

GENERAL CONSTRUCTION NOTES:

- 1. ALL CONSTRUCTION WITHIN EL PASO COUNTY PUBLIC RIGHT-WAYS SHALL BE IN ACCORDANCE WITH MOST CURRENT STANDARDS AND SPECIFICATIONS OF EL PASO COUNTY.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK.
3. BEFORE COMMENCING ANY EXCAVATION, CALL 811 FOR EXISTING UTILITY LOCATIONS.
4. THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION.
5. ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.
6. ALL BACKFILL, SUB-BASE AND/OR BASE COURSE (CLASS B) MATERIAL SHALL BE COMPACTED TO THE SOILS ENGINEER'S RECOMMENDATIONS, AND APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION.
7. ALL STATIONING IS CENTERLINE UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE INDICATED.
8. ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. REPAIR SHALL CONFORM TO THE EPC ECM APPENDIX K - 1.2C.
9. ALL INTERSECTION ACCESSES TO BE CONSTRUCTED WITH A 25 FOOT SIGHT VISIBILITY TRIANGLES.
10. ALL CULVERT AND STORM DRAIN PIPES SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (HDPE), REINFORCED CONCRETE PIPE (RCP).
11. ASPHALT THICKNESS AND BASE COURSE THICKNESS (COMPACTED) FOR ROADS SHALL BE PER DESIGN REPORT BY OWNER'S GEOTECHNICAL ENGINEER.
12. TYPE M RIP-RAP WITH 4" OF TYPE II GRANULAR BEDDING AND MIRAFI 180N OR EQUAL MAY BE SUBSTITUTED WHERE TYPE L RIP-RAP WITH MIRAFI FW 700 OR EQUAL IS SPECIFIED.
13. ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN COMPLIANCE WITH ANY AND ALL APPLICABLE EL PASO COUNTY STANDARDS.
14. ALL POTABLE WATER MAINS SHALL BE AWWA C900-SDR18 PVC WITH PUSH-ON SINGLE GASKET TYPE JOINTS AND SHALL MEET THE REQUIREMENTS OF ANS/NSF 61.
15. ALL WATER MAIN FITTINGS SHALL BE MADE FROM GRAY-IRON OR DUCTILE IRON AND FURNISHED WITH MECHANICAL JOINT ENDS.
16. ALL WATER LINE BENDS, TEES, BLOW-OFFS AND PLUGS AT DEAD-END MAINS SHALL BE PROTECTED FROM THRUST BY USING CONCRETE THRUST BLOCKS AND/OR RODDING AND RESTRAINED PIPE.
17. MAXIMUM DEFLECTION OF 8" & 12" PVC WATER MAIN JOINTS IS 4 DEGREES. CORRESPONDING MINIMUM CURVE RADIUS IS 286'.
18. CONTRACTOR IS RESPONSIBLE FOR PROVIDING DETAILED AS-BUILTS OF ALL WATER MAIN, STORM SEW AND SAN. SEW. MAIN INSTALLATIONS, INCLUDING ACCURATE DISTANCES OF MAIN LINES, VALVES, FITTINGS, MANHOLES AND LOCATIONS OF WATER AND SEWER SERVICES.
19. SANITARY SEWER PIPE AND FITTINGS: PVC 4"-8" ASTM D3034, TYPE PSM, SDR 35; PUSH-ON JOINTS AND MOLDED RUBBER GASKETS MAXIMUM HORIZONTAL DEFLECTION, AFTER INSTALLATION AND BACK FILLING SHALL NOT EXCEED 3% OF THE PIPE DIAMETER.

EL PASO COUNTY GRADING AND EROSION CONTROL NOTES:

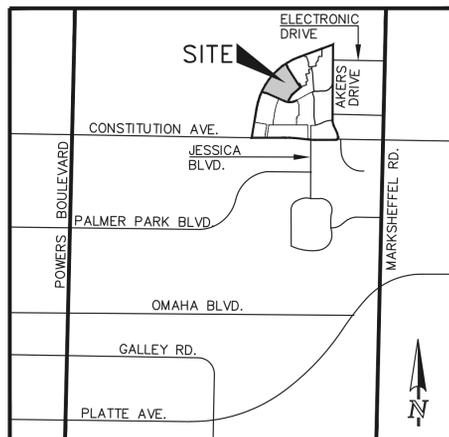
- 1. CONSTRUCTION MAY NOT COMMENCE UNTIL A CONSTRUCTION PERMIT IS OBTAINED FROM DEVELOPMENT SERVICES AND A PRECONSTRUCTION CONFERENCE IS HELD WITH DEVELOPMENT SERVICES INSPECTIONS.
2. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS.
3. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS.
4. A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION.
5. ONCE THE ESQCP HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMPS AS INDICATED ON THE GEC.
6. SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER FINAL GRADING.
7. TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO STANDARDS AND SPECIFICATION PRESCRIBED IN THE DCM VOLUME II AND THE ENGINEERING CRITERIA MANUAL (ECM) APPENDIX I.
8. ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMPS IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME II AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN (SWMP).
9. ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMPS AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS SHALL BE INSTALLED AS DEFINED IN THE DCM VOLUME II AND THE ECM APPENDIX I.
10. ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION.
11. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY.
12. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP.
13. EROSION CONTROL BLANKETING IS TO BE USED ON SLOPES STEEPER THAN 3:1.
14. BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY.
15. VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS.
17. THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM.
18. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE.
19. NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR.
20. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
21. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCHLINE.
22. INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344).
23. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
24. PRIOR TO ACTUAL CONSTRUCTION THE PERMITEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
25. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
26. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY RMG ENGINEERS GROUP, TITLED "HILLTOP SUBDIVISION SOILS AND GEOLOGIC REPORT", DATED MARCH 5, 2014, AND SHALL BE CONSIDERED A PART OF THESE PLANS.
27. AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION.

HANNAH RIDGE AT FEATHERGRASS FILING NO. 7

COUNTY OF EL PASO, STATE OF COLORADO SECTION 32, TOWNSHIP 13 SOUTH, RANGE 65 WEST

CONSTRUCTION PLANS

OCTOBER 2018



VICINITY MAP NOT TO SCALE

SHEET INDEX

Table listing sheet titles and their corresponding sheet numbers: TITLE SHEET (Sheet 1 of 8), OVERLOT GRADING PLAN INCLUDING EROSION CONTROL (Sheet 2 of 8), OVERLOT GRADING PLAN INCLUDING EROSION CONTROL (Sheet 3 of 8), OVERLOT GRADING PLAN INCLUDING EROSION CONTROL (Sheet 4 of 8), GRADING AND EROSION CONTROL DETAILS (Sheet 5 of 8), STREET IMPROVEMENT PLAN INCLUDING SIGNAGE & STRIPING (Sheet 6 of 8), STREET IMPROVEMENT PLAN INCLUDING SIGNAGE & STRIPING (Sheet 7 of 8), STREET IMPROVEMENT PLAN INCLUDING SIGNAGE & STRIPING (Sheet 8 of 8).

BENCHMARKS:

A #5 REBAR LOCATED APPROXIMATELY 170 FEET NORTHEAST OF THE NORTHEASTERLY CORNER OF TRACTS JJ AS PLATTED IN HANNAH RIDGE AT FEATHERGRASS FILING NO. 1, LABELED AS PANEL POINT #11 ELEVATION = 6523.79

A 1 INCH ORANGE PLASTIC CAP STAMPED "13225" LOCATED AT THE SOUTHWESTERLY CORNER OF TRACT AA AS PLATTED IN HANNAH RIDGE AT FEATHERGRASS FILING NO. 1 ELEVATION = 6485.00

BASIS OF BEARINGS:

BEARING REFERRED TO HEREIN ARE BASED ON THE SOUTH LINE OF TRACT FF, HANNAH RIDGE AT FEATHERGRASS FILING NO. 1. ASSUMED TO BEAR N89°59'18"W MONUMENTED AT EACH END W/ NO. 5 REBAR W/ ALUMN CAP MARKED "POLARIS, PLS 27605".

SIGNING AND STRIPING NOTES:

- 1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT.
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES.
4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS.
5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
7. ALL STREET NAME SIGNS SHALL HAVE "C" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND COLLECTOR ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH 1/2" WHITE BORDER THAT IS NOT RECESSED.
8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE.
10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1.
12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT.
13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY DEVELOPMENT SERVICES (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY PUBLIC SERVICE DEPARTMENT (PSD) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

EL PASO COUNTY STANDARD CONSTRUCTION NOTES:

- 1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS.
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY DEVELOPMENT SERVICES DEPARTMENT (DSD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS.
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND DSD.
9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY DSD.
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS.
11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS.
13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA.
14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED.

AGENCIES:

Table listing agencies and their contact information: DEVELOPER: ELITE PROPERTIES OF AMERICA, INC.; CIVIL ENGINEER: CLASSIC CONSULTING ENGINEERS & SURVEYORS; COUNTY ENGINEERING: DEVELOPMENT SERVICES DEPARTMENT; WATER & SANITATION DISTRICT: CHEROKEE METRO DISTRICT; FIRE DISTRICT: FALCON FIRE PROTECTION DISTRICT; GAS COMPANY: CITY OF COLORADO SPRINGS; ELECTRIC COMPANY: MOUNTAIN VIEW ELECTRIC; TELEPHONE COMPANY: CENTURY LINK COMMUNICATIONS.

APPROVALS:

ENGINEER'S STATEMENT:

DETAILED IMPROVEMENT PLANS AND SPECIFICATIONS ENGINEER'S STATEMENT: THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS.

GRADING AND EROSION CONTROL PLAN ENGINEER'S STATEMENT: THESE GRADING AND EROSION CONTROL PLANS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS.

I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN

KYLE R. CAMPBELL, COLORADO P.E. #29794 DATE FOR AND ON THE BEHALF OF CLASSIC CONSULTING ENGINEERS & SURVEYORS

OWNER/DEVELOPER STATEMENT:

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE DRAINAGE REPORT AND PLAN AND THIS SET OF CONSTRUCTION DOCUMENTS. THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

DOUGLAS M. STIMPLE DATE ELITE PROPERTIES OF AMERICA, INC.

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

ANDRE BRACKIN, P.E. DATE COUNTY ENGINEER / ECM ADMINISTRATOR Jennifer Irvine, P.E.

CHEROKEE METROPOLITAN DISTRICT:

THESE CONSTRUCTION DOCUMENTS HAVE BEEN REVIEWED AND APPROVED FOR SANITARY SEWER, WATER MAIN AND ASSOCIATED UTILITY SERVICE CONSTRUCTION.

FOR AND ON BEHALF OF THE CHEROKEE METRO. DISTRICT DATE

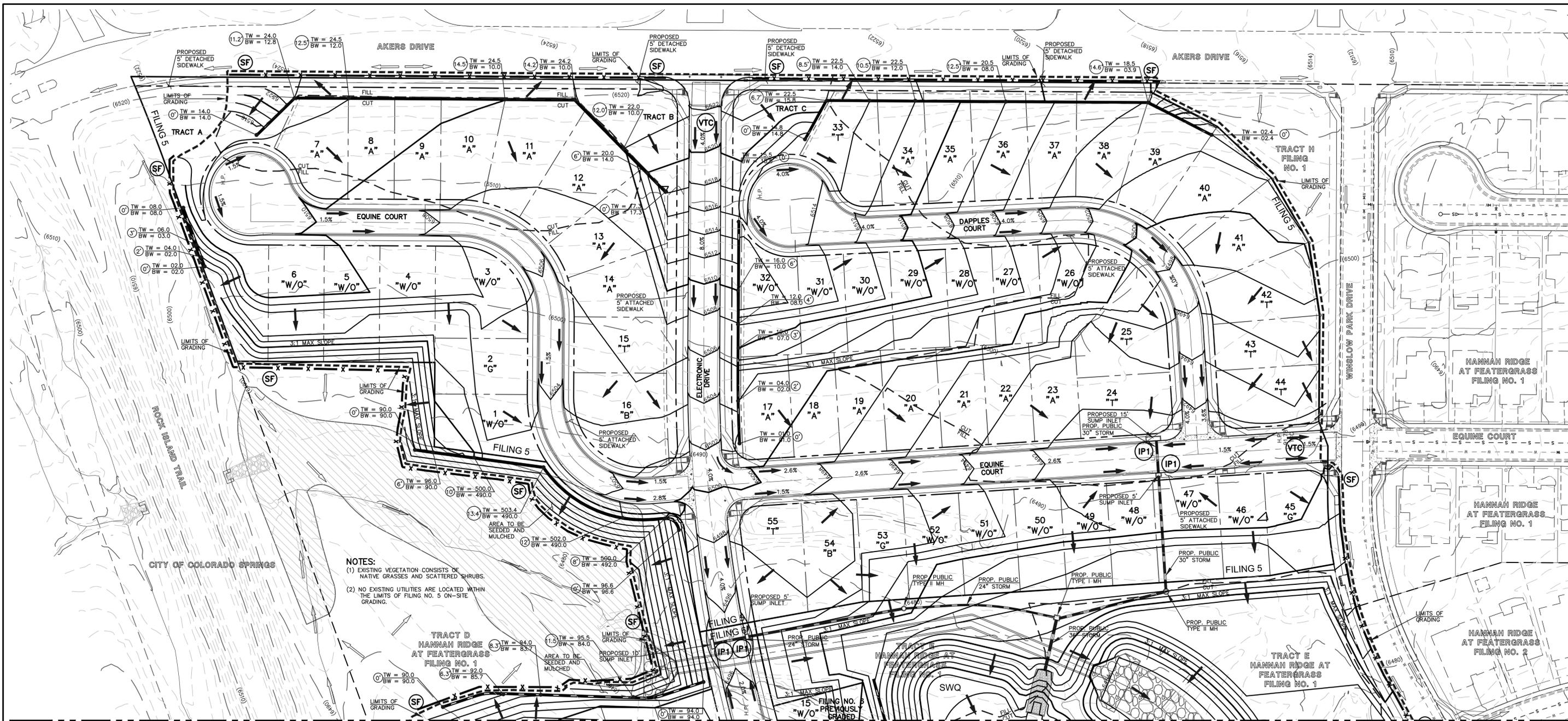
FALCON FIRE PROTECTION DISTRICT:

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO THE FALCON FIRE PROTECTION DISTRICT SPECIFICATIONS. THE NUMBER OF FIRE HYDRANTS AND HYDRANT LOCATIONS AS SHOWN ON THIS WATER INSTALLATION PLAN ARE CORRECT AND ADEQUATE TO SATISFY THE FIRE PROTECTION REQUIREMENTS AS SPECIFIED BY THE FALCON FIRE PROTECTION DISTRICT.

FOR AND ON BEHALF OF FALCON FIRE PROTECTION DISTRICT DATE

Table with columns: NO. REVISION, DATE, REVIEW: PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC. KYLE R. CAMPBELL, COLORADO P.E. #29794 DATE

Project information block including: 48 HOURS BEFORE YOU DIG, CALL UTILITY LOCATORS 811; CLASSIC CONSULTING ENGINEERS & SURVEYORS logo; HANNAH RIDGE AT FEATHERGRASS FILING NO. 7 CONSTRUCTION DRAWINGS TITLE SHEET; DESIGNED BY: KRC, SCALE: (H) 1"=VARIES, DATE: 10/12/18; DRAWN BY: KC, SHEET 1 OF 8; CHECKED BY: (V) 1"= NA, JOB NO. 1116.07



NOTES:
 (1) EXISTING VEGETATION CONSISTS OF NATIVE GRASSES AND SCATTERED SHRUBS.
 (2) NO EXISTING UTILITIES ARE LOCATED WITHIN THE LIMITS OF FILING NO. 5 ON-SITE GRADING.

TRACT D HANNAH RIDGE AT FEATHERGRASS FILING NO. 1
 (6.3) TW = 94.0 BW = 83.7
 (1.5) TW = 95.5 BW = 84.0
 (6.3) TW = 92.0 BW = 85.7

NOTES:
 AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF THE CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:
 COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
 WATER QUALITY CONTROL DIVISION
 WOOD - PERMITS
 4300 CHERRY CREEK DRIVE SOUTH
 DENVER, CO 80246-1530
 ATTN: PERMITS UNIT

NO PORTION OF THIS SITE IS LOCATED WITHIN A FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAPS (F.I.R.M.) MAP NUMBER 08041C0752F AND EFFECTIVE DATE, MARCH 17, 1997.

THE AVERAGE SOIL CONDITION REFLECTS PRING COURSE SANDY LOAM AS DETERMINED BY THE "SOIL SURVEY OF EL PASO COUNTY AREA" PREPARED BY THE U.S. SOIL CONSERVATION SERVICE.

EXISTING VEGETATION CONSISTS OF TALL NATIVE GRASSES AND WEEDS WITH SPORADIC CACTI AND YUCCAS THROUGH-OUT THE SITE.

EMERGENCY OVERFLOW SWALES FOR INLETS IN THE INTERIM UNTIL CURB AND ASPHALT IS INSTALLED WILL BE THE LOTS, FINAL WILL BE TO OVERTOP THE HIGH POINT IN ROADWAY TO THE NEXT AVAILABLE INLET OR TO PROPOSED POND.

STOCKPILE LOCATIONS FOR HOMEBUILDING TO BE ON EACH INDIVIDUAL LOT THAT IS BEING BUILT UPON.

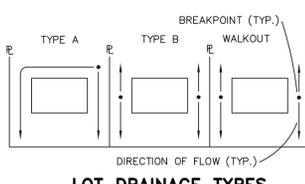
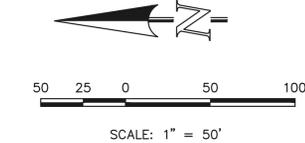
LIMITS OF DISTURBANCE FOR THIS PLAN INCLUDE UTILITY INSTALLATION AND ROADWAY CONSTRUCTION WITHIN THE R.O.W., AND OVERLOT GRADING FOR DEVELOPMENT THEN INDIVIDUAL LOTS FOR HOMEBUILDING ONCE CONSTRUCTION OF THE HOME BEGINS.

GRADING WITHIN THIS PHASE WILL BE FULLY DEVELOPED WITH HOME BUILDING OPERATIONS.

LOCATION OF STORAGE FOR MAINTENANCE EQUIPMENT AND TEMPORARY DISPOSAL AREAS WILL BE ADDED TO THIS PLAN BY SWMP ADMINISTRATOR UPON COORDINATION WITH SELECTED CONTRACTOR.

ALL AREAS ARE TO BE RESEEDED OUTSIDE OF THE FILING NO. 5, 6 AND 7 AREA. RESEED ALL AREAS AS NEEDED TO PREVENT EROSION AND SEDIMENT RUNOFF ONTO CONSTRUCTION ACTIVITIES.

ALL RETAINING WALLS TO BE STACKED BLOCK WALLS.
 BUILDING PERMIT REQUIRED FOR WALLS 4' OR TALLER.



LOT DRAINAGE TYPES

NOTE:
 SIDE LOT LINE SWALES ARE REQUIRED FOR ALL LOTS.

LOCATION OF STAGING AREAS, STORAGE FOR MAINTENANCE EQUIPMENT, CONCRETE WASHOUT AREAS AND TEMPORARY DISPOSAL AREAS WILL BE ADDED TO THIS PLAN BY SWMP ADMINISTRATOR UPON COORDINATION WITH SELECTED CONTRACTOR AND SHALL BE WITHIN CONSTRUCTION SITE BOUNDARIES AS SHOWN.

SEE SHEET 3

Provide typical roadway sections.

Use EPC Optional Type C C&G for Type C

LEGEND

- (6770) EXISTING CONTOUR
- 6770 PROPOSED CONTOUR
- FILING LINE
- BOUNDARY/R.O.W. LINE
- EXISTING FLOW DIRECTION
- PROPOSED FLOW
- "A" A LOT
- "B" B LOT
- "W/O" WALKOUT LOT
- "T" TRANSITION LOT
- "G" GARDEN LOT
- PROPOSED INLET
- HP PROPOSED HIGH POINT
- LP PROPOSED LOW POINT
- (---) TW = XX.XX BW = XXX.XX PROPOSED RETAINING WALL
- (TSB) TEMPORARY SEDIMENT BASIN
- (SF) SILT FENCE
- (IP) INLET PROTECTION
- (VTC) VEHICLE TRACKING CONTROL

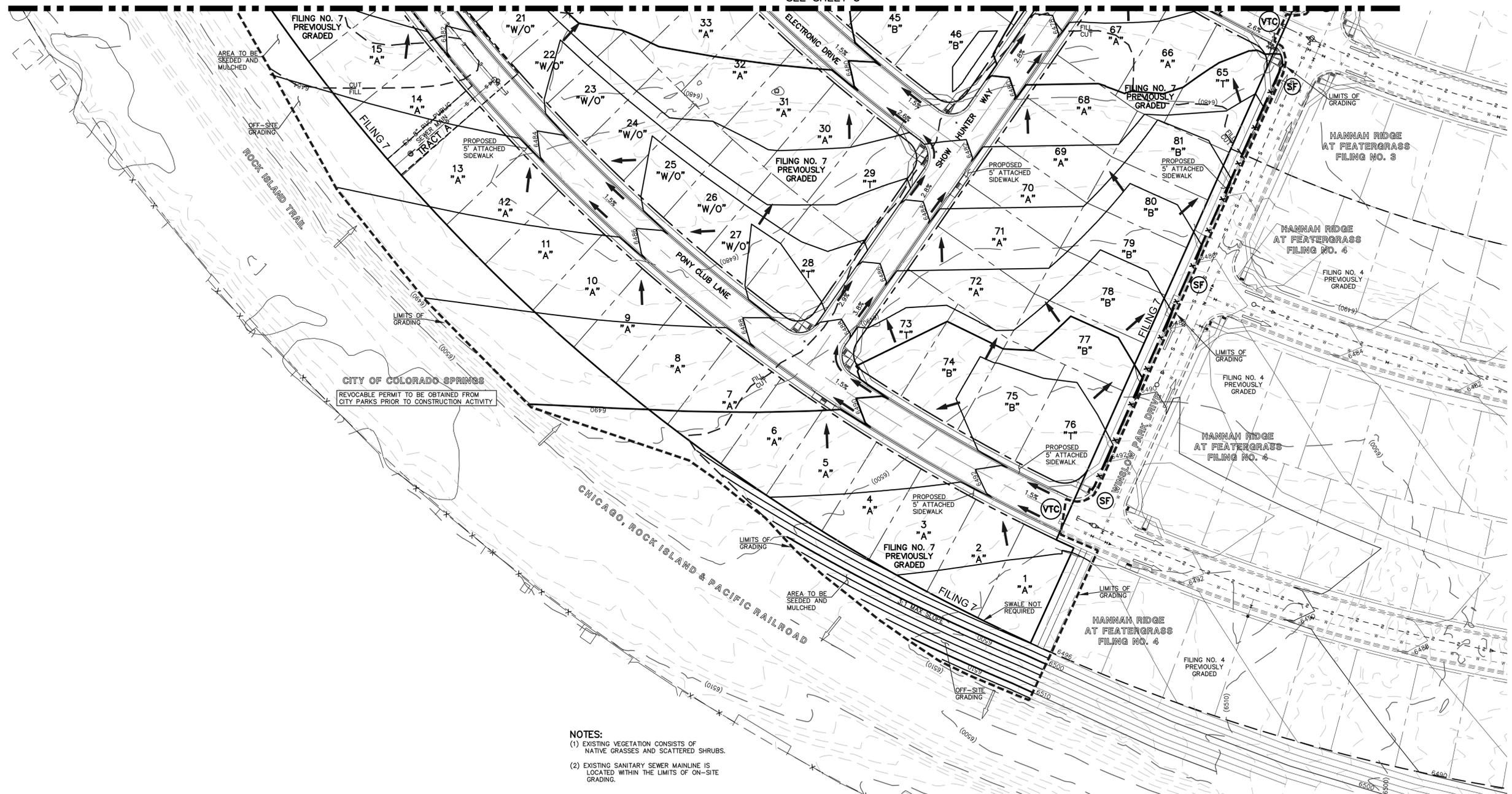
NOTE:
 SEE SHEET 5 FOR LOT TEMPLATES
 SEE SHEET 5 FOR EROSION CONTROL DETAILS

<p>48 HOURS BEFORE YOU DIG, CALL UTILITY LOCATORS 811 UTILITY NOTIFICATION CENTER OF COLORADO IT'S THE LAW</p> <p>THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.</p>	<table border="1"> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISION	DATE							<p>REVIEW:</p> <p>PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC</p> <p>KYLE R. CAMPBELL, COLORADO P.E. #29794 DATE</p>
NO.	REVISION	DATE									

**HANNAH RIDGE AT FEATHERGRASS
 FILING NO. 5, 6 & 7
 OVERLOT GRADING AND EROSION CONTROL PLAN**

DESIGNED BY	KRC	SCALE	DATE	10/12/18
DRAWN BY	KC	(H) 1" = 50'	SHEET	2 OF 11
CHECKED BY	(V)	1" = NA	JOB NO.	1116.05

719)785-0790
 719)785-0799(Fax)



- NOTES:**
- (1) EXISTING VEGETATION CONSISTS OF NATIVE GRASSES AND SCATTERED SHRUBS.
 - (2) EXISTING SANITARY SEWER MAINLINE IS LOCATED WITHIN THE LIMITS OF ON-SITE GRADING.

NOTES:

AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF THE CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
 WATER QUALITY CONTROL DIVISION
 WQCD - PERMITS
 4300 CHERRY CREEK DRIVE SOUTH
 DENVER, CO 80246-1530
 ATTN: PERMITS UNIT

NO PORTION OF THIS SITE IS LOCATED WITHIN A FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAPS (F.I.R.M.) MAP NUMBER 0804100752F AND EFFECTIVE DATE, MARCH 17, 1997.

THE AVERAGE SOIL CONDITION REFLECTS PRING COURSE SANDY LOAM AS DETERMINED BY THE "SOIL SURVEY OF EL PASO COUNTY AREA" PREPARED BY THE U.S. SOIL CONSERVATION SERVICE.

EXISTING VEGETATION CONSISTS OF TALL NATIVE GRASSES AND WEEDS WITH SPORADIC CACTI AND YUCCAS THROUGH-OUT THE SITE.

EMERGENCY OVERFLOW SWALES FOR INLETS IN THE INTERIM UNTIL CURB AND ASPHALT IS INSTALLED WILL BE THE LOTS, FINAL WILL BE TO OVERTOP THE HIGH POINT IN ROADWAY TO THE NEXT AVAILABLE INLET OR TO PROPOSED POND.

STOCKPILE LOCATIONS FOR HOMEBUILDING TO BE ON EACH INDIVIDUAL LOT THAT IS BEING BUILT UPON.

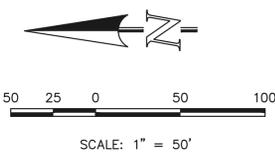
LIMITS OF DISTURBANCE FOR THIS PLAN INCLUDE UTILITY INSTALLATION AND ROADWAY CONSTRUCTION WITHIN THE R.O.W., AND OVERLOT GRADING FOR DEVELOPMENT THEN INDIVIDUAL LOTS FOR HOMEBUILDING ONCE CONSTRUCTION OF THE HOME BEGINS.

GRADING WITHIN THIS PHASE WILL BE FULLY DEVELOPED WITH HOME BUILDING OPERATIONS.

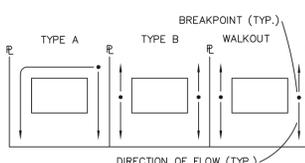
LOCATION OF STORAGE FOR MAINTENANCE EQUIPMENT AND TEMPORARY DISPOSAL AREAS WILL BE ADDED TO THIS PLAN BY SWMP ADMINISTRATOR UPON COORDINATION WITH SELECTED CONTRACTOR.

ALL AREAS ARE TO BE RESEEDD OUTSIDE OF THE FILING NO. 5, 6 AND 7 AREA. RESEED ALL AREAS AS NEEDED TO PREVENT EROSION AND SEDIMENT RUNOFF ONTO CONSTRUCTION ACTIVITIES.

ALL RETAINING WALLS TO BE STACKED BLOCK WALLS. BUILDING PERMIT REQUIRED FOR WALLS 4' OR TALLER.



LOCATION OF STAGING AREAS, STORAGE FOR MAINTENANCE EQUIPMENT, CONCRETE WASHOUT AREAS AND TEMPORARY DISPOSAL AREAS WILL BE ADDED TO THIS PLAN BY SWMP ADMINISTRATOR UPON COORDINATION WITH SELECTED CONTRACTOR AND SHALL BE WITHIN CONSTRUCTION SITE BOUNDARIES AS SHOWN.



NOTE:
SIDE LOT LINE SWALES ARE REQUIRED FOR ALL LOTS.

LOT DRAINAGE TYPES

LEGEND

(6770)	EXISTING CONTOUR		PROPOSED RETAINING WALL
6770	PROPOSED CONTOUR		TEMPORARY SEDIMENT BASIN
---	FILING LINE		SILT FENCE
---	BOUNDARY/R.O.W. LINE		INLET PROTECTION
→	EXISTING FLOW DIRECTION		VEHICLE TRACKING CONTROL
→	PROPOSED FLOW		
"A"	A LOT		
"B"	B LOT		
"W/O"	WALKOUT LOT		
"T"	TRANSITION LOT		
"G"	GARDEN LOT		
	PROPOSED INLET		
	PROPOSED STORM SEWER PIPE		
HP	PROPOSED HIGH POINT		
LP	PROPOSED LOW POINT		

NOTE:
SEE SHEET 5 FOR LOT TEMPLATES
SEE SHEET 5 FOR EROSION CONTROL DETAILS

48 HOURS BEFORE YOU DIG, CALL UTILITY LOCATORS 811 UTILITY NOTIFICATION CENTER OF COLORADO IT'S THE LAW		NO. REVISION	DATE
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.			

REVIEW:	DATE
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC	
KYLE R. CAMPBELL, COLORADO P.E. #29794	

CLASSIC
 CONSULTING ENGINEERS & SURVEYORS

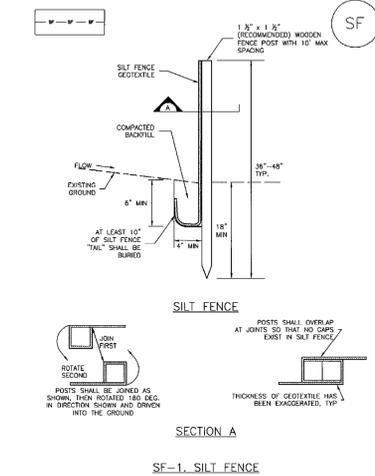
619 N. Cascade Avenue, Suite 200
 Colorado Springs, Colorado 80903
 (719)785-0790
 (719)785-0799(Fax)

HANNAH RIDGE AT FEATHERGRASS FILING NO. 5, 6 & 7 OVERLOT GRADING AND EROSION CONTROL PLAN			
DESIGNED BY	KRC	SCALE	DATE 10/12/18
DRAWN BY	KC	(H) 1"= 50'	SHEET 4 OF 11
CHECKED BY	(V)	(V) 1"= NA	JOB NO. 1116.05



Silt Fence (SF)

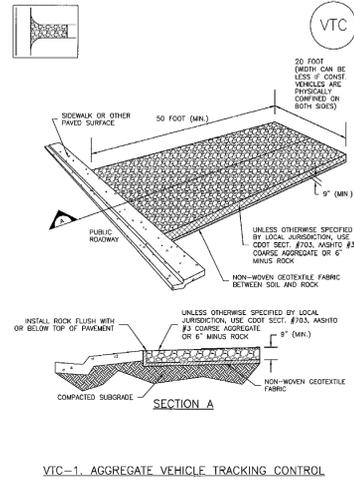
SC-1



November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 SF-3

Vehicle Tracking Control (VTC)

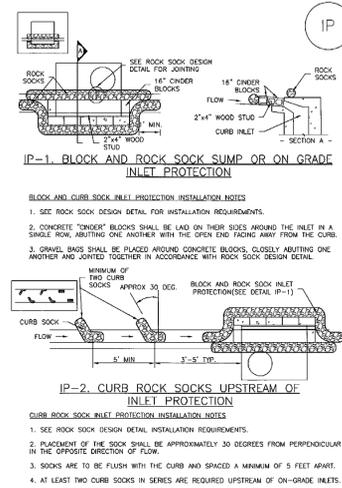
SM-4



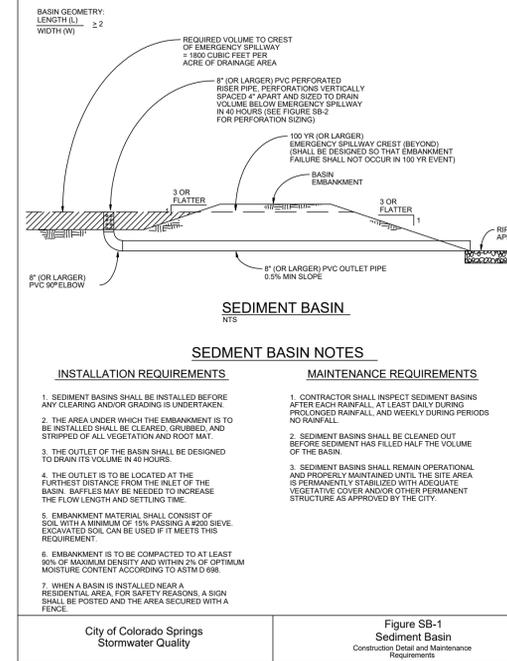
November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 VTC-3

SC-6

Inlet Protection (IP)



November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 IP-4



City of Colorado Springs Stormwater Quality Figure SB-1 Sediment Basin Construction Detail and Maintenance Requirements

TABLE SB-1

Depth (ft)	Depth at Outlet (ft)							
	1.0	1.5	2.0	2.5	3.0	3.5	4.0	4.5
2	15.04	7.71	5.10	3.76	2.95	2.41	2.02	1.73
1	7.52	3.86	2.55	1.88	1.48	1.21	1.01	0.87
0.6	4.51	2.31	1.53	1.13	0.89	0.72	0.61	0.52
0.4	3.01	1.54	1.02	0.75	0.59	0.48	0.40	0.35
0.2	1.50	0.77	0.51	0.38	0.30	0.24	0.20	0.17
0.1	0.75	0.39	0.26	0.19	0.15	0.12	0.10	0.09
0.06	0.45	0.23	0.15	0.11	0.09	0.07	0.06	0.05
0.04	0.30	0.15	0.10	0.08	0.06	0.05	0.04	0.03
0.02	0.15	0.08	0.05	0.04	0.03	0.02	0.02	0.02
0.01	0.08	0.04	0.03	0.02	0.01	0.01	0.01	0.01

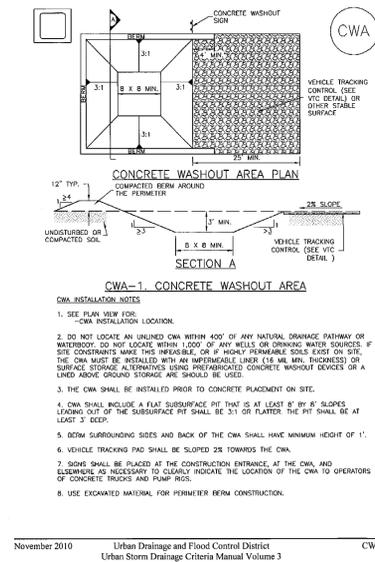
TABLE SB-2

Circular Perforation Sizing	Hole Diameter (in)	Area per Row (in ²)	
		n=1	n=3
1/4	0.250	0.05	0.10
3/8	0.375	0.08	0.15
1/2	0.500	0.15	0.30
5/8	0.625	0.25	0.50
3/4	0.750	0.44	0.88
7/8	0.875	0.60	1.20
1	1.000	0.79	1.57
1 1/8	1.125	0.99	1.98
1 1/4	1.250	1.23	2.45
1 3/8	1.375	1.48	2.97
1 1/2	1.500	1.77	3.53
1 5/8	1.625	2.07	4.15
1 3/4	1.750	2.41	4.81
1 7/8	1.875	2.78	5.52
2	2.000	3.14	6.28

City of Colorado Springs Stormwater Quality Figure SB-2 Outlet Sizing Application Techniques and Maintenance Requirements

Concrete Washout Area (CWA)

MM-1

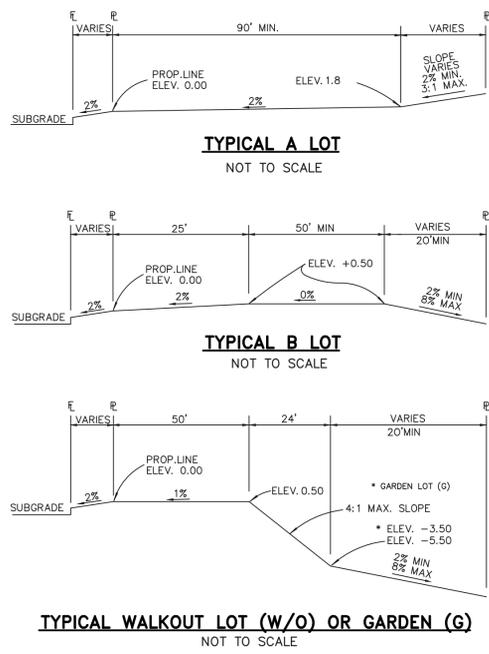


November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 CWA-3

MM-1 Concrete Washout Area (CWA)

- CWA MAINTENANCE NOTES**
1. INSPECT BMPs DAILY, MAINTAIN AND REPAIR THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 4. THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASHOUT. CONCRETE MATERIALS ACCUMULATED IN PITS SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2\"/>

November 2010 Urban Drainage and Flood Control District Urban Storm Drainage Criteria Manual Volume 3 CWA-4



NOTE:
"T" LOTS OR "TRANSITION" LOTS OCCUR IN PLACES WHERE BOTH PROPERTY LINES CANNOT BE GRADED AS THE TYPICAL STANDARD LOT TEMPLATES SHOWN. THESE LOTS WILL STILL BE GRADED TO CREATE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE.

NOTE:
SIDE LOT SWALES WILL BE PROVIDED WHERE APPROPRIATE.

SEEDING GUIDELINES

1. **SEEDBED PREPARATION**
THE SEEDBED SHOULD BE WELL-SETTLED AND FIRM, BUT FRAGILE ENOUGH THAT THE SEED CAN BE PLACED AT THE SPECIFIED DEPTHS. COMPETITIVE STANDS OF WEEDS THAT ARE PRESENT BEFORE SEEDING MUST BE CONTROLLED BY SHALLOW TILLAGE OR BY APPLICATION OF HERBICIDES. SOILS THAT HAVE BEEN OVER-COMPACTED BY TRAFFIC OR EQUIPMENT, ESPECIALLY WHEN WET, SHOULD BE TILLED TO BREAK UP ROOTING-RESTRICTIVE LAYERS, THAN HARROWED, ROLLED, OR PACKED TO PREPARE THE REQUIRED FIRM SEEDBED.
 2. **FERTILIZER**
FERTILIZER SHOULD BE APPLIED AT A RATE OF 50 POUNDS OF AVAILABLE NITROGEN PER ACRE AND 40 POUNDS OF AVAILABLE PHOSPHATE PER ACRE. THE TIME OF APPLICATION SHOULD BE IMMEDIATELY PRIOR TO SEEDING, AT THE TIME OF SEEDING, OR IMMEDIATELY FOLLOWING SEEDING, DEPENDING ON THE KIND OF FERTILIZER AND TYPE OF EQUIPMENT USED.
 3. **SEEDING**
SEED SHOULD BE PLANTED WITH A GRASS DRILL ON ALL SLOPES OF SOIL WITH MINIMUM OF 10% PASSING A #20 SIEVE. EXCAVATED SOIL CAN BE USED IF IT MEETS THIS REQUIREMENT.
SEED PLANTED WITH A DRILL SHOULD BE COVERED WITH SOIL TO A DEPTH OF 1/4 TO 3/4 INCH. SEED PLANTED BY THE BROADCAST METHOD SHOULD BE INCORPORATED INTO THE SOIL SURFACE, NOT TO EXCEED A DEPTH OF 3/4 INCH, BY RAKING, HARROWING, OR OTHER PROVEN METHOD.
THE TIME OF SEEDING IS FROM OCTOBER 15TH - MAY 31ST. SEED PLANTED IN THE LATE FALL WILL REMAIN DORMANT UNTIL SPRING, WHEN IT WILL GERMINATE.
 4. **MULCHING**
SEEDED AREAS SHOULD BE MULCHED TO CONSERVE MOISTURE, PREVENT SURFACE COMPACTION OR CRUSTING; REDUCE RUNOFF AND EROSION; CONTROL INSECTS; AND HELP ESTABLISH PLANT COVER.
NATIVE HAY OR STRAW SHOULD BE APPLIED AT A RATE OF 4,000 POUNDS PER ACRE AND CRIMPED INTO THE GROUND. ON SLOPES GREATER THAN 3:1, AN AGRONOMY BLANKET SHOULD BE USED.
 5. **SUPPLEMENTAL WATER**
IN LOW RAINFALL AREAS, WHERE WATER IS AVAILABLE AND WHERE RAPID ESTABLISHMENT IS NEEDED, IRRIGATION OF NEW SEEDING SHOULD BE PERFORMED DURING THE FIRST GROWING SEASON. WATER SHOULD BE APPLIED AT APPROXIMATELY ONE WEEK INTERVALS, AT A RATE OF 3/4 TO 1 INCH PER APPLICATION, WHEN RAINFALL IS DEFICIENT FOR PLANT DEVELOPMENT.
- 1.) THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NON-EXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.
 - 2.) DURING GRADING OPERATIONS, LOCATE AND SET THE STRAW BALE CHECK DAMS AND SILT FENCES AS SHOWN ON THE EROSION CONTROL PLAN. AT THIS TIME RESEED ALL DISTURBED AREAS WITH AN EL PASO COUNTY APPROVED SEED MIX.
 - 3.) SEEDING APPLICATION: DRILLED TO A DEPTH OF .25" TO .50" INTO SOIL WHERE POSSIBLE. BROADCAST AND RAKED TO COVER ON STEEPER THAN 3:1 SLOPES WHERE ACCESS IS LIMITED OR UNSAFE FOR EQUIPMENT.
 - 4.) MULCHING REQUIREMENT AND APPLICATION: 1.5 TONS PER ACRE NATIVE HAY MECHANICALLY CRIMPED INTO SOIL.
 - 5.) THE STRAW BALE CHECK DAMS AND SILT FENCES SHALL BE KEPT IN PLACE AND MAINTAINED UNTIL EROSION AND SEDIMENTATION POTENTIAL IS MITIGATED. REMOVAL OF SILT AND SEDIMENT COLLECTED BY THE STRAW BALES IS REQUIRED ONCE IT REACHES HALF THE HEIGHT OF THE STRAW BALES OR SILT FENCE.
 - 6.) DISTURBED SOIL SHALL BE VEGETATED WITHIN 60 DAYS AFTER SUBSTANTIAL FINAL GRADING IS COMPLETE. PROVIDE TEMPORARY VEGETATION TO DISTURBED AREAS THAT WILL HAVE A PERIOD OF EXPOSURE OF 6 MONTHS OR LONGER PRIOR TO FINAL STABILIZATION.
 - 7.) ALL FACILITIES, VEGETATION AND OTHER ITEMS REQUIRED BY THE APPROVED FINAL GRADING, EROSION CONTROL AND RECLAMATION PLAN SHALL BE PROPERLY MAINTAINED BY THE OWNERS OF THE PROPERTY. SUCH MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO KEEPING ALL EROSION CONTROL FACILITIES IN GOOD ORDER AND FUNCTIONAL, REPAIRING ANY EROSION DAMAGE THAT OCCURS, KEEPING ALL VEGETATION HEALTHY AND IN GROWING CONDITION AND REPLACING ANY DEAD VEGETATION AS SOON AS PRACTICABLE.
 - 8.) ALL SILT FENCES ARE TO BE REGULARLY INSPECTED AND REPAIRED AS NEEDED.
 - 9.) THE CONTRACTOR SHALL PROVIDE VEHICLE TRACKING CONTROL FACILITIES FOR EACH ENTRANCE/EXIT TO THE SITE. THE CONTRACTOR SHALL SUBMIT A PLAN WHICH WILL ASSURE USAGE OF THIS FACILITY BY ALL VEHICLES LEAVING THE SITE.
 - 10.) EROSION CONTROL MEASURES SHALL BE CHECKED AFTER EACH STORM EVENT AND REPAIRED WHEN NECESSARY.
 - 11.) CONTRACTOR SHALL MAINTAIN ALL TEMPORARY EROSION CONTROL FACILITIES IN GOOD WORKING ORDER UNTIL SUCH TIME AS PERMANENT FACILITIES ARE IN PLACE AND THE CONSTRUCTION MANAGER HAS APPROVED THEIR REMOVAL.
 - 12.) ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.
 - 13.) THE EROSION CONTROL MEASURES OUTLINED ON THE PLAN ARE THE RESPONSIBILITY OF THE DEVELOPER TO MONITOR AND REPLACE, REGRADE AND REBUILD AS NECESSARY UNTIL VEGETATION IS ESTABLISHED.
 - 14.) MAXIMUM ACREAGE OPEN AT ANY GIVEN TIME IS TO BE 30 ACRES.

SCHEDULE OF ANTICIPATED CONSTRUCTION ACTIVITY:

1. INSTALL INITIAL BMP'S
2. INSPECTION OF INITIAL BMP'S BY COUNTY STAFF
3. PRECONSTRUCTION MEETING WITH COUNTY STAFF

BEFORE CONSTRUCTION UPON APPROVAL	ACTIVITY	COMPLETION	EROSION CONTROL
	ALL SITE ROADWAY GRADING AND UTILITY INSTALLATION	6 MONTHS	ALL SHOWN ON GRADING PLAN

NO.	REVISION	DATE

REVIEW:
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC

KYLE R. CAMPBELL, COLORADO P.E. #29794 DATE

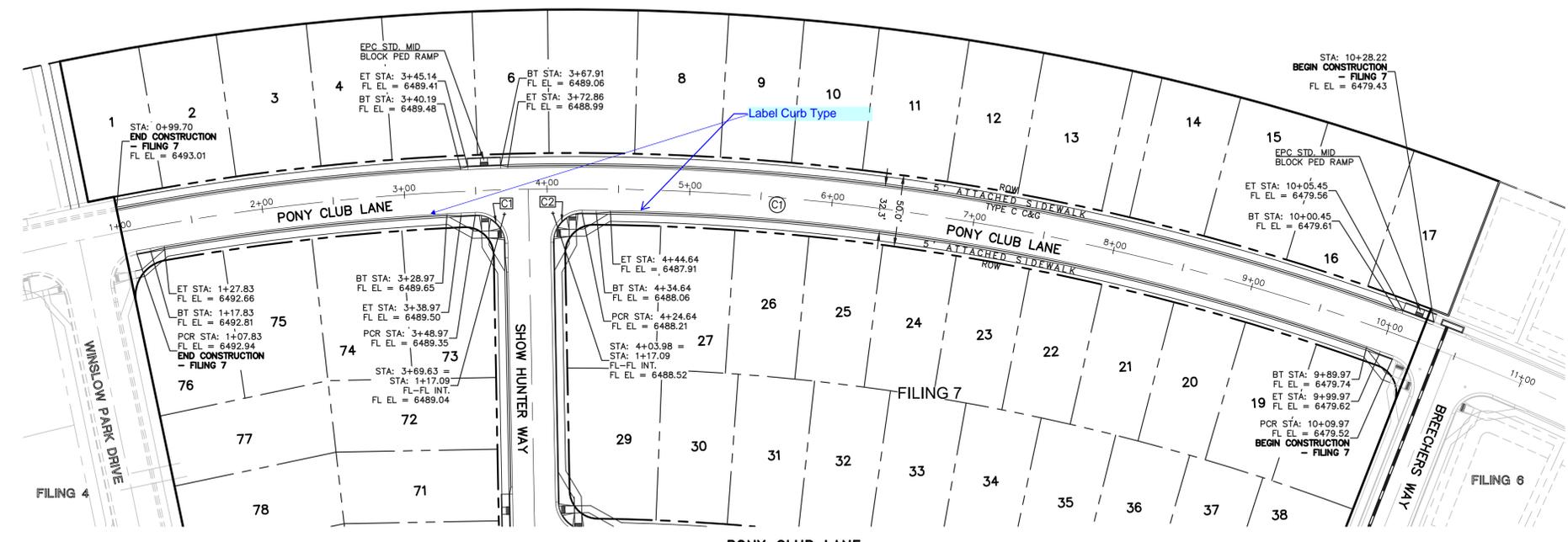
HANNAH RIDGE AT FEATHERGRASS
FILING NO. 5, 6 & 7
OVERLOT GRADING AND EROSION CONTROL PLAN
DETAILS

DESIGNED BY	KRC	SCALE	DATE	10/12/18
DRAWN BY	KC	(H) 1"= N/A	SHEET	5 OF 11
CHECKED BY	(V) 1"= N/A	JOB NO.	1116.05	

618 N. Cascade Avenue, Suite 200 Colorado Springs, Colorado 80903 (719)785-0790 (719)785-0799(Tax)



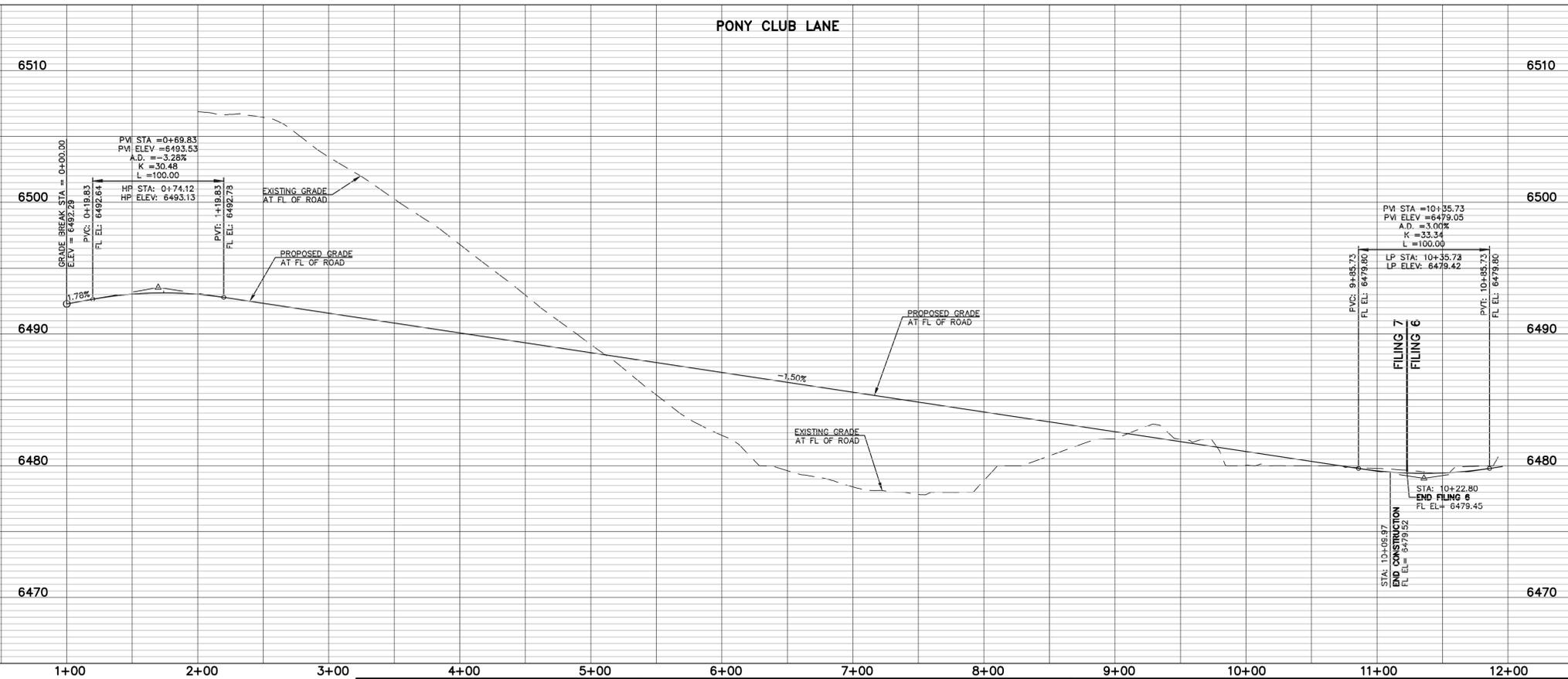
SCALE: 1" = 50'



PONY CLUB LANE
(PUBLIC 50' ROW) DESIGN SPEED - 25mph RESIDENTIAL

CENTERLINE CURVE TABLE				FL CURB CURVE TABLE			
	LENGTH	RADIUS	DELTA		LENGTH	RADIUS	DELTA
C1	922.80	1665.08	31.38	C1	31.86	20.00	91.29
				C2	31.86	20.00	91.29

STREET ABBREVIATION INDEX:
 PCL PONY CLUB LANE
 SHW SHOW HUNTER WAY



Provide Signing and Striping Plans for all three filings.

48 HOURS BEFORE YOU DIG,
CALL UTILITY LOCATORS
811
UTILITY NOTIFICATION CENTER OF COLORADO
IT'S THE LAW

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NO.	REVISION	DATE

REVIEW:
 PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF
 CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC

KYLE R. CAMPBELL, COLORADO P.E. #29794 DATE

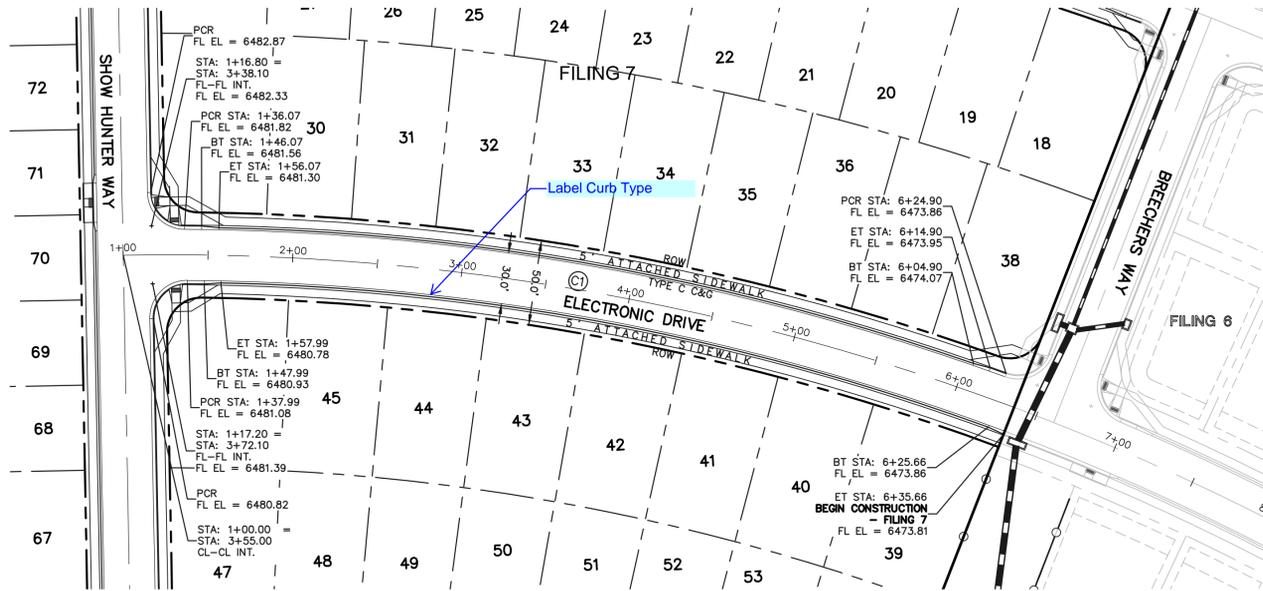
HANNAH RIDGE AT FEATHERGRASS FILING NO. 7 STREET IMPROVEMENT PLANS PONY CLUB LANE			
DESIGNED BY	KRC	SCALE	DATE 10/12/18
DRAWN BY	KC	(H) 1" = 50'	SHEET 6 OF 8
CHECKED BY	(V) 1" = 5'	JOB NO.	1116.07

N:\111605\DRAWINGS\CONSTRUCTION\FILING 7\06-111607-5-01.dwg, 10/22/2018 4:17:55 PM, 1:1

STREET ABBREVIATION INDEX:

PCB
SHW
ETD
GPC

PONY CLUB LANE
SHOW HUNTER WAY
ELECTRONIC DRIVE
GRAND PRIX COURT

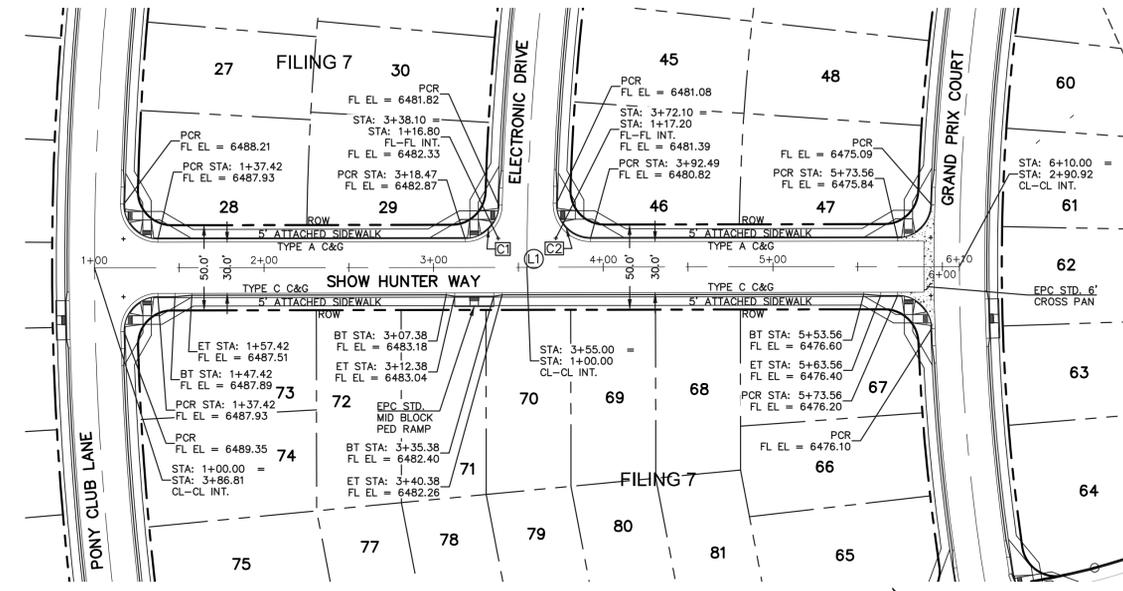


ELECTRONIC DRIVE
(PUBLIC 50' ROW) DESIGN SPEED - 25mph RESIDENTIAL

CENTERLINE CURVE TABLE			
LENGTH	RADIUS	DELTA	
C1	535.97	1430.08	21.47



SCALE: 1" = 50'

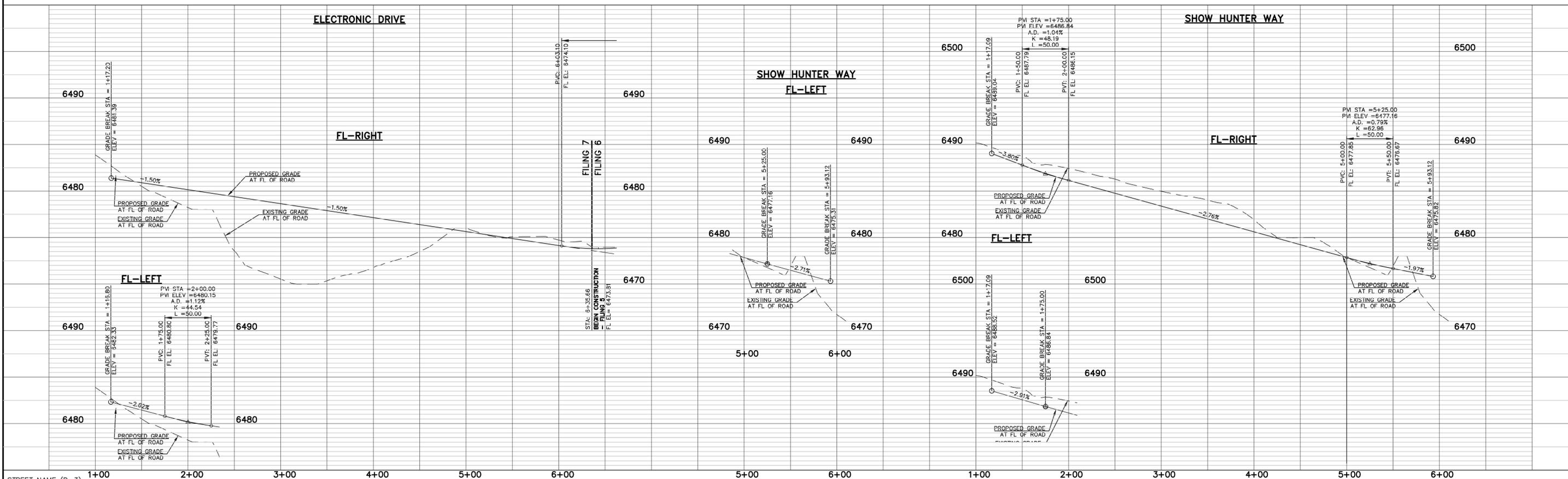


SHOW HUNTER WAY
(PUBLIC 50' ROW) DESIGN SPEED - 25mph RESIDENTIAL

CENTERLINE LINE TABLE			FL CURB CURVE TABLE			
LENGTH	BEARING		LENGTH	RADIUS	DELTA	
L1	510.00	S55° 05' 24.30"E	C1	30.91	20.00	88.55
			C2	31.95	20.00	91.52



SCALE: 1" = 50'



STREET NAME (D-3) 1+00 2+00 3+00 4+00 5+00 6+00 5+00 6+00 1+00 2+00 3+00 4+00 5+00 6+00

STREET NAME

STOP (R1-1)
(30X30)

48 HOURS BEFORE YOU DIG,
CALL UTILITY LOCATORS
811
UTILITY NOTIFICATION CENTER OF COLORADO
IT'S THE LAW

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NO.	REVISION	DATE

REVIEW:

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC

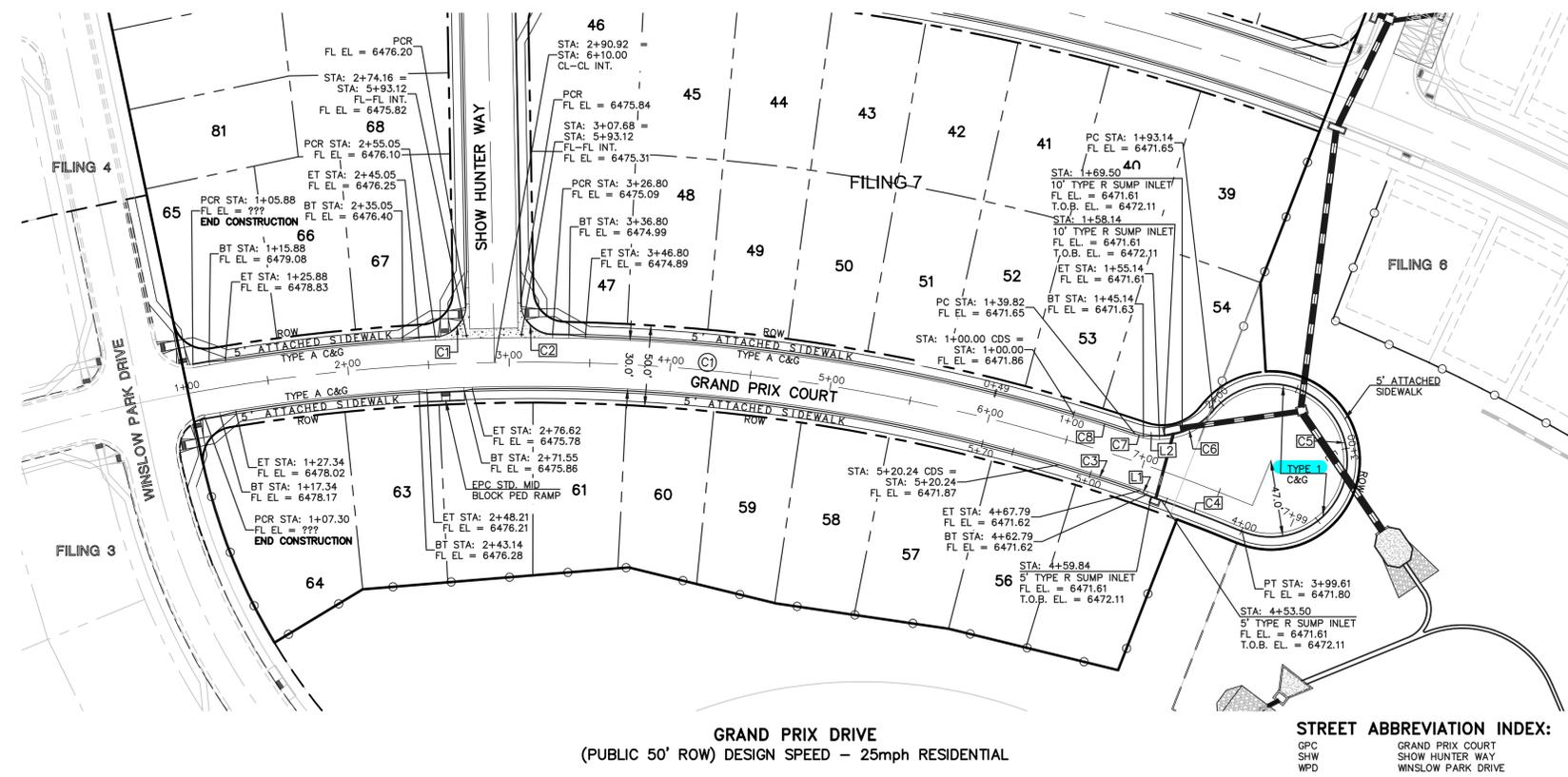
KYLE R. CAMPBELL, COLORADO P.E. #29794 DATE

618 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719)785-0790
(719)785-0799(Fax)

HANNAH RIDGE AT FEATHERGRASS
FILING NO. 7
STREET IMPROVEMENT PLANS
ELECTRONIC DRIVE/SHOW HUNTER WAY

DESIGNED BY	KRC	SCALE	DATE	10/12/18
DRAWN BY	KC	(H) 1" = 50'	SHEET	7 OF 8
CHECKED BY		(V) 1" = 5'	JOB NO.	1116.07

CLASSIC CONSULTING ENGINEERS & SURVEYORS



CENTERLINE CURVE TABLE

Curve #	Length	Radius	Delta
C1	626.86	1175.08	30.57

FL CURB CURVE TABLE

Curve #	Length	Radius	Delta
C1	30.81	20.00	88.25
C2	30.81	20.00	88.25

Parcel Line Table

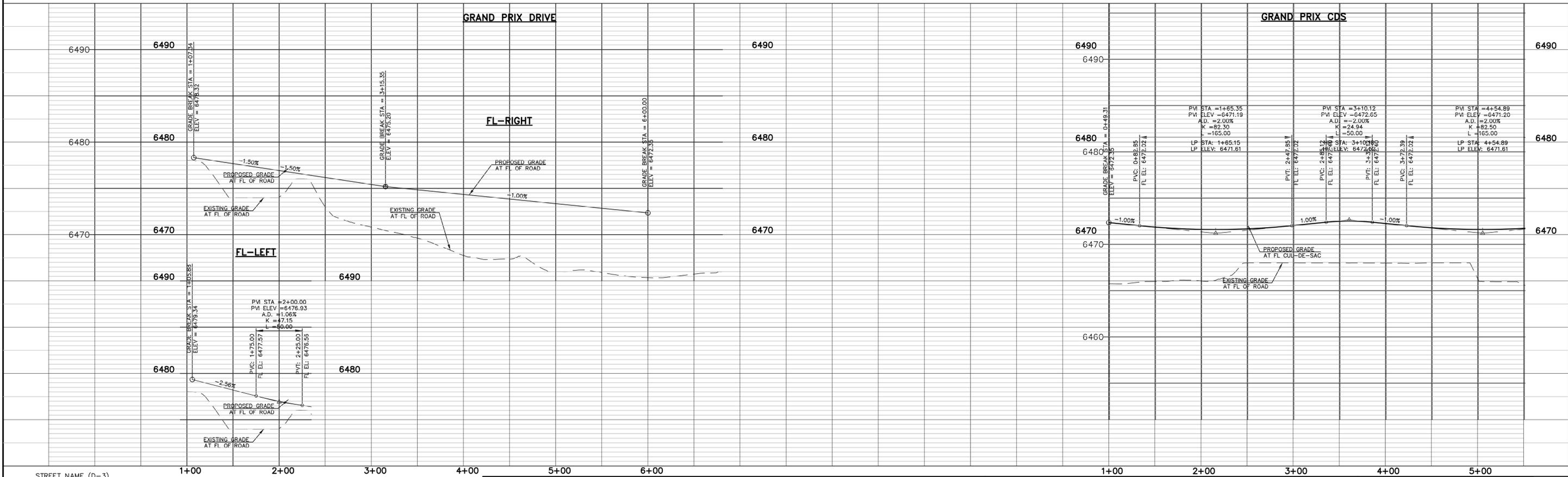
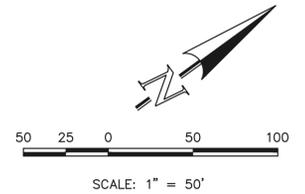
Line #	Length	Direction
L1	5.00	N64° 41' 27.13"E
L2	10.00	S36° 38' 53.64"W

Curve Table

Curve #	Length	Radius	Delta
C3	52.45	1158.91	2.59
C4	63.18	1158.08	3.13
C5	206.48	47.00	251.71
C6	38.00	45.00	48.38
C7	5.32	45.83	6.65
C8	39.82	1191.25	1.92

GRAND PRIX DRIVE
(PUBLIC 50' ROW) DESIGN SPEED - 25mph RESIDENTIAL

STREET ABBREVIATION INDEX:
GPC GRAND PRIX COURT
SHW SHOW HUNTER WAY
WPD WINLOW PARK DRIVE



48 HOURS BEFORE YOU DIG,
CALL UTILITY LOCATORS
811
UTILITY NOTIFICATION CENTER OF COLORADO
IT'S THE LAW

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NO.	REVISION	DATE

REVIEW:
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC

KYLE R. CAMPBELL, COLORADO P.E. #29794 DATE

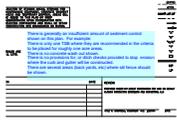
HANNAH RIDGE AT FEATHERGRASS
FILING NO. 7
STREET IMPROVEMENT PLANS
GRAND PRIX DRIVE

DESIGNED BY	KRC	SCALE	DATE	10/12/18
DRAWN BY	KC	(H) 1" = 50'	SHEET	8 OF 8
CHECKED BY		(V) 1" = 5'	JOB NO.	1116.07

N:\111605\DRAWINGS\CONSTRUCTION\FILING 7\08-111607-5-03.dwg, 10/22/2018, 4:15:46 PM, 1:1

Markup Summary

Steve Kuehster (13)



Subject: text box
Page Label: 3
Author: Steve Kuehster
Date: 11/20/2018 1:57:54 PM
Color: ■

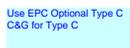
There is generally an insufficient amount of sediment control shown on this plan. For example:

There is only one TSB where they are recommended in the criteria to be placed for roughly one acre areas.
There is no concrete wash out shown.
There is no provisions for, or ditch checks provided to stop erosion where the curb and gutter will be constructed.
There are several areas (back yards, etc) where silt fence should be shown.



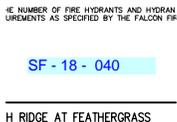
Subject: text box
Page Label: 6
Author: Steve Kuehster
Date: 11/20/2018 12:36:49 PM
Color: ■

Provide Signing and Striping Plans for all three filings.



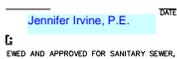
Subject: text box
Page Label: 2
Author: Steve Kuehster
Date: 11/20/2018 12:41:43 PM
Color: ■

Use EPC Optional Type C C&G for Type C



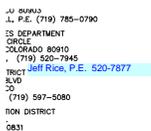
Subject: text box
Page Label: 1
Author: Steve Kuehster
Date: 11/20/2018 8:01:47 AM
Color: ■

SF - 18 - 040



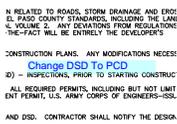
Subject: text box
Page Label: 1
Author: Steve Kuehster
Date: 11/20/2018 8:01:58 AM
Color: ■

Jennifer Irvine, P.E.



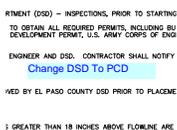
Subject: text box
Page Label: 1
Author: Steve Kuehster
Date: 11/20/2018 8:02:18 AM
Color: ■

Jeff Rice, P.E. 520-7877



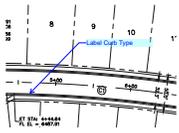
Subject: text box
Page Label: 1
Author: Steve Kuehster
Date: 11/20/2018 8:02:53 AM
Color: ■

Change DSD To PCD



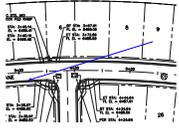
Subject: text box
Page Label: 1
Author: Steve Kuehster
Date: 11/20/2018 8:03:04 AM
Color: ■

Change DSD To PCD

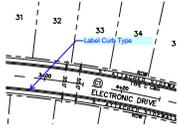


Subject: arrow & box
Page Label: 6
Author: Steve Kuehster
Date: 11/20/2018 8:06:17 AM
Color: ■

Label Curb Type



Subject: Arrow
Page Label: 6
Author: Steve Kuehster
Date: 11/20/2018 8:07:55 AM
Color: ■



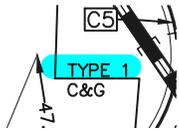
Subject: arrow & box
Page Label: 7
Author: Steve Kuehster
Date: 11/20/2018 8:10:23 AM
Color: ■

Label Curb Type



Subject: text box
Page Label: 2
Author: Steve Kuehster
Date: 11/20/2018 8:12:07 AM
Color: ■

Provide typical roadway sections.



Subject: Highlight
Page Label: 8
Author: Steve Kuehster
Date: 11/20/2018 8:39:51 AM
Color: ■