLIENT:

FALCON FIELD, LLC  
1864 WOODMOOR DRIVE  
MONUMENT, CO 80132  
(719) 476-0800  
CONTACT: STEVE ROSSOLL

CONSTRUCTION DOCUMENTS FOR:  
**THE COMMONS AT FALCON FIELD**  
FILING No. 2  
12445 RIO LANE, AND VACANT LAND  
PEYTON, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	02/04/25
RESUBMITTAL	03/20/26

DESIGNED BY: KGV  
DRAWN BY: CGH  
CHECKED BY: TDM  
FILE NAME: 21604-STM

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

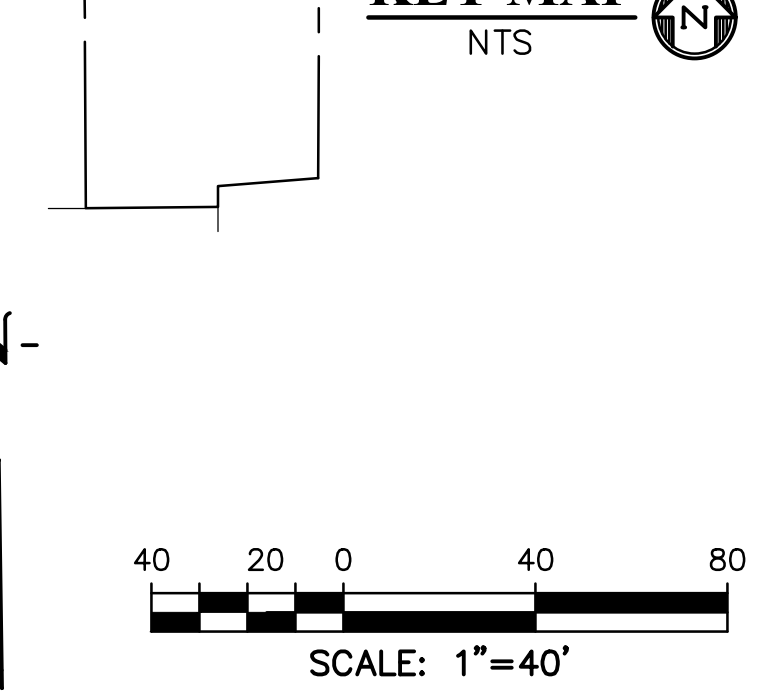
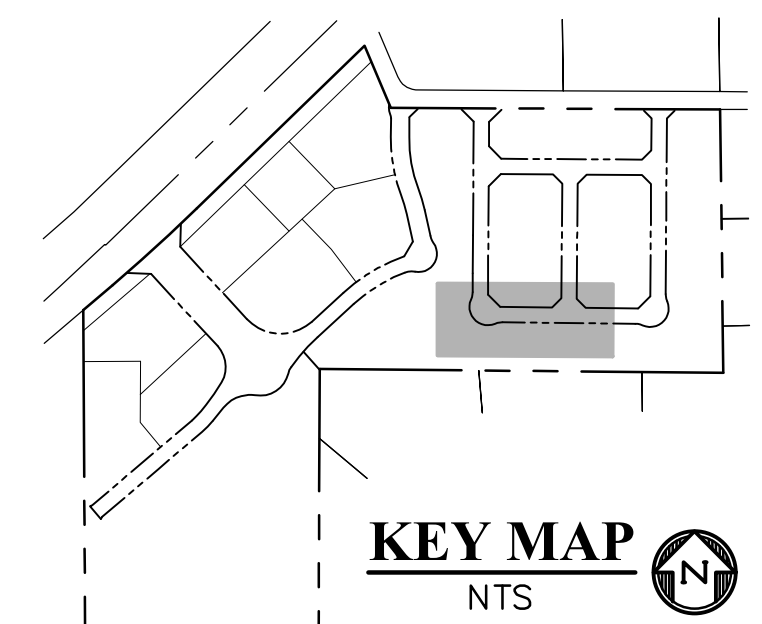
DRAWING SCALE:  
HORIZONTAL: 1" = 40'  
VERTICAL: 1" = 4'

**BUTEOS LANE STORM SEWER PLAN & PROFILE**

PROJECT NO. 21604-00CSCV  
DRAWING NO.

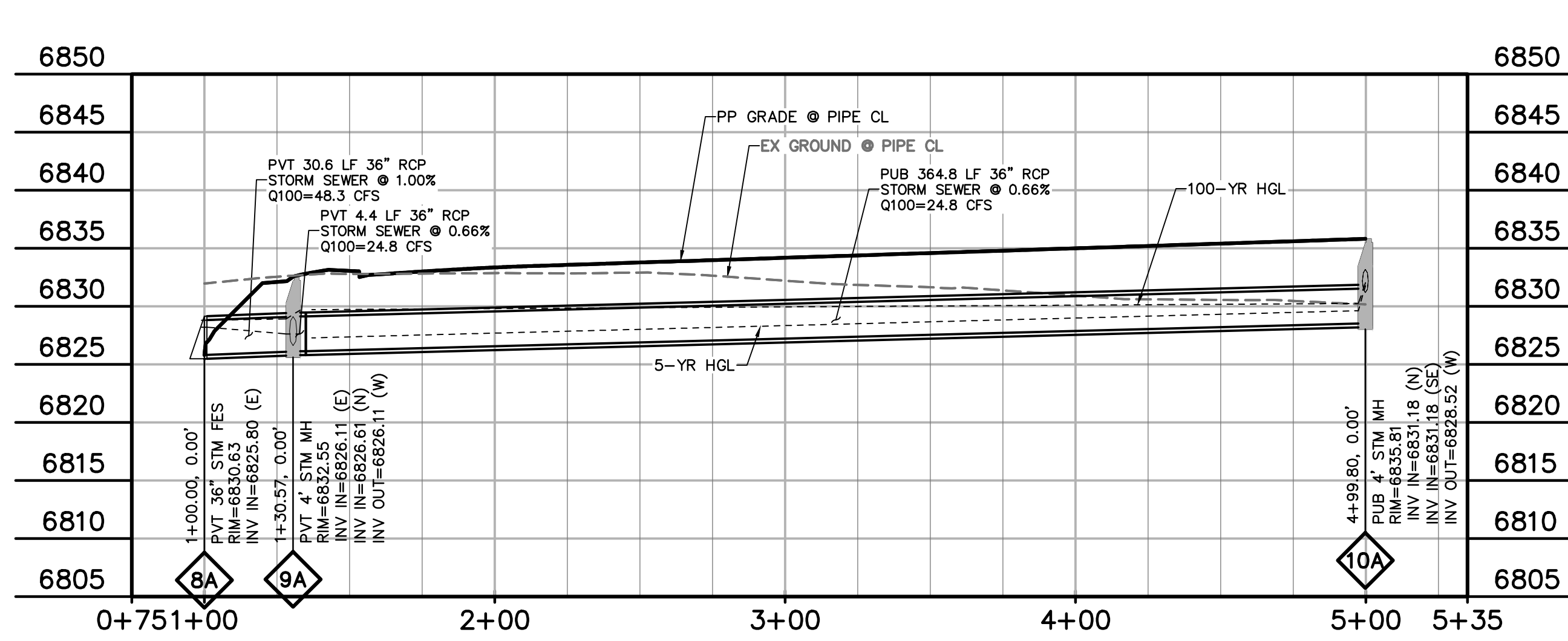
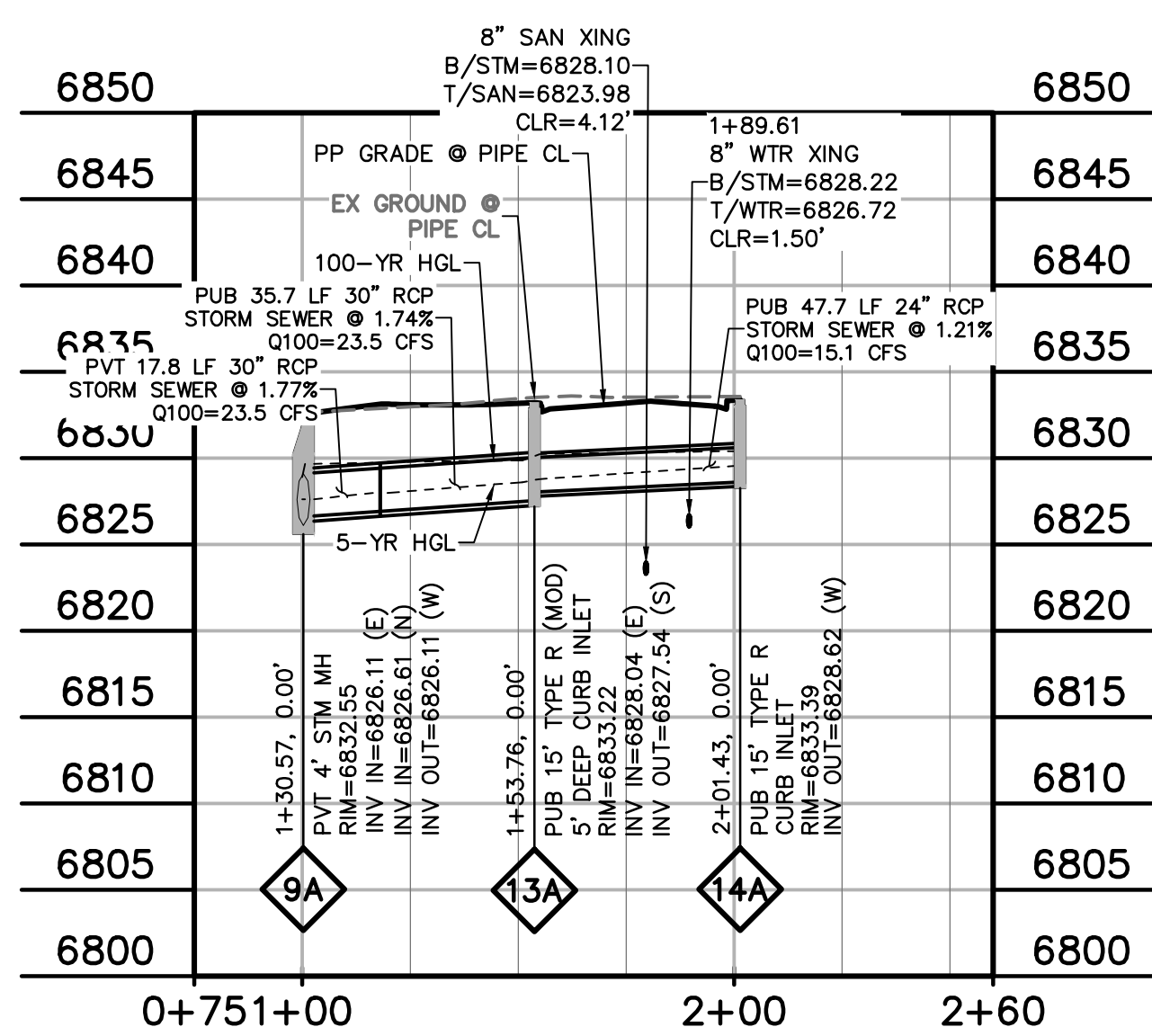
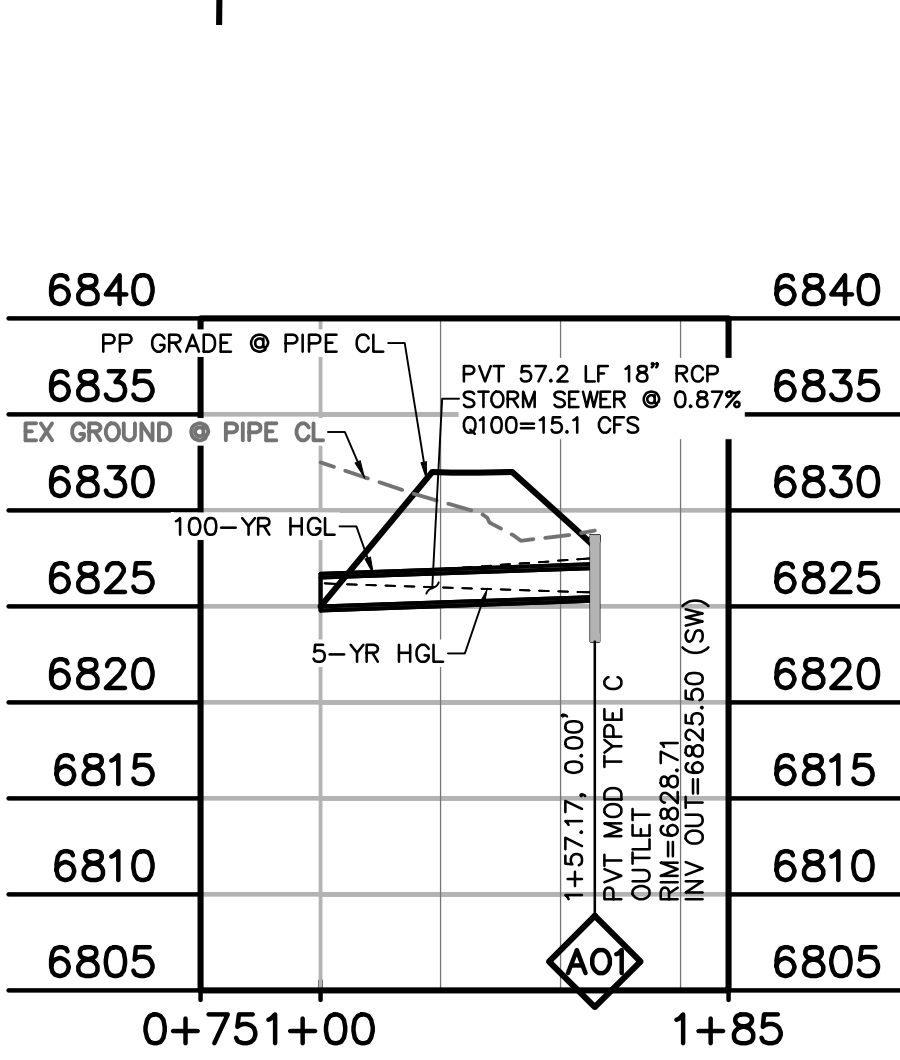
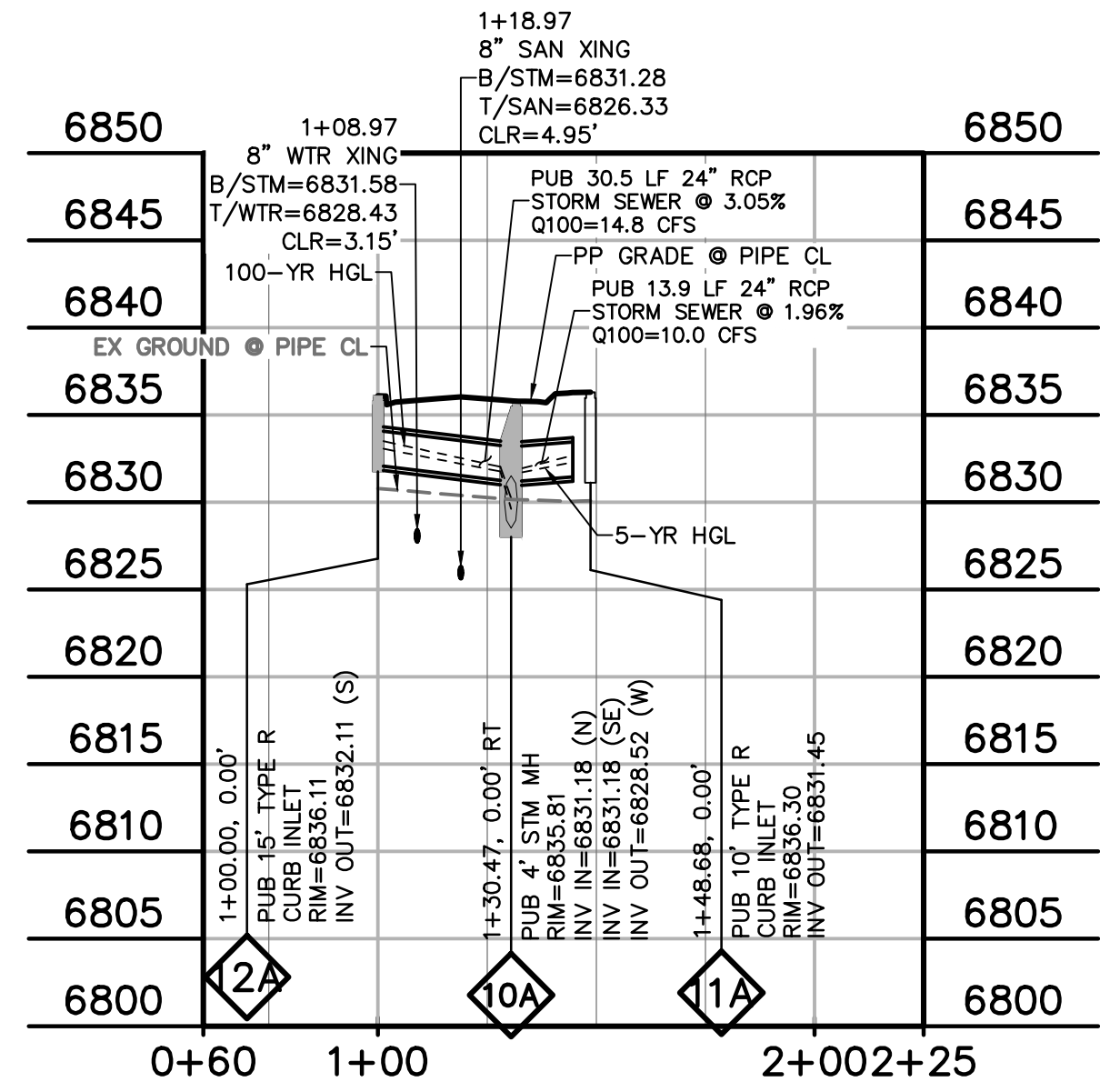
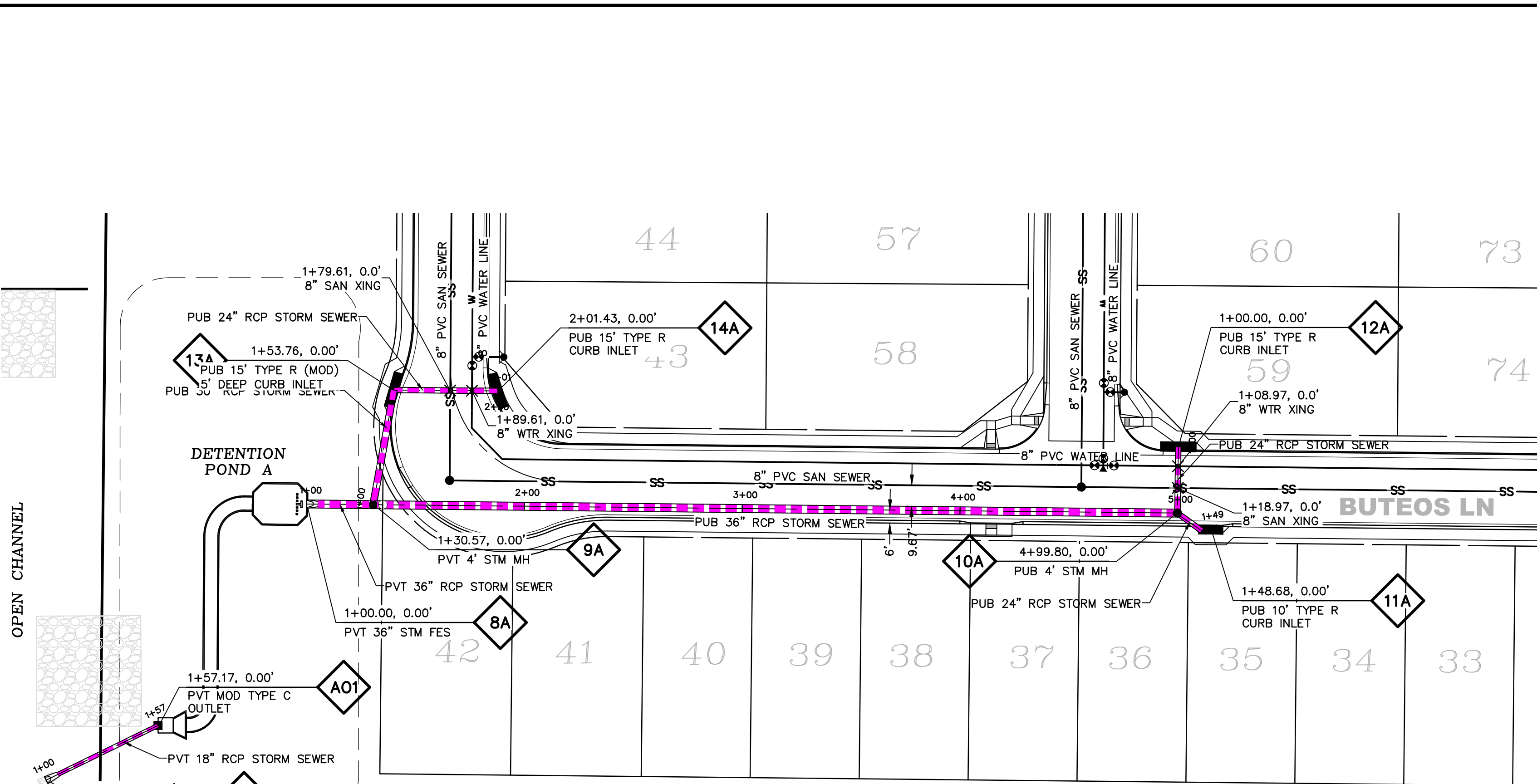
**C12**

SHEET: 12 OF 14



**LEGEND**

- PROPERTY LINE
- EASEMENT
- PP RIGHT OF WAY
- PP LOT LINE
- PP CURB & GUTTER
- PP SIDEWALK
- PP STORM SEWER LINE
- HYDRAULIC GRADE LINE
- ENERGY GRADE LINE
- PP STORM INLET
- PP MANHOLE
- PP WATER LINE
- PP FIRE HYDRANT
- PP WATER VALVE
- PP SANITARY SEWER LINE
- PP STORM SEWER MANHOLE & INLET DESIGNATOR
- LOT NUMBER
- PP POND
- PP TELEPHONE
- PP TRAIL
- PP GRADE @ I OF PIPE
- EX WATER FIRE HYDRANT
- EX WATER LINE
- EX WT PLUG
- EX SS LINE
- EX SS MH
- EX GROUND @ I OF PIPE
- EX ELECTRIC
- EX 100YR FLOOD
- EX EXISTING
- MH MANHOLE
- PP PROPOSED
- PT POINT
- SS SANITARY SEWER
- STM STORM SEWER
- WT WATER
- XING CROSSING
- C&G CURB AND GUTTER
- PUB PUBLIC



**BUTEOS LANE STORM SEWER**

HORZ. 1"=40'  
VERT. 1"=4'

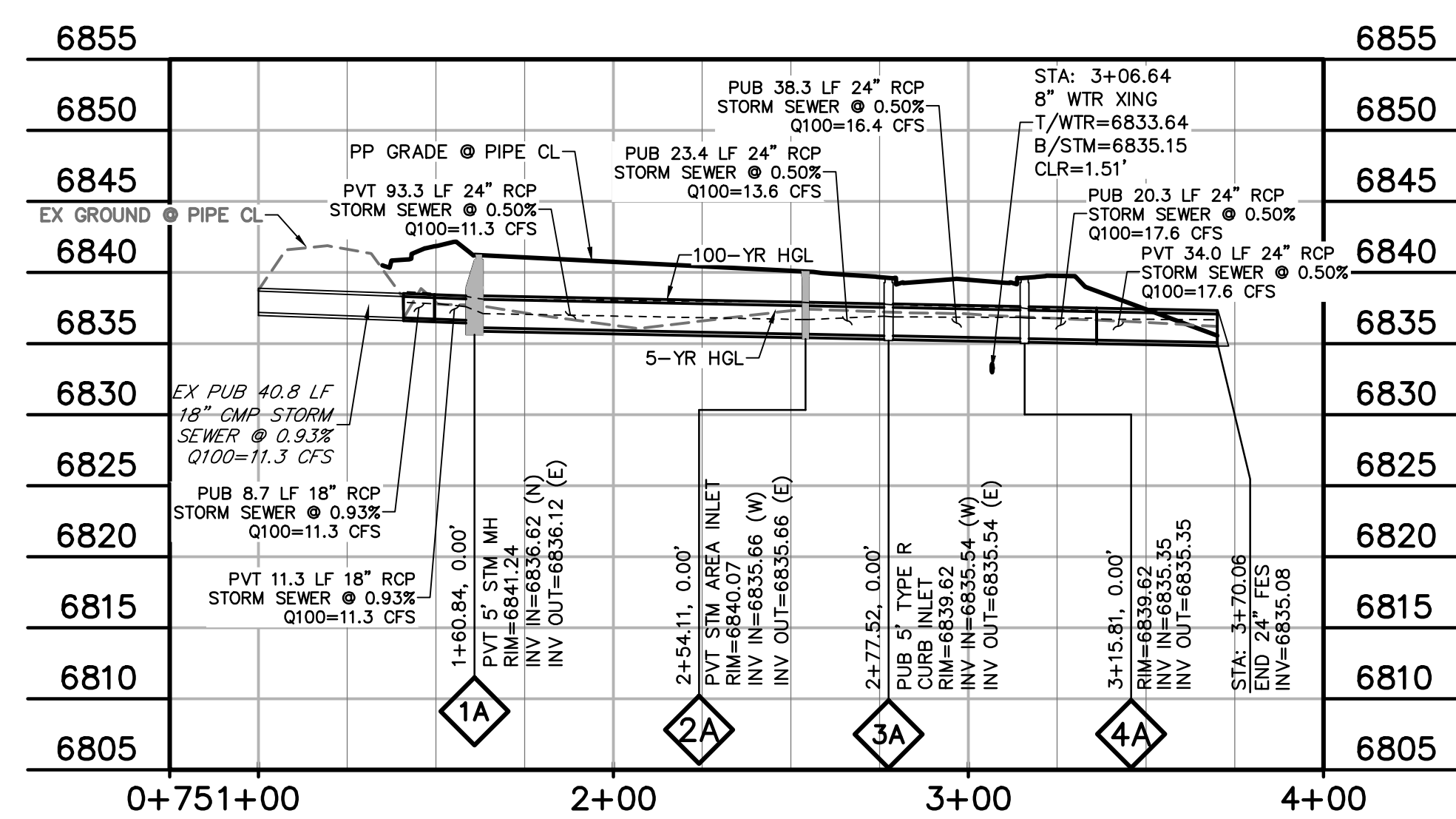
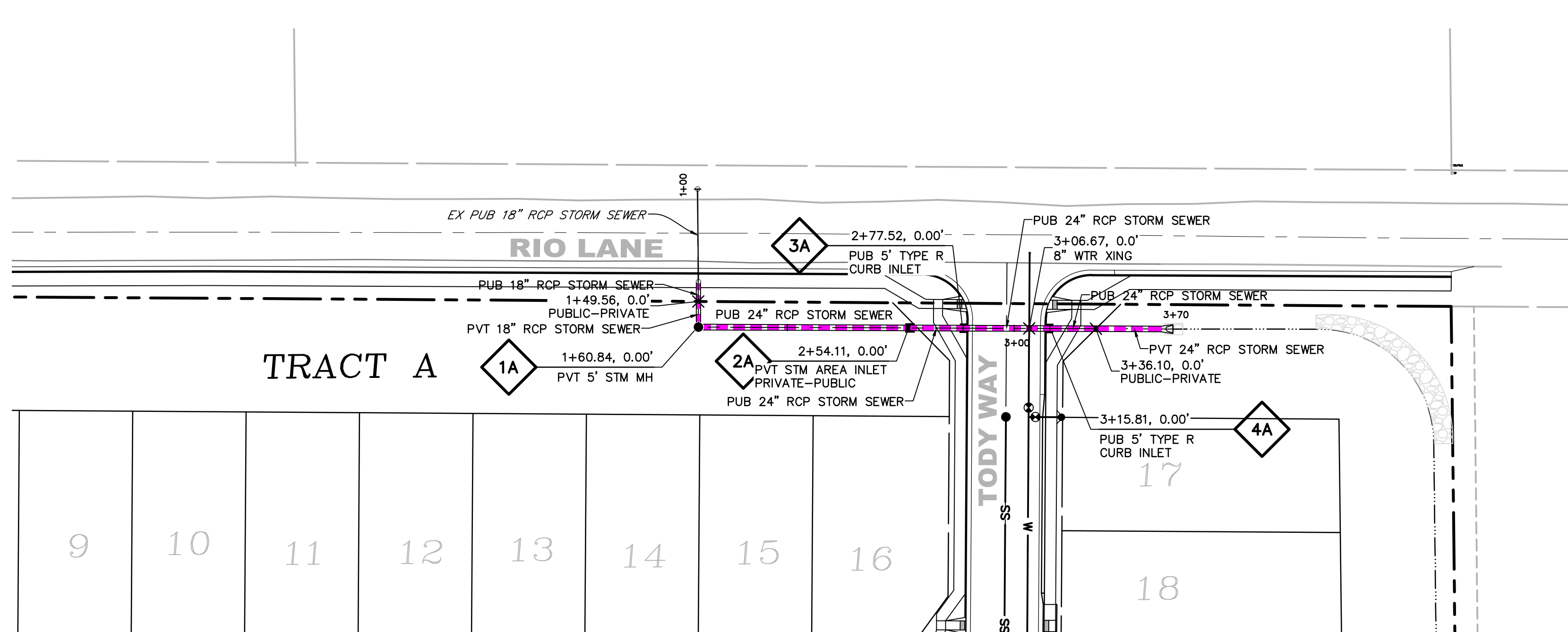
**NOTE**

- 1) WATERTIGHT JOINTS FOR SURCHARGED PIPE PER ECM 3.3.1.D



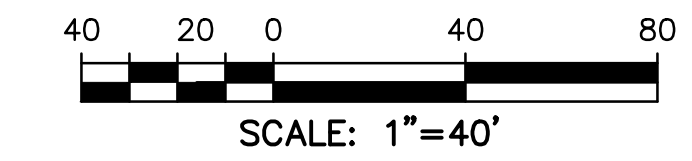
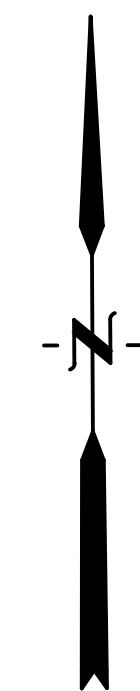
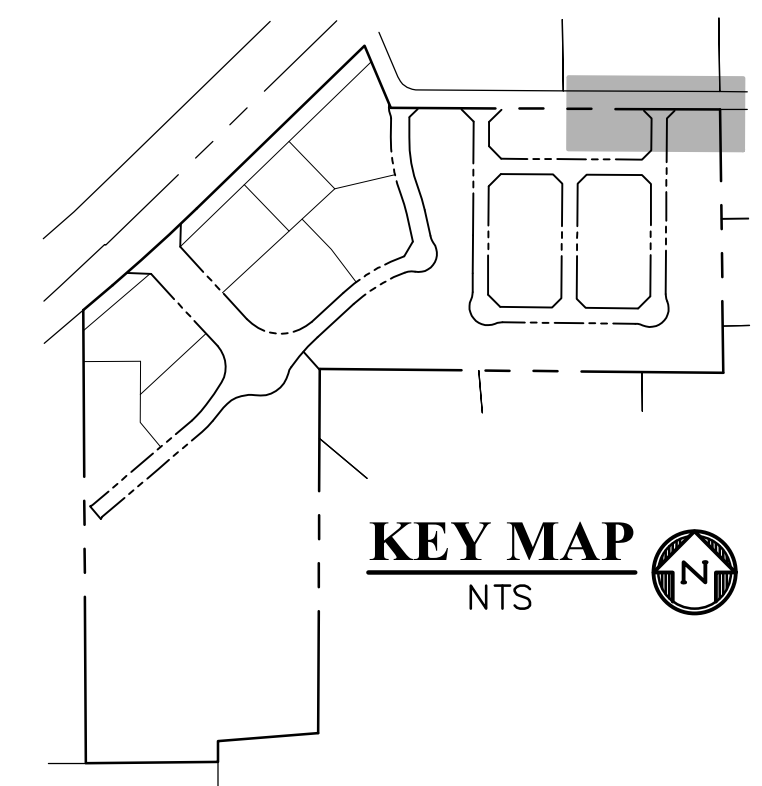
Know what's below.  
Call before you dig.  
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COUNTY FILE NO. SF255



**RIO LANE STORM SEWER**  
 HORZ. 1"=40'  
 VERT. 1"=4'

**NOTE**  
 1) WATERTIGHT JOINTS FOR SURCHARGED PIPE PER ECM 3.3.1.D



**LEGEND**

- PROPERTY LINE.....
- EASEMENT.....
- PP RIGHT OF WAY.....
- PP LOT LINE.....
- PP CURB & GUTTER.....
- PP SIDEWALK.....
- PP STORM SEWER LINE.....
- HYDRAULIC GRADE LINE.....
- ENERGY GRADE LINE.....
- PP STORM INLET.....
- PP MANHOLE.....
- PP WATER LINE.....
- PP FIRE HYDRANT.....
- PP WATER VALVE.....
- PP SANITARY SEWER LINE.....
- PP STORM SEWER MANHOLE & INLET DESIGNATOR.....
- LOT NUMBER.....
- PP POND.....
- PP TELEPHONE.....
- PP TRAIL.....
- PP GRADE @ I OF PIPE.....
- EX WATER FIRE HYDRANT.....
- EX WATER LINE.....
- EX WT PLUG.....
- EX SS LINE.....
- EX SS MH.....
- EX GROUND @ I OF PIPE.....
- EX ELECTRIC.....
- EX 100YR FLOOD.....
- EX.....EXISTING
- MH.....MANHOLE
- PP.....PROPOSED
- PT.....POINT
- SS.....SANITARY SEWER
- STM.....STORM SEWER
- WT.....WATER
- XING.....CROSSING
- C&G.....CURB AND GUTTER
- PUB.....PUBLIC

PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
 Engineers & Surveyors  
 101 SAWATCH ST., SUITE 100  
 COLORADO SPGS, COLORADO 80903  
 CONTACT: TIM D. MCCONNELL, P.E.  
 (719) 260-0887  
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CLIENT:  
**FALCON FIELD, LLC**  
 1864 WOODMOOR DRIVE  
 MONUMENT, CO 80132  
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CONSTRUCTION DOCUMENTS FOR:  
**THE COMMONS AT FALCON FIELD**  
 FILING No. 2  
 12445 RIO LANE, AND VACANT LAND  
 PEYTON, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	02/04/25
RESUBMITTAL	03/20/26

DESIGNED BY: KGV  
 DRAWN BY: CGH  
 CHECKED BY: TDM  
 FILE NAME: 21604-STM

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF  
**DREXEL, BARRELL & CO.**

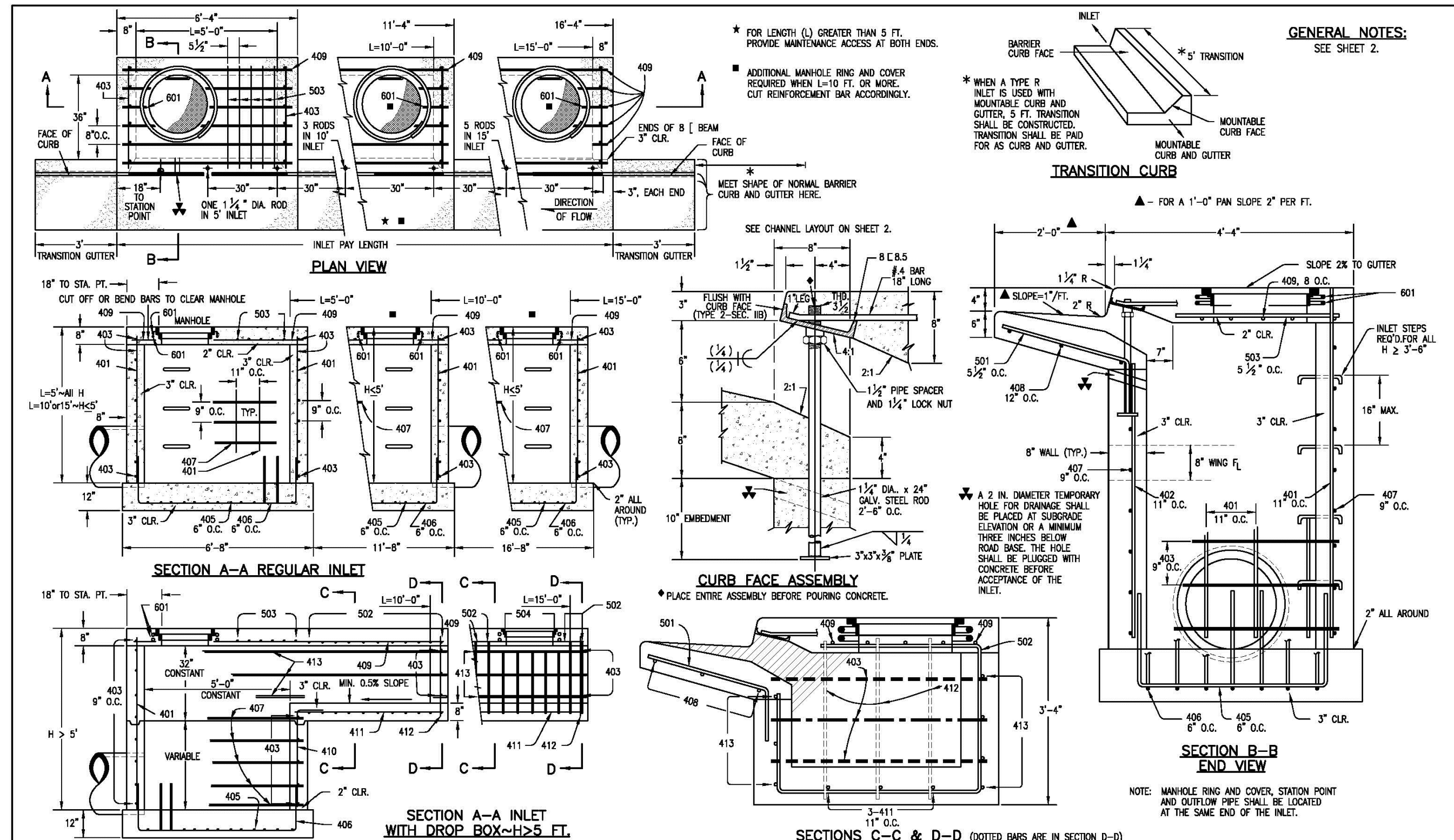
DRAWING SCALE:  
 HORIZONTAL: 1" = 40'  
 VERTICAL: 1" = 4'

**RIO LANE STORM SEWER PLAN & PROFILE**

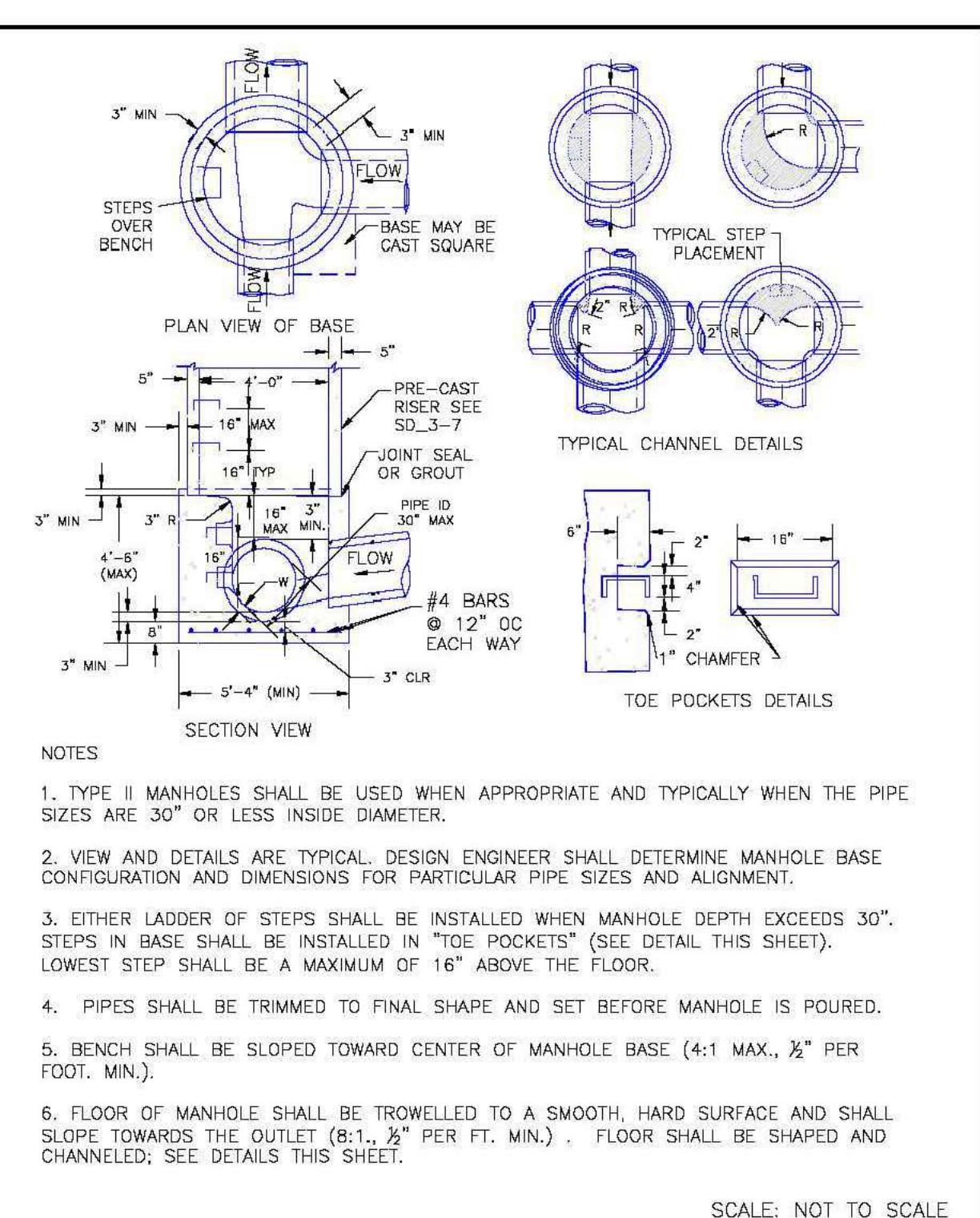
PROJECT NO. 21604-00CSCV  
 DRAWING NO.

**C13**  
 SHEET: 13 OF 14

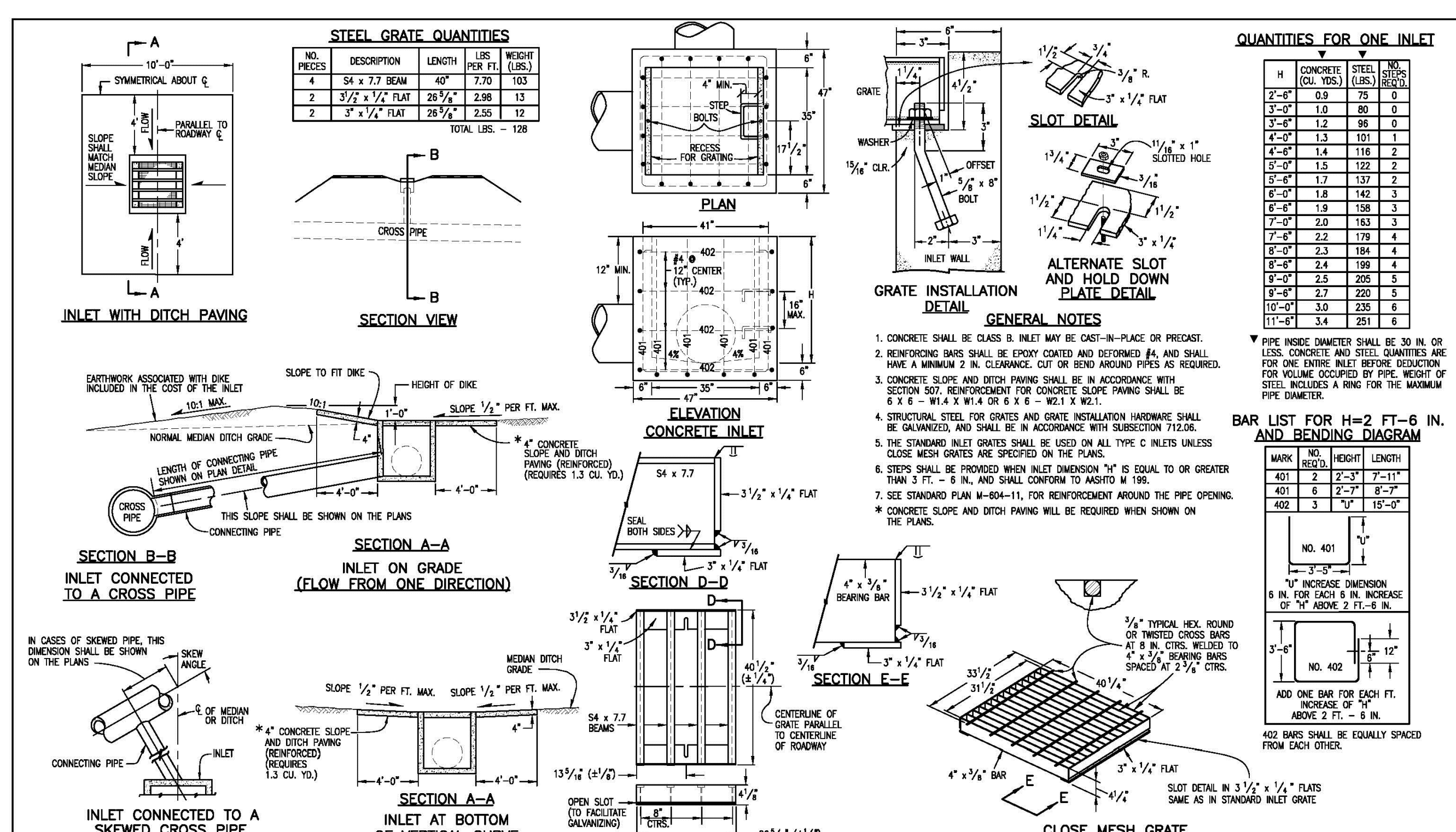
**811** Know what's below.  
 Call before you dig.  
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 COUNTY FILE NO. SF255



<b>Computer File Information</b>		<b>Sheet Revisions</b>		<b>Colorado Department of Transportation</b>		<b>CURB INLET TYPE R</b>		<b>STANDARD PLAN NO.</b>	
Creation Date: 07/04/06	Initials: SJR	Date:	Comments:	4201 East Arkansas Avenue	Denver, Colorado 80222	M-604-12		Sheet No. 1 of 2	
Last Modification Date: 07/04/06	Initials: LTA			Phone: (303) 757-9083	Fax: (303) 757-9020				
Full Path: www.dot.state.co.us/DesignSupport/				Project Development Branch	SRJ/LTA	Issued By: Project Development Branch on July 04, 2006			
Drawing File Name: 6040120102.dwg									
CAD Ver.: MicroStation V8	Scale: Not to Scale	Unit: English							



<b>Storm Sewer Manhole Detail Type II</b>		<b>Standard Drawing</b>	
DATE APPROVED:	11/10/04	DESIGNER:	SD_3-2
André P. Brackin		FILE NAME:	



<b>Computer File Information</b>		<b>Sheet Revisions</b>		<b>Colorado Department of Transportation</b>		<b>INLET, TYPE C</b>		<b>STANDARD PLAN NO.</b>	
Creation Date: 07/04/06	Initials: SJR	Date:	Comments:	4201 East Arkansas Avenue	Denver, Colorado 80222	M-604-10		Sheet No. 1 of 1	
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CONSTRUCTION DOCUMENTS FOR:  
 THE COMMONS AT FALCON FIELD  
 FILING No. 2  
 12445 RIO LANE, AND VACANT LAND  
 PEYTON, EL PASO COUNTY, COLORADO

ISSUE	DATE
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DESIGNED BY: KGV  
 DRAWN BY: CGH  
 CHECKED BY: TDM  
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PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF:  
 DREXEL, BARRELL & CO.

DRAWING SCALE:  
 HORIZONTAL: N/A  
 VERTICAL: N/A

STORM SEWER DETAILS

PROJECT NO. 21604-00CSV  
 DRAWING NO.

**C14**

SHEET: 14 OF 14

