ROCKWELL HOME

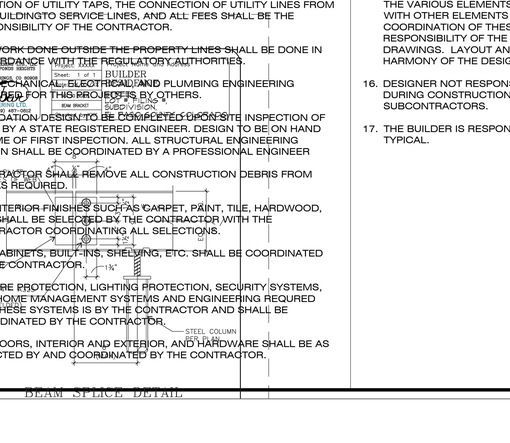
5675 Blue Bell Lane, Colorado Springs CO 80908

Separation between the two floors (potential ALQ) are to be cased openings and not doors Per JK

Approved As noted
By: Justin Kilgore
Planning Manager
Date:06/18/2024
El Paso County Planning & Community Development

GENERAL CONSTRUCTION NOTES

1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY REGULATORY AUTHORITIES.
2. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES, LAWS, AND ORDINANCES APPLICABLE TO THIS PROJECT.
3. THE CONTRACTOR SHALL VERIFY ALL SETBACKS, EASEMENTS, UTILITIES, AND MEASUREMENTS PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, THE EXACT LOCATION OF UTILITY TAPS, THE CONNECTION OF UTILITY LINES FROM THE BUILDINGTO SERVICE LINES, AND ALL FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL WORK DONE OUTSIDE THE PROPERTY LINES SHALL BE DONE IN ACCORDANCE WITH THE REGULATORY AUTHORITIES.
6. ALL MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING REQUIRED FOR THIS PROJECT IS BY OTHERS.
7. FOUNDATION DESIGN TO BE COMPLETED UPON SITE INSPECTION OF SOILS BY A STATE REGISTERED ENGINEER. DESIGN TO BE ON HAND AT TIME OF FIRST INSPECTION. ALL STRUCTURAL ENGINEERING DESIGN SHALL BE COORDINATED BY A PROFESSIONAL ENGINEER
8. CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS FROM SITE AS REQUIRED.
9. ALL INTERIOR FINISHES SUCH AS CARPET, PAINT, TILE, HARDWOOD, ETC. SHALL BE SELECTED BY THE CONTRACTOR WITH THE CONTRACTOR COORDINATING ALL SELECTIONS.
10. ALL CABINETS, BUILT-INS, SHELVING, ETC. SHALL BE COORDINATED BY THE CONTRACTOR.
11. ALL FIRE PROTECTION, LIGHTING PROTECTION, SECURITY SYSTEMS, AND HOME MANAGEMENT SYSTEMS AND ENGINEERING REQURED FOR THESE SYSTEMS IS BY THE CONTRACTOR AND SHALL BE COORDINATED BY THE CONTRACTOR.
12. ALL DOORS, INTERIOR AND EXTERIOR, AND HARDWARE SHALL BE AS SELECTED BY AND COORDINATED BY THE CONTRACTOR.
13. BUILDER TO COORDINATE INSULATION OF RESIDENCE PER LOCAL CODES, TYPICAL.
14. IT IS IMPERATIVE THAT THE CONTRACTOR OBSERVE MANUFACTURERS INSTRUCTIONS AND PROCEDURES IN INSTALLING ALL MATERIAL AND EQUIPMENT. ALL INSTRUCTIONS AND WARRANTIES OF ALL MATERIALS AND EQUIPTMENT TO BE DELIVERED TO THE BUILDER PRIOR TO CONSTRUCTION.
15. IT IS RECOGNIZED THAT THE CONTRACT DOCUMENTS ARE DIAGRAMMATIC IN SHOWING CERTAIN PHYSICAL RELATIONSHIPS OF THE VARIOUS ELEMENTS AND SYSTEMS AND THEIR INTERFACING WITH OTHER ELEMENTS AND SYSTEMS. ESTABLISHMENTS AND COORDINATION OF THESE RELATIONSHIP IS THE EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR. DO NOT SCALE THE DRAWINGS. LAYOUT AND ARRANGE ALL ELEMENTS TO CARRY THE HARMONY OF THE DESIGN THROUGHOUT THE WORK.
16. DESIGNER NOT RESPONSIBLE FOR ANY CHANGES MADE TO THIS PLAN DURING CONSTRUCTION BY OWNER, CONTRACTOR OR SUBCONTRACTORS.
17. THE BUILDER IS RESPONSIBLE FOR ALL CONSTRUCTION METHODS, TYPICAL.



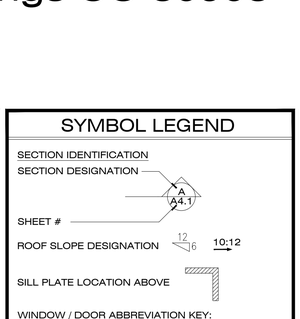
BEAM SPLICE DETAIL

ABBREVIATION LEGEND

ABV.	ABOVE
A.B.	ANCHOR BOLT
A/C	AIR CONDITIONING
A.F.F.	ABOVE FINISH FLOOR
∠	ANGLE
BD.	BOARD
BLK'G.	BLOCKING
BM.	BEAM
B.O.F.	BOTTOM OF FOOTING
C.J.	CONTROL JOINT
℄	CENTER LINE
CLG.	CEILING
CLR.	CLEAR
CMU.	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
CPT.	CARPET
CSMT.	CASEMENT
¢	PENNY
DBL.	DOUBLE
DIM.	DIMENSION
DN.	DOWN
DS.	DOWNSPOUT
D.W.	DISHWASHER
DWGS.	DRAWINGS
EA.	EACH
E.F.	EXHAUST FAN
ELEV.	ELEVATION
EXIST'G	EXISTING
EXP. JT.	EXPANSION JOINT
EXT.	EXTERIOR
F.D.	FLOOR DRAIN
F.F.	FINISH FLOOR
FIN.	FINISH
FLR.	FLOOR
F.O.F.	FACE OF FOAM
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
FTG.	FOOTING
F.V.	FIELD VERIFY
GALV.	GALVANIZED
G.I.	GALVANIZED IRON
GYP. BD.	GYPSUM BOARD
HT.	HEIGHT
HDR.	HEADER
INSUL.	INSULATION
INT.	INTERIOR
MANUF.	MANUFACTURED
MAT.	MATERIAL
MTL.	METAL
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O/	OVER
O.C.	ON CENTER
O.H.	OVERHEAD
P.	PLATE
P. LAM.	PLASTIC LAMINATE
PLYWD.	PLYWOOD
PR.	PAIR
P.T.	PRESSURE TREATED
R.	RISER
REFR.	REFRIGERATOR
REQ'D.	REQUIRED
R.O.	ROUGH OPENING
S.C.	SOLID CORE
SHTH'G	SHEATHING
SIM.	SIMILAR
S.S.	STAINLESS STEEL
STL.	STEEL
STRUCT.	STRUCTURAL
T.	TREAD
TEMP.	TEMPERED
TH.	THICK
T.O.C.	TOP OF CURB
T.O.M.	TOP OF MASONRY
T.O.P.	TOP OF PARAPET
T.O.S.	TOP OF SLAB
T.O.W.	TOP OF WALL
TYP.	TYPICAL
UNFIN.	UNFINISHED
U.N.O.	UNLESS NOTED OTHERWISE
VAR.	VARIES
V.T.R.	VENT THRU ROOF
W/	WITH
WD.	WOOD
W/O	WITHOUT
W.I.	WROUGHT IRON
W.P.	WEATHERPROOF

SYMBOL LEGEND

SECTION IDENTIFICATION



WINDOW / DOOR ABBREVIATION KEY:

SH:	SINGLE HUNG
FIX:	FIXED FRAME
SLDR:	HORIZONTAL SLIDER
SGD:	SLIDING DOOR
TEMP:	TEMPERED GLAZING REQUIRED
PCKT:	POCKET DOOR
BP:	BI-PASS SLIDING DOOR
BF:	BI-FOLD DOOR

PROJECT DIRECTORY

BUILDER:	Custom Design Builders Ben Woody ben@customdesignbuilders.net (719)488-9600
ARCHITECTURAL:	J.P. DESIGN - Forever Homes Jason Pederson, AIBD jason@jpdesignhomes.com
STRUCTURAL:	MIBAR Engineering 6825 Silver Ponds Heights #101 Colorado Springs, CO 80908 719.487.0812

PROJECT DATA

BUILDING TYPE:	V-B
BUILDING OCCUPANCY:	R-3
BUILDING HEIGHT ABOVE TOP OF FOUNDATION:	29'-7"
MAIN LEVEL TOTAL	2,627 S.F.
UPPER LEVEL AREA	784 S.F.
LOWER LEVEL AREA	2,435 S.F.
UPPER DECK	32 S.F.
FRONT PORCH	72 S.F
REAR DECK	185 S.F.
GARAGE TOTAL	1,120 S.F.

SHEET INDEX

PROJECT INFORMATION

FOREVER HOMES
JP DESIGN

PROJECT INFORMATION:
ROCKWELL RESIDENCE
5675 Blue Bell Lane
Colorado Springs, CO 80908

BUILDER INFO:
Company: CUSTOM DESIGN BUILDERS
Builder: Ben Woody
Phone: (719) 488-9600
Email: ben@customdesignbuilders.net

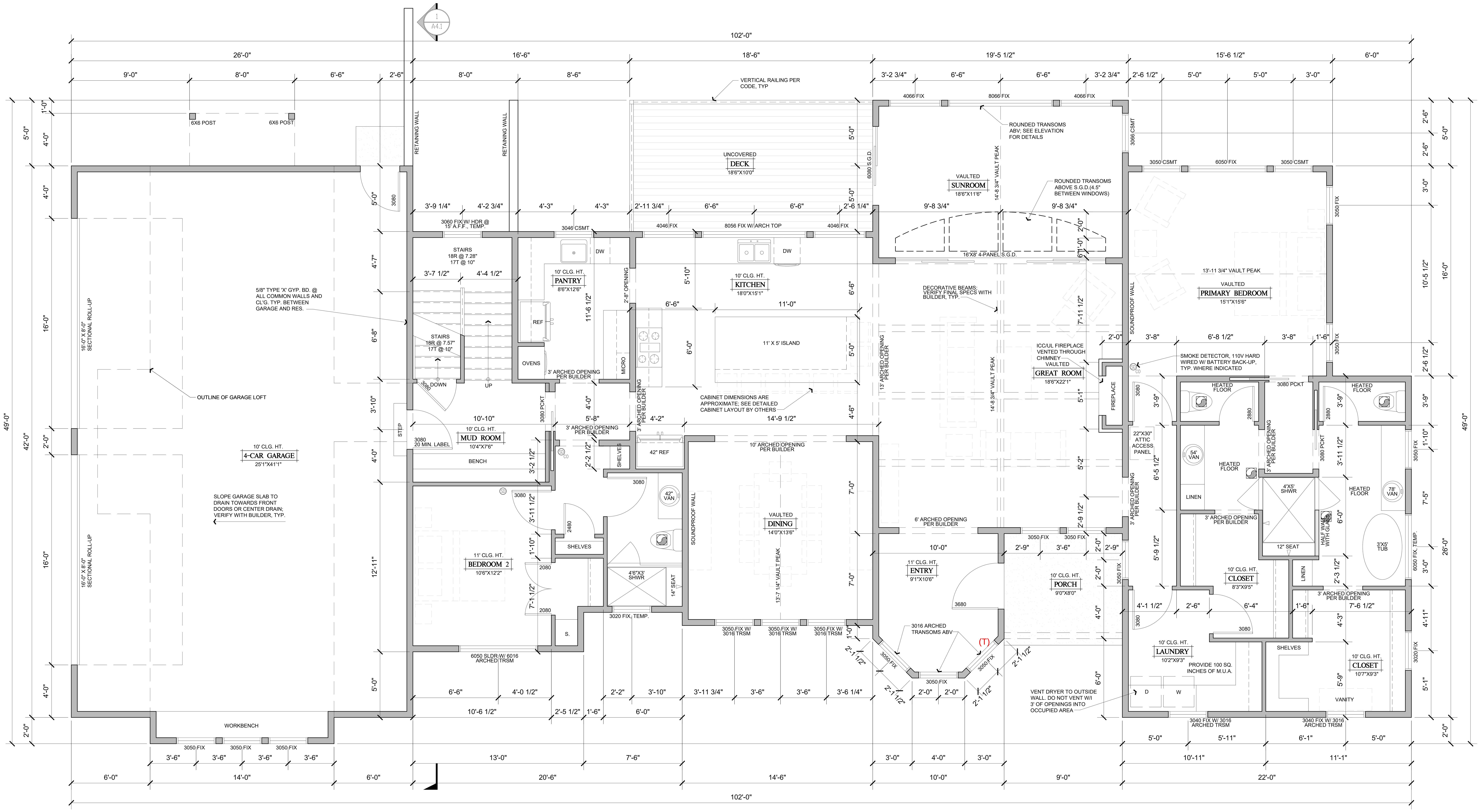
Released for Permit
05/17/2024 12:25:51 PM
EL PASO COUNTY
CONSTRUCTION

SHEET TITLE: PROJECT INFORMATION

DESIGNER INFO:
JP Design, LLC
Jason Pederson, AIBD
jason@jpdesignhomes.com

DATE: 4-11-2024
SCALE: 1/4" = 1'-0"
STATUS: Construction

SHEET:
A 1.0



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

MAIN FLOOR AREA:	2,627 S.F.
GARAGE AREA:	1,120 S.F.
FRONT PORCH AREA:	72 S.F.
REAR DECK AREA:	185 S.F.

GENERAL FLOOR PLAN NOTES

1. ALL NEW EXTERIOR WALLS TO BE 2X6 STUDS AT 16" O.C. WITH DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE, U.O.N. WTIH INSULATION, VAPOR BARRIER, AND SHEATHING PER CODE, TYPICAL.
2. ALL INTERIOR WALLS TO BE 2X4 STUDS U.O.N.
3. WINDOWS SHOWN SHALL BE PER OWNER SELECTION.
4. CEILING HEIGHT MAY VARY DUE TO STRUCTURAL ISSUES.
5. ALL WINDOWS AND DOORS TO BE CENTERED IN ROOM U.N.O.
6. ALL WINDOW HEADER HEIGHTS SHALL BE 8'-0" U.N.O.
7. OWNER TO SELECT ALL FINISHES FOR FLOORS, WALLS, CEILINGS, DOORS, TRIM, CABINETS, TOPS, ELEC & PLUMBING FIXTURES, ETC. AS REQUIRED, WITH THE BUILDER TO COORDINATE.

GENERAL FLOOR PLAN NOTES (CONTINUED)

8. STRUCTURAL FLOOR AND ROOF SYSTEMS PER OWNER, BUILDER AND ENGINEER, TYPICAL.
9. GARAGE FINISH REQUIREMENTS: INSULATE PER CODE AND APPLY 5/8" FIRECODE TYPE "X" GYPSUM BOARD TO ALL WALLS ADJACENT TO LIVABLE SPACE. INSULATE GARAGE CEILINGS PER CODE AND APPLY 5/8" FIRECODE TYPE "X" GYPSUM BOARD WHERE LIVABLE SPACE OCCURS ABOVE THE GARAGE. WRAP ALL STRUCTURAL AND MECHANICAL COMPONENTS IN GARAGES TO CREATE CONTINUOUS FIRE RATED ASSEMBLY. PROVIDE SOLID CORE DOOR (MINIMUM 20 MINUTE RATING) WITH SPRING LOADED SELF CLOSING HINGES WITH TIGHT FITTING WEATHER-STRIPPING AT HOUSE TO GARAGE DOOR OPENING.
10. STAIRWAYS ARE TO CONFORM TO SECTION R311.5 OF THE IRC. TOP OF STAIR HANDRAILS TO BE MINIMUM 34" TO A MAXIMUM OF 38" ABOVE THE STAIR NOSING AND SHOULD BE CONTINUOUS THE FULL LENGTH OF THE STAIR RUN. HANDRAILS TO BE A MINIMUM OF 1-1/2" TO A MAXIMUM OF 2" IN DIAMETER SPACED 1-1/2" FROM THE WALL TERMINATING IN NEWEL POSTS OR RETURN TO WALL. MINIMUM HEADROOM CLEARANCE MEASURED ABOVE THE STAIR NOSING IS 6'-8". ALL GUARDRAILS TO BE MINIMUM 36" ABOVE THE FINISHED FLOOR OR STAIR NOSING. OPEN RAILINGS TO HAVE A MAXIMUM CLEAR OPENING OF 4" BETWEEN SPINDLES. RISERS NOT TO EXCEED 7-3/4" IN HEIGHT AND TREADS TO BE A MINIMUM OF 10".
11. ALL WORK TO COMPLY WITH LOCAL CODES AND ORDINANCES, TYPICAL.

FOREVER HOMES · JP DESIGN

BUILDER INFO:
Company: CUSTOM DESIGN BUILDERS
Builder: Ben Woody
Phone: (719) 488-9600
Email: ben@customdesignbuilders.net

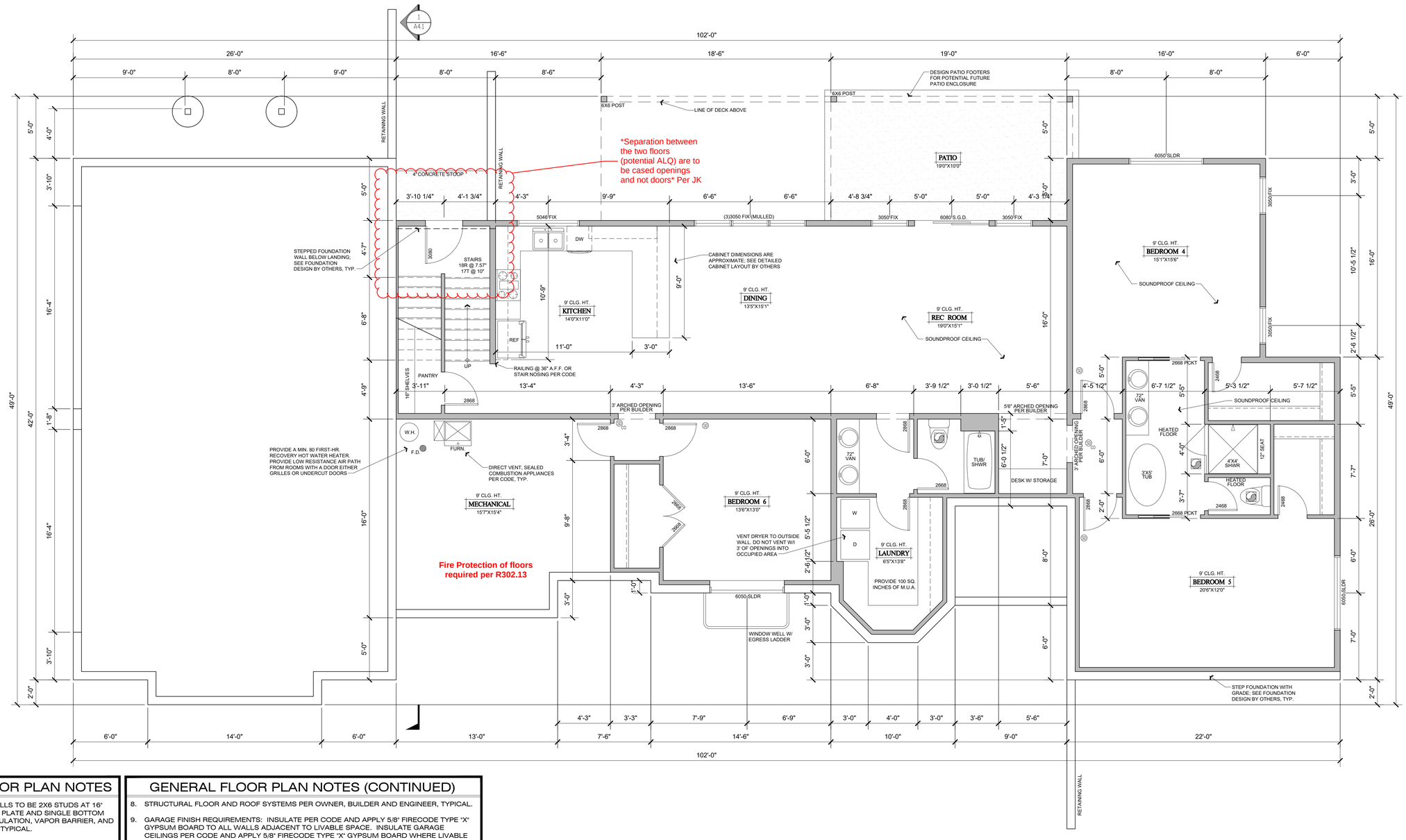
PROJECT INFORMATION:
ROCKWELL RESIDENCE
5675 Blue Bell Lane
Colorado Springs, CO 80908

SHEET TITLE: MAIN FLOOR PLAN

DESIGNER INFO:
JP Design, LLC
Jason Pederson, AIBD
jason@jpdesignhomes.com

DATE: 4-11-2024
SCALE: 1/4" = 1'-0"
STATUS: Construction

SHEET: A1.1



GENERAL FLOOR PLAN NOTES

1. ALL NEW EXTERIOR WALLS TO BE 2X6 STUDS AT 16" O.C. WITH DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE, U.O.N. WTIH INSULATION, VAPOR BARRIER, AND SHEATHING PER CODE, TYPICAL.
2. ALL INTERIOR WALLS TO BE 2X4 STUDS U.O.N.
3. WINDOWS SHOWN SHALL BE PER OWNER SELECTION.
4. CEILING HEIGHT MAY VARY DUE TO STRUCTURAL ISSUES.
5. ALL WINDOWS AND DOORS TO BE CENTERED IN ROOM U.N.O.
6. ALL WINDOW HEADER HEIGHTS SHALL BE 8'-0" U.N.O.
7. OWNER TO SELECT ALL FINISHES FOR FLOORS, WALLS, CEILINGS, DOORS, TRIM, CABINETS, TOPS, ELEC & PLUMBING FIXTURES, ETC. AS REQUIRED, WITH THE BUILDER TO COORDINATE.

GENERAL FLOOR PLAN NOTES (CONTINUED)

8. STRUCTURAL FLOOR AND ROOF SYSTEMS PER OWNER, BUILDER AND ENGINEER, TYPICAL.
9. GARAGE FINISH REQUIREMENTS: INSULATE PER CODE AND APPLY 5/8" FIRECODE TYPE 'X" GYPSUM BOARD TO ALL WALLS ADJACENT TO LIVABLE SPACE. INSULATE GARAGE CEILINGS PER CODE AND APPLY 5/8" FIRECODE TYPE 'X' GYPSUM BOARD WHERE LIVABLE SPACE OCCURS ABOVE THE GARAGE. WRAP ALL STRUCTURAL AND MECHANICAL COMPONENTS IN GARAGES TO CREATE CONTINUOUS FIRE RATED ASSEMBLY. PROVIDE SOLID CORE DOOR (MINIMUM 20 MINUTE RATING) WITH SPRING LOADED SELF CLOSING HINGES WITH TIGHT FITTING WEATHER-STRIPPING AT HOUSE TO GARAGE DOOR OPENING.
10. STAIRWAYS ARE TO CONFORM TO SECTION R311.5 OF THE IRC. TOP OF STAIR HANDRAILS TO BE MINIMUM 34" TO A MAXIMUM OF 38" ABOVE THE STAIR NOSING AND SHOULD BE CONTINUOUS THE FULL LENGTH OF THE STAIR RUN. HANDRAILS TO BE A MINIMUM OF 1-1/2" TO A MAXIMUM OF 2" IN DIAMETER SPACED 1-1/2" FROM THE WALL TERMINATING IN NEWEL POSTS OR RETURN TO WALL. MINIMUM HEADROOM CLEARANCE MEASURED ABOVE THE STAIR NOSING IS 6'-8". ALL GUARDRAILS TO BE MINIMUM 36" ABOVE THE FINISHED FLOOR OR STAIR NOSING. OPEN RAILINGS TO HAVE A MAXIMUM CLEAR OPENING OF 4" BETWEEN SPINDLES. RISERS NOT TO EXCEED 7-3/4" IN HEIGHT AND TREADS TO BE A MINIMUM OF 10".
11. ALL WORK TO COMPLY WITH LOCAL CODES AND ORDINANCES, TYPICAL.

BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

FINISHED LOWER LEVEL: 2,093 S.F.
UNFINISHED LOWER LEVEL: 342 S.F.

FOREVER HOMES
JP DESIGN

BUILDER INFO:
Company: CUSTOM DESIGN BUILDERS
Builder: Ben Woody
Phone: (719) 488-9600
Email: ben@customdesignbuilders.net

PROJECT INFORMATION:
ROCKWELL RESIDENCE
5675 Blue Bell Lane
Colorado Springs, CO 80908

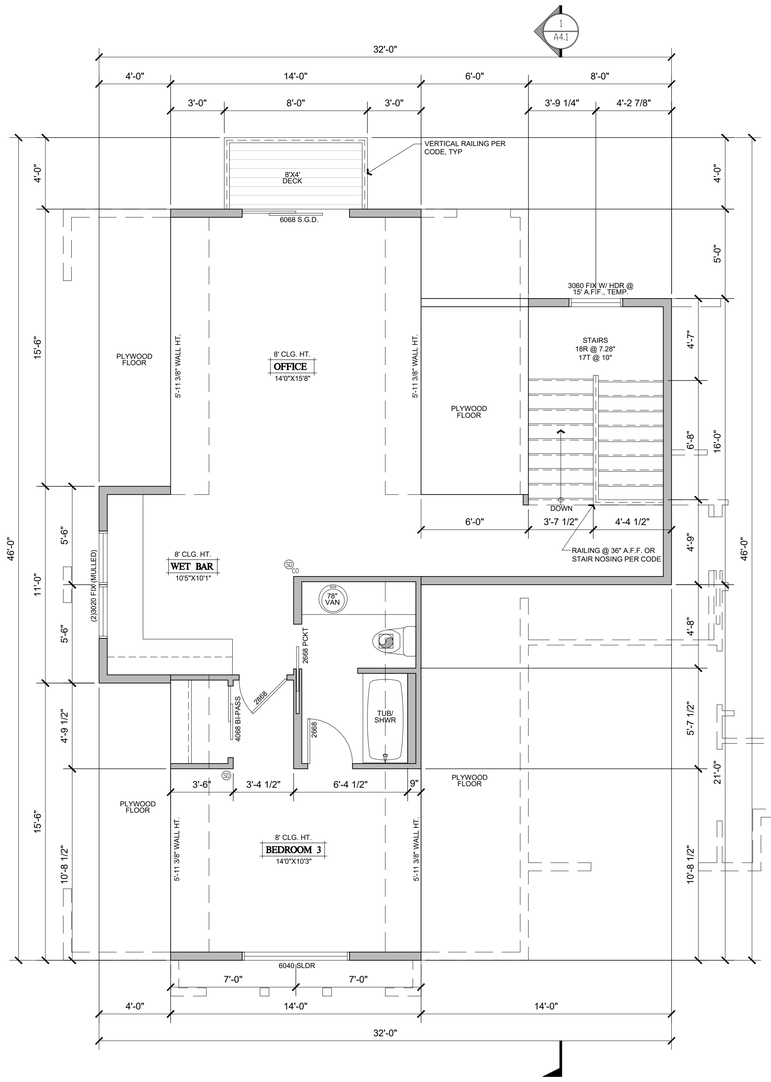
Released for Permit
05/17/2024 12:35:57 PM
Pikes Peak Regional Building Department
CONSTRUCTION

SHEET TITLE:
LOWER LEVEL FLOOR PLAN

DESIGNER INFO:
JP Design, LLC
Jason Patterson, AIBD
jason@jpdesignhomes.com

DATE: 4-11-2024
SCALE: 1/4" = 1'-0"
STATUS: Construction

SHEET:
A1.2



GENERAL FLOOR PLAN NOTES

1. ALL NEW EXTERIOR WALLS TO BE 2X6 STUDS AT 16" O.C. WITH DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE, U.O.N. WTIH INSULATION, VAPOR BARRIER, AND SHEATHING PER CODE, TYPICAL.
2. ALL INTERIOR WALLS TO BE 2X4 STUDS U.O.N.
3. WINDOWS SHOWN SHALL BE PER OWNER SELECTION.
4. CEILING HEIGHT MAY VARY DUE TO STRUCTURAL ISSUES.
5. ALL WINDOWS AND DOORS TO BE CENTERED IN ROOM U.N.O.
6. ALL WINDOW HEADER HEIGHTS SHALL BE 8'-0" U.N.O.
7. OWNER TO SELECT ALL FINISHES FOR FLOORS, WALLS, CEILINGS, DOORS, TRIM, CABINETS, TOPS, ELEC & PLUMBING FIXTURES, ETC. AS REQUIRED, WITH THE BUILDER TO COORDINATE.

GENERAL FLOOR PLAN NOTES (CONTINUED)

8. STRUCTURAL FLOOR AND ROOF SYSTEMS PER OWNER, BUILDER AND ENGINEER, TYPICAL.
9. GARAGE FINISH REQUIREMENTS: INSULATE PER CODE AND APPLY 5/8" FIRECODE TYPE "X" GYPSUM BOARD TO ALL WALLS ADJACENT TO LIVABLE SPACE. INSULATE GARAGE CEILINGS PER CODE AND APPLY 5/8" FIRECODE TYPE "X" GYPSUM BOARD WHERE LIVABLE SPACE OCCURS ABOVE THE GARAGE. WRAP ALL STRUCTURAL AND MECHANICAL COMPONENTS IN GARAGES TO CREATE CONTINUOUS FIRE RATED ASSEMBLY. PROVIDE SOLID CORE DOOR (MINIMUM 20 MINUTE RATING) WITH SPRING LOADED SELF CLOSING HINGES WITH TIGHT FITTING WEATHER-STRIPPING AT HOUSE TO GARAGE DOOR OPENING.
10. STAIRWAYS ARE TO CONFORM TO SECTION R311.5 OF THE IRC. TOP OF STAIR HANDRAILS TO BE MINIMUM 34" TO A MAXIMUM OF 38" ABOVE THE STAIR NOSING AND SHOULD BE CONTINUOUS THE FULL LENGTH OF THE STAIR RUN. HANDRAILS TO BE A MINIMUM OF 1-1/2" TO A MAXIMUM OF 2" IN DIAMETER SPACED 1-1/2" FROM THE WALL TERMINATING IN NEWEL POSTS OR RETURN TO WALL. MINIMUM HEADROOM CLEARANCE MEASURED ABOVE THE STAIR NOSING IS 6'-8". ALL GUARDRAILS TO BE MINIMUM 36" ABOVE THE FINISHED FLOOR OR STAIR NOSING. OPEN RAILINGS TO HAVE A MAXIMUM CLEAR OPENING OF 4" BETWEEN SPINDLES. RISERS NOT TO EXCEED 7-3/4" IN HEIGHT AND TREADS TO BE A MINIMUM OF 10".
11. ALL WORK TO COMPLY WITH LOCAL CODES AND ORDINANCES, TYPICAL.

LOFT FLOOR PLAN

SCALE: 1/4" = 1'-0"

LOFT FLOOR AREA: 784 S.F.
LOFT DECK AREA: 32 S.F.

FOREVER HOMES
JP DESIGN

BUILDER INFO:

Company: CUSTOM DESIGN BUILDERS
Builder: Ben Woody
Phone: (719) 488-9600
Email: ben@customdesignbuilders.net

PROJECT INFORMATION:

ROCKWELL RESIDENCE
5675 Blue Bell Lane
Colorado Springs, CO 80908

Released for Permit
05/17/2024 2:35:57 PM
Plan Type RESIDENTIAL
City Colorado Springs
Discipline CONSTRUCTION

SHEET TITLE: UPPER FLOOR PLAN

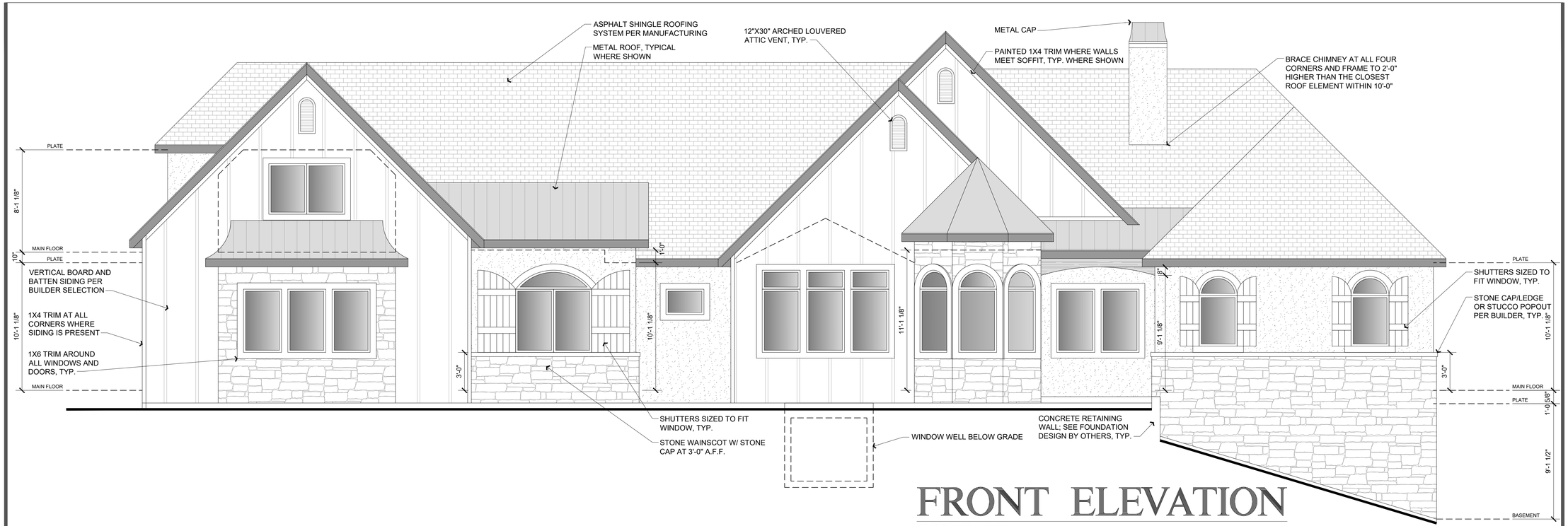
DESIGNER INFO:

JP Design, LLC
Jason Pederson, AIBD
jason@jpdesignhomes.com

DATE: 4-11-2024
SCALE: 1/4" = 1'-0"
STATUS: Construction

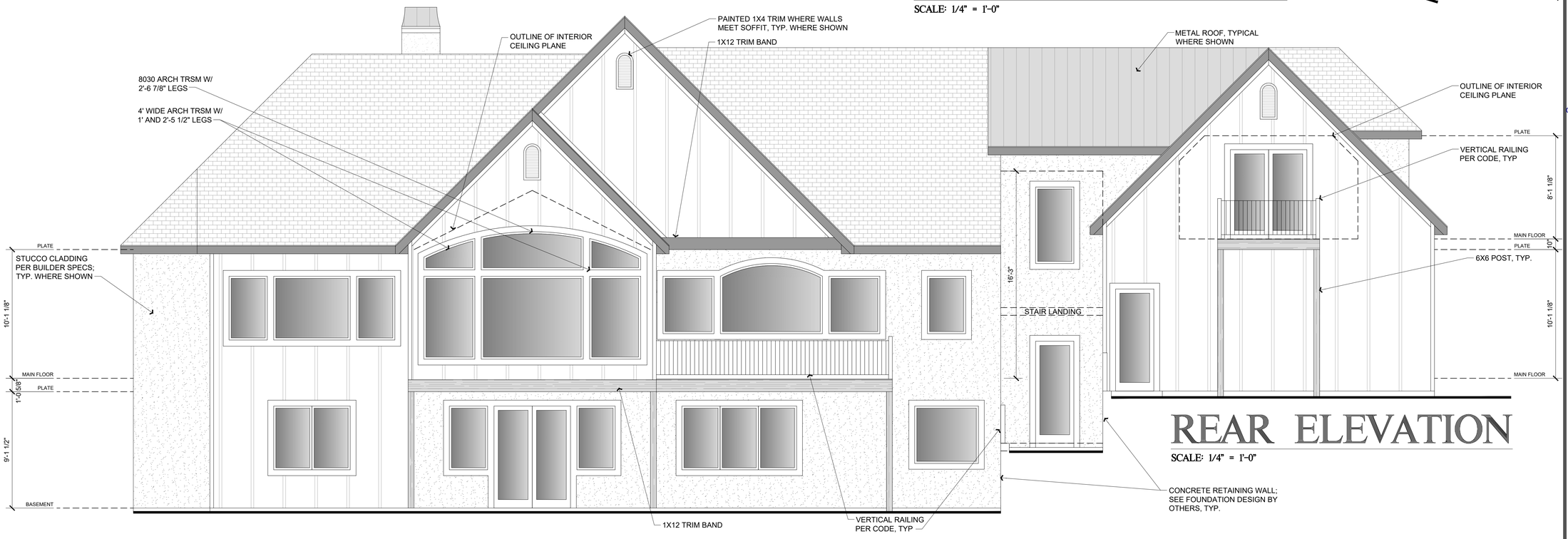
SHEET:

A 1.3



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

FOREVER HOMES
JP DESIGN

BUILDER INFO:

Company: CUSTOM DESIGN BUILDERS
Builder: Ben Woody
Phone: (719) 488-9600
Email: ben@customdesignbuilders.net

PROJECT INFORMATION:

ROCKWELL RESIDENCE
5675 Blue Bell Lane
Colorado Springs, CO 80908

SHEET TITLE:

FRONT AND REAR BUILDING ELEVATIONS

Released for Permit
05/17/2024 12:25:57 PM
EL PASO COUNTY
CONSTRUCTION

DESIGNER INFO:

JP Design, LLC
Jason Peterson, AIBD
jason@jpdesignhomes.com

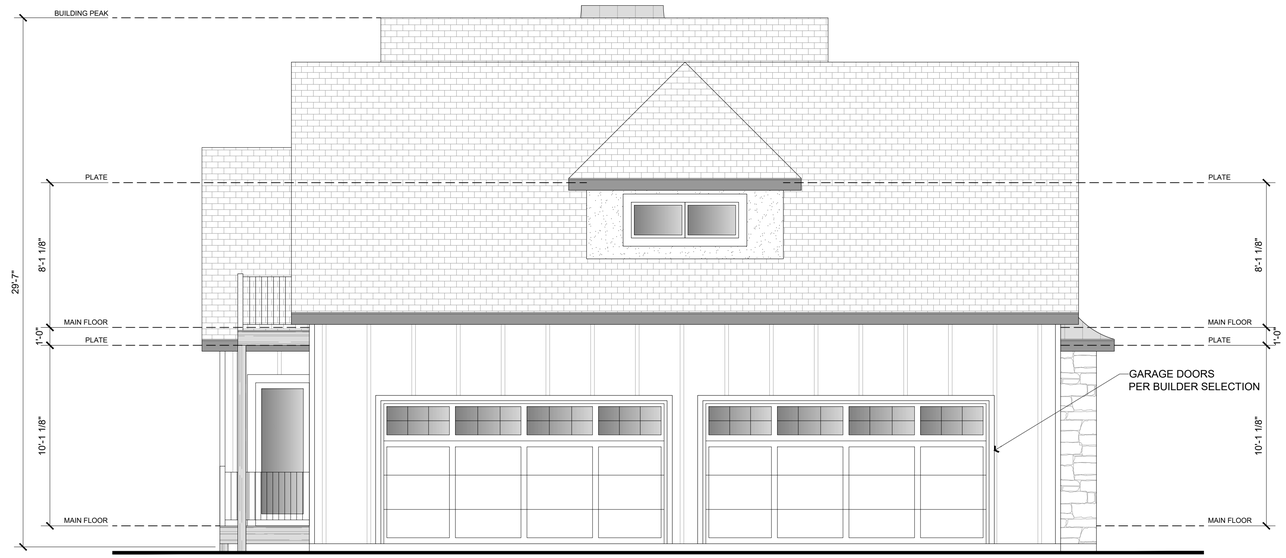
DATE: 4-11-2024
SCALE: 1/4" = 1'-0"
STATUS: Construction

SHEET:

A 2.1

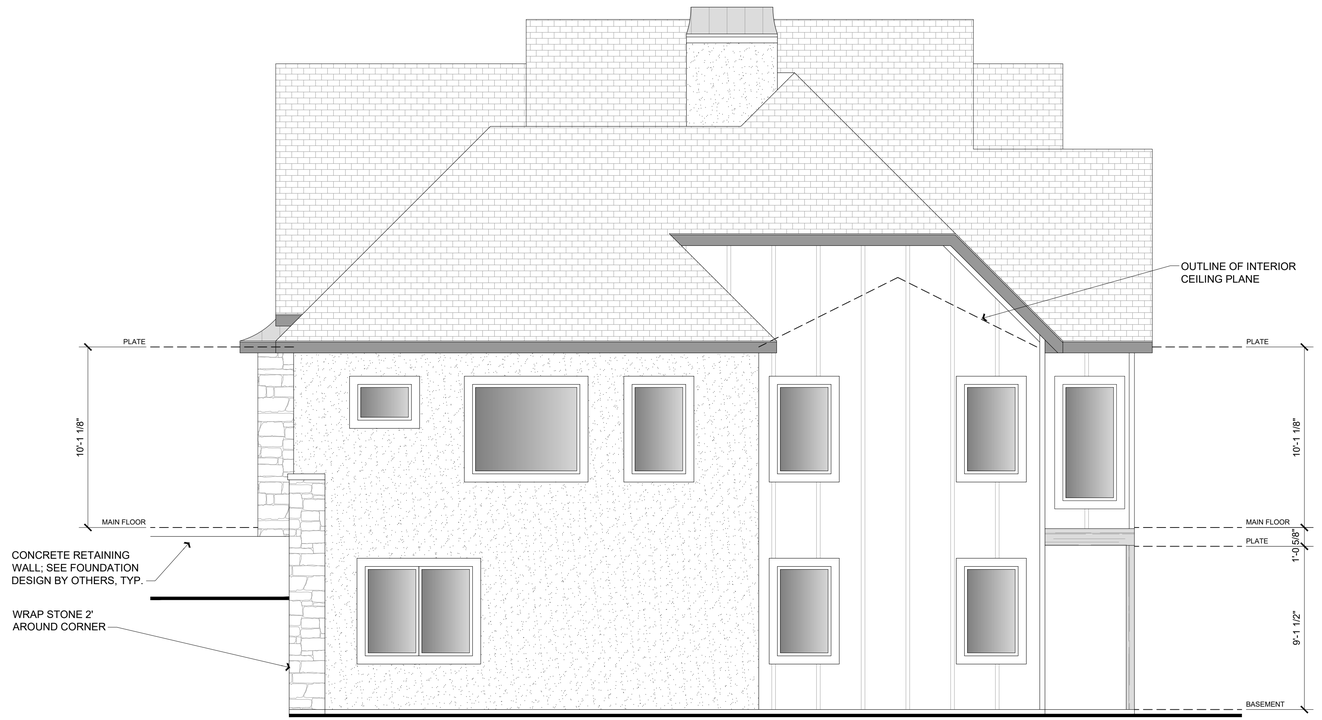
GENERAL ELEVATION NOTES

1. BUILDER TO VENT ALL ROOFS PER CODE.
2. PROVIDE ALL FLASHING AS REQUIRED FOR WEATHER TIGHT CONSTRUCTION. INSTALL AND DETAIL PER SMACNA STANDARDS.
3. SLOPE GRADE AWAY FROM FOUNDATION PER SOILS REPORT. SOILS REPORT SHALL GOVERN FOUNDATION DRAINAGE AND SLABS.
4. INSTALL ALL MATERIALS PER MANUFACTURER'S SPECIFICATIONS AND PER CODES, BUILDER TO COORDINATE.
5. WINDOW ROUGH OPENINGS TO BE VERIFIED WITH WINDOW SUPPLIER AND BUILDER TO COORDINATE.
6. BUILDER TO COORDINATE ALL EXTERIOR LIGHTING.
7. PROVIDE TEMPERED GLASS AT ALL SIDELIGHTS, EXTERIOR DOORS HAVING GLAZING AND WINDOWS AS REQUIRED BY LOCAL CODES, TYPICAL, BUILDER TO COORDINATE.
8. BUILDER TO PROVIDE AND INSTALL GUTTERS AND DOWNSPOUTS AS REQUIRED. PAINT TO MATCH ADJACENT SURFACES, BUILDER TO COORDINATE.



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

FOREVER HOMES
JP DESIGN

BUILDER INFO:
Company: CUSTOM DESIGN BUILDERS
Builder: Ben Woody
Phone: (719) 488-9600
Email: ben@customdesignbuilders.net

PROJECT INFORMATION:
ROCKWELL RESIDENCE
5675 Blue Bell Lane
Colorado Springs, CO 80908

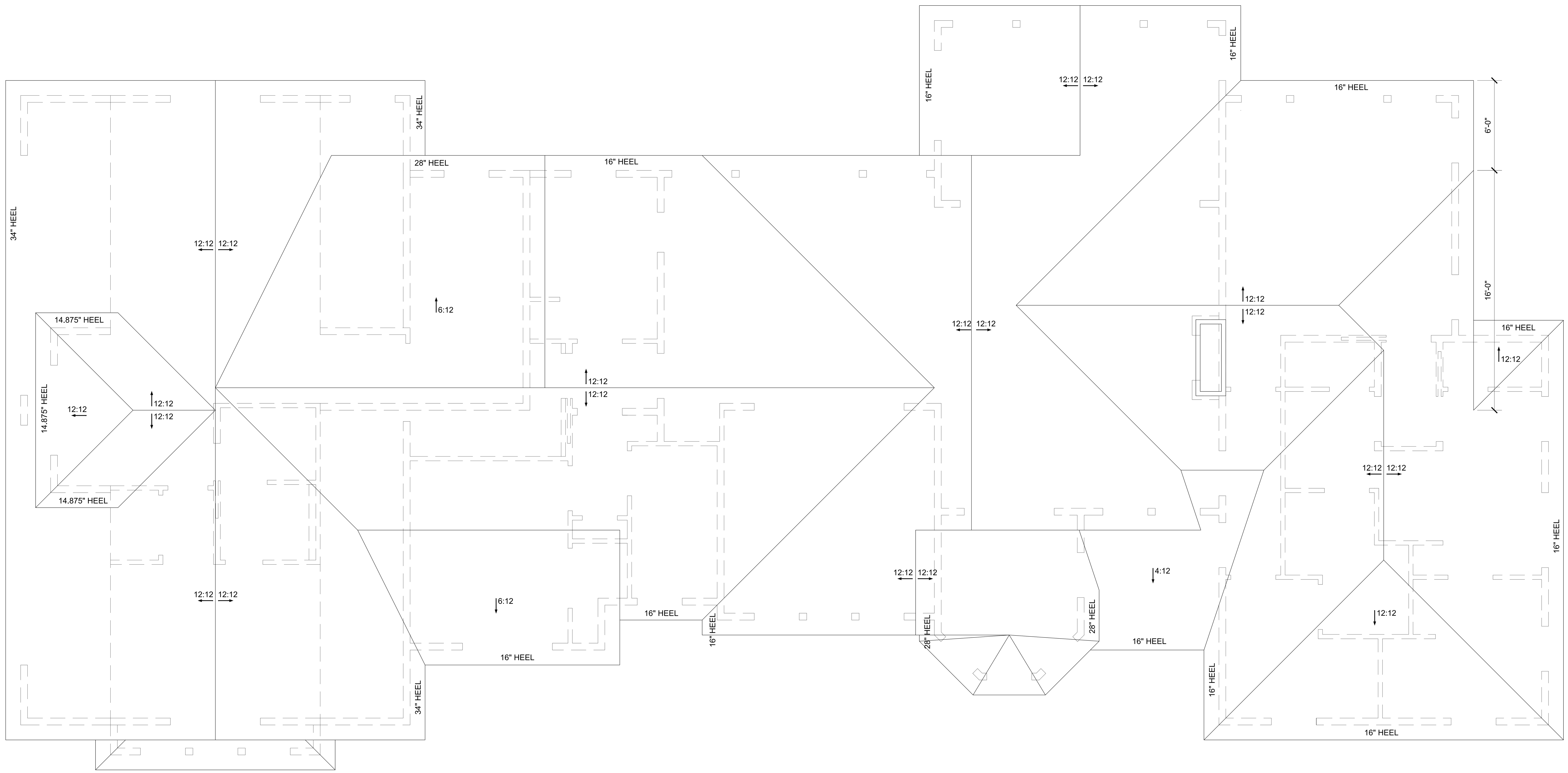
Released for Permit
05/17/2024 7:25:57 PM
PIKES PEAK REGIONAL BUILDING DEPARTMENT
CONSTRUCTION

SHEET TITLE:
LEFT AND RIGHT BUILDING ELEVATIONS

DESIGNER INFO:
JP Design, LLC
Jason Patterson, AIBD
jason@jpdesignhomes.com

DATE: 4-11-2024
SCALE: 1/4" = 1'-0"
STATUS: Construction

SHEET:
A 2.2



ROOF PLAN

SCALE: 1/4" = 1'-0"

GENERAL ROOF PLAN NOTES

1. ROOF COVERING SHALL BE LOCALLY APPROVED MATERIAL ON FELTS (BUILDER TO VERIFY FELT WT. WITH MANUFACTURER) ON EXTERIOR GRADE ROOF SHEATHING PER CODE.
2. BUILDER TO VENT ALL ROOFS PER LOCAL CODES.
3. PROVIDE ALL FLASHING PER SMACNA STANDARDS AS REQUIRED. BUILDER TO COORDINATE.
4. AS MUCH AS POSSIBLE, ALL ROOF PENETRATIONS SUCH AS FLUES, PLUMBING VENTS, ROOF VENTS, ETC. SHALL OCCUR ON THE BACKSIDE OF ALL RIDGES AWAY FROM STREET VIEW.
5. PAINT ALL VENTS, FLUES, ETC. TO MATCH ROOF COVERING, TYPICAL.
6. BUILDER TO PROVIDE AND INSTALL GUTTERS AND DOWNSPOUTS AS REQUIRED. PAINT TO MATCH ADJACENT SURFACES, BUILDER TO COORDINATE.
7. ROOFING VARIES PER SITE. BUILDER TO COORDINATE ROOFING MATERIAL AND FELT WT. PROVIDE ICE & WATER SHIELD UNDERLAYMENT AT LOCATIONS ABOVE 7000 FT. ELEVATION - CONTINUOUS FROM EDGE OF ROOF / EAVE TO A POINT 2'-0" INSIDE EXTERIOR WALL LINE.

ROOF VENTING CALCULATION

ROOF AREA = 3747 S.F.
1:300 = 12.49 S.F. x 144 SQ.IN. = 1798.56 SQ.IN. REQUIRED
EAVE VENTING: 50% = CONTINUOUS
ROOF VENTING: 50% = 900 SQ.IN. REQUIRED
ROOF VENTING: >50% = 901 SQ.IN. PROVIDED
RV-53 ROOF VENTS = 53 SQ.IN. EACH
17 RV-53 REQUIRED IN UPPER 50% OF ROOF

FOREVER HOMES
JP DESIGN

BUILDER INFO:
Company: CUSTOM DESIGN BUILDERS
Builder: Ben Woody
Phone: (719) 488-9600
Email: ben@customdesignbuilders.net

PROJECT INFORMATION:
ROCKWELL RESIDENCE
5675 Blue Bell Lane
Colorado Springs, CO 80908

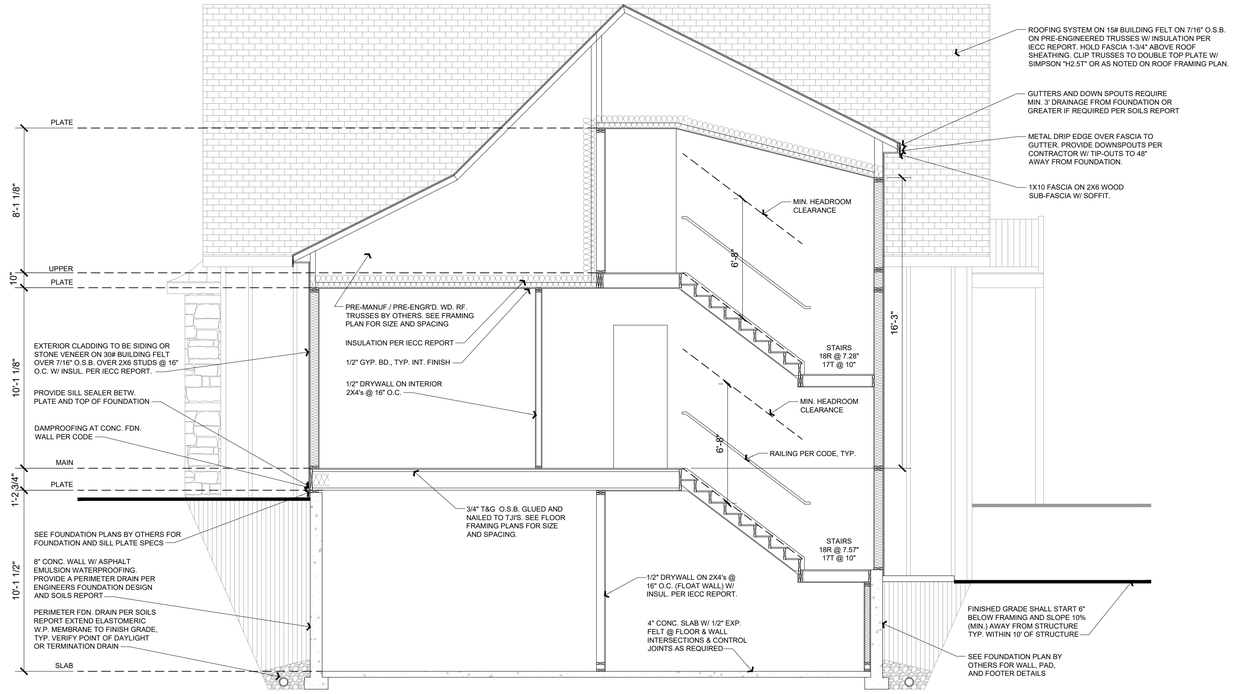
Released for Permit
05/17/2024 2:35:57 PM
Pikes Peak REGIONAL Building Department
bphillips
CONSTRUCTION

SHEET TITLE:
ROOF PLAN

DESIGNER INFO:
JP Design, LLC
Jason Pederson, AIBD
jason@jpdesignhomes.com

DATE: 4-11-2024
SCALE: 1/4" = 1'-0"
STATUS: Construction

SHEET:
A 3.1



BUILDING SECTION

SCALE: 1/4" = 1'-0"

FOREVER HOMES
JP DESIGN

BUILDER INFO:

Company: CUSTOM DESIGN BUILDERS
Builder: Ben Woody
Phone: (719) 488-9600
Email: ben@customdesignbuilders.net

PROJECT INFORMATION:

ROCKWELL RESIDENCE

5675 Blue Bell Lane
Colorado Springs, CO 80908

Released for Permit
05/17/2024 7:35:57 PM
PLANNING REGIONAL BUILDING DEPARTMENT
EL PASO COUNTY, COLORADO
CONSTRUCTION

SHEET TITLE: BUILDING PLAN

DESIGNER INFO:

JP Design, LLC
Jason Patterson, AIBD
jason@jpdesignhomes.com

DATE: 4-11-2024
SCALE: 1/4" = 1'-0"
STATUS: Construction

SHEET:

A 4.1