

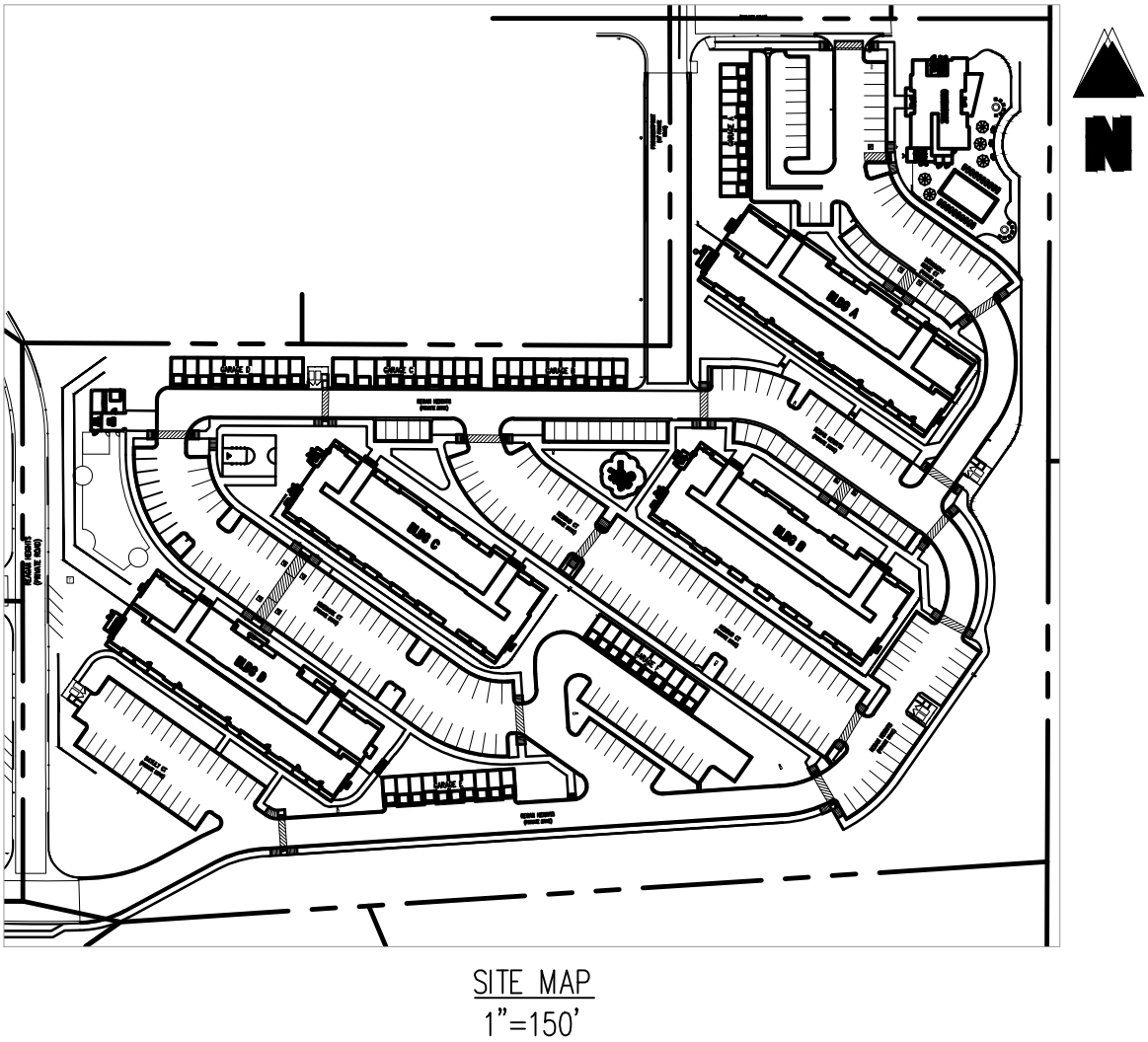
CONSTRUCTION DOCUMENTS MONUMENT RIDGE APARTMENTS

A PORTION OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 36,
TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF MONUMENT, EL PASO COUNTY, COLORADO.

GENERAL NOTES

- THE SITEWORK FOR THIS PROJECT SHALL MEET OR EXCEED THE "STANDARD SITEWORK SPECIFICATIONS."
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- ENTIRE INSTALLATION SHALL MEET ALL APPLICABLE CODES.
- VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.
- SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATING CORNERS BY A REGISTERED SURVEYOR.
- GENERAL CONTRACTOR TO PERFORM GENERAL YARD AND BUILDING CLEAN-UP AT COMPLETION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE CITY, ITS AGENTS, OWNER OR ENGINEER AT ALL TIMES. DIMENSIONS SHALL BE ANNOTATED ON AS-BUILT RECORD DRAWINGS. AS-BUILT DRAWINGS ARE REQUIRED PRIOR TO ISSUANCE OF FINAL PAYMENT. AS BUILT DRAWINGS WILL BE SUPPLIED TO OWNER AND CITY PRIOR TO FINAL PAYMENT.
- CONTRACTOR RESPONSIBLE FOR ALL WORK NECESSARY FOR FINAL ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY, INCLUDING BUT NOT LIMITED TO AS-BUILT DRAWINGS, INSPECTIONS, TESTING REPORTS AND CERTIFICATIONS.
- THE GENERAL CONTRACTOR'S SURVEYOR SHALL VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.
- CONTRACTOR TO PROVIDE ALL EQUIPMENT AND PERSONNEL REQUIRED FOR FINAL APPROVAL OF ALL FACILITIES BY OWNER'S REPRESENTATIVE.
- NO WORK IS TO BEGIN UNTIL ALL PERMITS HAVE BEEN OBTAINED. CONTRACTOR SHALL SEND COPIES OF PERMITS TO THE ENGINEER OF RECORD.
- FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY OWNER REPRESENTATIVE. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT OWNER APPROVAL.
- ALL SPOT GRADES SHOWN ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION. REFER TO EROSION CONTROL PLANS AND DETAILS FOR INFORMATION.
- GENERAL CONTRACTOR TO PROVIDE BARRICADE PROTECTION WITH FLASHING LIGHTS AROUND ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK.
- PROPOSED FLOWLINE ELEVATIONS DO NOT TAKE INTO ACCOUNT GUTTER DEPRESSIONS AT INLET.
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE OR AS REQUIRED BY UTILITY PROVIDER.
- ALL UTILITIES SHOULD BE KEPT TEN FEET (10') APART (PARALLEL) MIN. OR WHEN CROSSING 18" VERTICAL CLEARANCE MIN. (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE) UNLESS OTHERWISE INDICATED ON THE PLANS AND IN ACCORDANCE WITH CITY OF COLORADO SPRINGS STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4' COVER ON ALL WATERLINES IN ACCORDANCE WITH COLORADO SPRINGS UTILITIES STANDARDS AND SPECIFICATIONS.
- UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED LANDSCAPE ELEVATIONS WITH WATER TIGHT LID.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-INS OF ALL UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF COLORADO SPRINGS UTILITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS AND THE FINAL SERVICE CONNECTIONS SHALL BE COMPLETED AT LEAST 30 DAYS PRIOR TO STORE POSSESSION.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING ELECTRICAL PLAN.

SHEET LIST TABLE		
SHEET NUMBER	SHEET TITLE	SHEET DESCRIPTION
1	COVER SHEET	C0.0
2	SITE PLAN	C1.1
3	SITE PLAN	C1.2
4	HORIZONTAL CONTROL PLAN	C1.3
5	OVERALL GRADING	G2.0
6	GRADING KEY MAP	G2.1
7	GRADING PLAN	G2.2
8	GRADING PLAN	G2.3
9	GRADING PLAN	G2.4
10	GRADING PLAN	G2.5
11	DETENTION POND	G2.6
12	DETAILED ADA GRADING	G2.7
13	DETAILED ADA GRADING	G2.8
14	DETAILED WALL GRADING	G2.9
15	DETAILED WALL GRADING	G2.10
16	DETAILED GARAGE GRADING	G2.11
17	GRADING DETAILS	G2.12
18	GRADING DETAILS	G2.13
19	EROSION CONTROL KEY MAP	EC3.0
20	EROSION CONTROL PLAN	EC3.1
21	EROSION CONTROL PLAN	EC3.2
22	EROSION CONTROL PLAN	EC3.3
23	EROSION CONTROL PLAN	EC3.4
24	EROSION CONTROL DETAILS	EC3.5
25	EROSION CONTROL DETAILS	EC3.6
26	OVERALL STORM DRAIN	SD4.0
27	STORM DRAIN PLAN & PROFILE	SD4.1
28	STORM DRAIN PLAN & PROFILE	SD4.2
29	STORM DRAIN PLAN & PROFILE	SD4.3
30	STORM DRAIN DETAILS	SD4.4
31	STORM DRAIN DETAILS	SD4.5
32	SANITARY KEY MAP	SS5.0
33	SANITARY PLAN & PROFILE	SS5.1
34	SANITARY PLAN & PROFILE	SS5.2
35	SANITARY PLAN & PROFILE	SS5.3
36	SANITARY PLAN & PROFILE	SS5.4
37	WATER KEY MAP	W6.0
38	WATER PLAN & PROFILE	W6.1
39	WATER PLAN & PROFILE	W6.2
40	WATER PLAN & PROFILE	W6.3
41	WATER PLAN & PROFILE	W6.4
42	WATER PLAN & PROFILE	W6.5
43	PROPOSED EASEMENTS	U7.0
44	LANDSCAPE COVER	L1.0
45	LANDSCAPE DETAILS	L1.1
46	FINAL LANDSCAPE PLAN	L1.2
47	FINAL LANDSCAPE PLAN	L1.3
48	IRRIGATION PLAN	I1.1
49	IRRIGATION PLAN	I1.2
50	IRRIGATION DETAILS	I2.0



VICINITY MAP
N.T.S

CONSULTANT CONTACTS

APPLICANT/DEVELOPER

GOODWIN KNIGHT
15570 NORTHGATE ESTATES DR., SUITE 200
COLORADO SPRINGS, CO 80921
TELE: (719) 598-5190
ATTN: BRYAN KNIEP
EMAIL: BKNEIP@GOODWINKNIGHT.COM

ENTITLEMENT CONSULTANT

GALLOWAY & CO., INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
TELE: (719) 900-7220
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LANDSCAPE ARCHITECT

N.E.S. INC. LANDSCAPE ARCHITECTURE
619 N. CASCADE AVE., SUITE 200
COLORADO SPRINGS, CO 80903
TELE: (719) 471-0073
ATTN: JON ROMERO, P.L.A.
EMAIL: JROMEROW@NESCOLORADO.COM

ENGINEER

GALLOWAY & CO., INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
TELE: (719) 900-7220
ATTN: CHARLENE DURHAM, P.E.
EMAIL: CHARLENE@GALLOWAYUS.COM

DESCRIPTION OF CONSTRUCTION ACTIVITIES

ALL DATES ARE SUBJECT TO CHANGE. CONSTRUCTION IS ANTICIPATED TO COMMENCE IN APRIL 2020 AND BE COMPLETED BY APRIL 2021. FINAL STABILIZATION IS EXPECTED TO BE COMPLETED BY APRIL 2022. THE TOTAL AREA OF THE SITE EXPECTED TO BE CLEARED IS APPROXIMATELY 9.93 ACRES.

ENGINEERING STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID DETAILED PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE ESTABLISHED CRITERIA FOR DETAILED DRAINAGE PLANS AND SPECIFICATIONS, AND SAID DETAILED PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE MASTER PLAN OF THE DRAINAGE BASIN. SAID DETAILED DRAINAGE PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR DRAINAGE FACILITY(S) IS DESIGNED. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED DRAINAGE PLANS AND SPECIFICATIONS.

SIGNATURE: _____ DATE: _____

PRINTED NAME: _____

DEVELOPER'S/OWNER'S STATEMENT

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE EROSION AND STORMWATER QUALITY CONTROL PLAN INCLUDING TEMPORARY BMP INSPECTION REQUIREMENTS AND FINAL STABILIZATION REQUIREMENTS. I ACKNOWLEDGE THE RESPONSIBILITY TO DETERMINE WHETHER THE CONSTRUCTION ACTIVITIES ON THESE PLANS REQUIRE COLORADO DISCHARGE PERMIT SYSTEM (CDPS) PERMITTING FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

DEVELOPER/OWNER SIGNATURE: _____

NAME OF DEVELOPER/OWNER: _____ DATE: _____

DOB: _____ PHONE: _____

TITLE: _____ EMAIL: _____

ADDRESS: _____ FAX: _____

MEETS & BOUNDS LEGAL DESCRIPTION (TO BE PLATTED)

THAT _____ BEING THE OWNER OF THE FOLLOWING DESCRIBED TRACT OF LAND TO WIT:

PART OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT A POINT WHICH IS 179.03 FEET SOUTH OF THE NORTH LINE AND 30 FEET WEST OF THE EAST LINE OF SAID SECTION 34; THENCE SOUTH PARALLEL WITH SAID EAST LINE A DISTANCE OF 197.91 FEET TO A POINT; THENCE ANGLE RIGHT AND RUN WESTERLY A DISTANCE OF 1070.18 FEET TO A POINT WHICH IS 3008.48 FEET SOUTH OF CENTERLINE OF SECTION 27 OF SAID TOWNSHIP AND RANGE; THENCE NORTHERLY A DISTANCE OF 197.91 FEET TO A POINT; THENCE ANGLE RIGHT AND RUN EASTERLY A DISTANCE OF 1071.04 FEET TO THE POINT OF BEGINNING

TOGETHER WITH

PART OF THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN AND PART OF SECTION 34, TOWNSHIP 13 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT A POINT WHICH IS 2626.22 FEET SOUTH OF CENTERLINE AND 30 FEET WEST OF EAST LINE OF SAID SECTION 27; THENCE ANGLE RIGHT 90 DEGREES AND RUN WESTERLY A DISTANCE OF 1071.02 FEET TO A POINT; THENCE ANGLE LEFT AND RUN SOUTHERLY A DISTANCE OF 197.75 FEET TO A POINT WHICH IS 1101.04 FEET WESTERLY FROM EAST LINE OF SAID SECTION 34; THENCE ANGLE LEFT AND RUN EASTERLY A DISTANCE OF 1071.04 FEET TO A POINT WHICH IS 197.75 FEET SOUTH OF THE POINT OF BEGINNING; THENCE NORTH TO POINT OF BEGINNING

EXCEPT ANY PORTION THEREOF CONVEYED IN DEEDS RECORDED MARCH 12, 1968 IN BOOK 2225 AT PAGE 791 AND JANUARY 5, 1995 IN BOOK 6586 AT PAGE 1457 AND EXCEPT ANY PORTION THEREOF PLATTED AS WALGREENS SUBDIVISION NO. 5, SAID PLAT RECORDED JUNE 27, 1996 UNDER RECEPTION NO. 96079933, AND EXCEPT ANY PORTION THEREOF PLATTED AS CAREFREE LIVING CENTER FILING NO. 1, SAID PLAT RECORDED DECEMBER 13, 2013 UNDER RECEPTION NO. 213713416, COUNTY OF EL PASO, STATE OF COLORADO.

PARCEL CONTAINS 146,372 SQUARE FEET OR 3.369 ACRES OF LAND MORE OR LESS.

BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983, BASED ON THE WEST LINE OF CAREFREE LIVING CENTER FILING NO.1 AND IS CONSIDERED TO BEAR, S0012°53'N AND MONUMENTED AS SHOWN.

BENCHMARK

ELEVATIONS ARE BASED ON THE COLORADO SPRINGS FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) MONUMENT, "ABA3" AND IS DESCRIBED AS FOLLOWS:
ELEVATION = 6425.8' (NAVD 83)
FOUND 2" ALUMINUM CAP STAMPED "ABA3" IN NORTHWEST CORNER OF CONCRETE STRUCTURE

ON-SITE BENCHMARK: 600 NAIL SET IN CENTER OF UNPLATTED LOT
ELEVATION = 6384.63

NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

CAUTION - NOTICE TO CONTRACTOR

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- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below.
Call before you dig.

Galloway

1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220
GallowayUS.com

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CONSTRUCTION

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GOODWIN
KNIGHT

CONSTRUCTION DOCUMENTS
SITE IMPROVEMENTS
MONUMENT RIDGE APARTMENTS

SEC BAPTIST RD & STRUTHERS RD
MONUMENT, CO

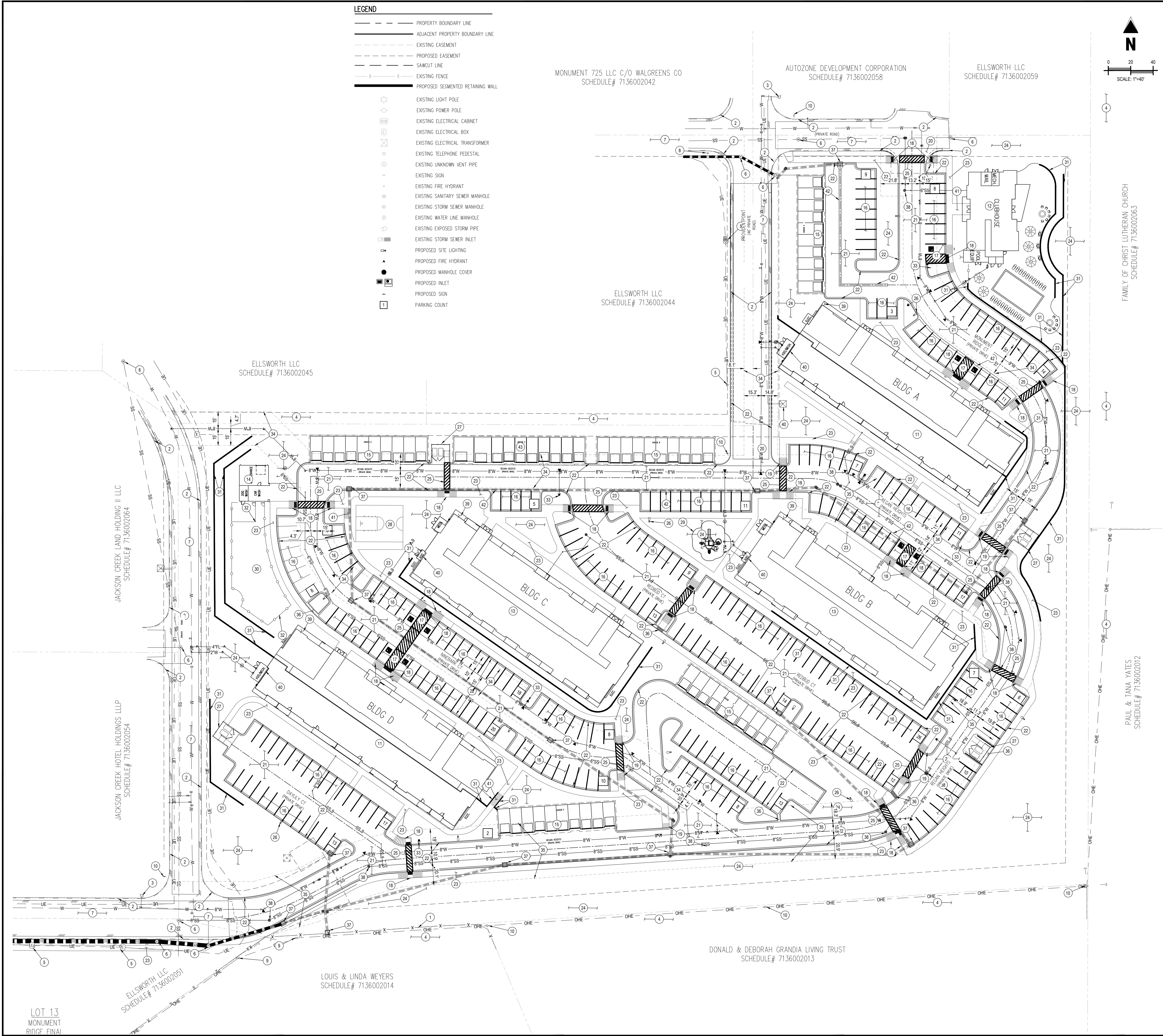
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Project No:	GNK000002.20
Drawn By:	TPPT
Checked By:	RGD
Date:	12/11/2019

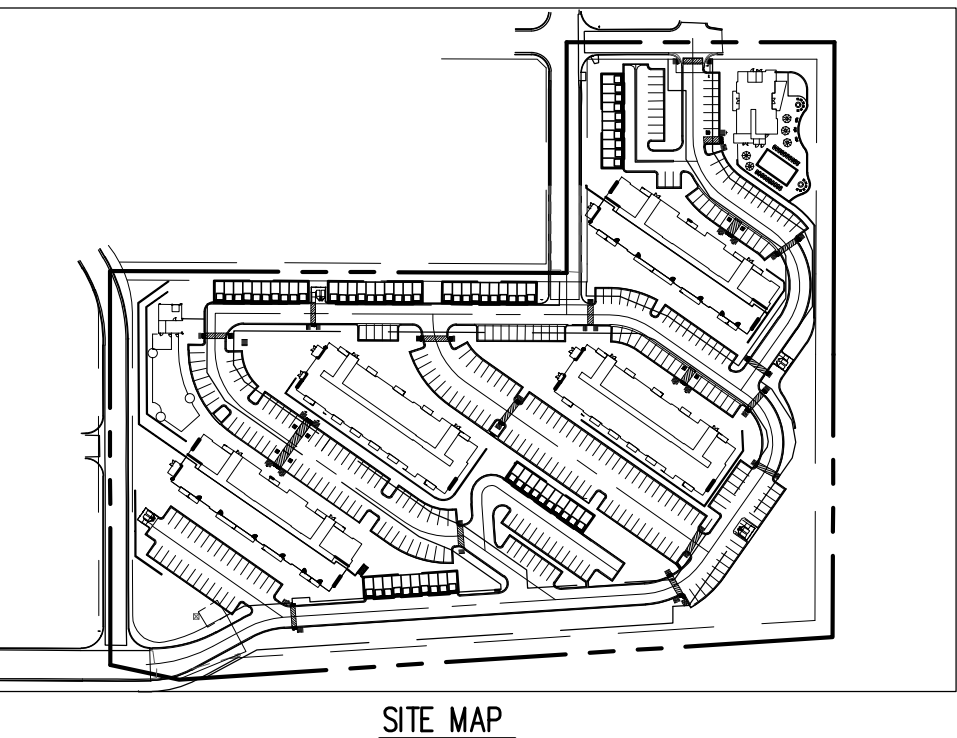
COVER SHEET

C0.0

Sheet 1 of 43



- LEGEND**
- PROPERTY BOUNDARY LINE
 - ADJACENT PROPERTY BOUNDARY LINE
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - SAWOUT LINE
 - EXISTING FENCE
 - PROPOSED SEGMENTED RETAINING WALL
 - EXISTING LIGHT POLE
 - EXISTING POWER POLE
 - EXISTING ELECTRICAL CABINET
 - EXISTING ELECTRICAL BOX
 - EXISTING ELECTRICAL TRANSFORMER
 - EXISTING TELEPHONE PEDESTAL
 - EXISTING UNKNOWN VENT PIPE
 - EXISTING SIGN
 - EXISTING FIRE HYDRANT
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING STORM SEWER MANHOLE
 - EXISTING WATER LINE MANHOLE
 - EXISTING EXPOSED STORM PIPE
 - EXISTING STORM SEWER INLET
 - PROPOSED SITE LIGHTING
 - PROPOSED FIRE HYDRANT
 - PROPOSED MANHOLE COVER
 - PROPOSED INLET
 - PROPOSED SIGN
 - PARKING COUNT



- GENERAL NOTES**
- ALL PROPOSED PAVING AREAS AND DRIVE ASILES TO BE PAVED WITH ASPHALT.
 - ALL PROPOSED SIDEWALKS TO BE CONSTRUCTED WITH CONCRETE.
 - ALL CROSS PANS TO BE CONSTRUCTED TO MONUMENT CITY STANDARD DETAIL D102.
 - ALL CURBS TO BE TYPES 1 OR 3 PER MONUMENT CITY STANDARD DETAIL D101.
 - ALL PEDESTRIAN RAMPS TO BE CONSTRUCTED TO MONUMENT CITY DETAIL D108.

- SCHEDULE**
- EXISTING FENCE TO REMAIN
 - EXISTING CURB AND GUTTER TO REMAIN
 - EXISTING FIRE HYDRANT TO REMAIN
 - EXISTING LANDSCAPING TO REMAIN
 - EXISTING LIGHT TO REMAIN
 - EXISTING MANHOLE TO REMAIN
 - EXISTING PAVEMENT TO REMAIN
 - EXISTING SIGN TO REMAIN
 - EXISTING UTILITY POLE TO REMAIN
 - PROPOSED STOP SIGN (SEE SITE DETAILS)
 - PROPOSED 58 UNIT MULTI-FAMILY RESIDENTIAL BUILDING
 - PROPOSED CLUBHOUSE BUILDING WITH PATIO AND SWIMMING POOL
 - PROPOSED 39 UNIT MULTI-FAMILY RESIDENTIAL BUILDING
 - PROPOSED 1033 SF MAINTENANCE/CAR WASH BUILDING
 - PROPOSED GARAGE BUILDING (10 PARKING SPACES)
 - PROPOSED 18' X 9' PARKING SPACE
 - PROPOSED 18' X 9' ADA PARKING SPACE AND PAINTED ACCESS AISLE WITH 4" DIAGONAL STRIPS AT 2' O.C. AND SIGNAGE
 - PROPOSED ADA RAMP
 - PROPOSED PEDESTRIAN RAMP
 - PROPOSED 6" CONCRETE CROSSSPAN
 - PROPOSED ASPHALT PAVING
 - PROPOSED CONCRETE CURB AND GUTTER
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED LANDSCAPING AREA (SEE LANDSCAPE PLAN)
 - PROPOSED PEDESTRIAN CROSS WALK
 - PROPOSED SITE LIGHT
 - PROPOSED TRASH ENCLOSURE
 - PROPOSED BASKETBALL COURT
 - PROPOSED PLAYGROUND
 - PROPOSED DOG PARK
 - PROPOSED RETAINING WALL
 - PROPOSED FENCE
 - PROPOSED FIRE HYDRANT AND ASSEMBLY
 - PROPOSED 30' EXCLUSIVE WATER EASEMENT
 - PROPOSED 50' WATER AND SANITARY EASEMENT
 - PROPOSED CONCRETE CHASE
 - PROPOSED INLET
 - PROPOSED MANHOLE
 - PROPOSED FDC AND KNOX BOX
 - PROPOSED UTILITY CABINET TO REMAIN
 - PROPOSED STAIRS WITH HANDRAIL
 - PROPOSED VALLEY GUTTER
 - PROPOSED ADA GARAGE (8 STANDARD PARKING SPACES, 1 HANDICAP SPACE, 1 VAN ACCESSIBLE SPACE)

ADA DESIGN PROFESSIONAL STANDARDS

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF MONUMENT DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

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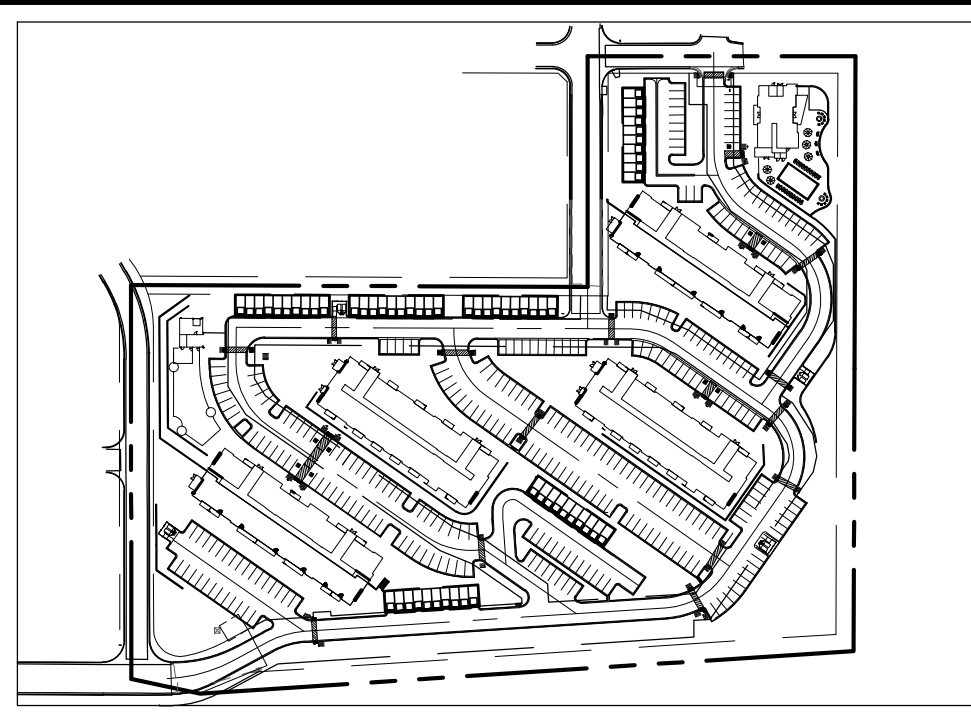
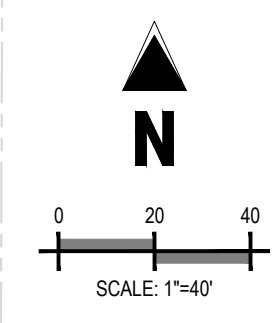
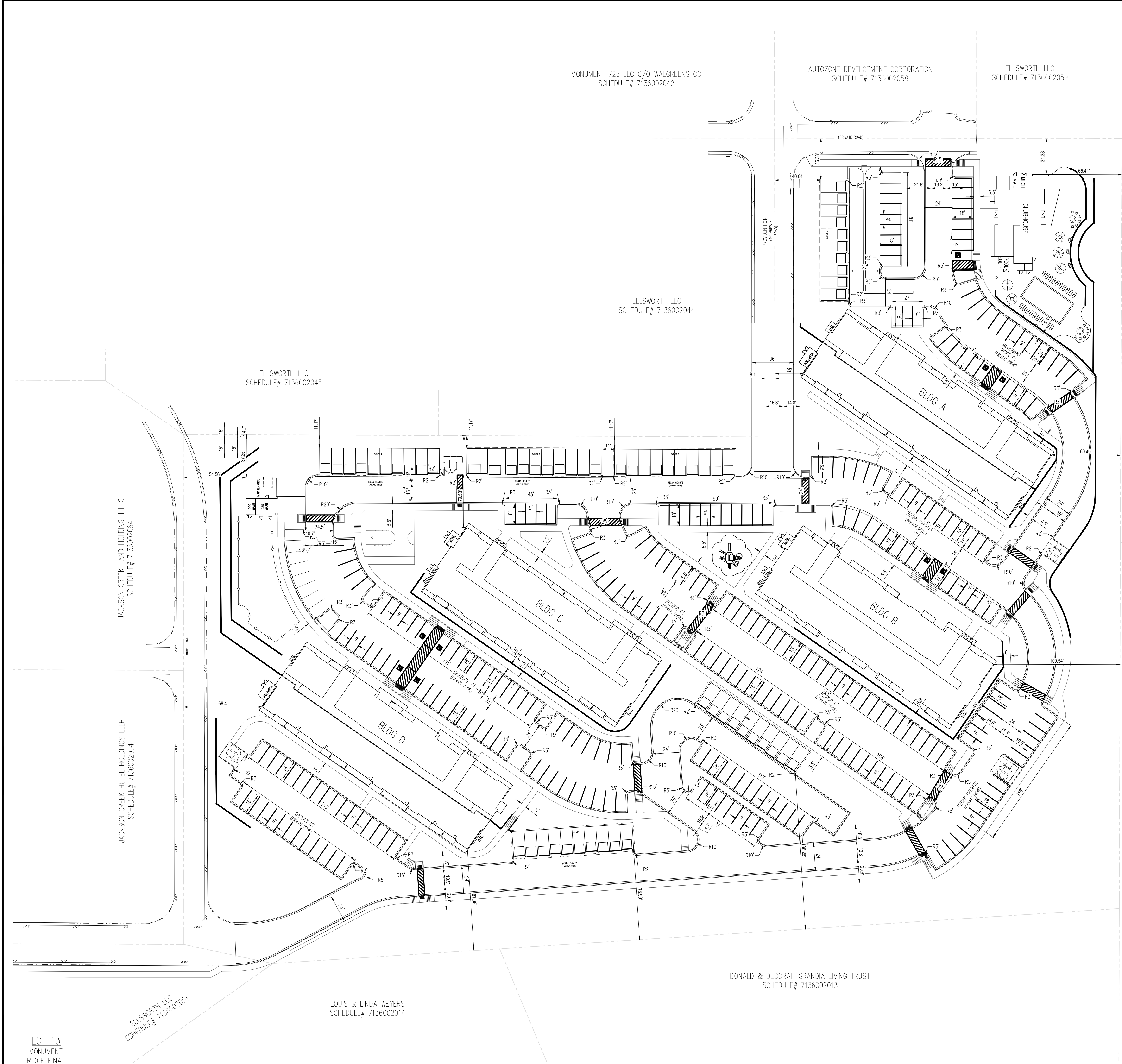


**CONSTRUCTION DOCUMENTS
SITE IMPROVEMENTS
MONUMENT RIDGE APARTMENTS**

**SEC BAPTIST RD & STRUTHERS RD
MONUMENT, CO**

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Project No:	GNK000002.20
Drawn By:	TPT
Checked By:	RGD
Date:	12/11/2019



- GENERAL NOTES
1. ALL PROPOSED PAVING AREAS AND DRIVE ASLES TO BE PAVED WITH ASPHALT.
 2. ALL PROPOSED SIDEWALKS TO BE CONSTRUCTED WITH CONCRETE.
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- LEGEND
- PROPERTY BOUNDARY LINE
 - ADJACENT PROPERTY BOUNDARY LINE
 - SAWCUT LINE
 - X-X- EXISTING FENCE
 - PROPOSED SEGMENTED RETAINING WALL

ADA DESIGN PROFESSIONAL STANDARDS

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MONUMENT RIDGE APARTMENTS

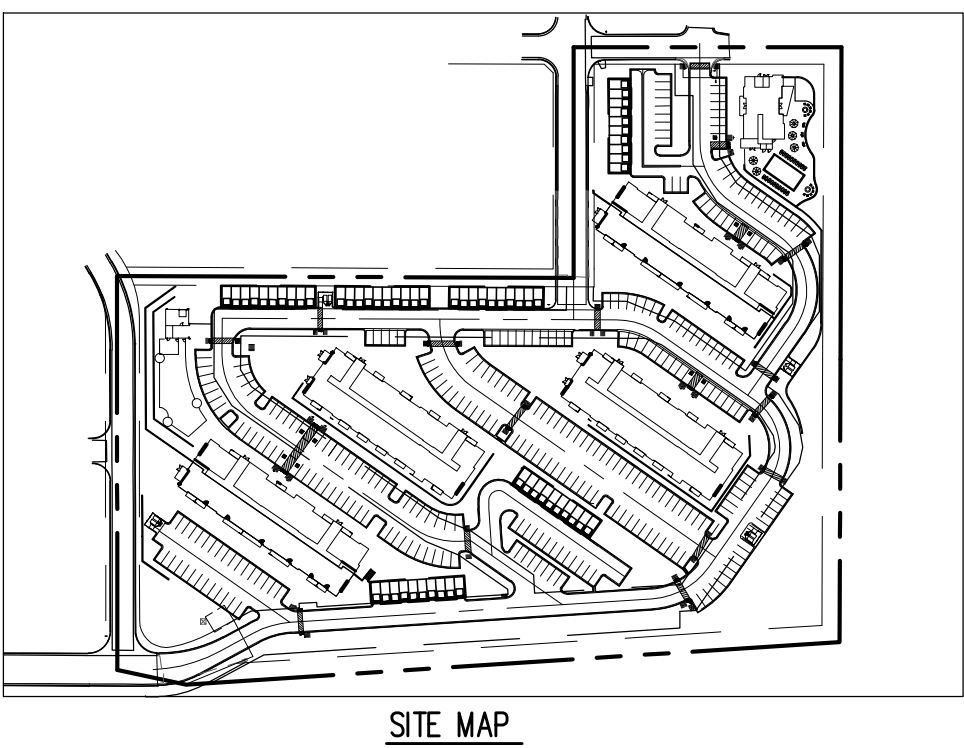
SEC BAPTIST RD & STRUTHERS RD
MONUMENT, CO

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Project No:	GNK000002.20
Drawn By:	TPT
Checked By:	RGD
Date:	12/11/2019

Line Table		
Line #	Length	Direction

Curve Table			
Curve #	Length	Radius	Delta



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CONSTRUCTION DOCUMENTS
SITE IMPROVEMENTS
MONUMENT RIDGE APARTMENTS
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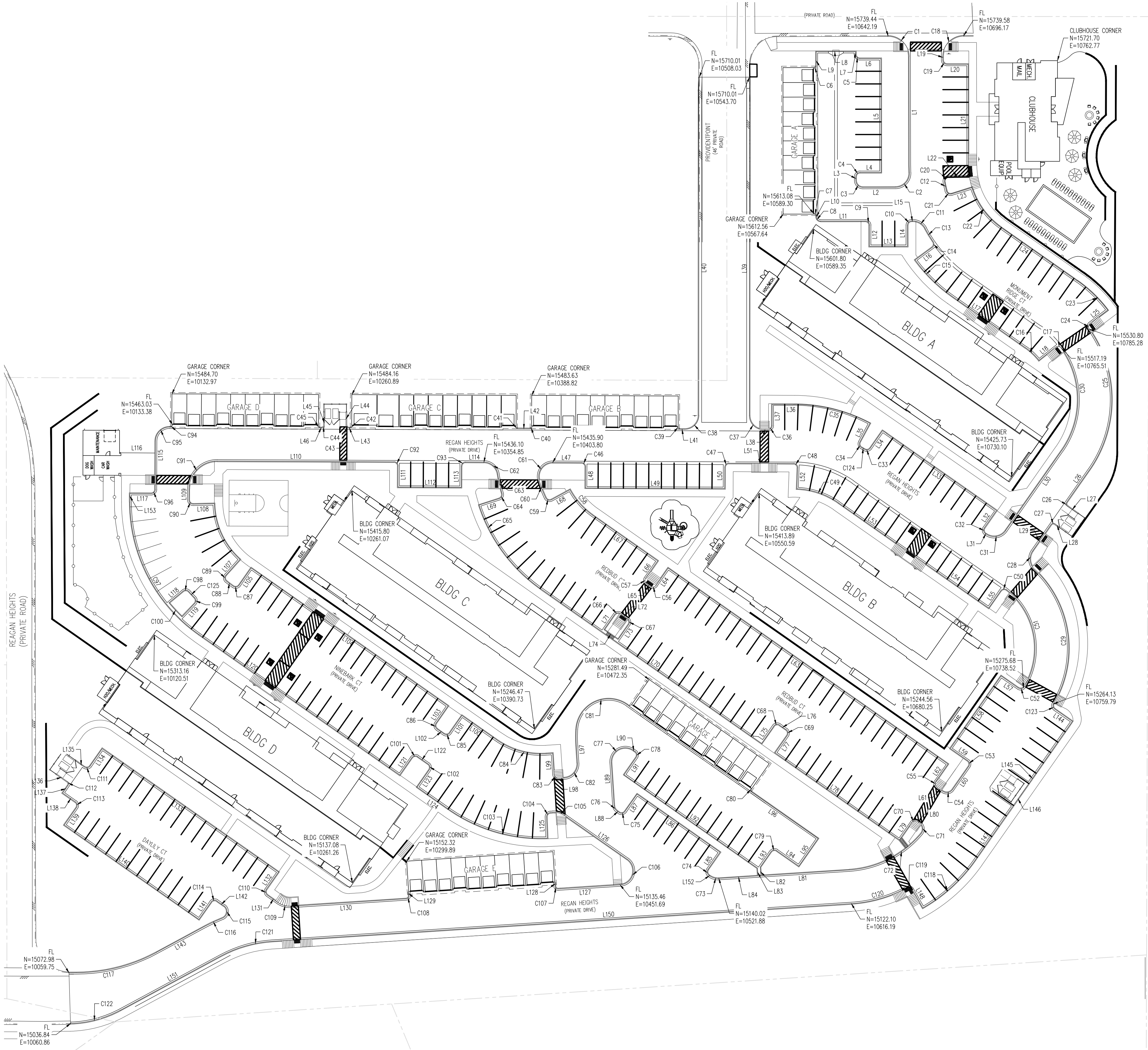
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Project No:	GNK000002.20
Drawn By:	TPT
Checked By:	RGD
Date:	12/11/2019

HORIZONTAL CONTROL PLAN

C1.3

Sheet 4 of 43



GENERAL NOTES

- ALL PROPOSED PAVING AREAS AND DRIVE ASILES TO BE PAVED WITH ASPHALT.
- ALL PROPOSED SIDEWALKS TO BE CONSTRUCTED WITH CONCRETE.
- ALL CROSSINGS TO BE CONSTRUCTED TO MONUMENT CITY STANDARD DETAIL D102.
- ALL CURBS TO BE TYPES 1 OR 3 PER MONUMENT CITY STANDARD DETAIL D101.
- ALL PEDESTRIAN RAMPS TO BE CONSTRUCTED TO MONUMENT CITY DETAIL D108.

SCALE: 1"=40'

LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- PROPOSED SEGMENTED RETAINING WALL

CAUTION - NOTICE TO CONTRACTOR

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2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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MONUMENT RIDGE APARTMENTS

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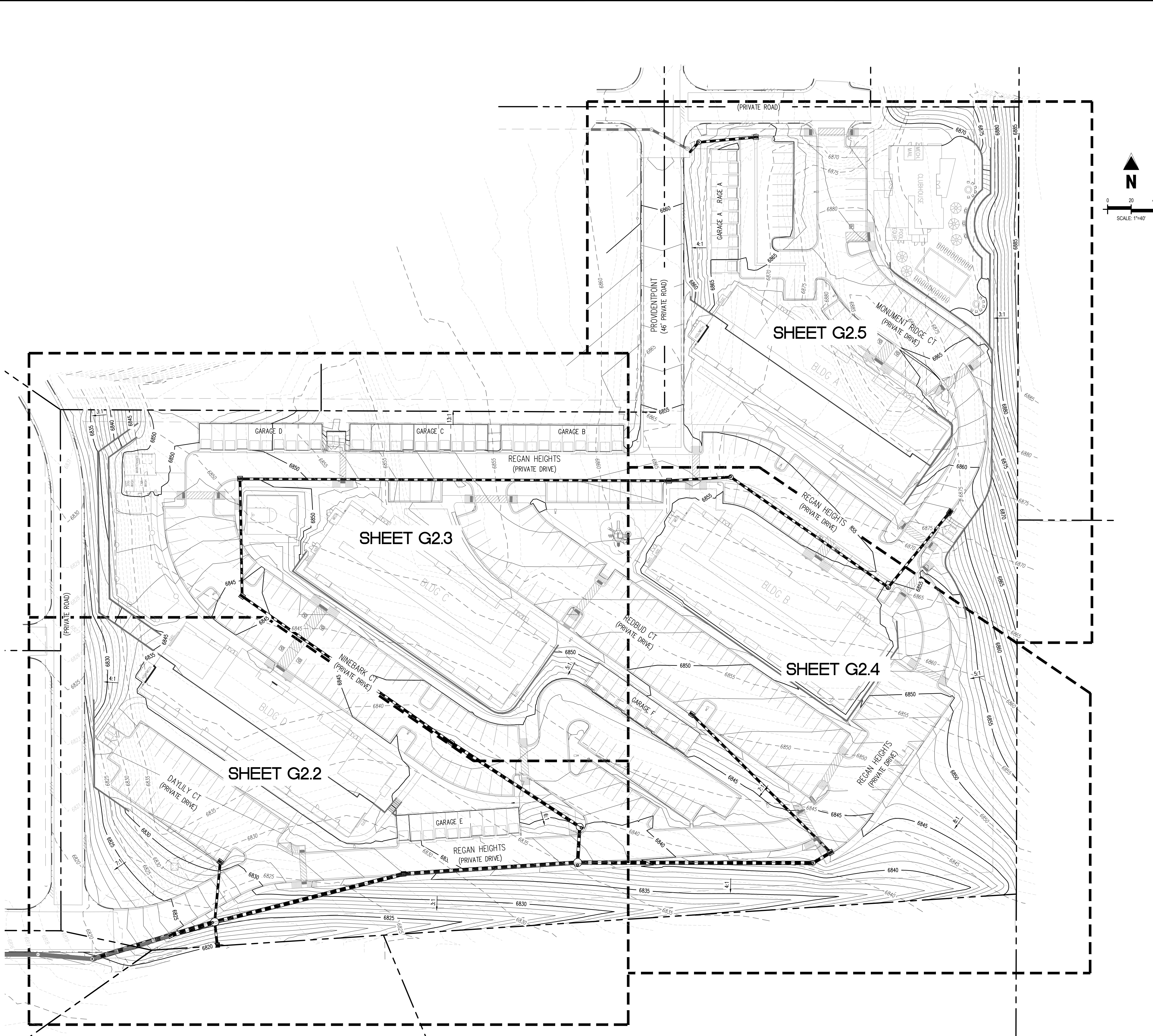
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GRADING KEY MAP

G2.1

Sheet 6 of 43



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Project No:	GNK000002.20
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Checked By:	RGD
Date:	12/11/2019

GRADING PLAN

Sheet 7 of 43

LEGEND

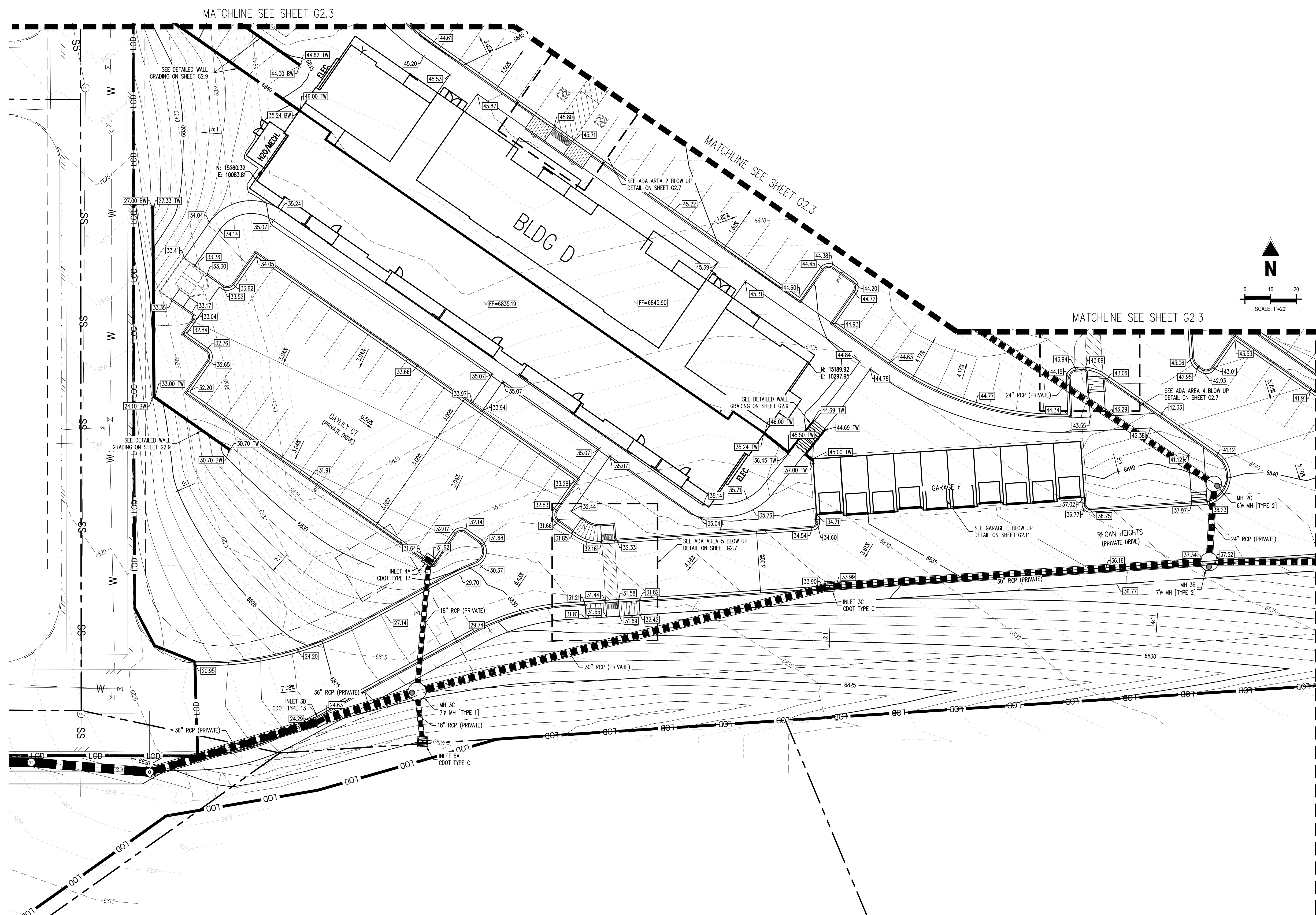
- | | |
|-------|-------------------------------------|
| | EXISTING PROPERTY LINE |
| | PROPOSED BUILDING OUTLINE |
| | EXISTING MAJOR CONTOUR |
| | EXISTING MINOR CONTOUR |
| | PROPOSED MAJOR CONTOUR |
| | PROPOSED MINOR CONTOUR |
| | PROPOSED DETECTABLE WARNING SURFACE |
| | LIMITS OF DISTURBANCE |
| | PROPOSED STORM SEWER |
| | PROPOSED STORM MANHOLE |
| | PROPOSED STORM INLET |
| | PROPOSED DOOR |
| 60.00 | FINISHED GRADE ELEVATION |
| | FLOW GRADE OR SLOPE |
| TW | TOP OF WALL |
| BW | BOTTOM OF WALL |

NOTES

1. ADD 6800 TO ALL SPOT ELEVATIONS.
2. ALL ELEVATIONS ON THESE PLANS ARE ON FLOWLINE UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL REFER TO STORM WATER PLAN AND PROFILE SHEETS FOR ALL STORM PIPE, INLET, MANHOLE AND APPURTENANCE INFORMATION.
4. WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DRAINING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS.
5. ALL TEMPORARY EROSION CONTROL DEVICES SHOWN ON THIS PLAN SHALL BE IN PLACE DURING ALL GRADING ACTIVITIES. FINAL STABILIZATION FOR MONUMENT RIDE APARTMENTS SHALL BE COMPLETED VIA THE LANDSCAPE PLANS.
6. SOILS WITHIN THE SITE ARE PREDOMINANTLY TYPICAL CROWNFOOT COMPLEX, SOIL CLASSIFIED AS E, B, AND D, DATA FOR MONUMENT RIDE APARTMENTS WAS OBTAINED FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY.
7. EXISTING VEGETATION CONSISTS OF NATIVE GRASSES AND SHRUBS.
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GRADING & EROSION CONTROL
MONUMENT RIDGE APARTMENTS

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
Project No:	GNK000002.20
Drawn By:	TPT
Checked By:	RGD
Date:	12/11/2019

GRADING PLAN

G2.4

Sheet 9 of 43

LEGEND

- | | |
|---|-------------------------------------|
| | EXISTING PROPERTY LINE |
| — — — — — | PROPOSED BUILDING OUTLINE |
| — — — — — 6485' — — — — — | EXISTING MAJOR CONTOUR |
| — — — — — 6483' — — — — — | EXISTING MINOR CONTOUR |
| — — — — — 6485' — — — — — | PROPOSED MAJOR CONTOUR |
| — — — — — 631' — — — — — | PROPOSED MINOR CONTOUR |
|  | PROPOSED DETECTABLE WARNING SURFACE |
| — — — — — LOD | LIMITS OF DISTURBANCE |
| — — — — — | PROPOSED STORM SEWER |
|  | PROPOSED STORM MANHOLE |
| — — — — — | PROPOSED STORM INLET |
|  | PROPOSED DOOR |
| 60.00 | FINISHED GRADE ELEVATION |
|  | FLOW GRADE OR SLOPE |
| TW | TOP OF WALL |
| BW | BOTTOM OF WALL |

NOTES

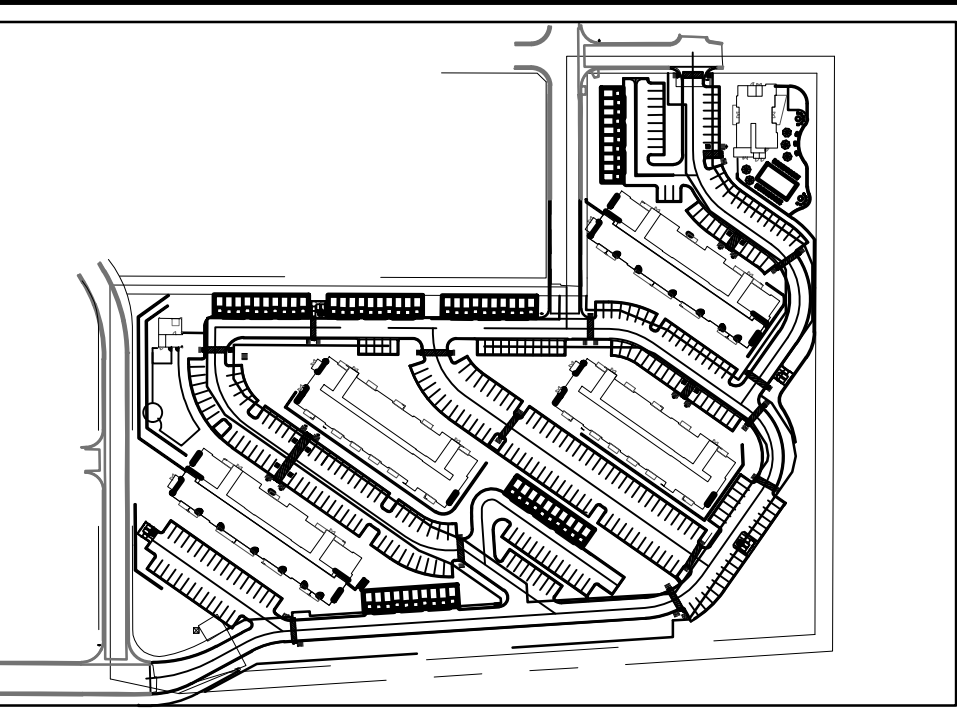
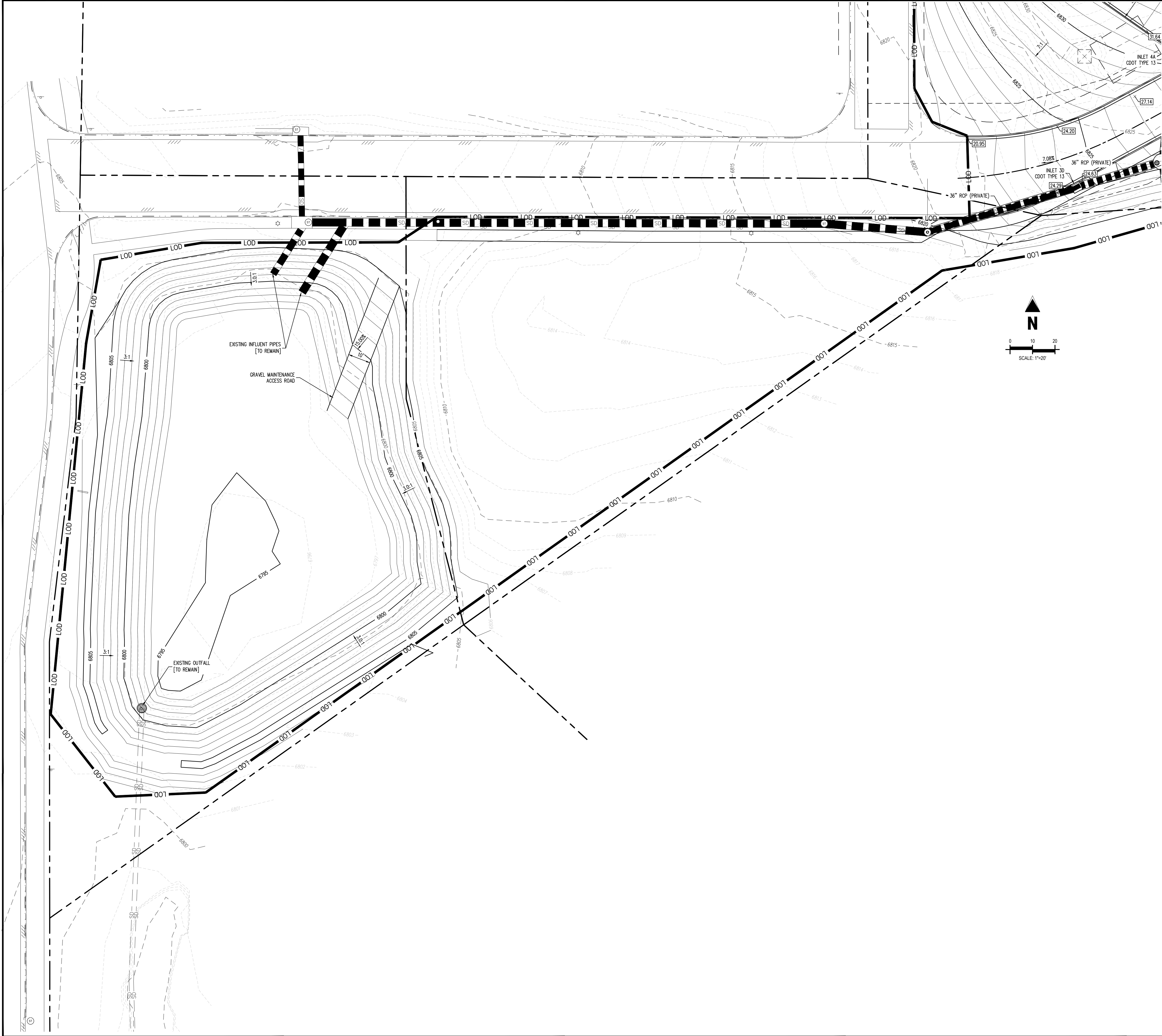
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6. SOILS WITHIN THE SITE ARE PREDOMINANTLY TAYLOR CROWNFOOT COMPLEX, SOIL CLASSIFICATION B-1. DATA FROM THE LANDSCAPE PLANS. INFORMATION WAS OBTAINED FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY.
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LEGEND

- EXISTING PROPERTY LINE
- PROPOSED BUILDING OUTLINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED DETECTABLE WARNING SURFACE
- LOD LIMITS OF DISTURBANCE
- PROPOSED STORM SEWER
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
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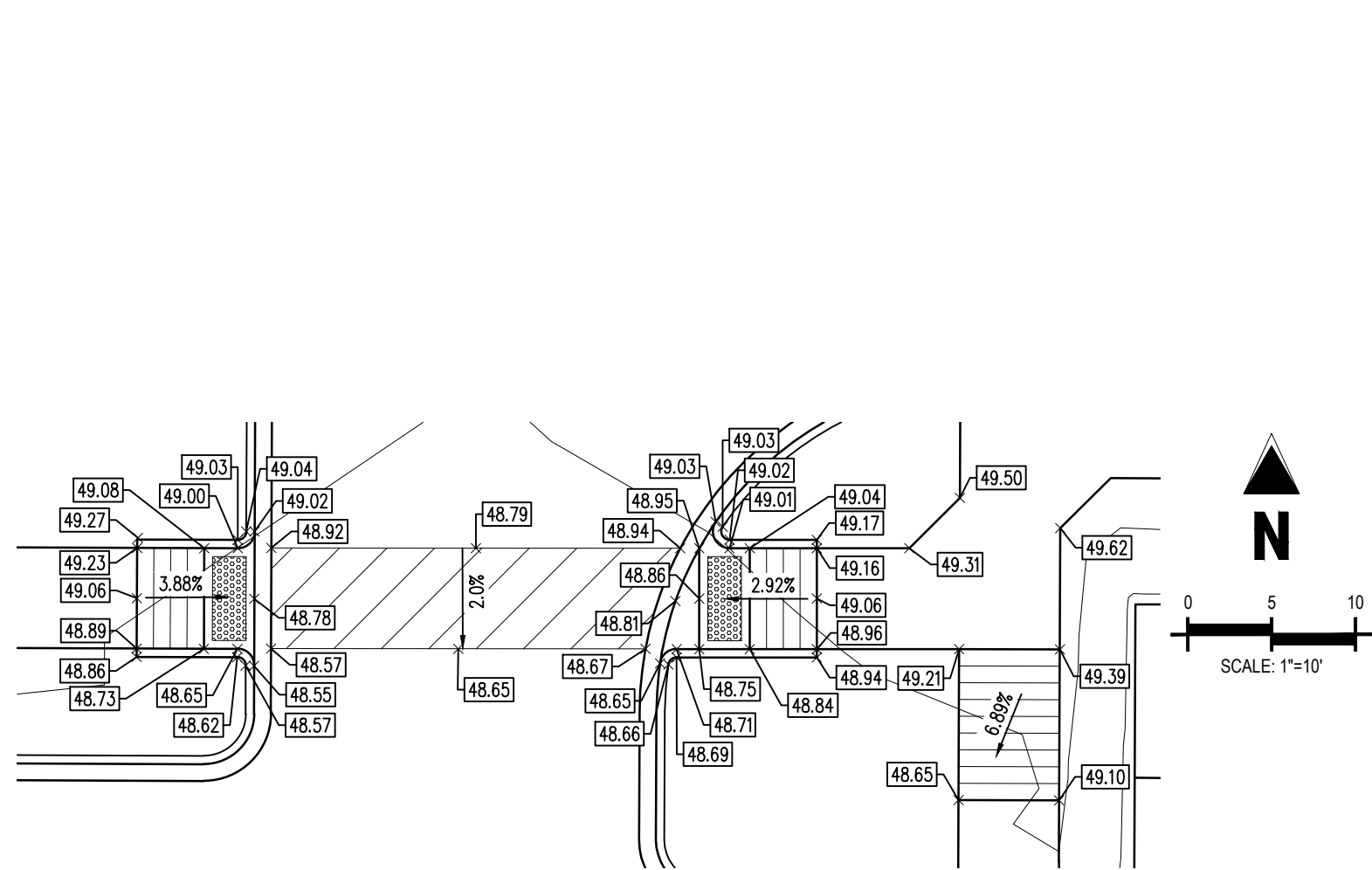
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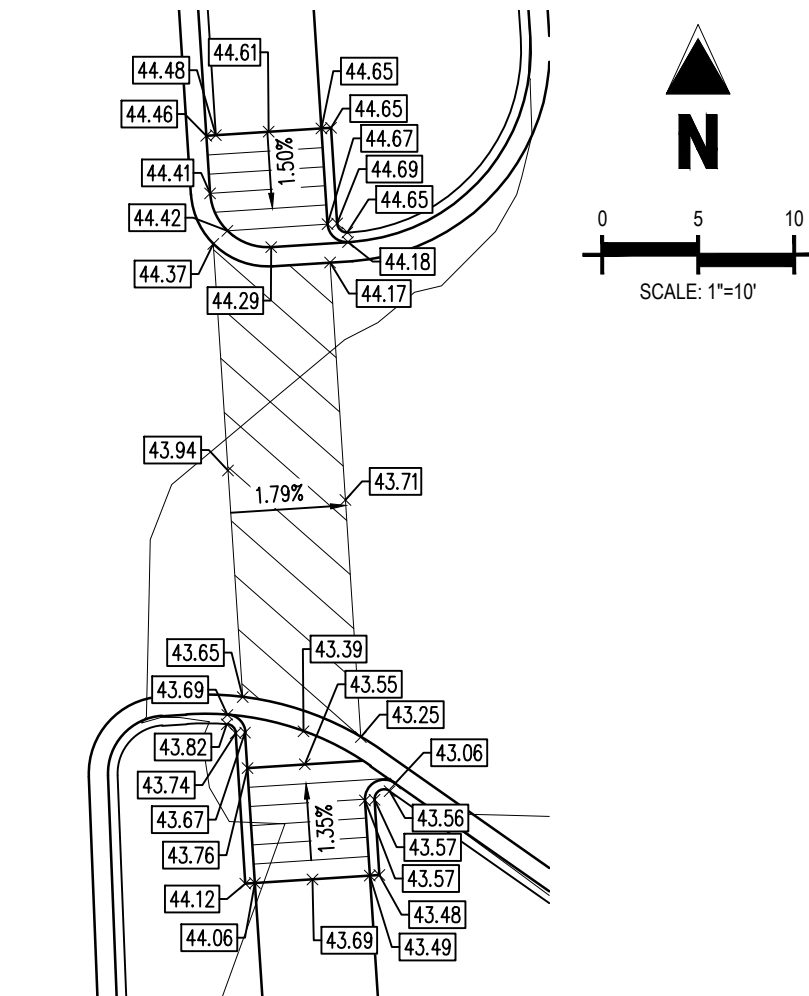
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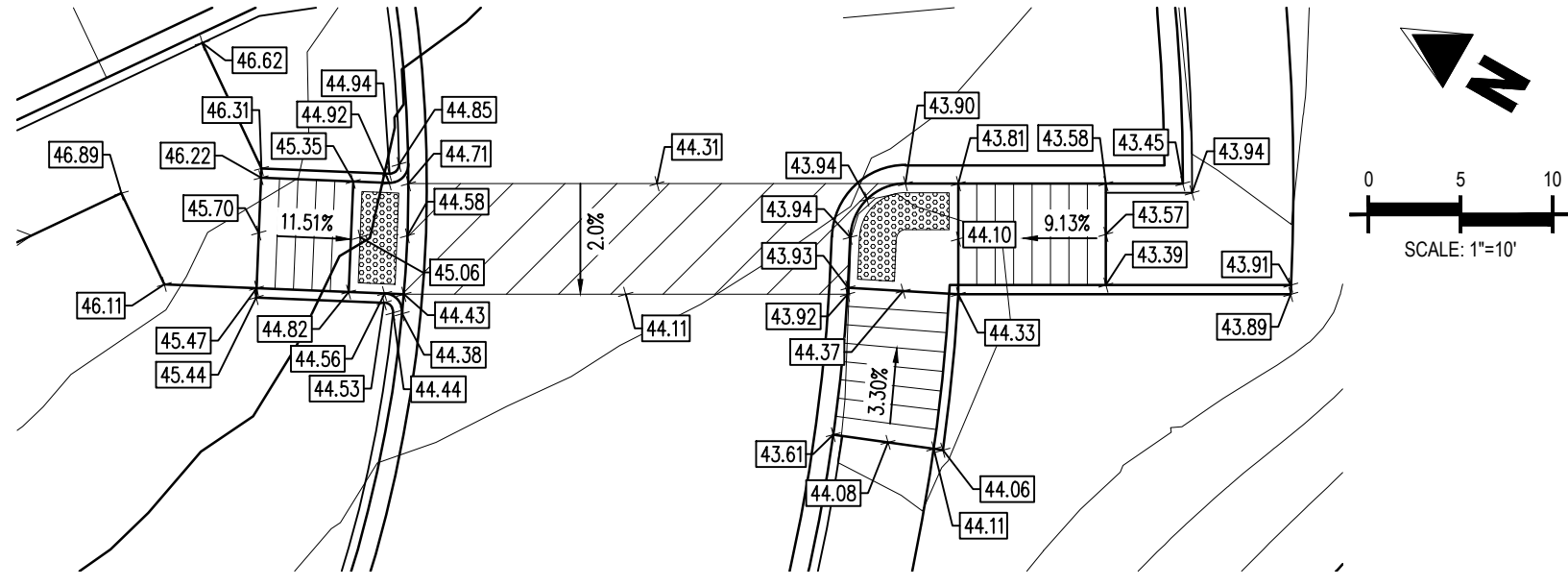
Sheet 11 of 43



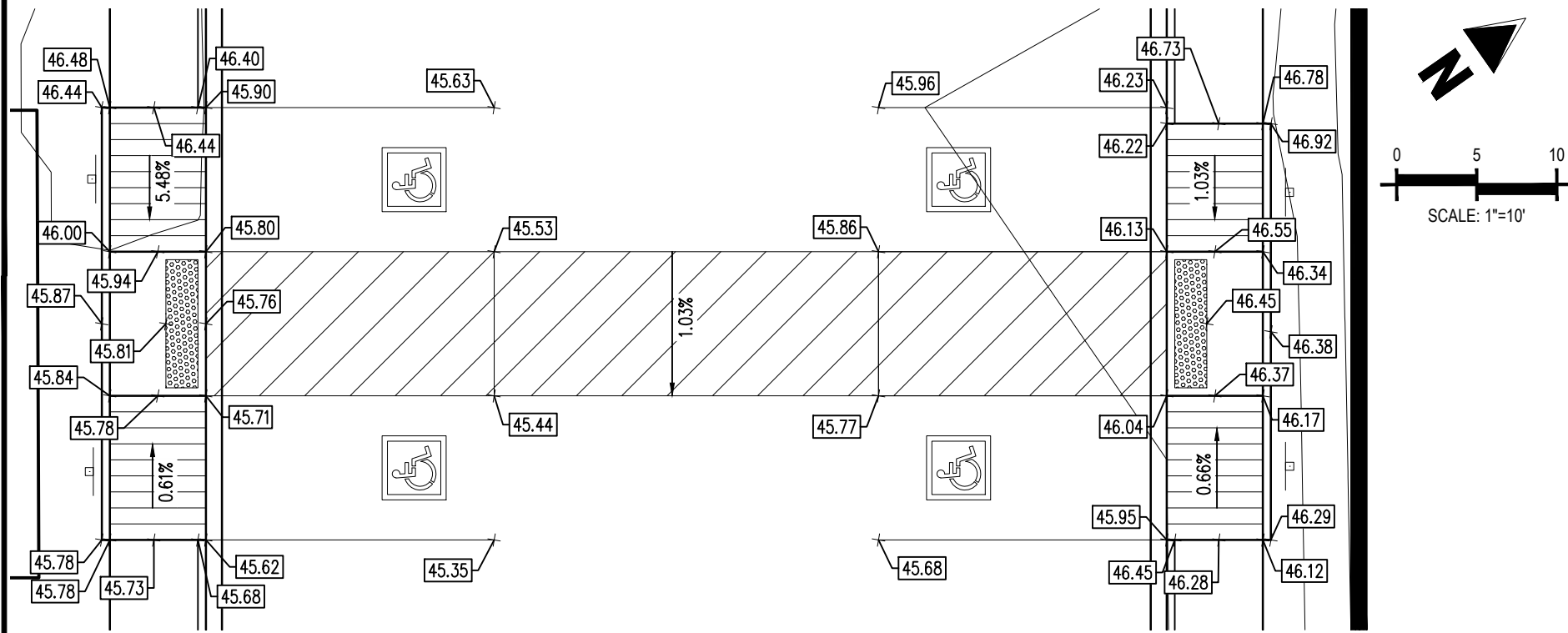
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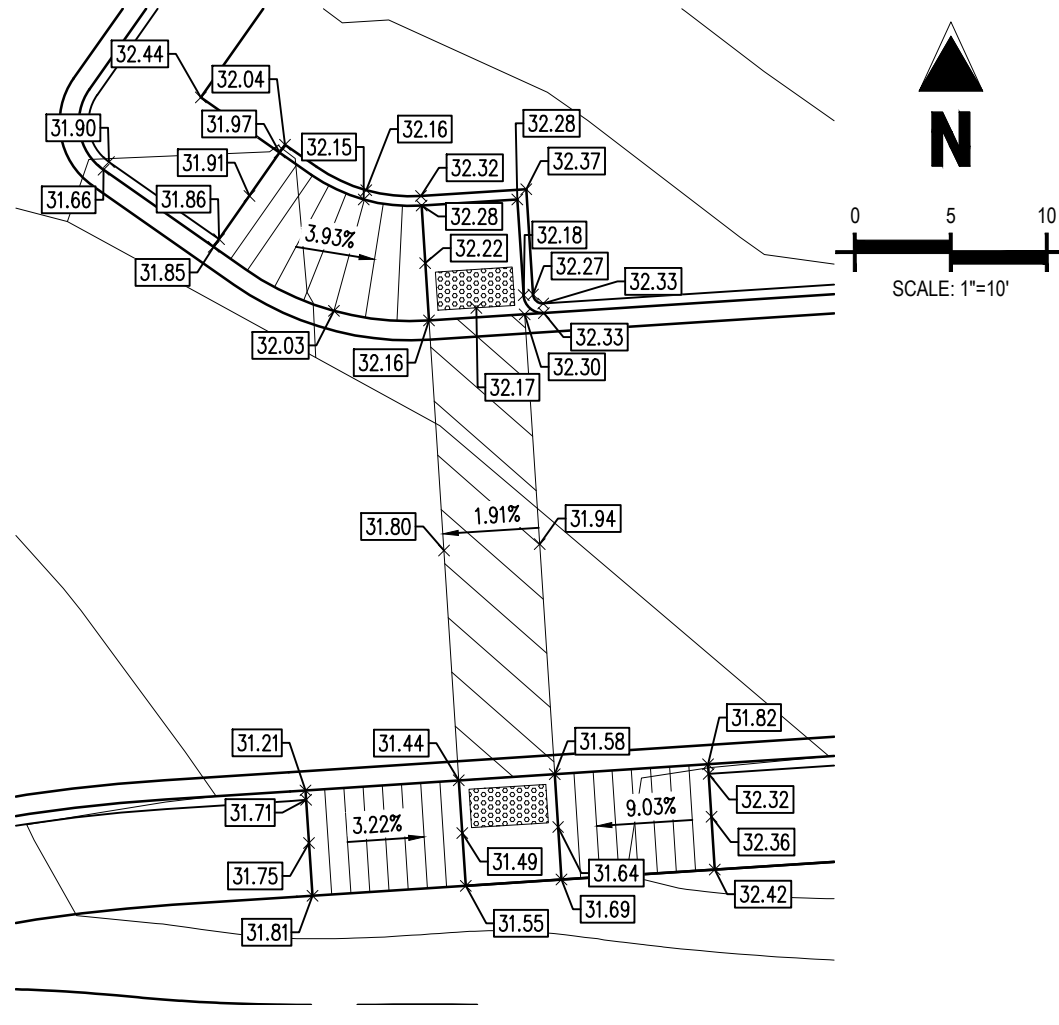
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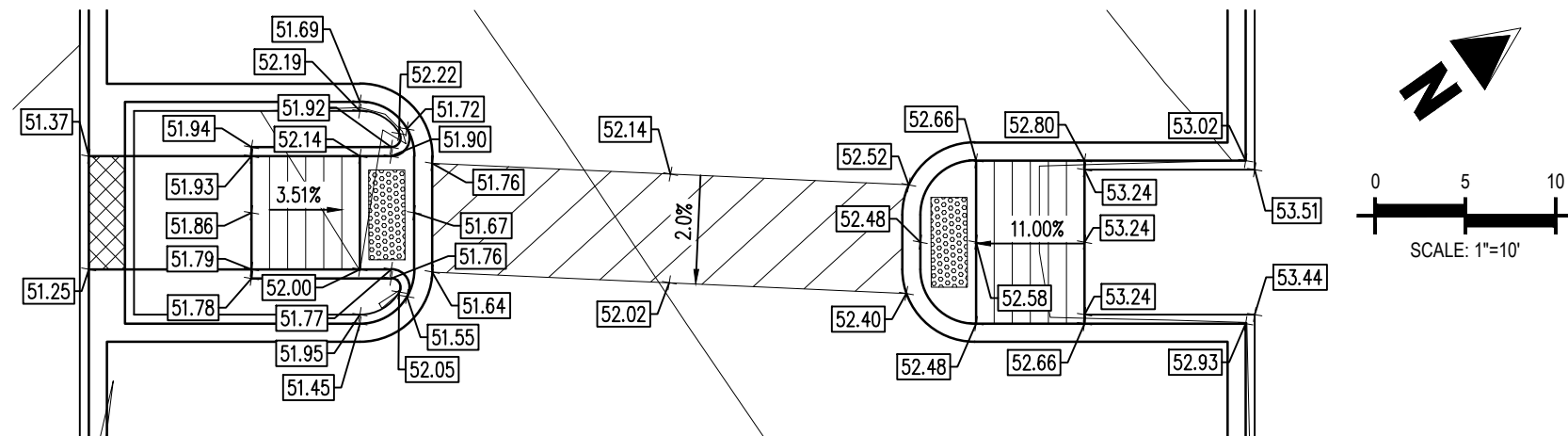
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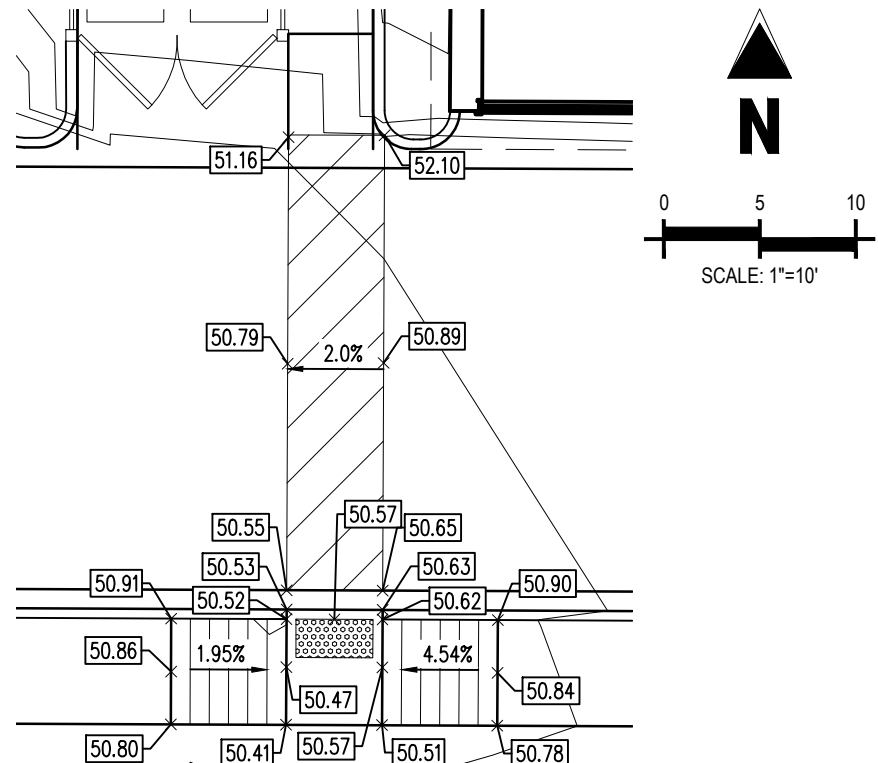
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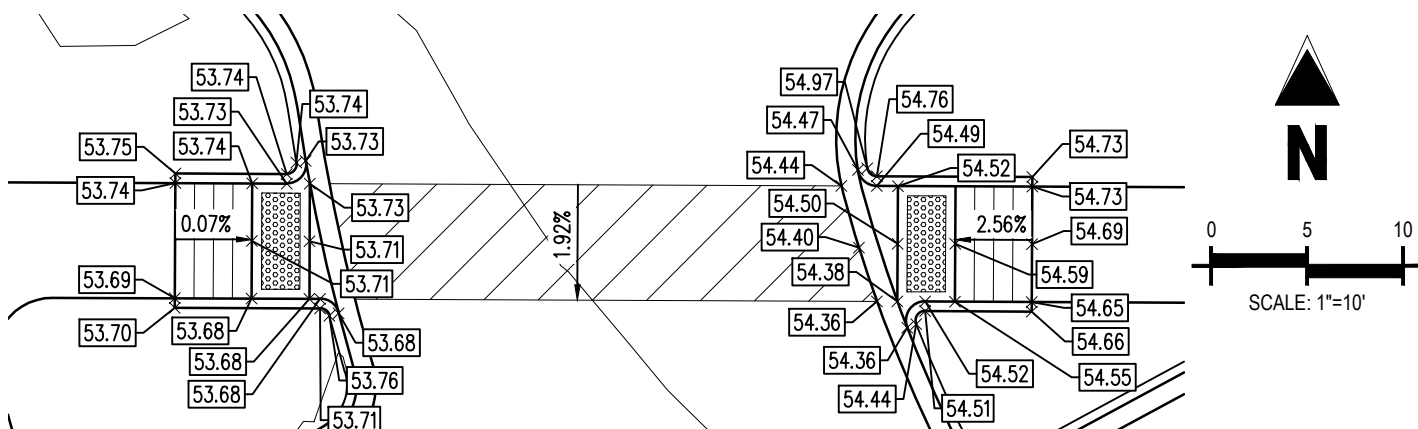
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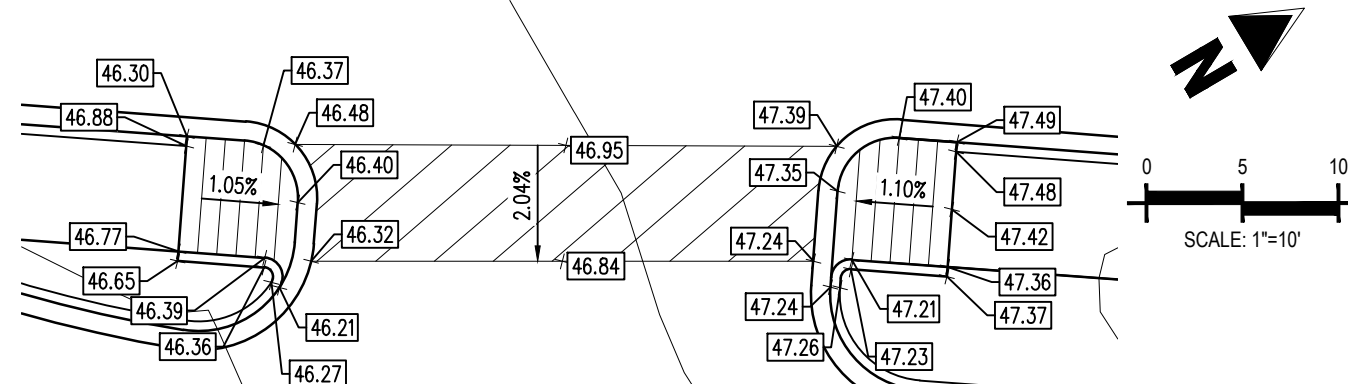
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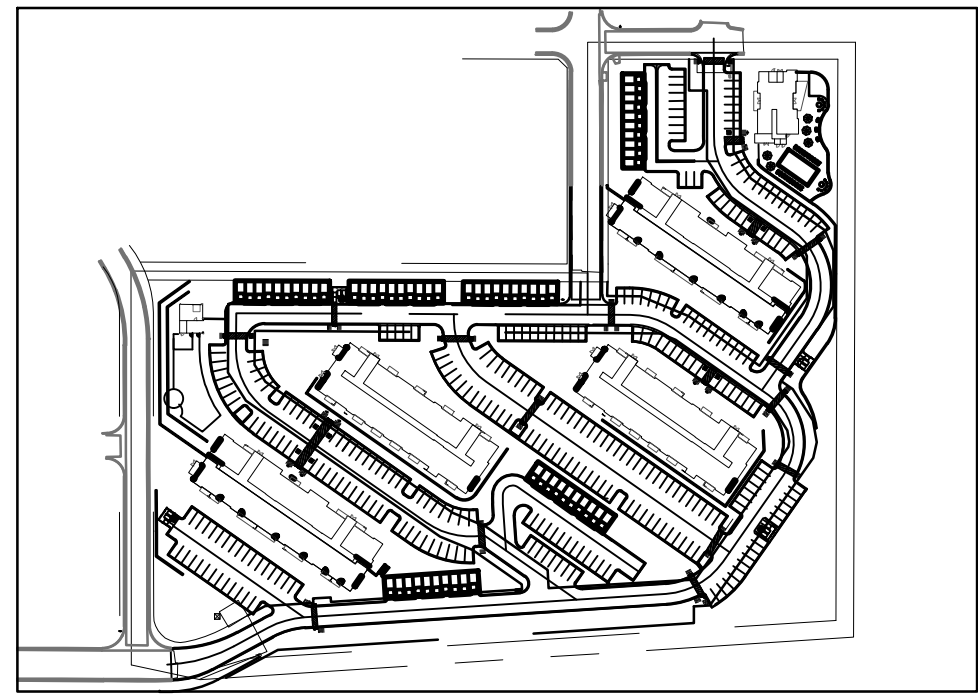
ADA AREA 3 BLOW UP DETAIL



ADA AREA 6 BLOW UP DETAIL



ADA AREA 9 BLOW UP DETAIL



SITE MAP

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED BUILDING OUTLINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED DETECTABLE WARNING SURFACE
- LOD LIMITS OF DISTURBANCE
- PROPOSED STORM SEWER
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Project No:	GNK000002.20
Drawn By:	TPT
Checked By:	RGD
Date:	12/11/2019

DETAILED ADA GRADING

G2.7

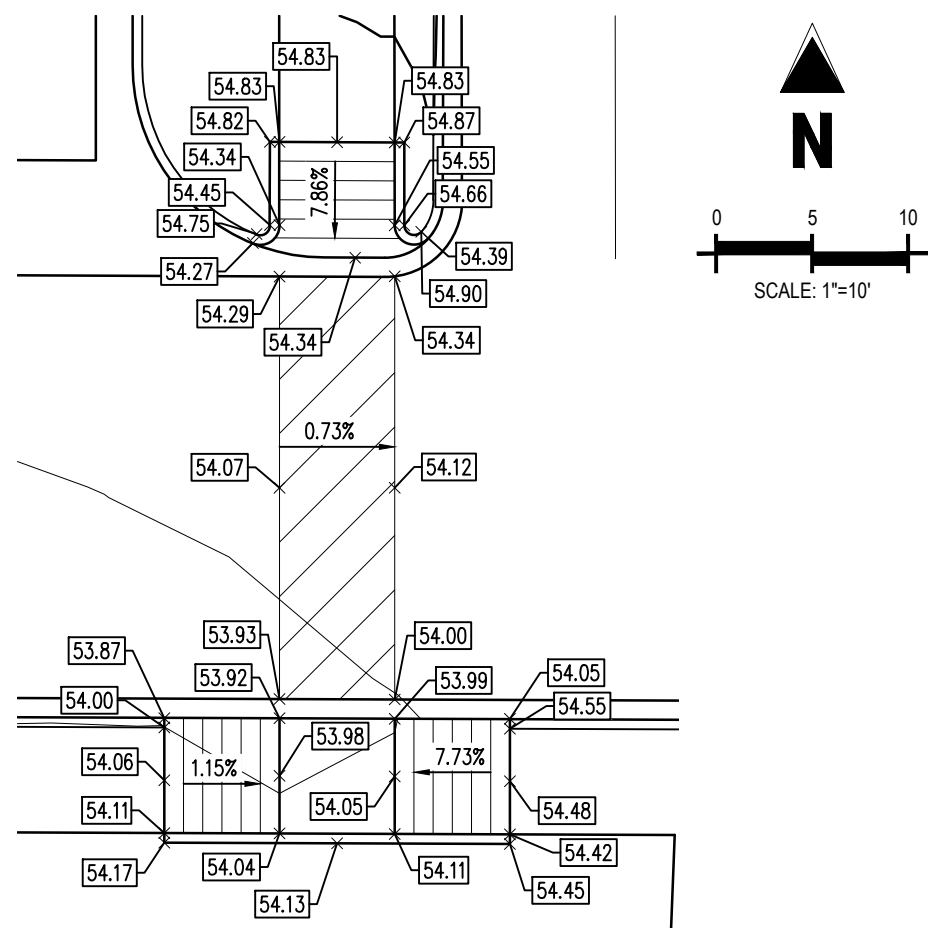
Sheet 12 of 43

CAUTION - NOTICE TO CONTRACTOR

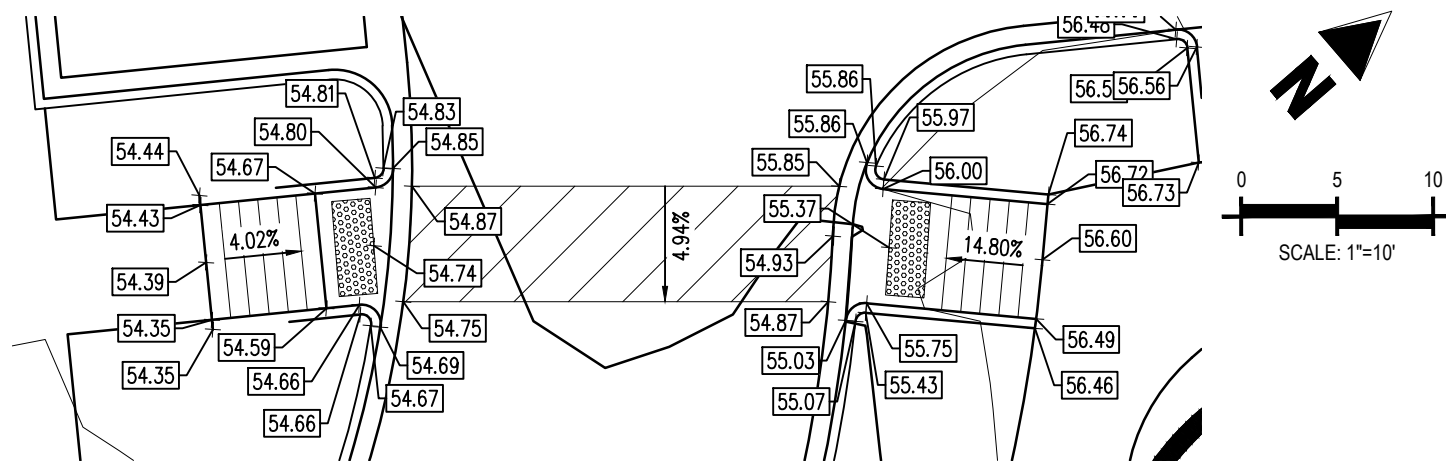
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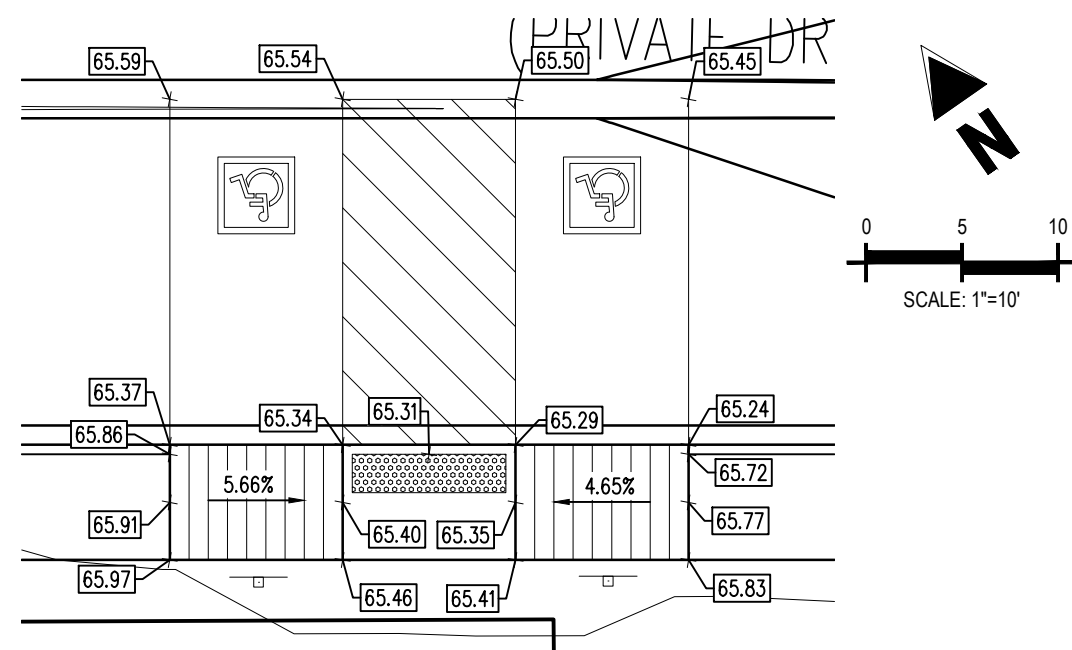
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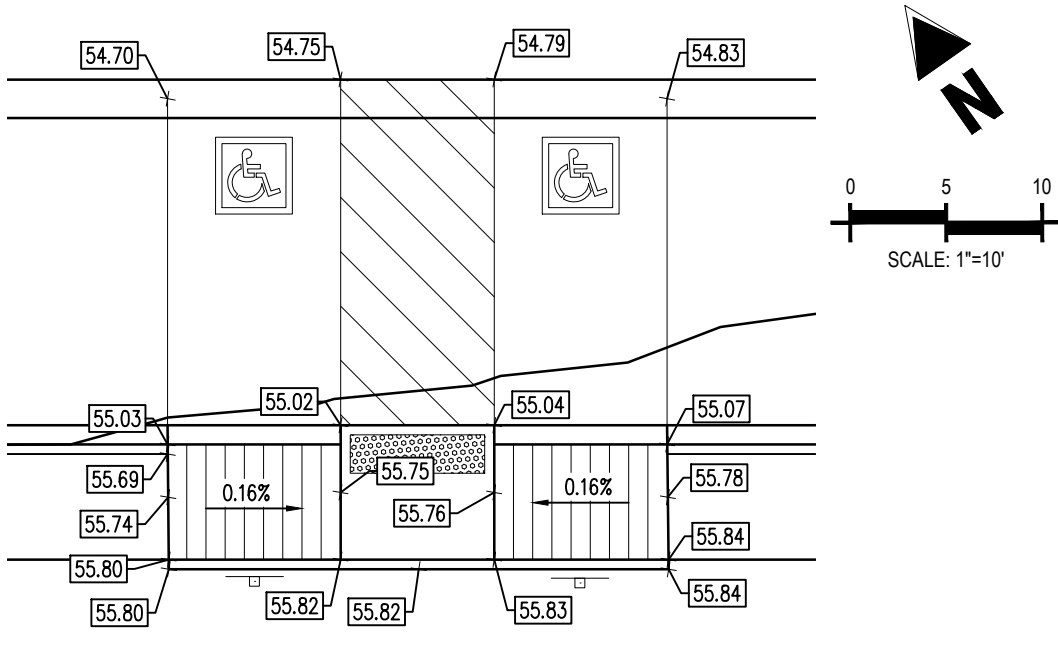
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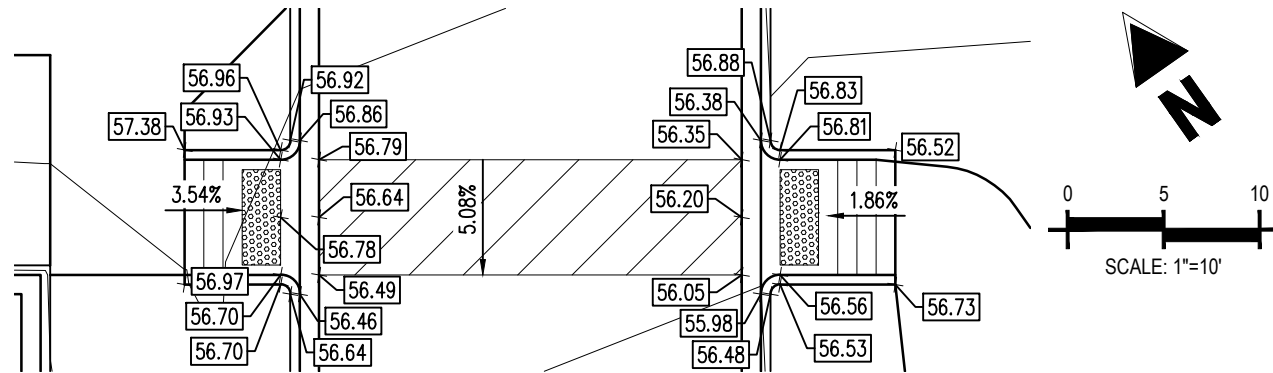
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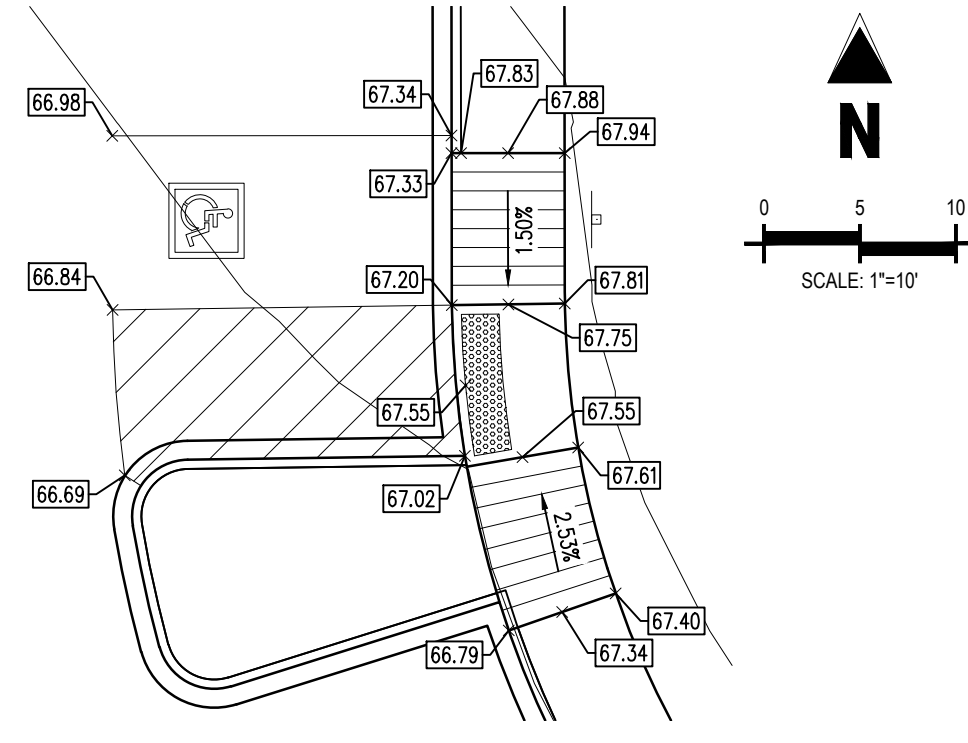
ADA AREA 16 BLOW UP DETAIL



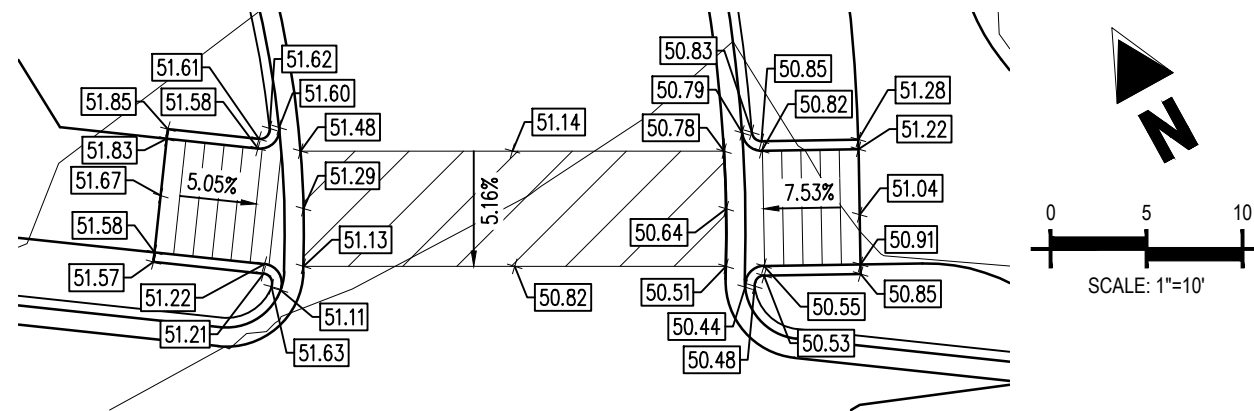
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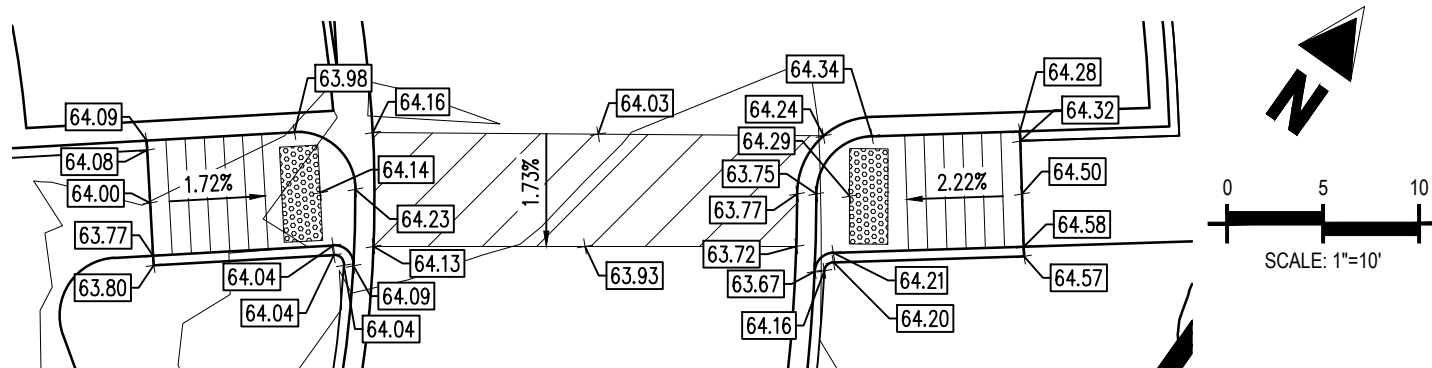
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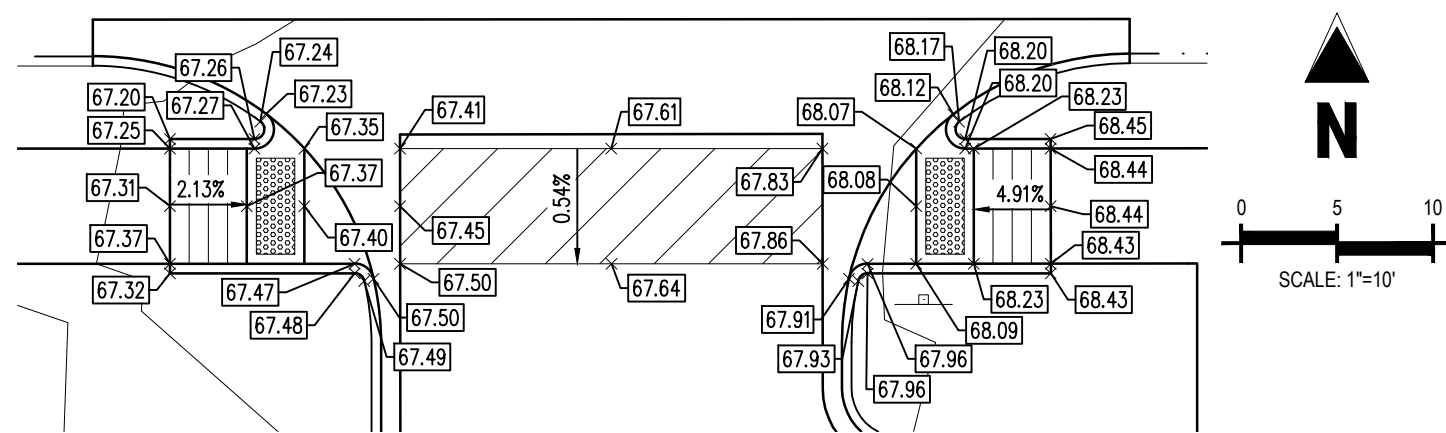
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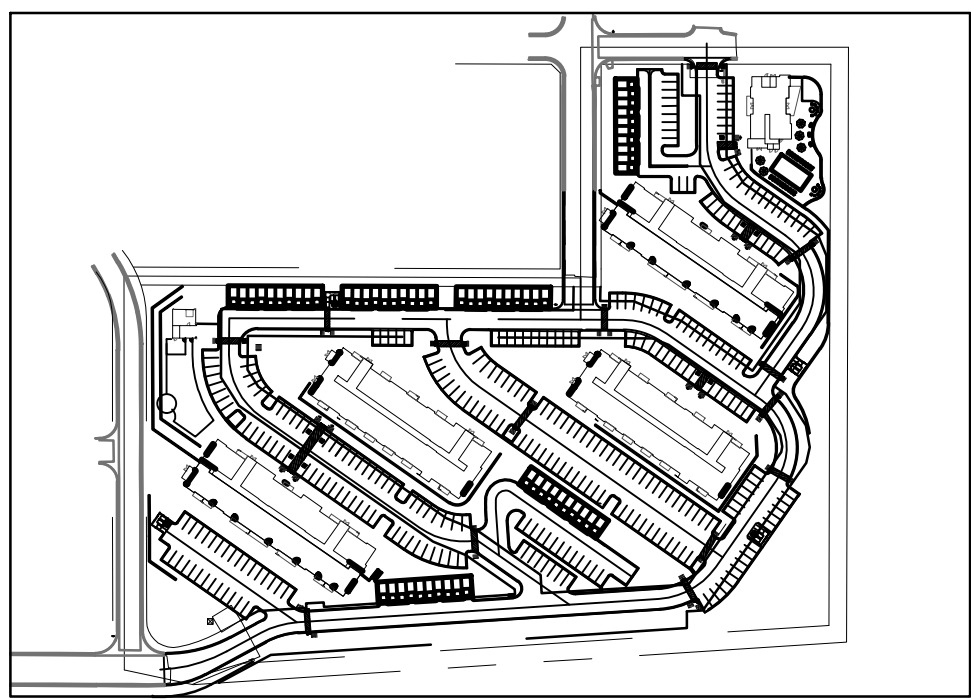
ADA AREA 12 BLOW UP DETAIL



ADA AREA 15 BLOW UP DETAIL



ADA AREA 18 BLOW UP DETAIL



LEGEND

- EXISTING PROPERTY LINE
- PROPOSED BUILDING OUTLINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED DETECTABLE WARNING SURFACE
- LOD LIMITS OF DISTURBANCE
- PROPOSED STORM SEWER
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- PROPOSED DOOR
- FINISHED GRADE ELEVATION
- FLOW GRADE OR SLOPE
- TW TOP OF WALL
- BW BOTTOM OF WALL

NOTES

1. ADD 6800 TO ALL SPOT ELEVATIONS.
2. ALL ELEVATIONS ON THESE PLANS ARE ON FLOWLINE UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL REFER TO STORM WATER PLAN AND PROFILE SHEETS FOR ALL STORM PIPE, INLET, MANHOLE AND APPURTENANCE INFORMATION.
4. WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS.
5. ALL TEMPORARY EROSIONS CONTROL DEVICES SHOWN ON THIS PLAN SHALL BE IN PLACE DURING ALL GRADING ACTIVITIES. FINAL STABILIZATION FOR MONUMENT RIDGE APARTMENTS SHALL BE COMPLETED VIA THE LANDSCAPE PLANS.
6. SOILS WITHIN THE SITE ARE PREDOMINATELY TOMAH CROWFOOT COMPLEX, SOIL CLASSIFICATION TYPE B. SOIL DATA FOR MONUMENT RIDGE APARTMENTS WAS OBTAINED FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY.
7. EXISTING VEGETATION CONSISTS OF NATIVE GRASSES AND SHRUBS.
8. LIMITS OF DISTURBANCE FOR THIS PLAN INCLUDE UTILITY INSTALLATION AND INTERNAL CIRCULATION DRIVE AISLES FOR THE SITE.
9. LOCATION OF STORAGE FOR MAINTENANCE AND TEMPORARY DISPOSAL AREAS WILL BE ADDED TO THIS PLAN BY SWMP ADMINISTRATION UPON COORDINATION WITH SELECTED CONTRACTOR.
10. WALLS EXCEEDING 4' (MEASURED FROM BOTTOM OF FOOTING TO TOP OF WALL) MAY REQUIRE A BUILDING PERMIT.

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GRADING & EROSION CONTROL
MONUMENT RIDGE APARTMENTS

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MONUMENT, CO

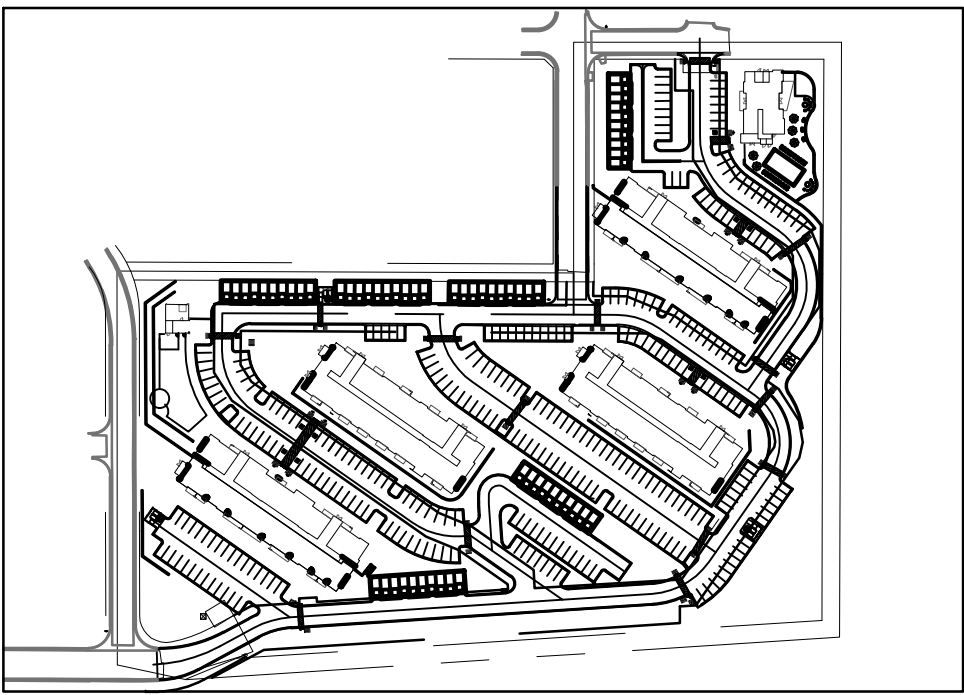
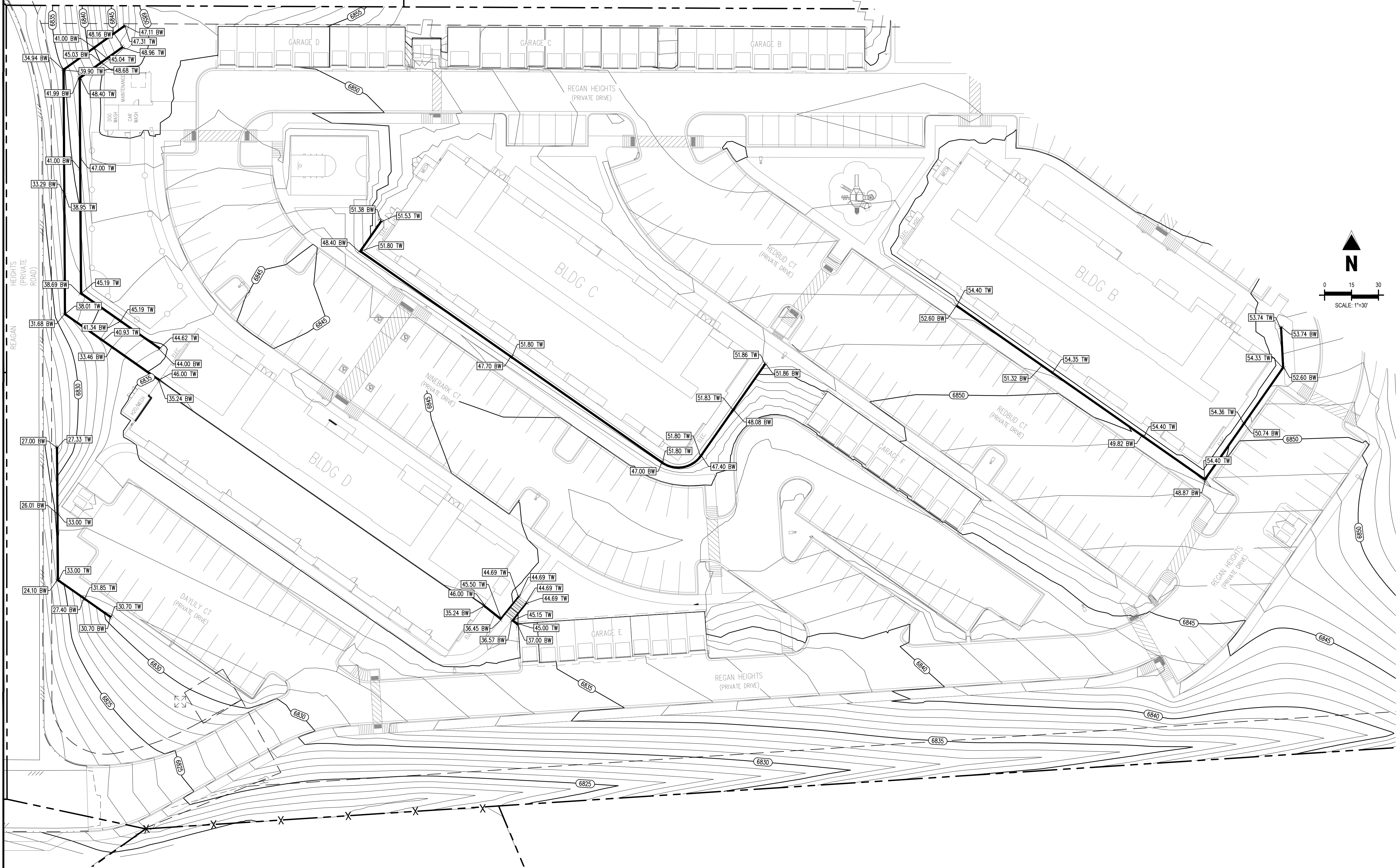
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Checked By:	RGD
Date:	12/11/2019

DETAILED ADA GRADING

G2.8

Sheet 13 of 43



KEY MAP

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED BUILDING OUTLINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED DETECTABLE WARNING SURFACE
- LOD
- LIMITS OF DISTURBANCE
- PROPOSED STORM SEWER
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- PROPOSED DOOR
- FINISHED GRADE ELEVATION
- FLOW GRADE OR SLOPE
- TW
- TOP OF WALL
- BW
- BOTTOM OF WALL

NOTES

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DETAILED WALL GRADING

G2.9

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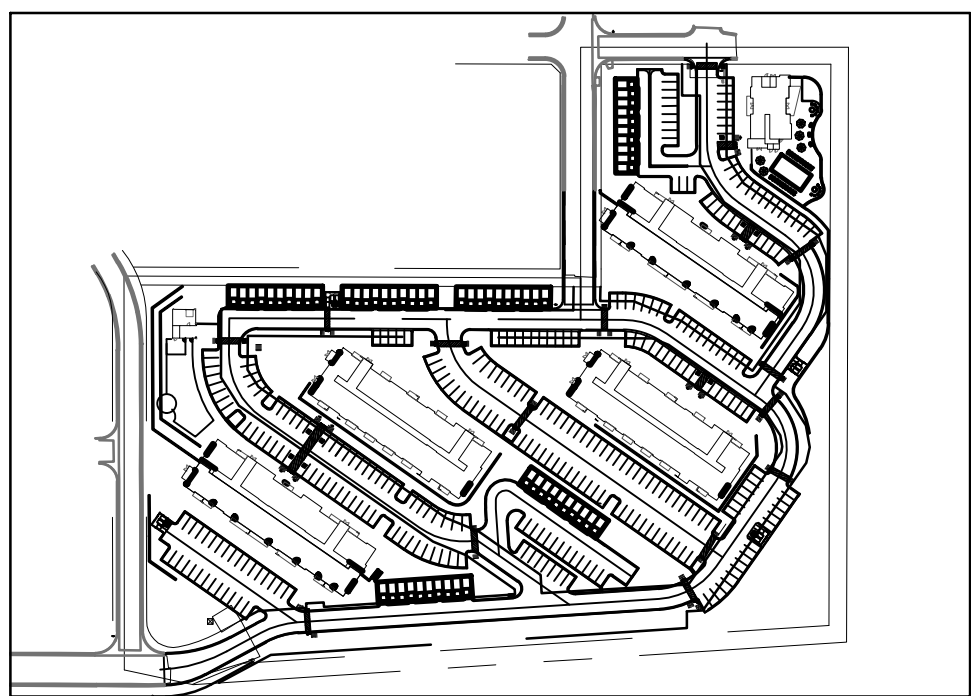
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DETAILED WALL GRADING

G2.10

Sheet 15 of 43



KEY MAP

LEGEND

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- PROPOSED BUILDING OUTLINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
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NOTES

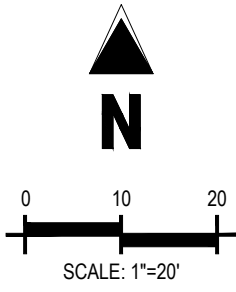
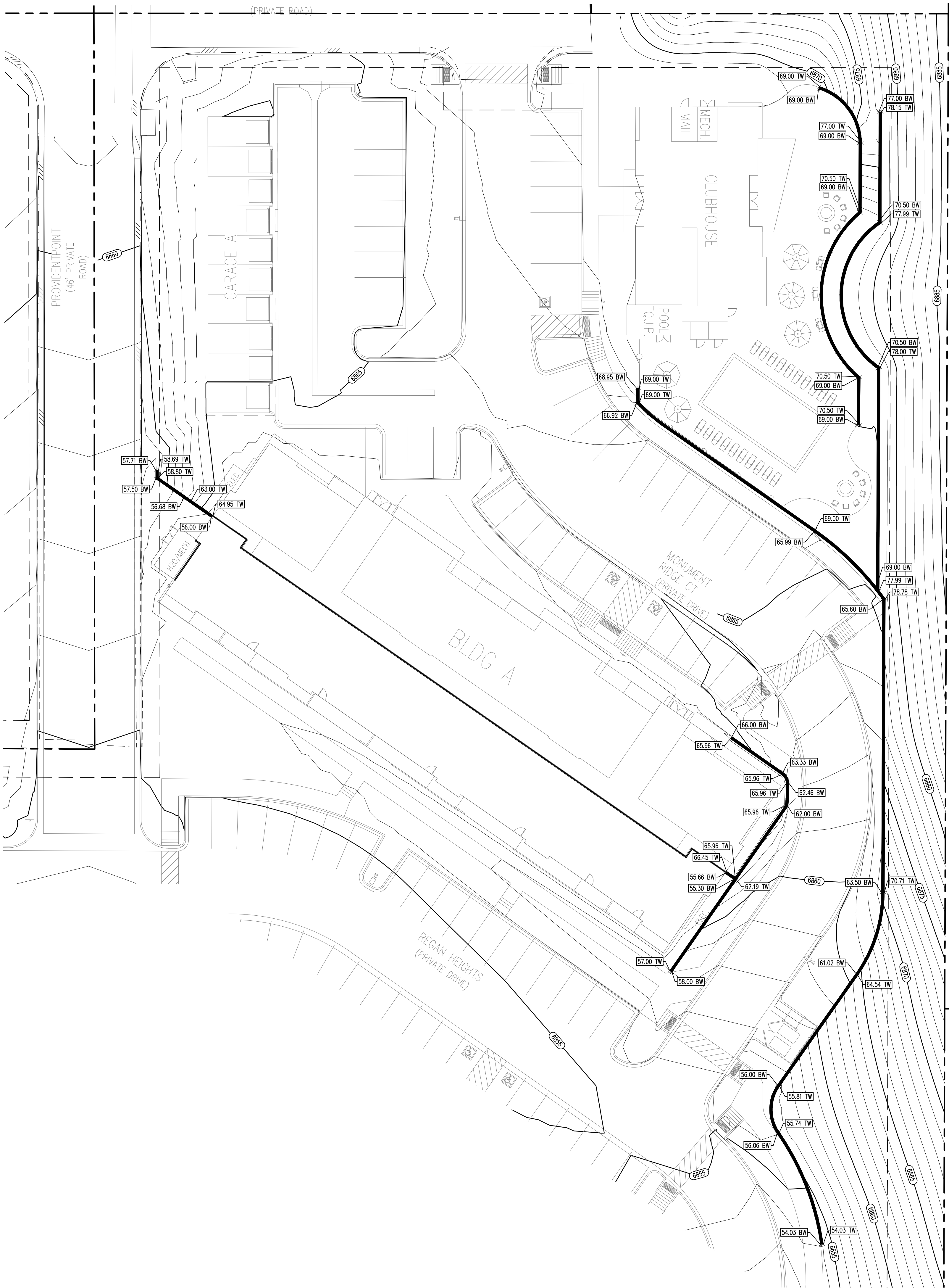
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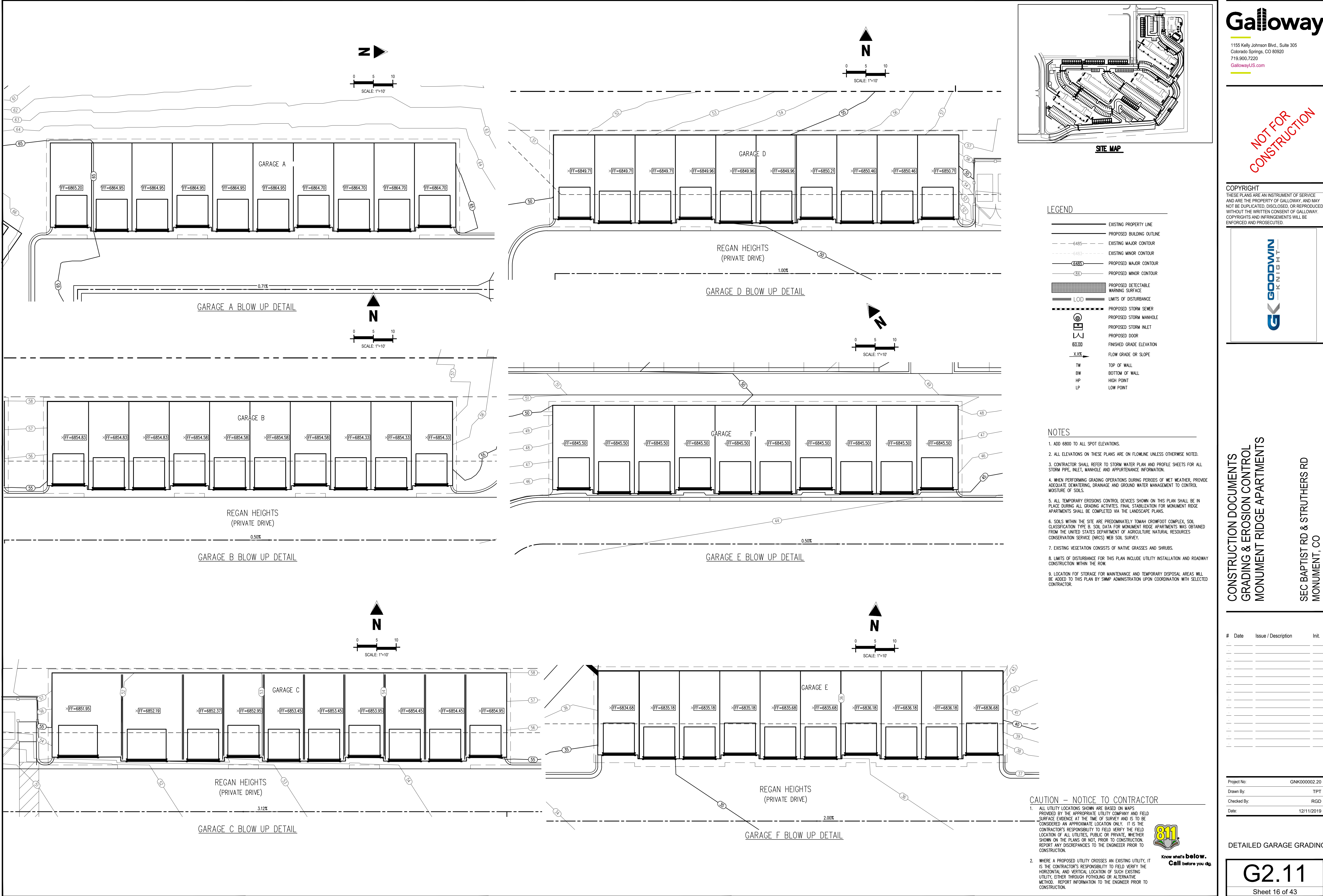
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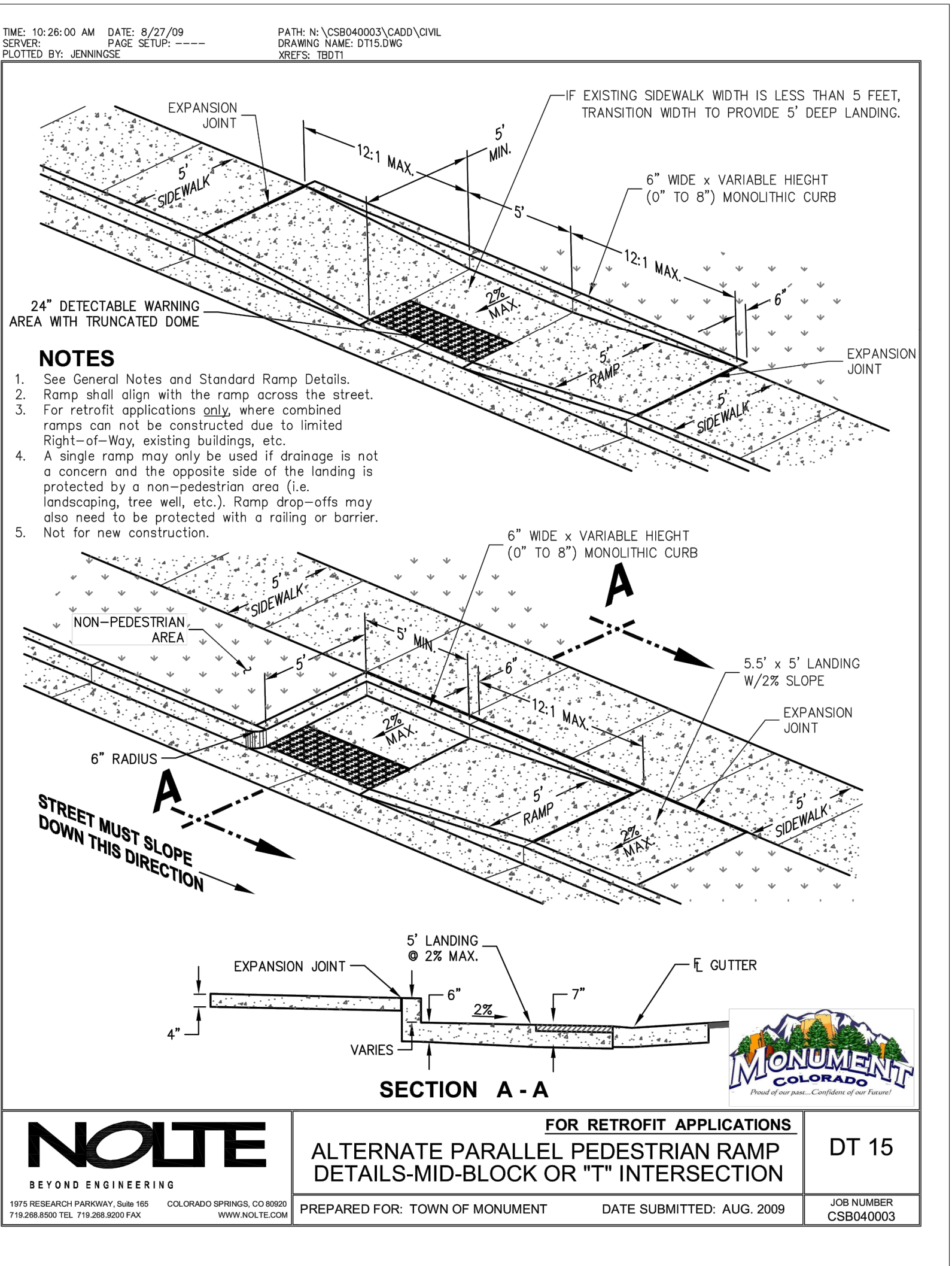
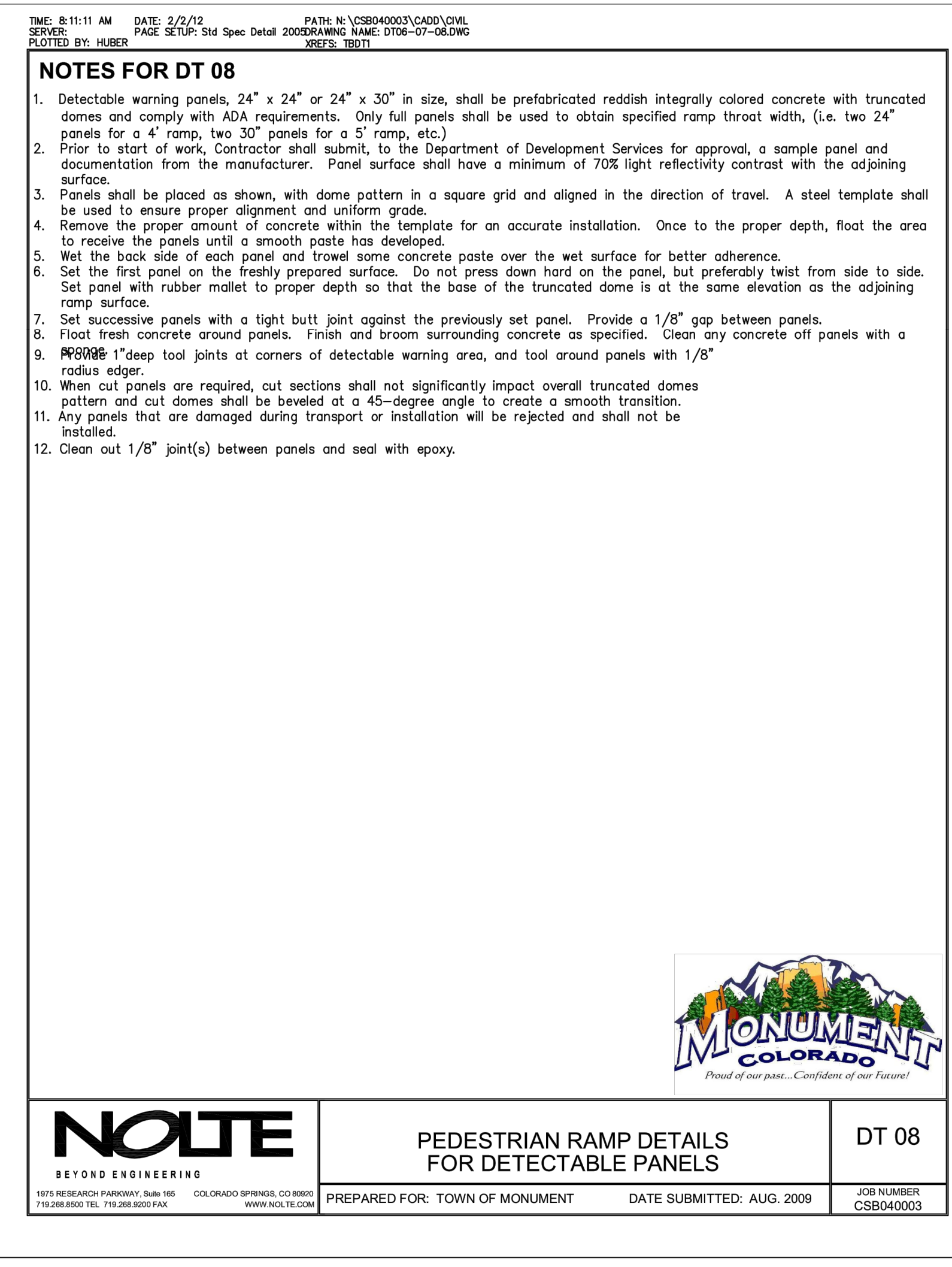
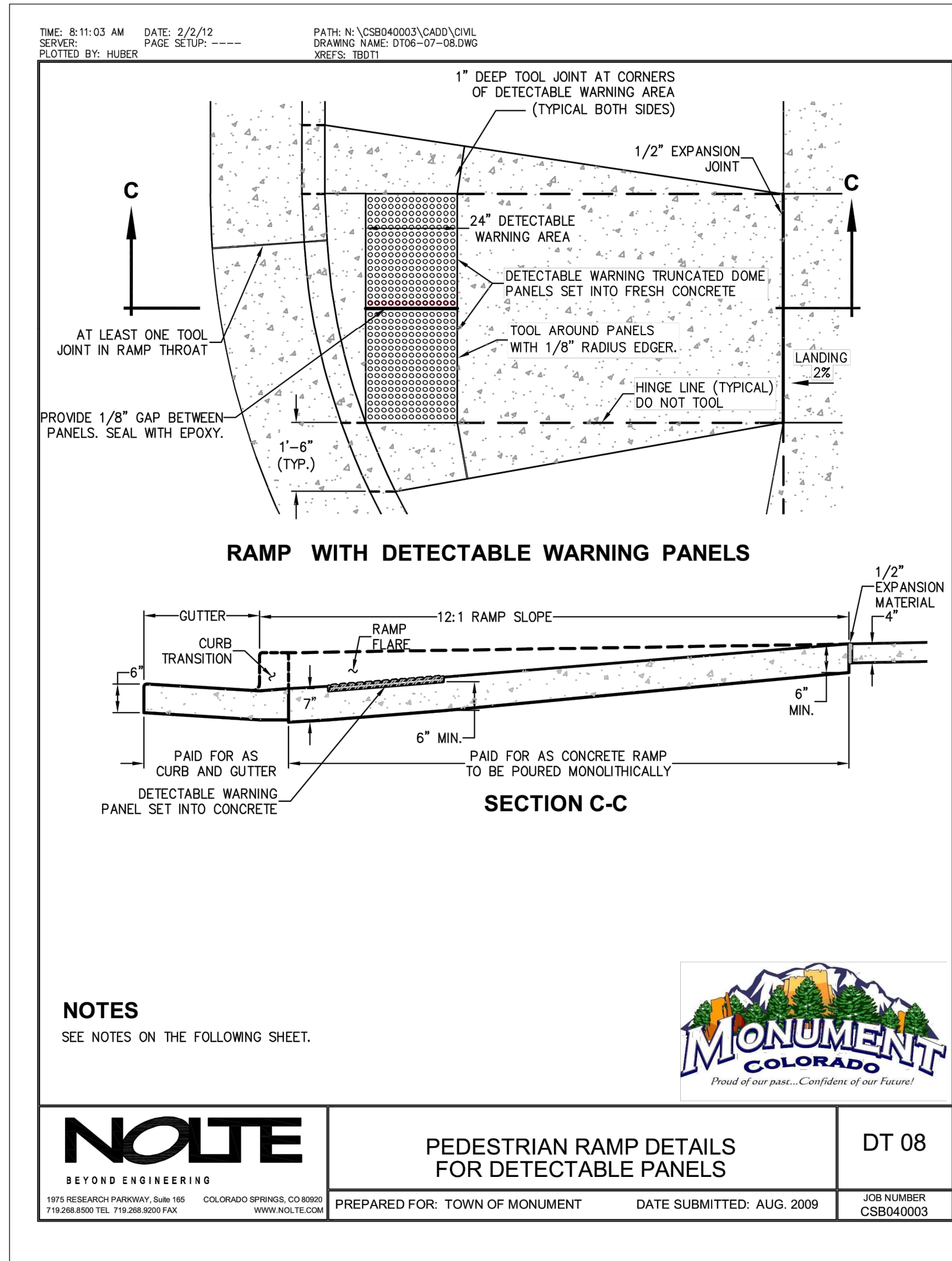
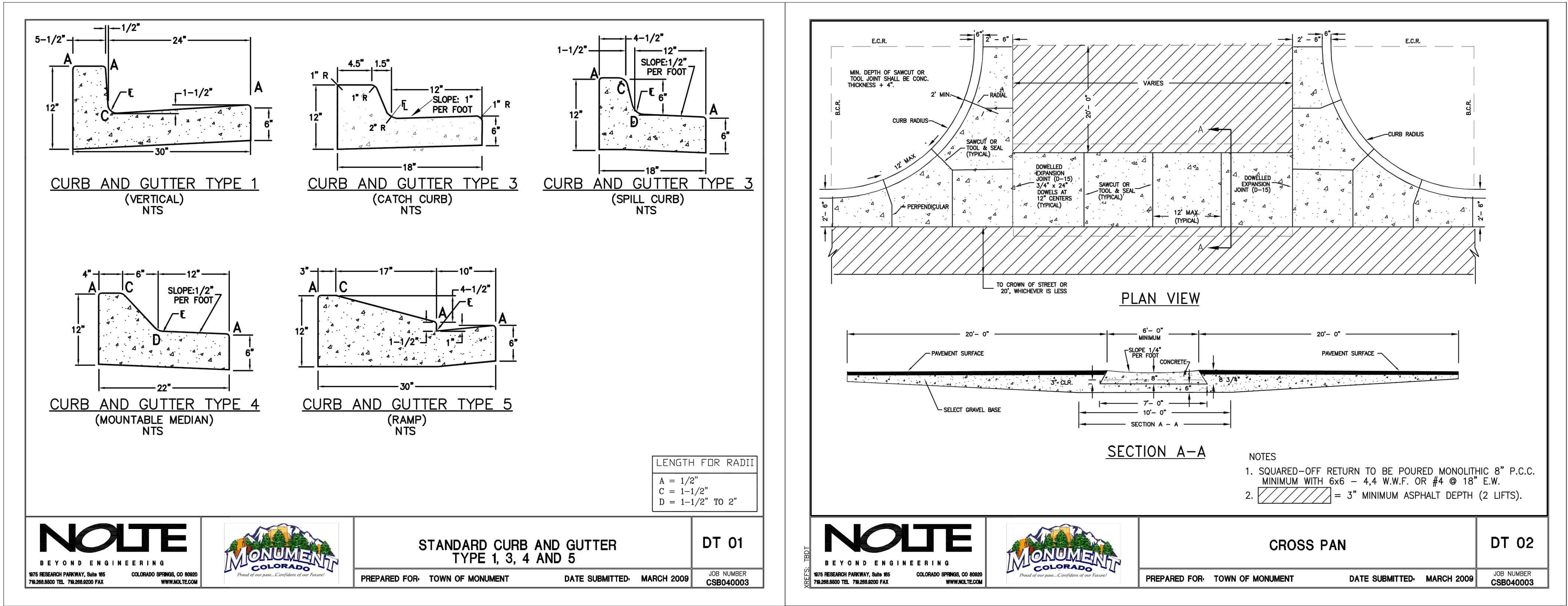
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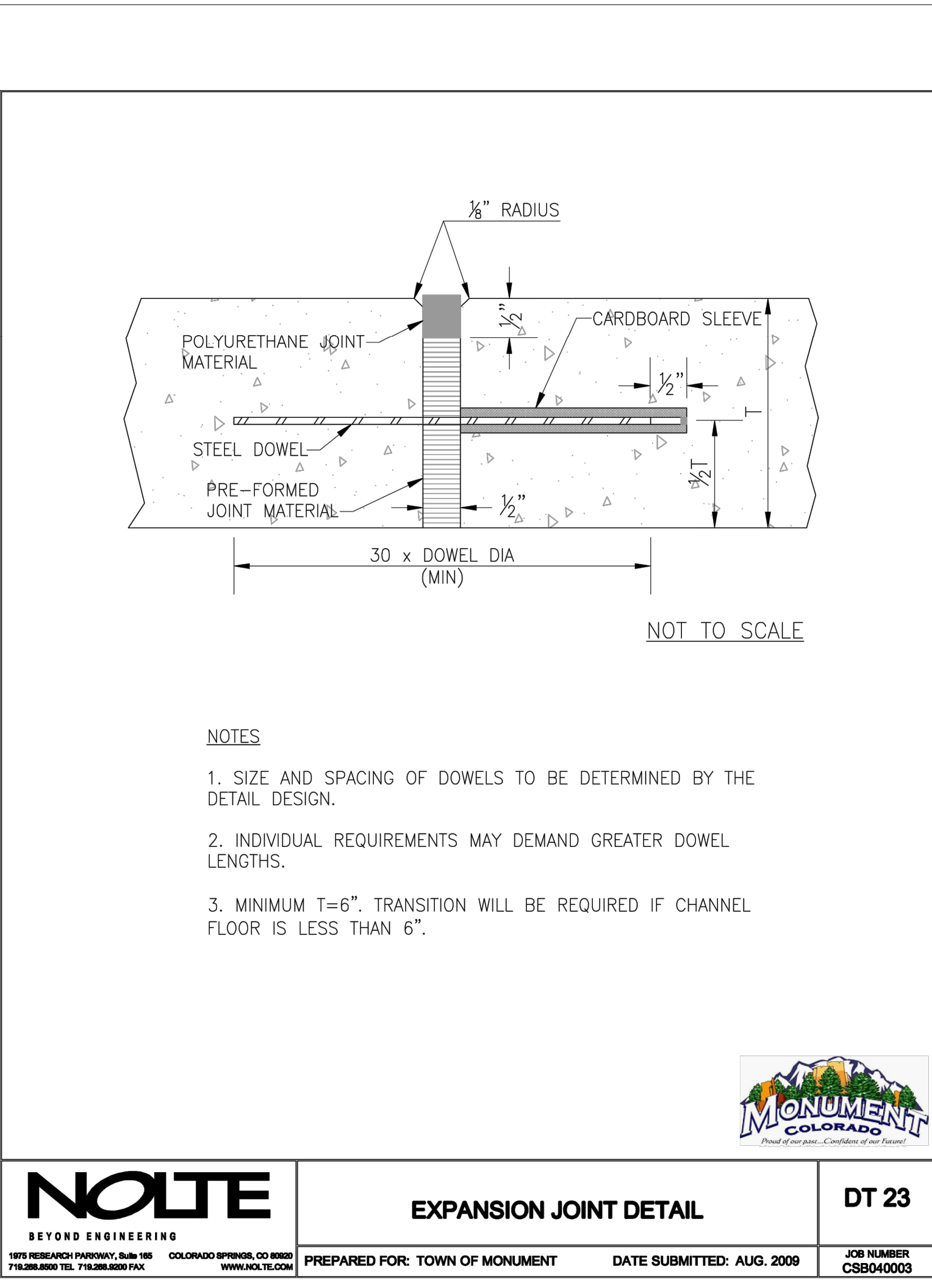
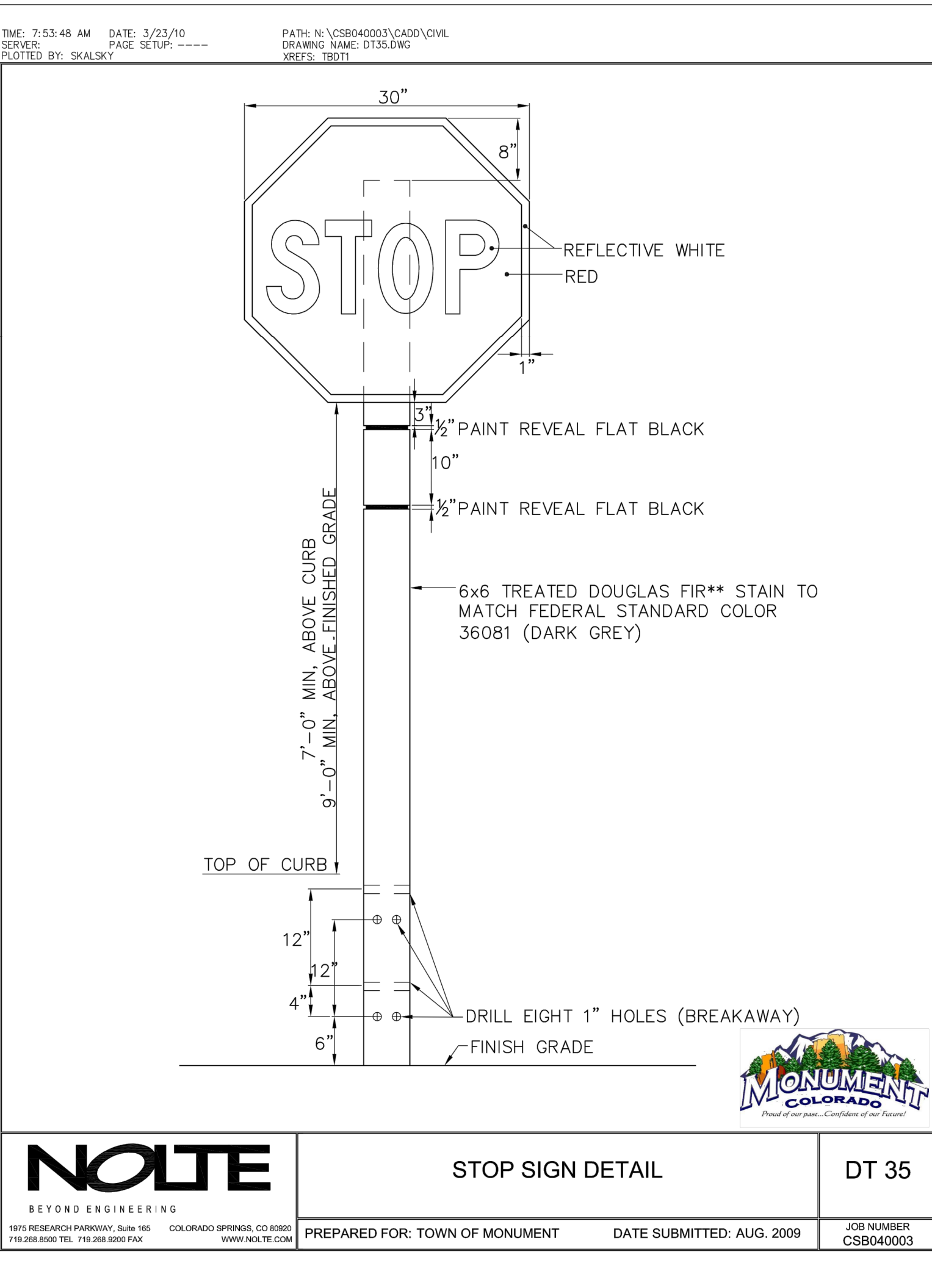
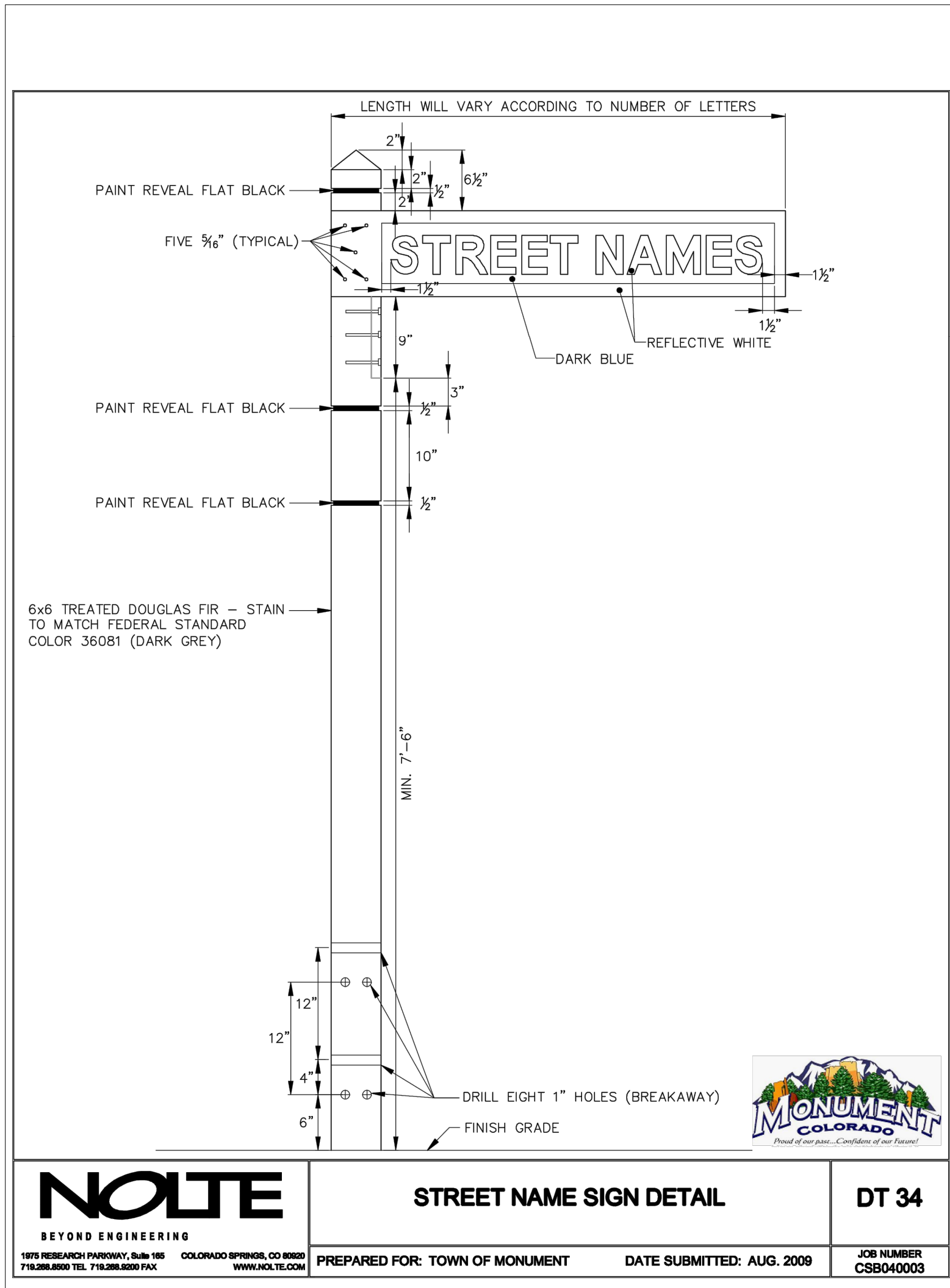
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GRADING DETAILS

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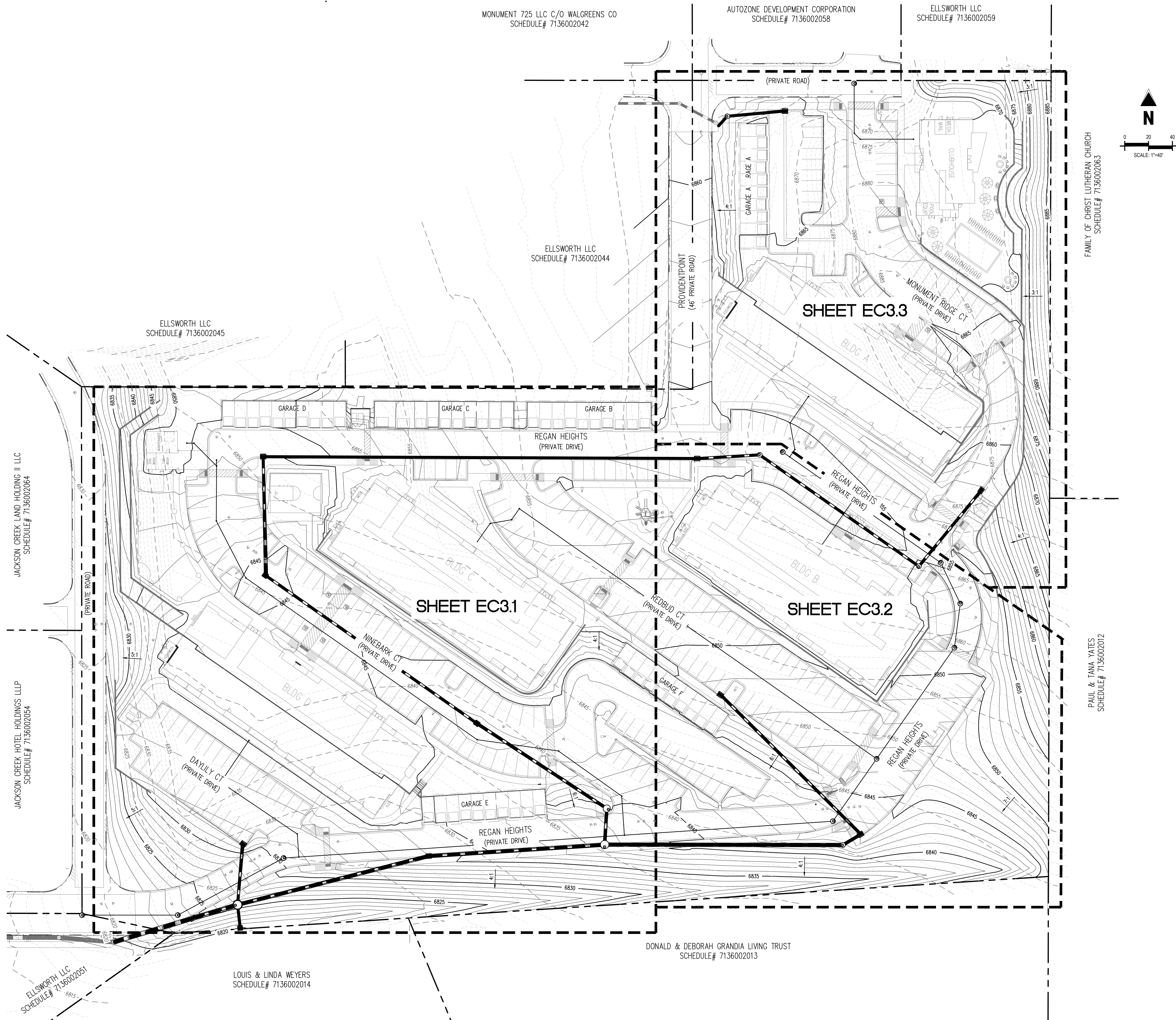
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EROSION CONTROL KEY MAP

EC3.0

Sheet 19 of 43

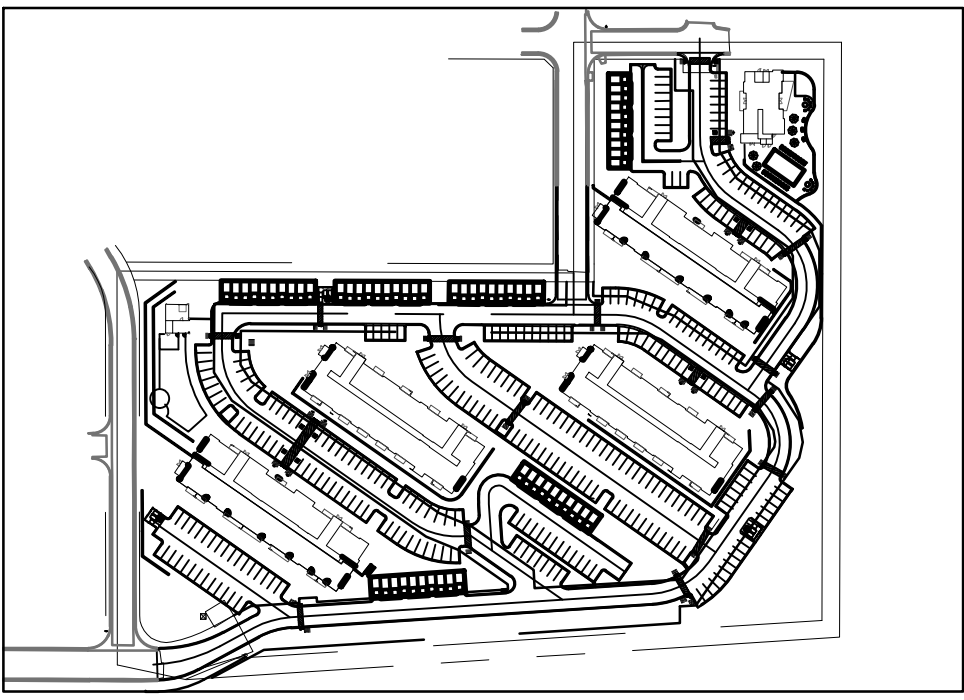
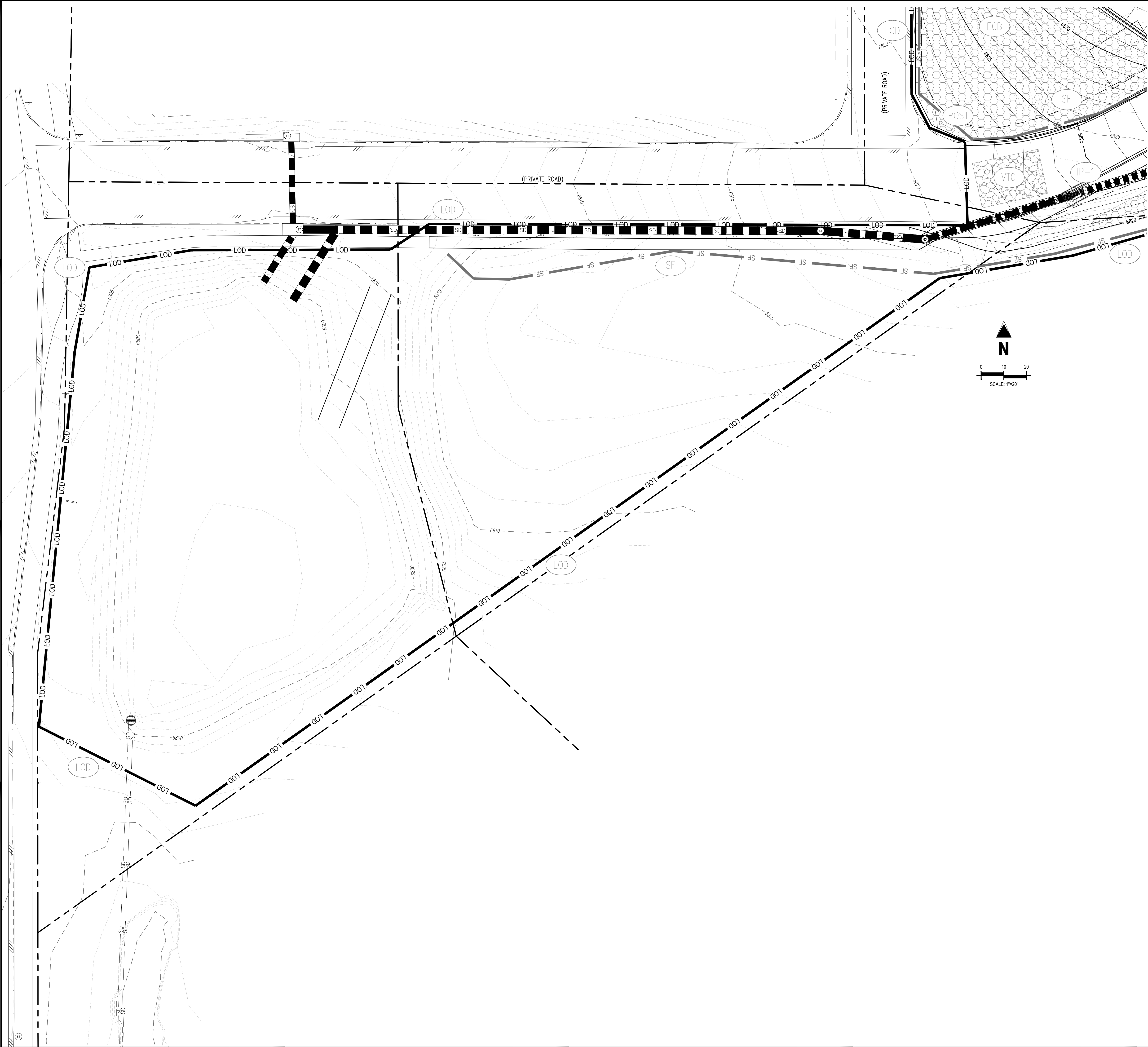


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LEGEND

- 6485 EXISTING MAJOR CONTOUR
- 6483 EXISTING MINOR CONTOUR
- 6485 PROPOSED MAJOR CONTOUR
- 64 PROPOSED MINOR CONTOUR
- EXISTING PROPERTY LINE
- PROPOSED BUILDING OUTLINE
- PROPOSED STORM DRAIN
- PROPOSED DOOR
- ECB EROSION CONTROL BLANKET
- VTC VEHICLE TRACKING CONTROL
- SSA STABILIZED STAGING AREA
- SF SILT FENCE
- LOD LIMITS OF DISTURBANCE
- CWA CONCRETE WASHOUT AREA
- SP STOCK PILE
- IP INLET PROTECTION
- PT PORTABLE TOILET
- POST SITE (CONTACTS AND PERMITS) AND WASHOUT POSTING

NOTE

- ALL DISTURBED AREAS THAT ARE NOT PAVED ARE TO BE SEEDED PER TRIVIEW METRO DISTRICT DESIGN CRITERIA & CONSTRUCTION SPECIFICATION MANUAL FOR RESIDENTIAL DEVELOPMENT SECTION 10 - LANDSCAPING
- EROSION CONTROL DEVICES SHOWN ON THIS PLAN ARE TO REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
- LIMITS OF DISTURBANCE FOR THIS PLAN INCLUDE UTILITY INSTALLATION & INTERNAL DRIVE AISLES.
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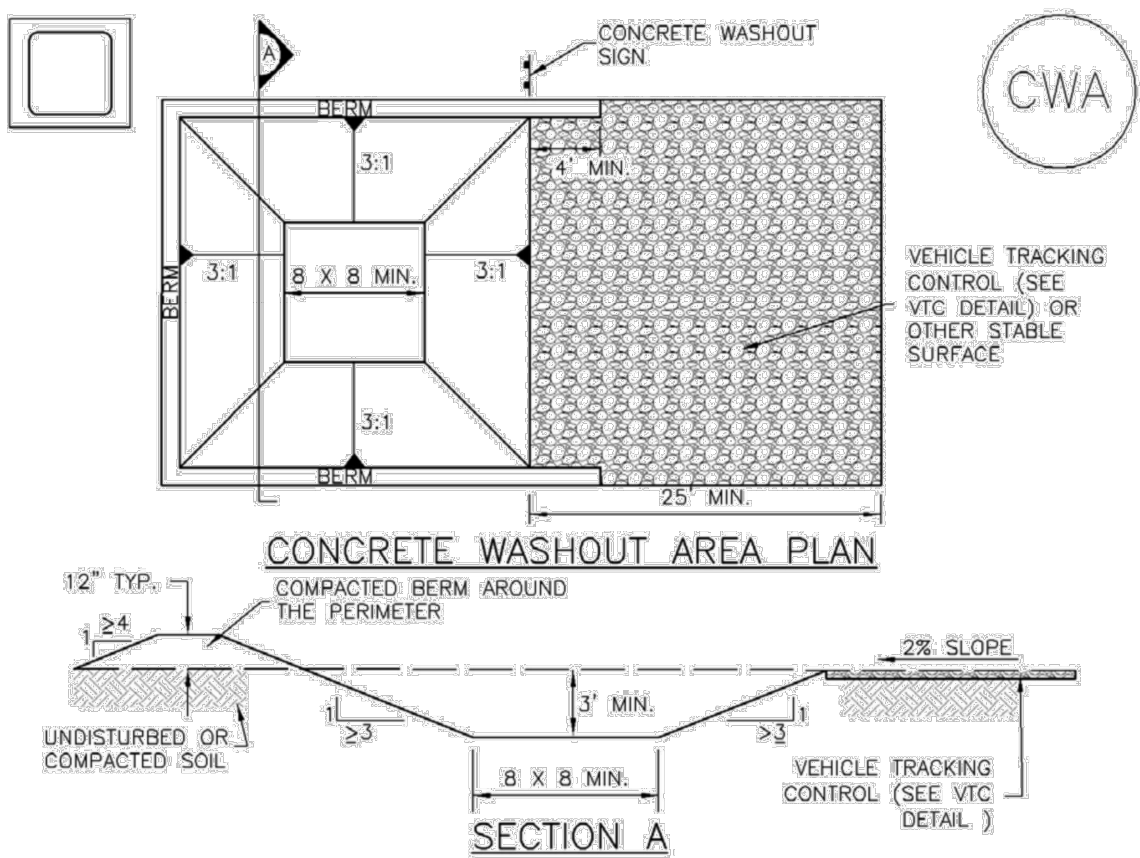
EROSION CONTROL PLAN

EC3.4

Sheet 23 of 43

Concrete Washout Area (CWA)

MM-1



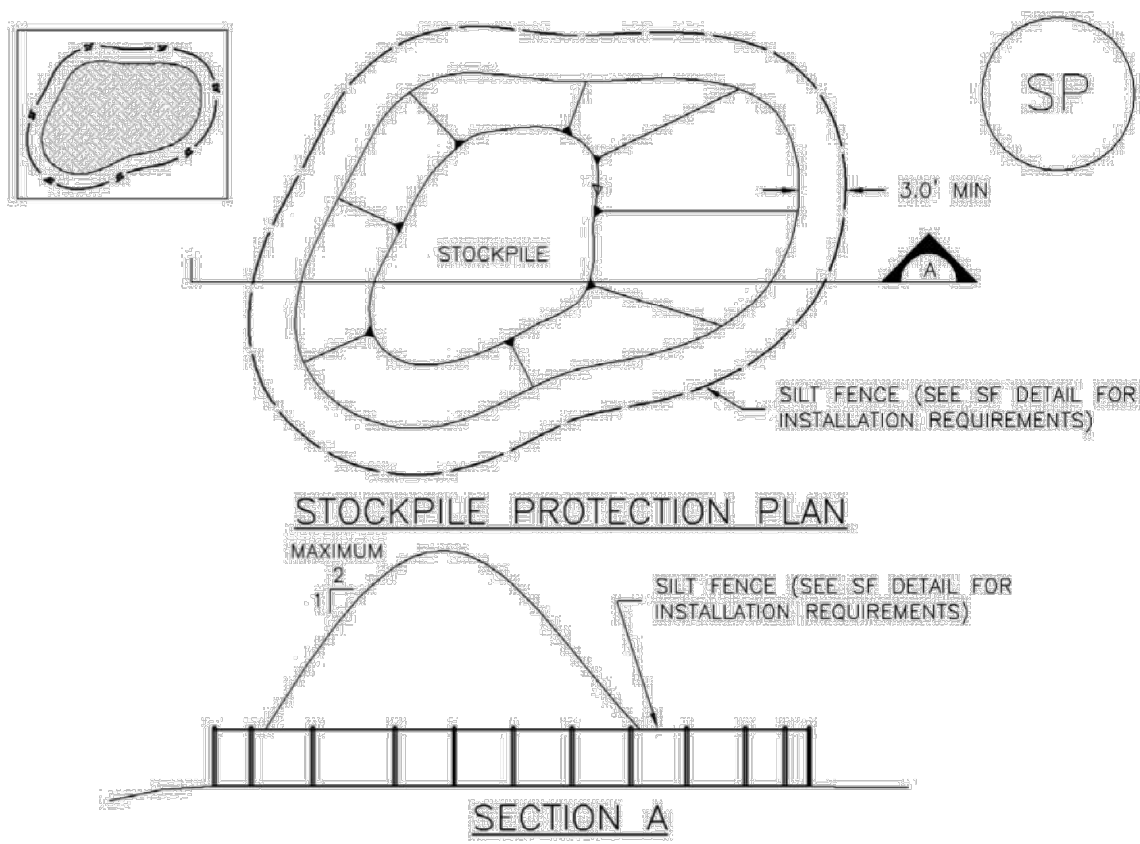
CWA INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
-CWA INSTALLATION LOCATION.
2. DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
4. CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
5. BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
6. VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
7. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
8. USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

November 2010 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 CWA-3

Stockpile Management (SP)

MM-2



STOCKPILE PROTECTION INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
-LOCATION OF STOCKPILES
-TYPE OF STOCKPILE PROTECTION.
2. INSTALL PERIMETER CONTROLS IN ACCORDANCE WITH THEIR RESPECTIVE DESIGN DETAILS. SILT FENCE IS SHOWN IN THE STOCKPILE PROTECTION DETAILS; HOWEVER, OTHER TYPES OF PERIMETER CONTROLS INCLUDING SEDIMENT CONTROL LOGS OR ROCK SOCKS MAY BE SUITABLE IN SOME CIRCUMSTANCES. CONSIDERATIONS FOR DETERMINING THE APPROPRIATE TYPE OF PERIMETER CONTROL FOR A STOCKPILE INCLUDE WHETHER THE STOCKPILE IS LOCATED ON A PERVIOUS OR IMPERVIOUS SURFACE, THE RELATIVE HEIGHTS OF THE PERIMETER CONTROL AND STOCKPILE, THE ABILITY OF THE PERIMETER CONTROL TO CONTAIN THE STOCKPILE WITHOUT FAILING IN THE EVENT THAT MATERIAL FROM THE STOCKPILE SHIFTS OR SLUMPS AGAINST THE PERIMETER, AND OTHER FACTORS.
3. STABILIZE THE STOCKPILE SURFACE WITH SURFACE ROUGHENING, TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS, OR SOIL BINDERS. SOILS STOCKPILED FOR AN EXTENDED PERIOD (TYPICALLY FOR MORE THAN 60 DAYS) SHOULD BE SEEDED AND MULCHED WITH A TEMPORARY GRASS COVER ONCE THE STOCKPILE IS PLACED (TYPICALLY WITHIN 14 DAYS). USE OF MULCH ONLY OR A SOIL BINDER IS ACCEPTABLE IF THE STOCKPILE WILL BE IN PLACE FOR A MORE LIMITED TIME PERIOD (TYPICALLY 30-60 DAYS).
4. FOR TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNGRADEMENT CONTROLS, INCLUDING PERIMETER CONTROL, ARE IN PLACE, STOCKPILE PERIMETER CONTROLS MAY NOT BE REQUIRED.

November 2010 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 SP-3

MM-1

Concrete Washout Area (CWA)

CWA MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS, ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
5. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
6. THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
7. WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

[DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD]
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

CWA-4 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 November 2010

MM-2

Stockpile Management (SM)

STOCKPILE PROTECTION MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.

STOCKPILE PROTECTION MAINTENANCE NOTES

4. IF PERIMETER PROTECTION MUST BE MOVED TO ACCESS/SOIL STOCKPILE, REPLACE PERIMETER CONTROLS BY THE END OF THE WORKDAY.
5. STOCKPILE PERIMETER CONTROLS CAN BE REMOVED ONCE ALL THE MATERIAL FROM THE STOCKPILE HAS BEEN USED.

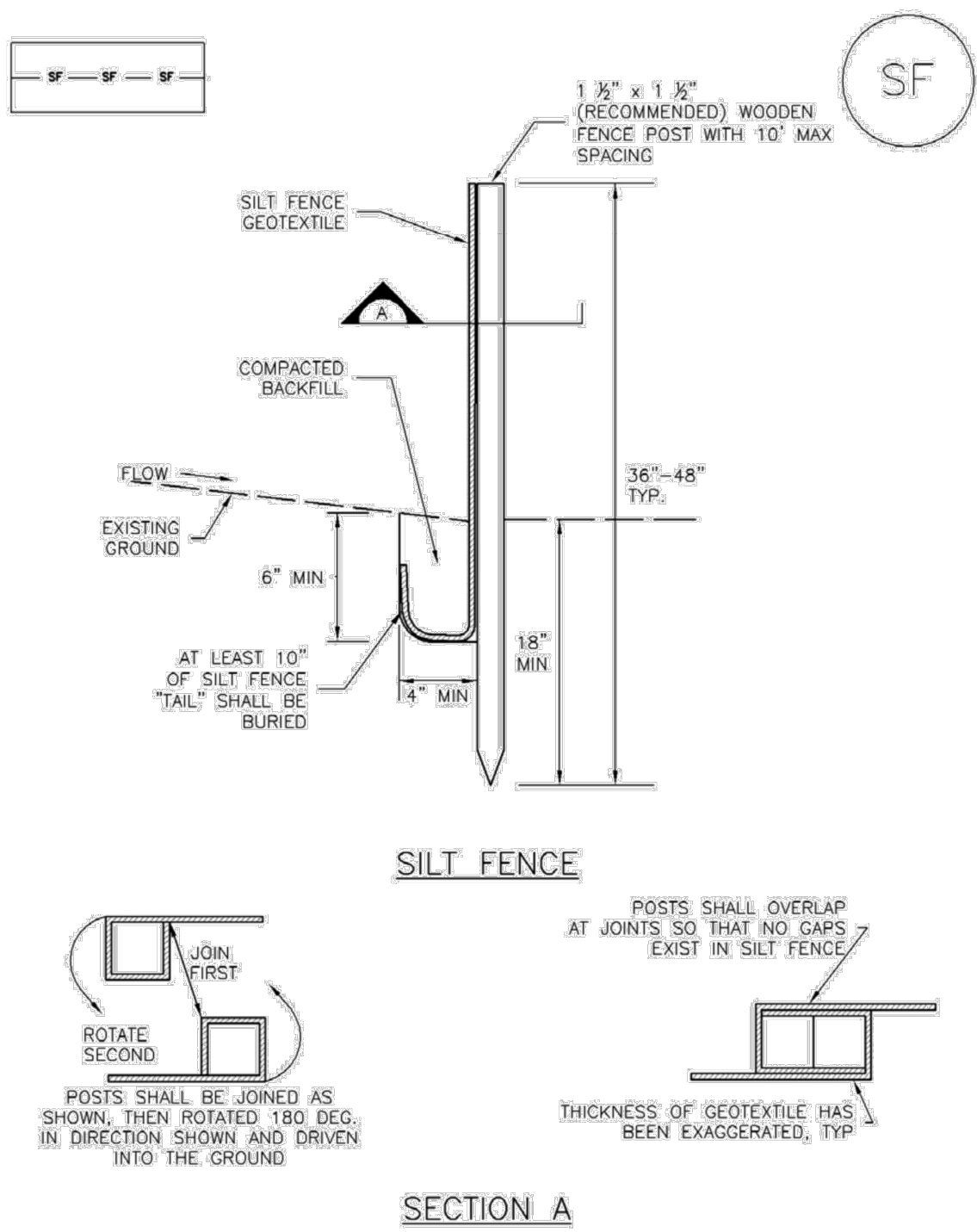
[DETAILS ADAPTED FROM PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD]

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

SP-4 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 November 2010

Silt Fence (SF)

SC-1



SILT FENCE INSTALLATION NOTES

1. SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
2. A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
3. COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
4. SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES, THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
5. SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
6. AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK". THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
7. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

SILT FENCE MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".
5. REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
6. SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
7. WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

[DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, NOT AVAILABLE IN AUTOCAD]

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

SF-4 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 November 2010

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CONSTRUCTION DOCUMENTS
GRADING & EROSION CONTROL
MONUMENT RIDGE APARTMENTS
SEC BAPTIST RD & STRUTHERS RD
MONUMENT, CO

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Project No:	GNK000002.20
Drawn By:	TPT
Checked By:	RGD
Date:	12/11/2019

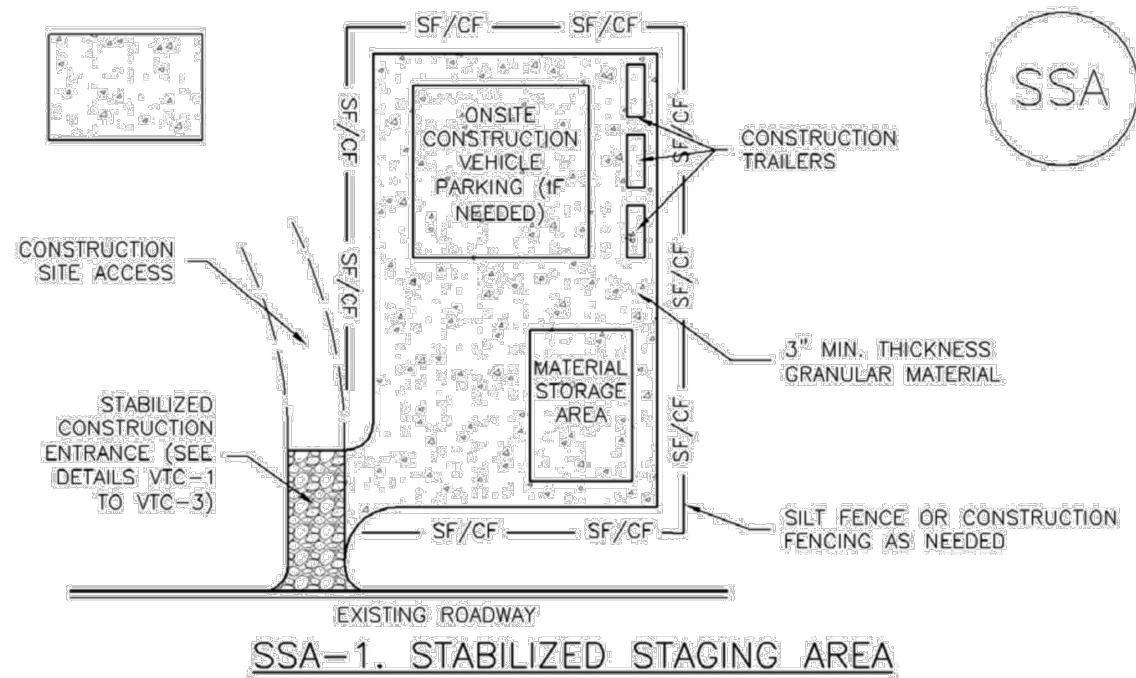
EROSION CONTROL DETAILS

EC3.5

Sheet 24 of 43

Stabilized Staging Area (SSA)

SM-6



SSA-1. STABILIZED STAGING AREA

STABILIZED STAGING AREA INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
--LOCATION OF STAGING AREA(S).
--CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
2. STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
3. STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
4. THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
5. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
6. ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

STABILIZED STAGING AREA MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

November 2010 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 SSA-3

SM-6

Stabilized Staging Area (SSA)

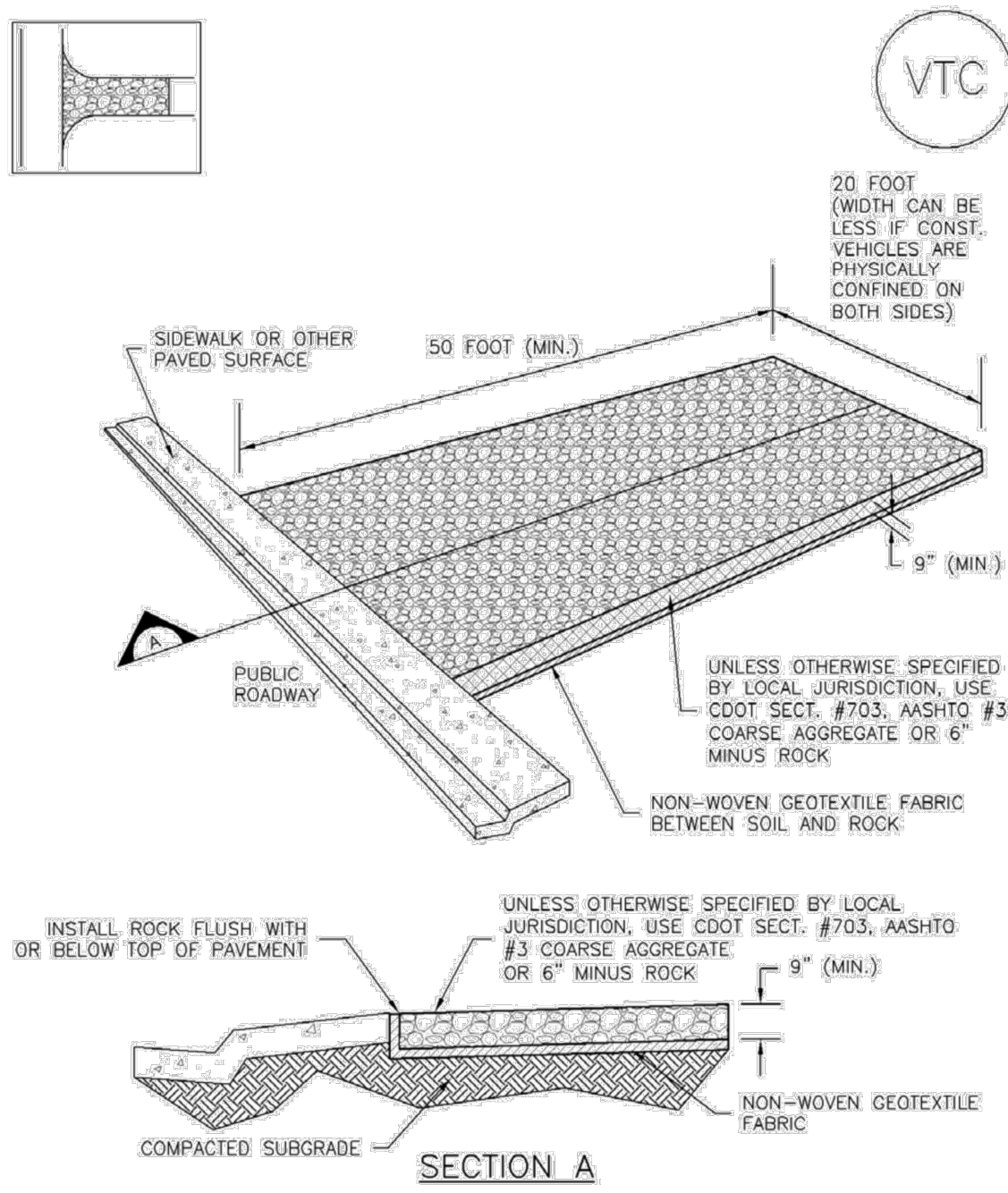
STABILIZED STAGING AREA MAINTENANCE NOTES

5. STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.
 6. THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.
- NOTE: MANY MUNICIPALITIES PROHIBIT THE USE OF RECYCLED CONCRETE AS GRANULAR MATERIAL FOR STABILIZED STAGING AREAS DUE TO DIFFICULTIES WITH RE-ESTABLISHMENT OF VEGETATION IN AREAS WHERE RECYCLED CONCRETE WAS PLACED.
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.
- (DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD)

SSA-4 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 November 2010

Vehicle Tracking Control (VTC)

SM-4

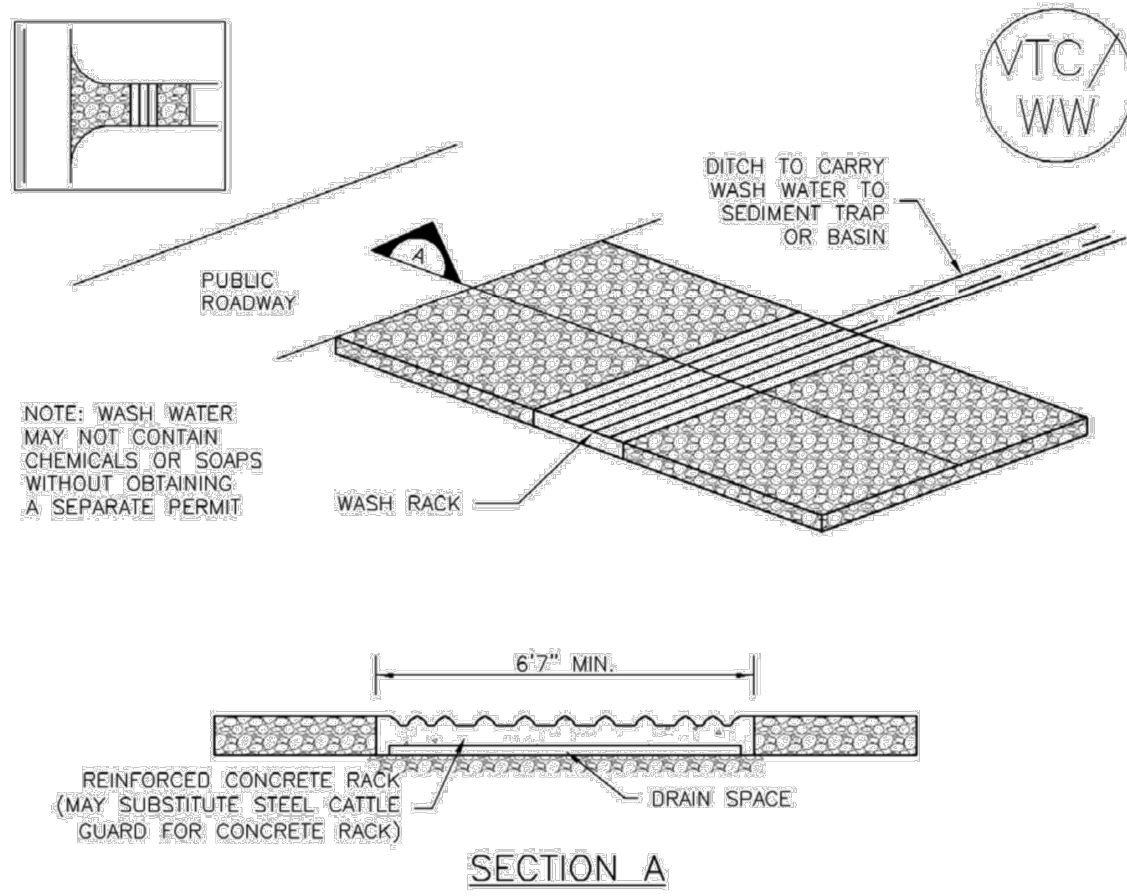


VTC-1. AGGREGATE VEHICLE TRACKING CONTROL

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Urban Storm Drainage Criteria Manual Volume 3 VTC-3

SM-4

Vehicle Tracking Control (VTC)

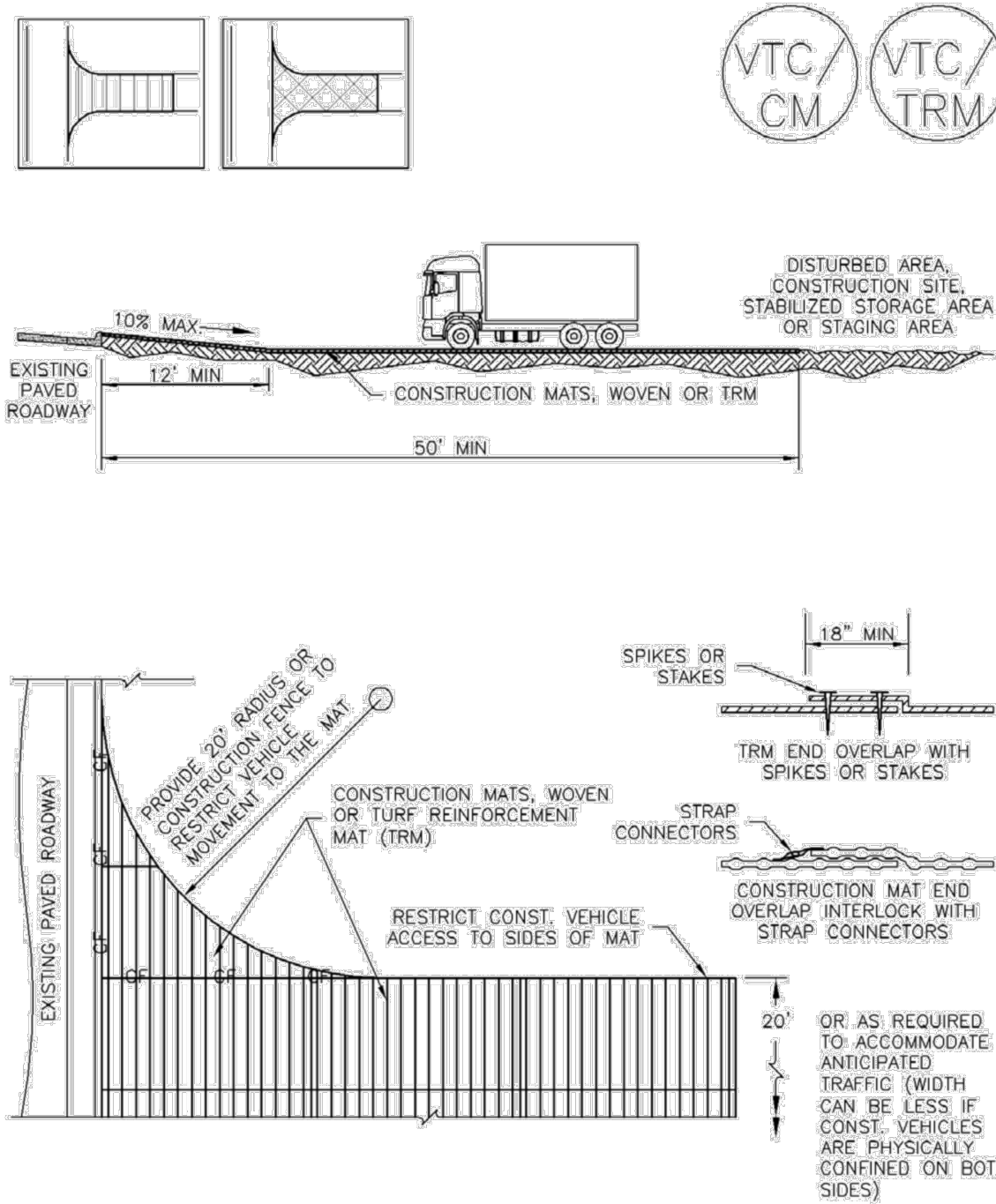


VTC-2. AGGREGATE VEHICLE TRACKING CONTROL WITH WASH RACK

VTC-4 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 November 2010

Vehicle Tracking Control (VTC)

SM-4



VTC-3. VEHICLE TRACKING CONTROL W/ CONSTRUCTION MAT OR TURF REINFORCEMENT MAT (TRM)

November 2010 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3 VTC-5

SM-4

Vehicle Tracking Control (VTC)

STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES

1. SEE PLAN VIEW FOR:
--LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S).
--TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
2. CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
3. A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
4. STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
5. A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
6. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES

1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
5. SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AUTOCAD)

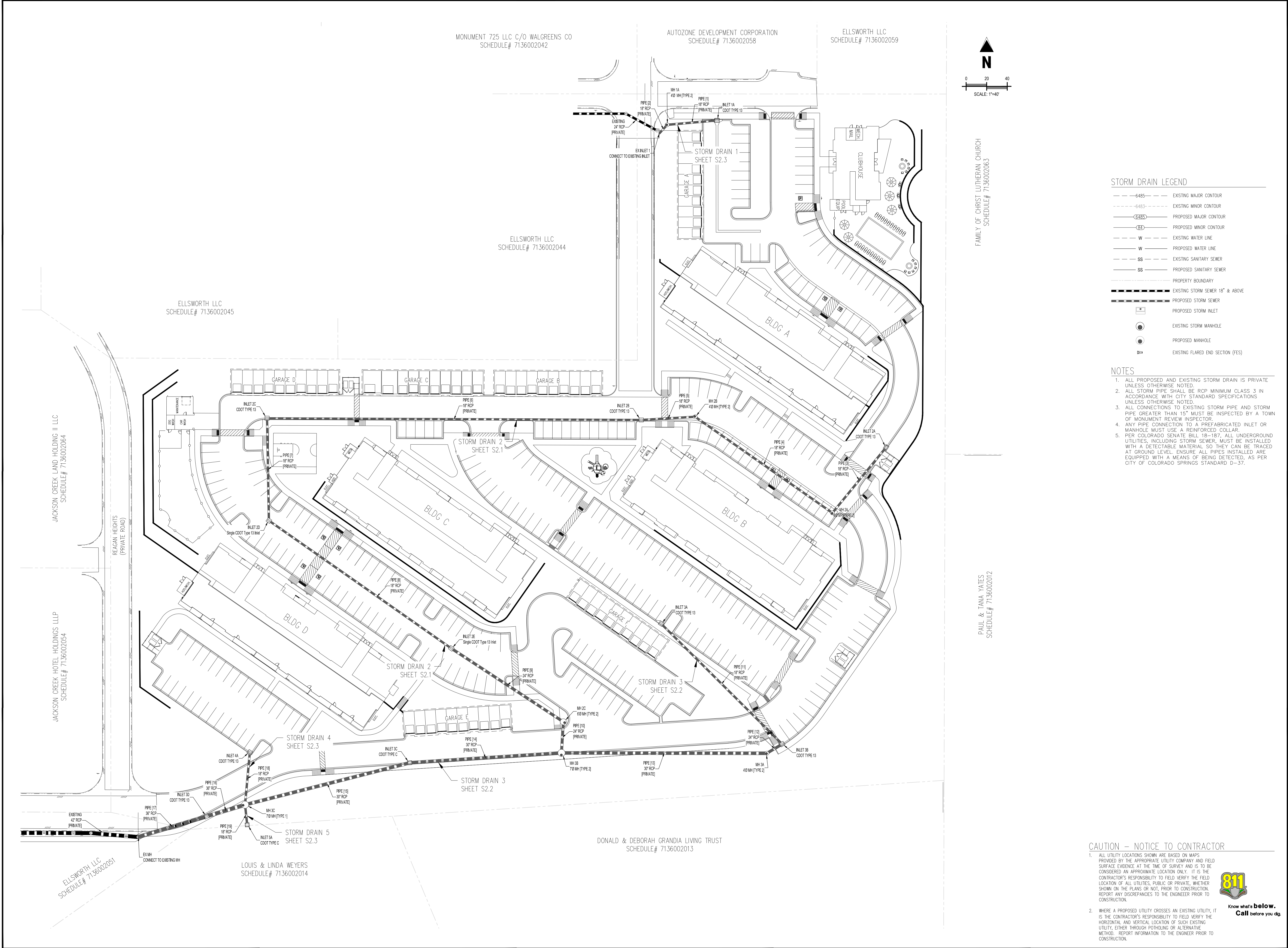
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Project No:	GNK000002.20
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Checked By:	RGD
Date:	12/11/2019



STORM DRAIN LEGEND

- E485--- EXISTING MAJOR CONTOUR
- E483--- EXISTING MINOR CONTOUR
- E485--- PROPOSED MAJOR CONTOUR
- E483--- PROPOSED MINOR CONTOUR
- W--- EXISTING WATER LINE
- W--- PROPOSED WATER LINE
- SS--- EXISTING SANITARY SEWER
- SS--- PROPOSED SANITARY SEWER
- PROPERTY BOUNDARY
- EXISTING STORM SEWER 18" & ABOVE
- PROPOSED STORM SEWER
- PROPOSED STORM INLET
- EXISTING STORM MANHOLE
- PROPOSED MANHOLE
- EXISTING FLARED END SECTION (FES)

NOTES

1. ALL PROPOSED AND EXISTING STORM DRAIN IS PRIVATE UNLESS OTHERWISE NOTED.
2. ALL STORM PIPE SHALL BE RCP MINIMUM CLASS 3 IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS UNLESS OTHERWISE NOTED.
3. ALL CONNECTIONS TO EXISTING STORM PIPE AND STORM PIPE GREATER THAN 15" MUST BE INSPECTED BY A TOWN OF MONUMENT REVIEW INSPECTOR.
4. ANY PIPE CONNECTION TO A PREFABRICATED INLET OR MANHOLE MUST USE A REINFORCED COLLAR.
5. PER COLORADO SENATE BILL 18-187, ALL UNDERGROUND UTILITIES, INCLUDING STORM SEWER, MUST BE INSTALLED WITH A DETECTABLE MATERIAL SO THEY CAN BE TRACED AT GROUND LEVEL. ENSURE ALL PIPES INSTALLED ARE EQUIPPED WITH A MEANS OF BEING DETECTED, AS PER CITY OF COLORADO SPRINGS STANDARD D-37.

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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CONSTRUCTION DOCUMENTS
STORM DRAIN
MONUMENT RIDGE APARTMENTS
SEC BAPTIST RD & STRUTHERS RD
MONUMENT, CO

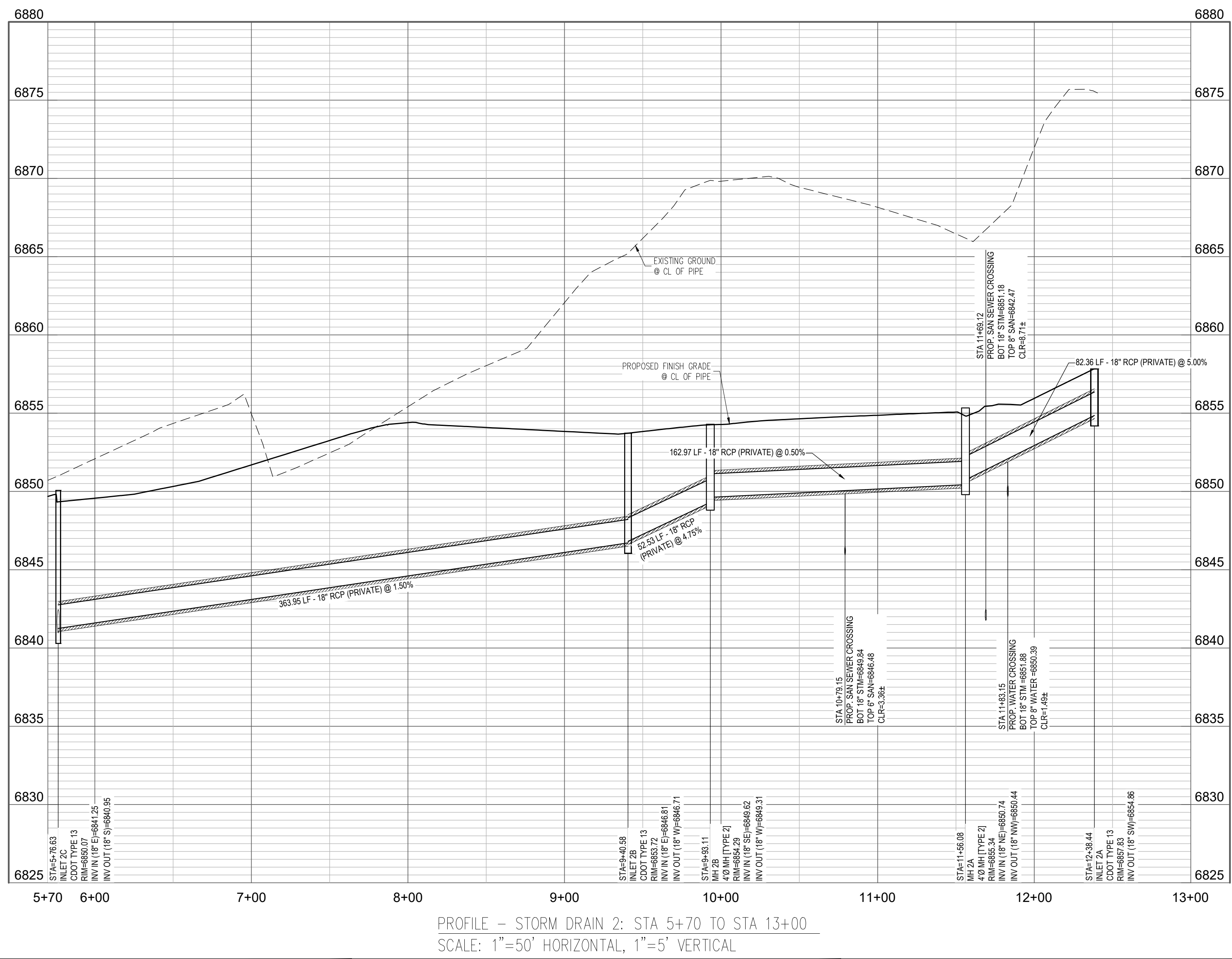
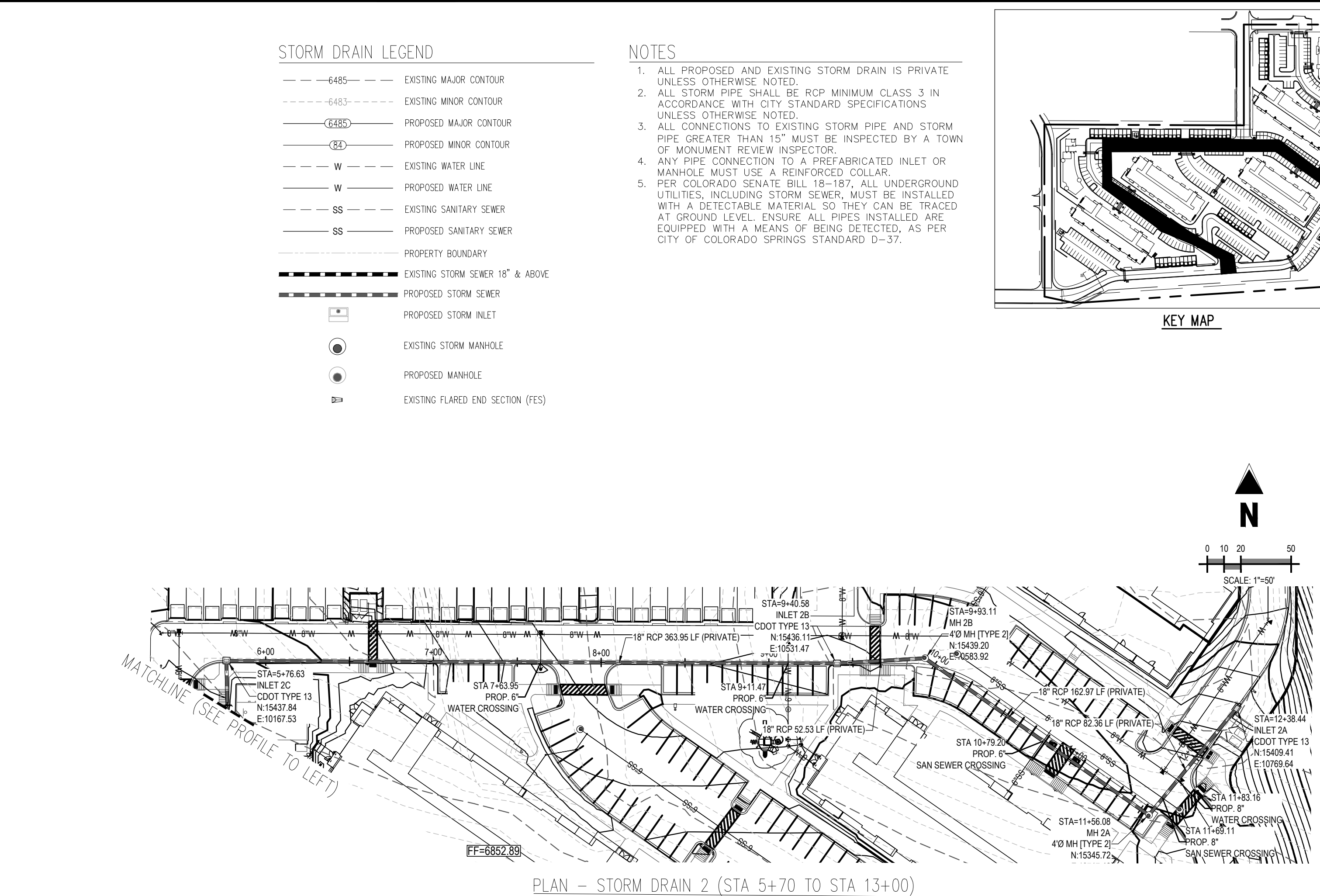
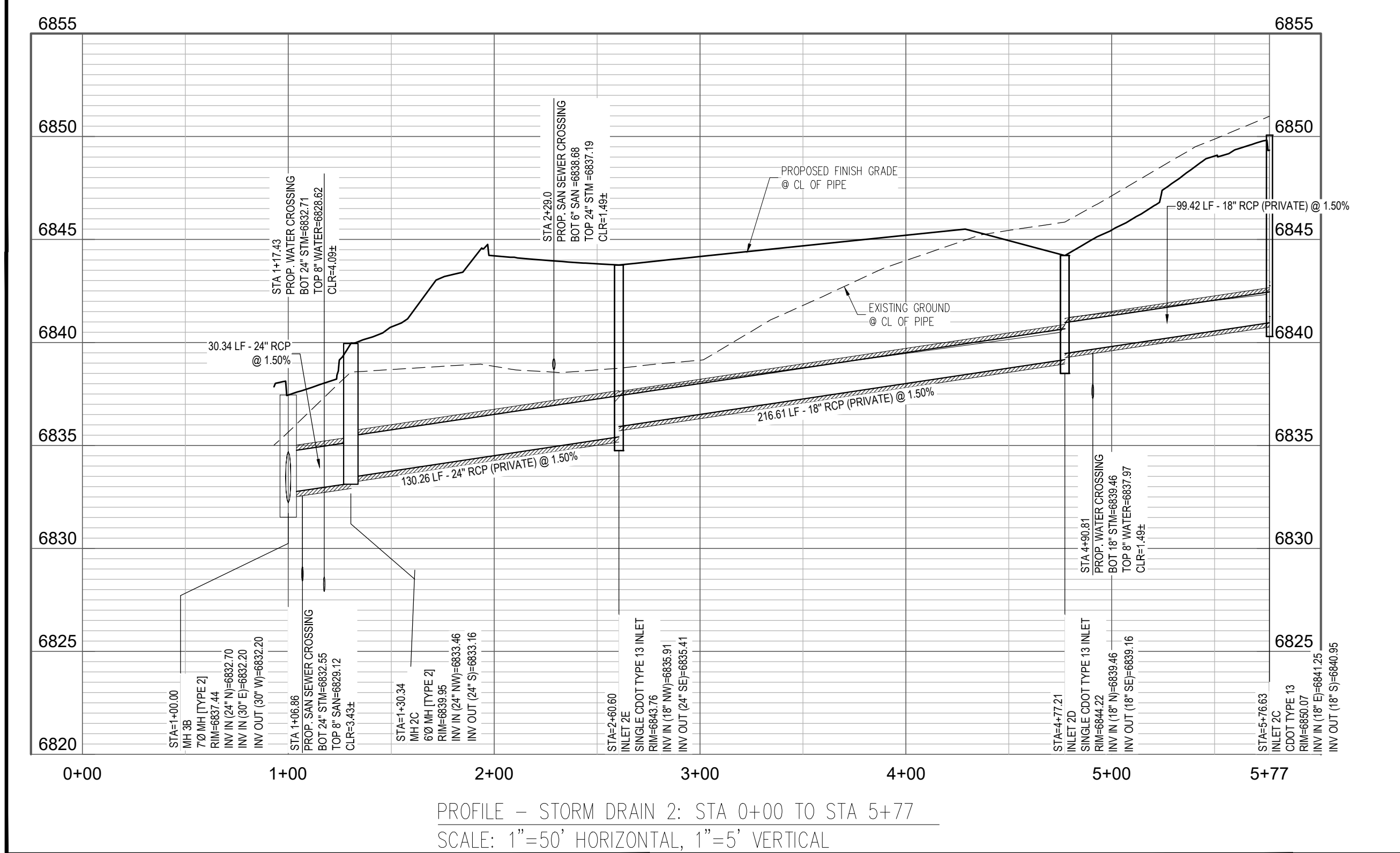
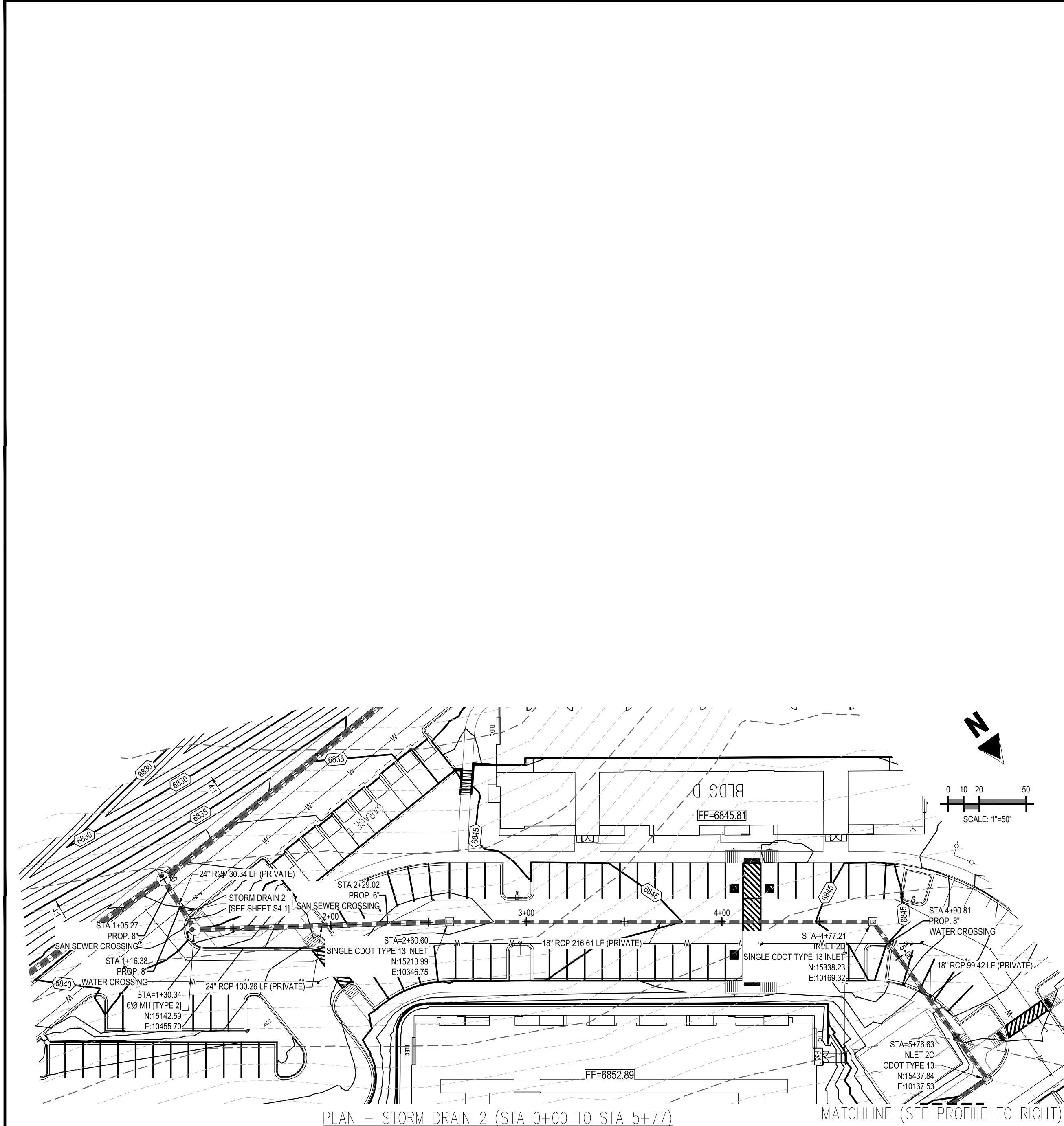
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Checked By:	RGD
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OVERALL STORM DRAIN

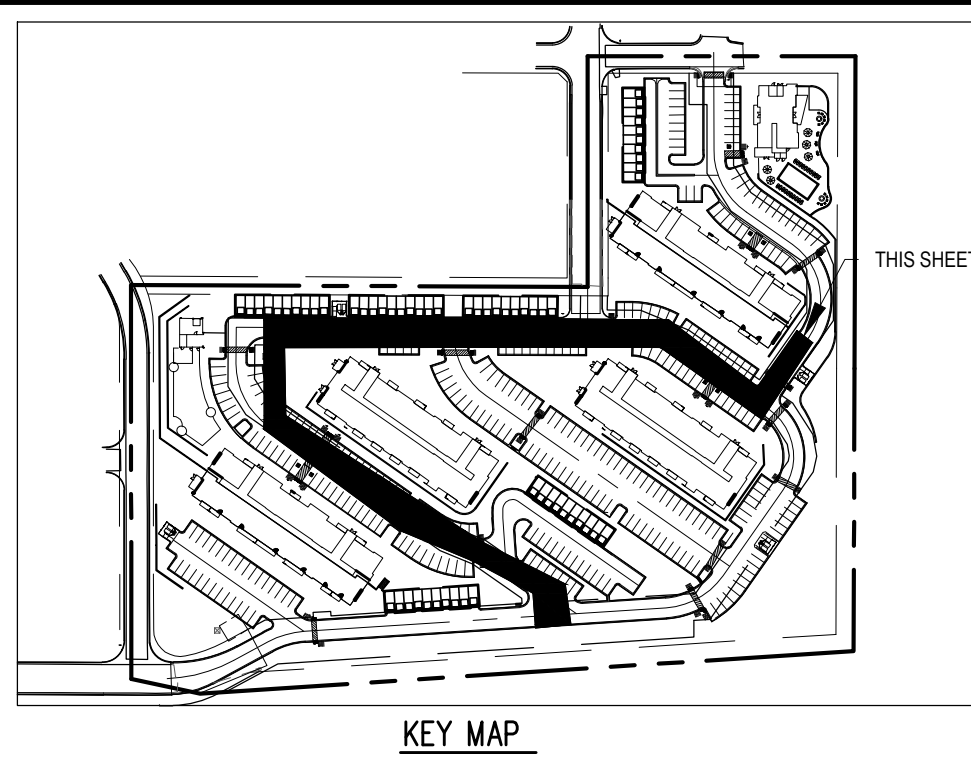
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Sheet 26 of 43



- STORM DRAIN LEGEND
- 6485 --- EXISTING MAJOR CONTOUR
 - 6483 --- EXISTING MINOR CONTOUR
 - 6485 --- PROPOSED MAJOR CONTOUR
 - 6483 --- PROPOSED MINOR CONTOUR
 - W --- EXISTING WATER LINE
 - W --- PROPOSED WATER LINE
 - SS --- EXISTING SANITARY SEWER
 - SS --- PROPOSED SANITARY SEWER
 - PROPERTY BOUNDARY
 - EXISTING STORM SEWER 18" & ABOVE
 - PROPOSED STORM SEWER
 - PROPOSED STORM INLET
 - EXISTING STORM MANHOLE
 - PROPOSED MANHOLE
 - EXISTING FLARED END SECTION (FES)

- NOTES
1. ALL PROPOSED AND EXISTING STORM DRAIN IS PRIVATE UNLESS OTHERWISE NOTED.
 2. ALL STORM PIPE SHALL BE RCP MINIMUM CLASS 3 IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS UNLESS OTHERWISE NOTED.
 3. ALL CONNECTIONS TO EXISTING STORM PIPE AND STORM PIPE GREATER THAN 15" MUST BE INSPECTED BY A TOWN OF MONUMENT REVIEW INSPECTOR.
 4. ANY PIPE CONNECTION TO A PREFABRICATED INLET OR MANHOLE MUST USE A REINFORCED COLLAR.
 5. PER COLORADO SENATE BILL 18-187, ALL UNDERGROUND UTILITIES, INCLUDING STORM SEWER, MUST BE INSTALLED WITH A DETECTABLE MATERIAL SO THEY CAN BE TRACED AT GROUND LEVEL. ENSURE ALL PIPES INSTALLED ARE EQUIPPED WITH A MEANS OF BEING DETECTED, AS PER CITY OF COLORADO SPRINGS STANDARD D-37.



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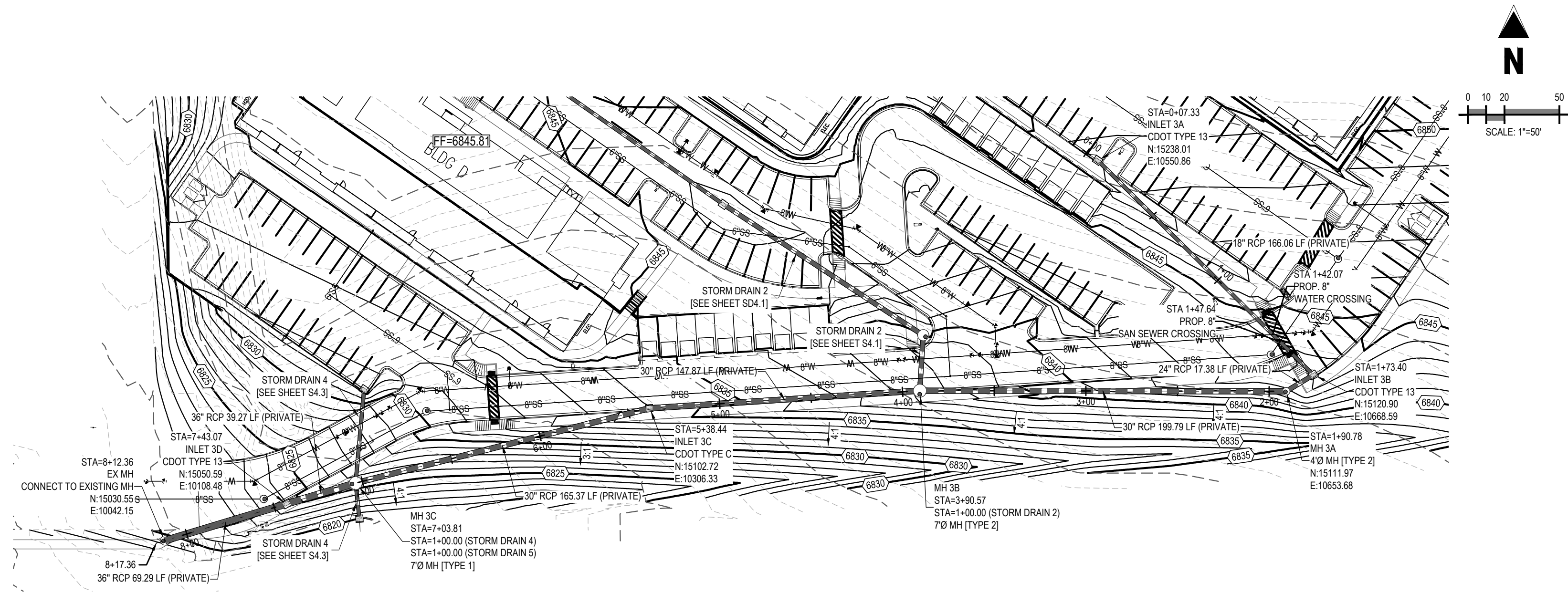
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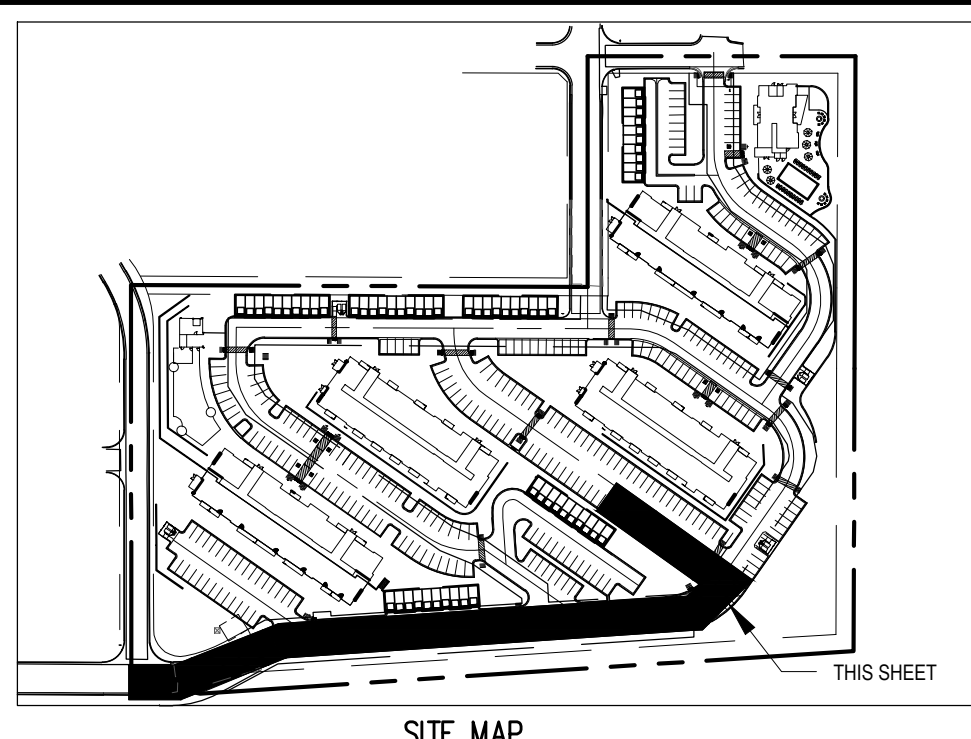
CONSTRUCTION DOCUMENTS
STORM DRAIN
MONUMENT RIDGE APARTMENTS
SEC BAPTIST RD & STRUTHERS RD
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Project No: GNK000002.20
Drawn By: TPT
Checked By: RGD
Date: 12/11/2019

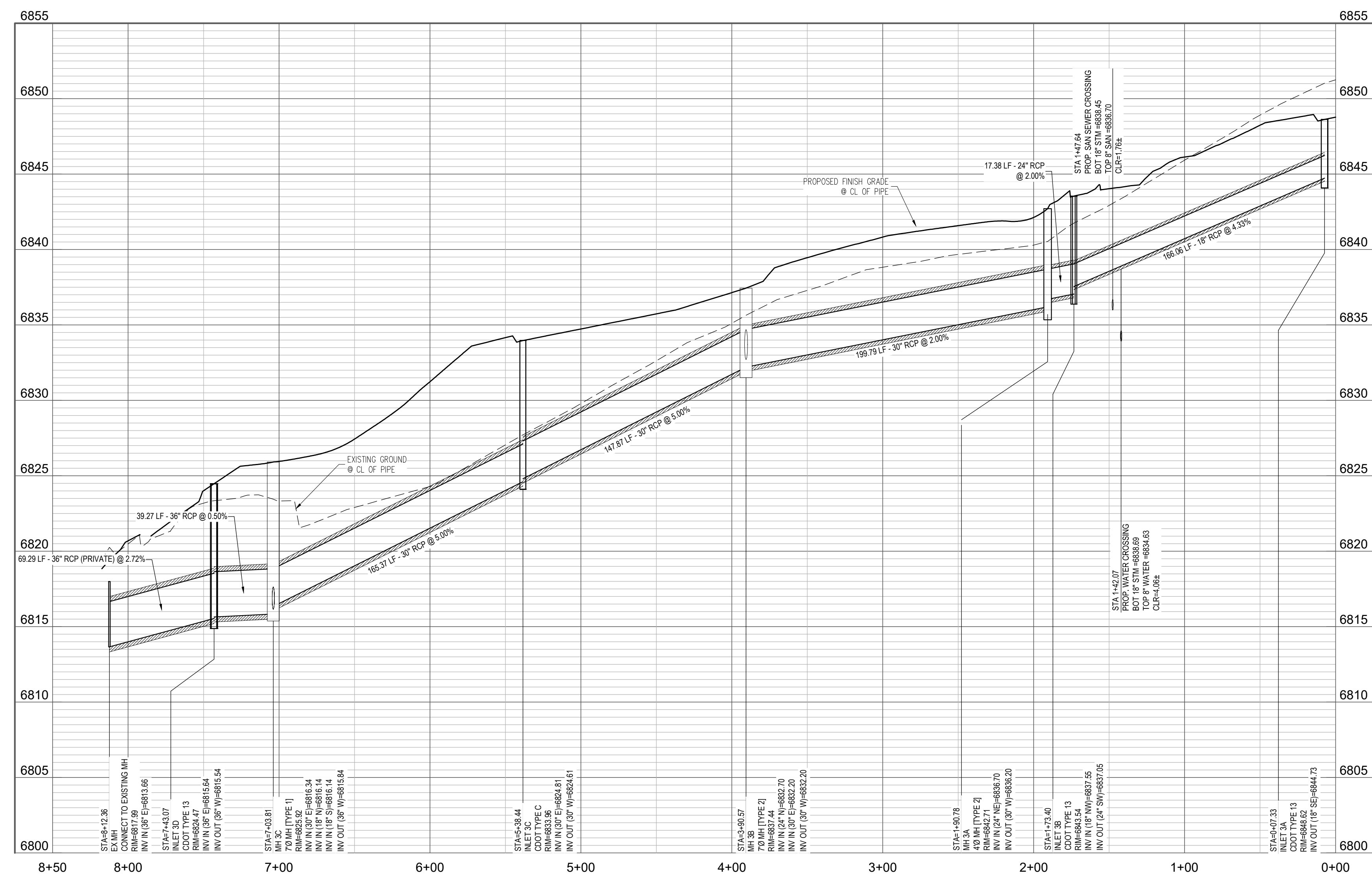


PLAN - STORM DRAIN 3 (STA 0+00 TO STA 8+50)



- STORM DRAIN LEGEND**
- 6485 --- EXISTING MAJOR CONTOUR
 - 6483 --- EXISTING MINOR CONTOUR
 - 6485 --- PROPOSED MAJOR CONTOUR
 - 6483 --- PROPOSED MINOR CONTOUR
 - W --- EXISTING WATER LINE
 - W --- PROPOSED WATER LINE
 - SS --- EXISTING SANITARY SEWER
 - SS --- PROPOSED SANITARY SEWER
 - --- PROPERTY BOUNDARY
 - --- EXISTING STORM SEWER 18" & ABOVE
 - --- PROPOSED STORM SEWER
 - --- PROPOSED STORM INLET
 - EXISTING STORM MANHOLE
 - PROPOSED MANHOLE
 - EXISTING FLARED END SECTION (FES)

- NOTES**
1. ALL PROPOSED AND EXISTING STORM DRAIN IS PRIVATE UNLESS OTHERWISE NOTED.
 2. ALL STORM PIPE SHALL BE RCP MINIMUM CLASS 3 IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS UNLESS OTHERWISE NOTED.
 3. ALL CONNECTIONS TO EXISTING STORM PIPE AND STORM PIPE GREATER THAN 15" MUST BE INSPECTED BY A TOWN OF MONUMENT REVIEW INSPECTOR.
 4. ANY PIPE CONNECTION TO A PREFABRICATED INLET OR MANHOLE MUST USE A REINFORCED COLLAR.
 5. PER COLORADO SENATE BILL 18-187, ALL UNDERGROUND UTILITIES, INCLUDING STORM SEWER, MUST BE INSTALLED WITH A DETECTABLE MATERIAL SO THEY CAN BE TRACED AT GROUND LEVEL. ENSURE ALL PIPES INSTALLED ARE EQUIPPED WITH A MEANS OF BEING DETECTED, AS PER CITY OF COLORADO SPRINGS STANDARD D-37.



PROFILE - STORM DRAIN 3: STA 0+00 TO STA 8+50
SCALE: 1"=50' HORIZONTAL, 1"=5' VERTICAL

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GOODWIN KNIGHT

CONSTRUCTION DOCUMENTS
STORM DRAIN
MONUMENT RIDGE APARTMENTS

SEC BAPTIST RD & STRUTHERS RD
MONUMENT, CO

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Project No: GNK000002.20

Drawn By: TPT

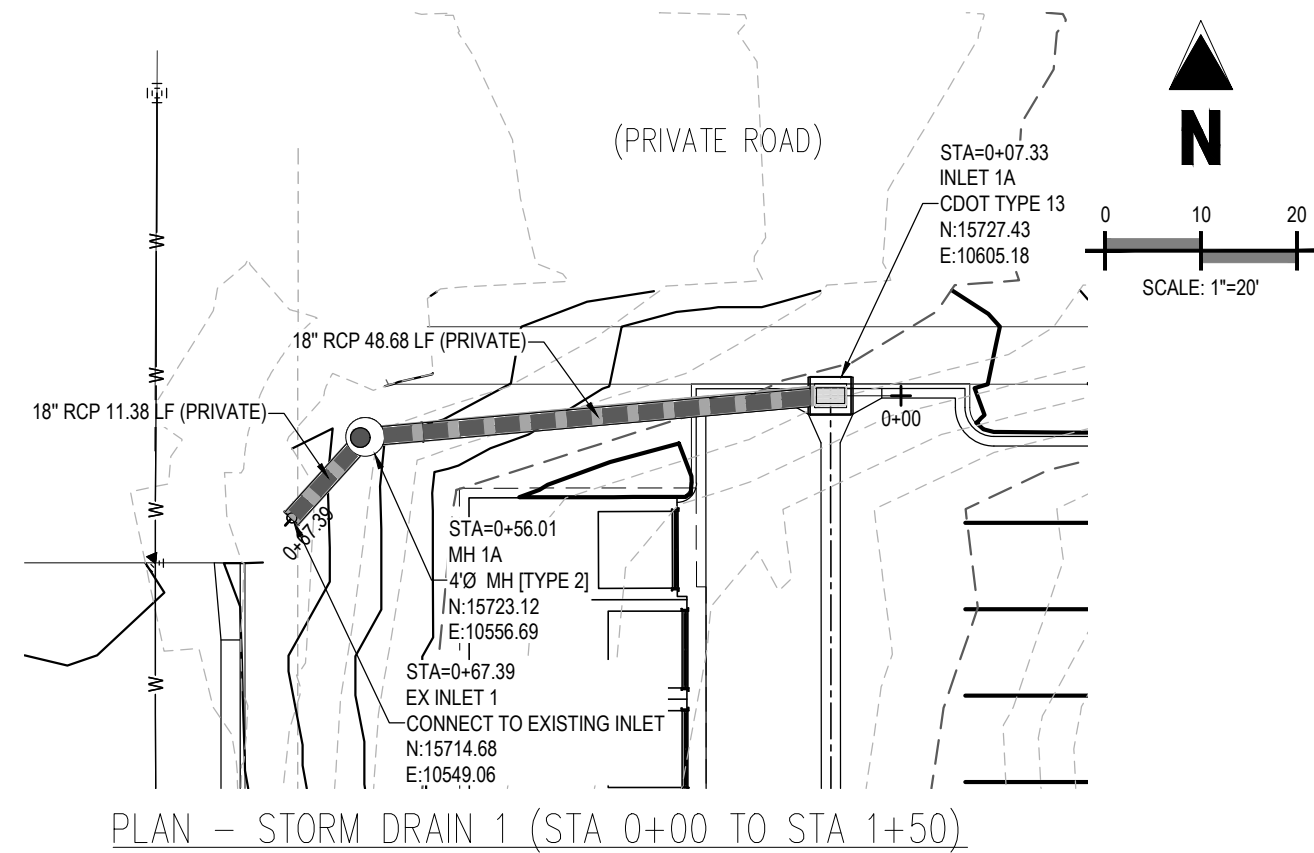
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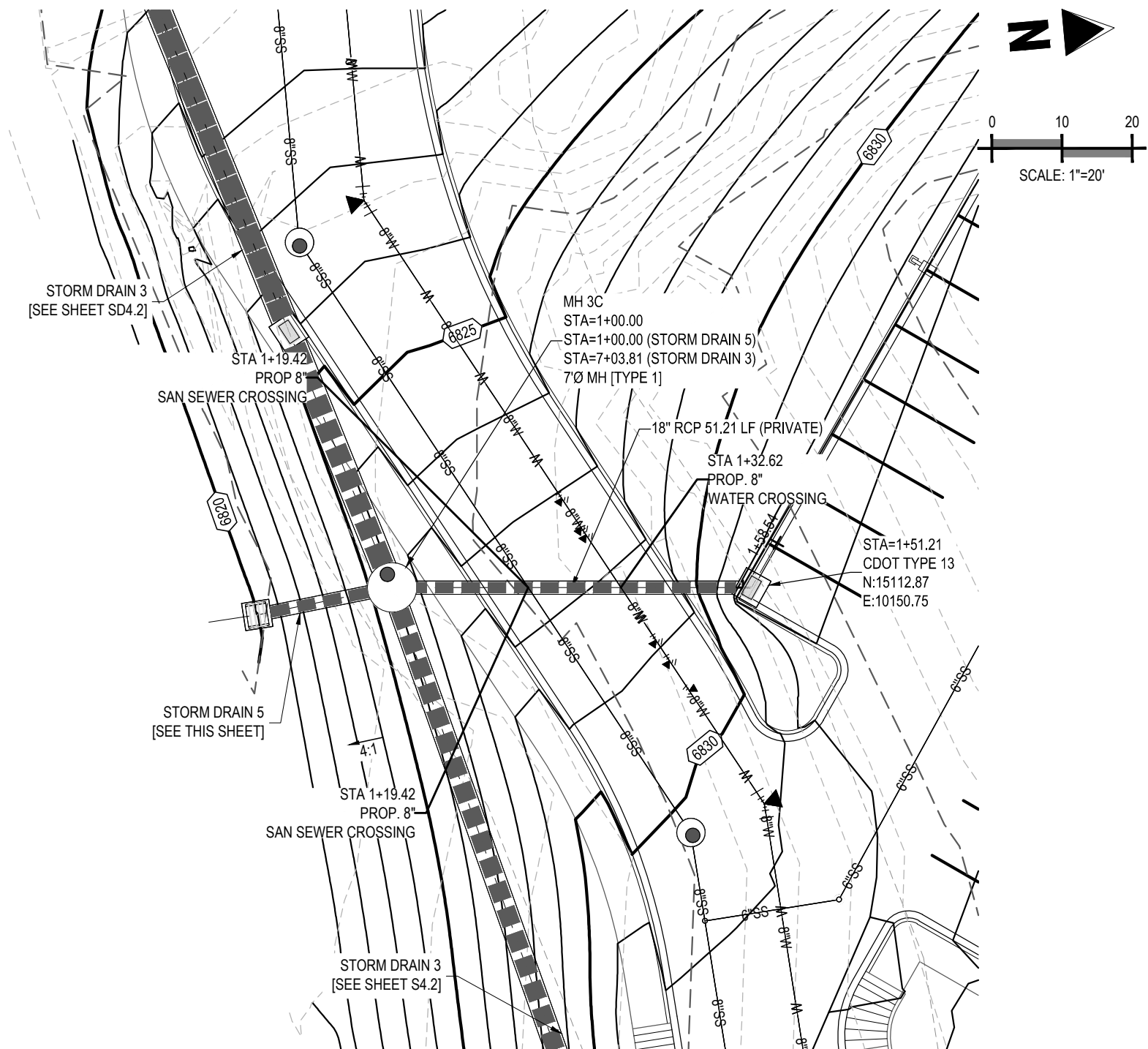
STORM DRAIN PLAN & PROFILE

SD4.2

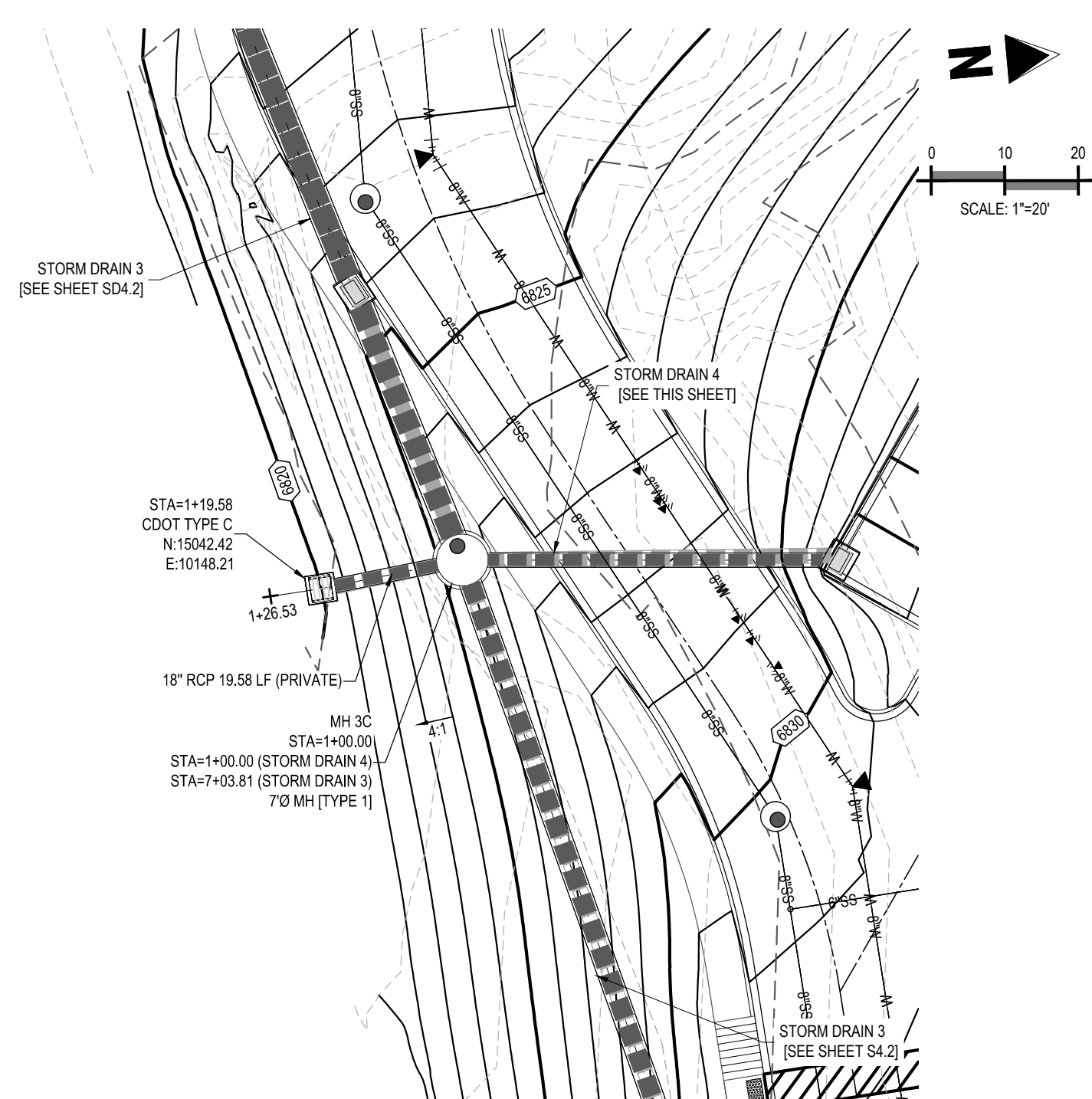
Sheet 28 of 43



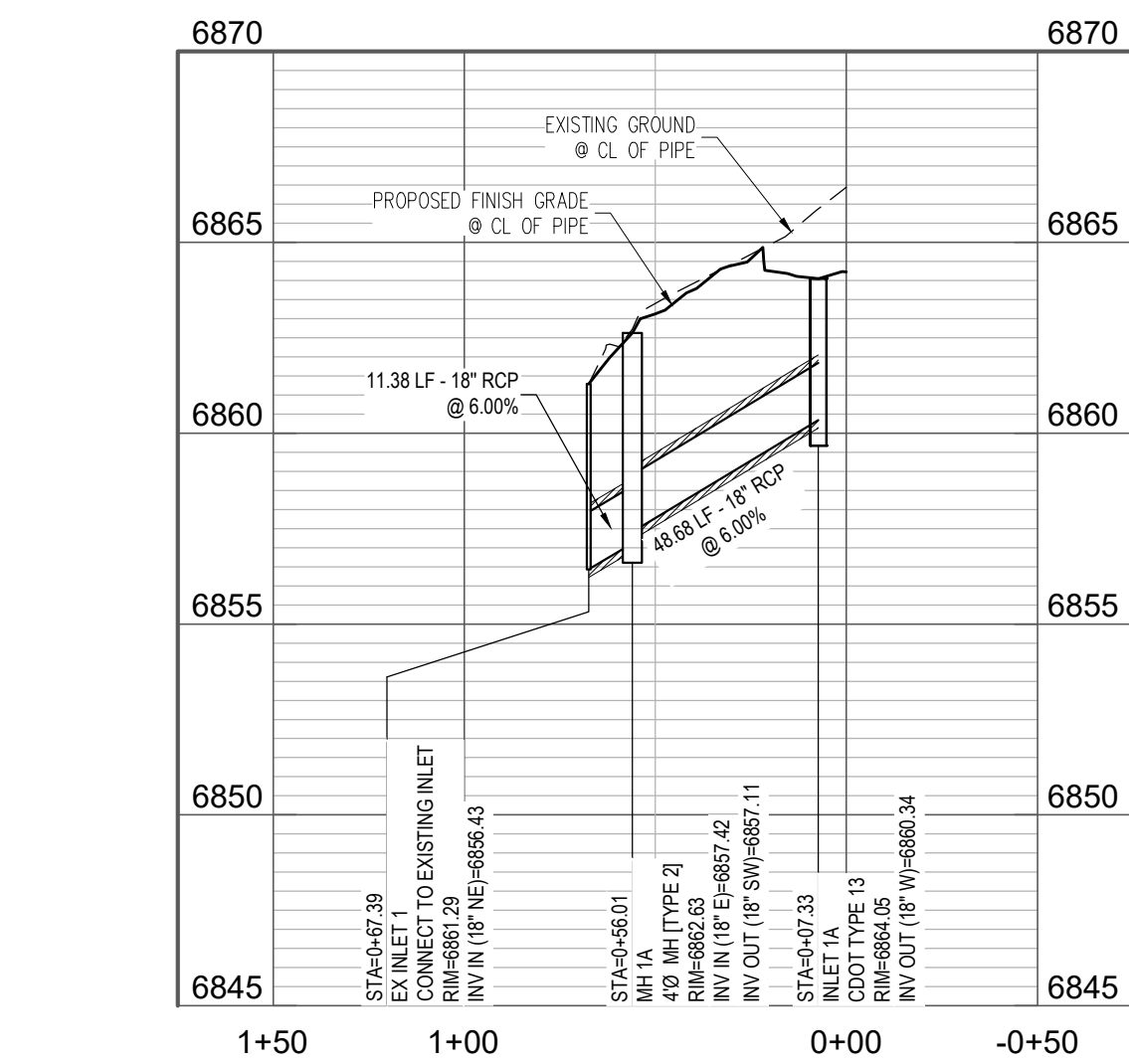
PLAN – STORM DRAIN 1 (STA 0+00 TO STA 1+50)



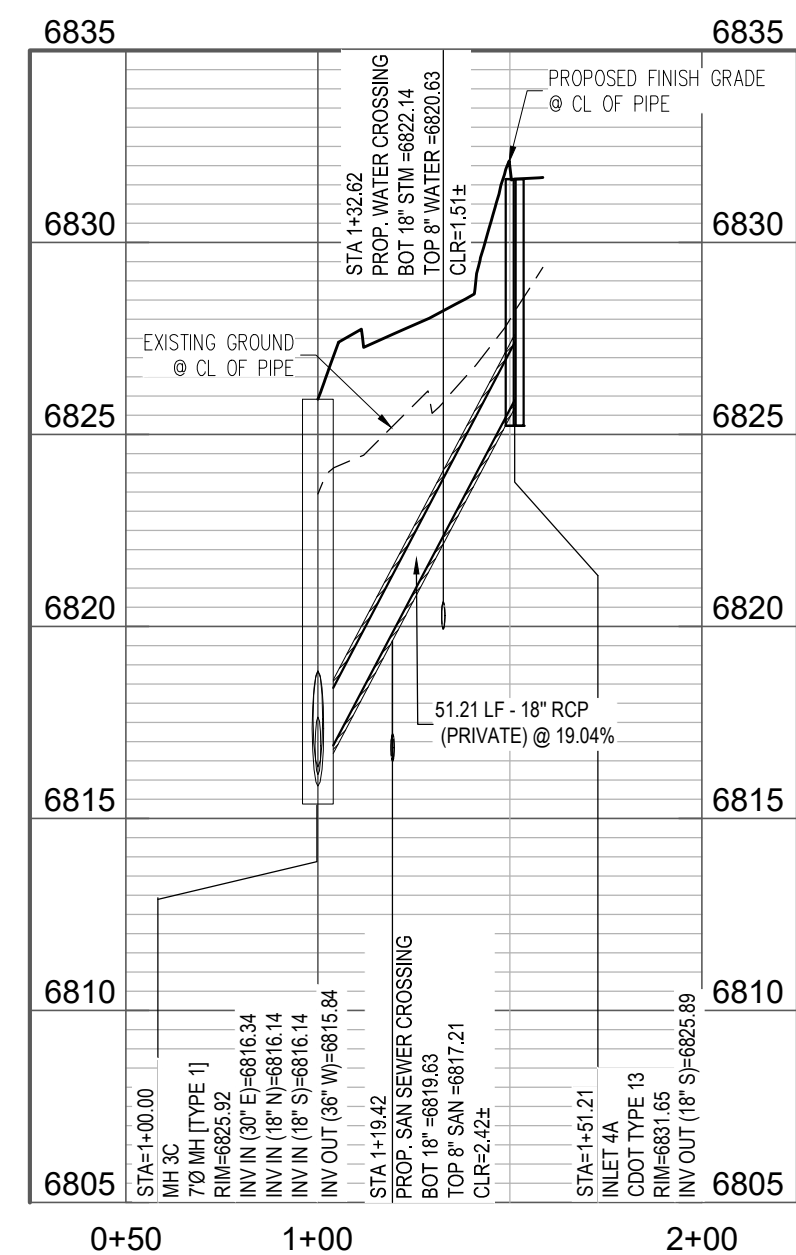
PLAN – STORM DRAIN 4 (STA 0+50 TO STA 2+00)



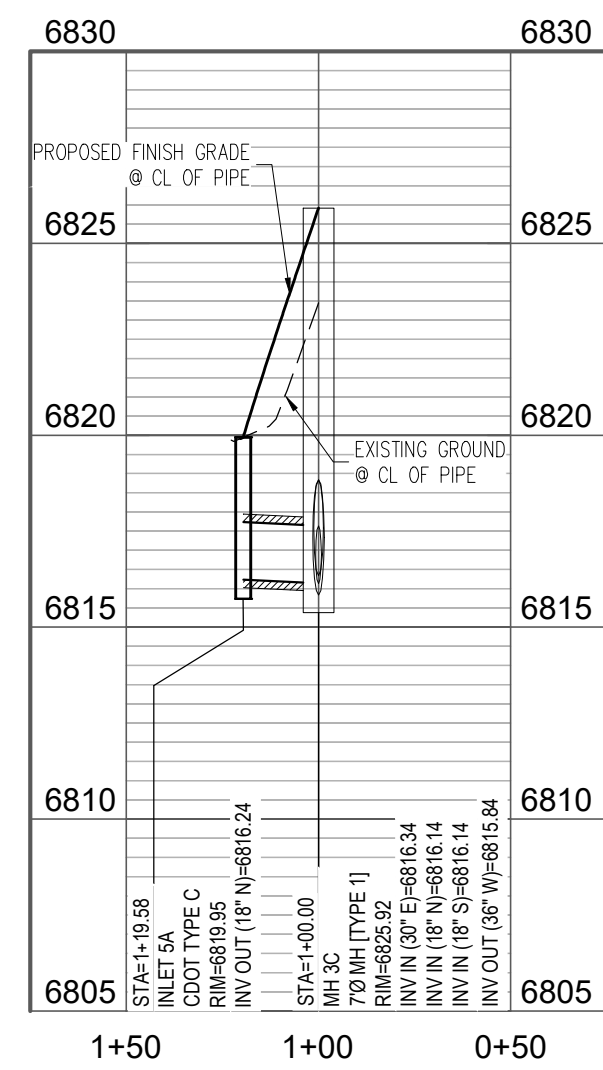
PLAN – STORM DRAIN 5 (STA 0+00 TO STA 1+50)



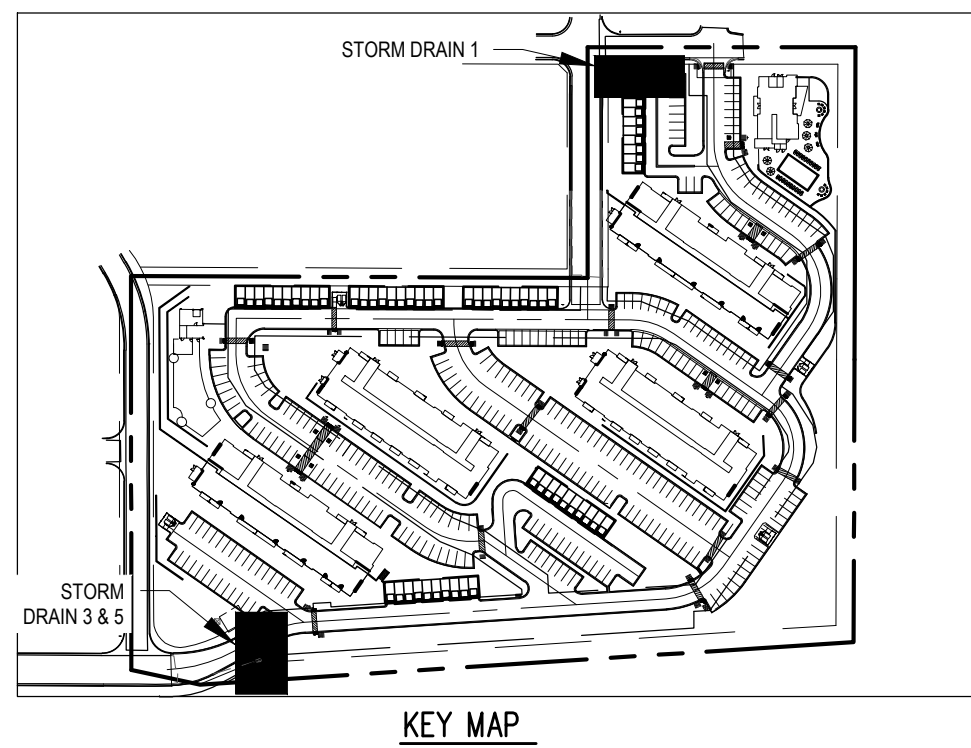
PROFILE – STORM DRAIN 1: STA 0+00 TO STA 1+50
SCALE: 1"=50' HORIZONTAL, 1"=5' VERTICAL



PROFILE – STORM DRAIN 3: STA 0+50 TO STA 2+00
SCALE: 1"=50' HORIZONTAL, 1"=5' VERTICAL



PROFILE – STORM DRAIN 5: STA 0+00 TO STA 1+50
SCALE: 1"=50' HORIZONTAL, 1"=5' VERTICAL



STORM DRAIN LEGEND

- 6485 --- EXISTING MAJOR CONTOUR
- 6483 --- EXISTING MINOR CONTOUR
- 6485 --- PROPOSED MAJOR CONTOUR
- 6483 --- PROPOSED MINOR CONTOUR
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- --- EXISTING STORM SEWER 18" & ABOVE
- --- PROPOSED STORM SEWER
- --- PROPOSED STORM INLET
- --- EXISTING STORM MANHOLE
- --- PROPOSED MANHOLE
- --- EXISTING FLARED END SECTION (FES)

NOTES

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KNIGHT

CONSTRUCTION DOCUMENTS
STORM DRAIN
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SEC BAPTIST RD & STRUTHERS RD
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STORM DRAIN PLAN & PROFILE

SD4.3

Sheet 29 of 43

GENERAL NOTES:

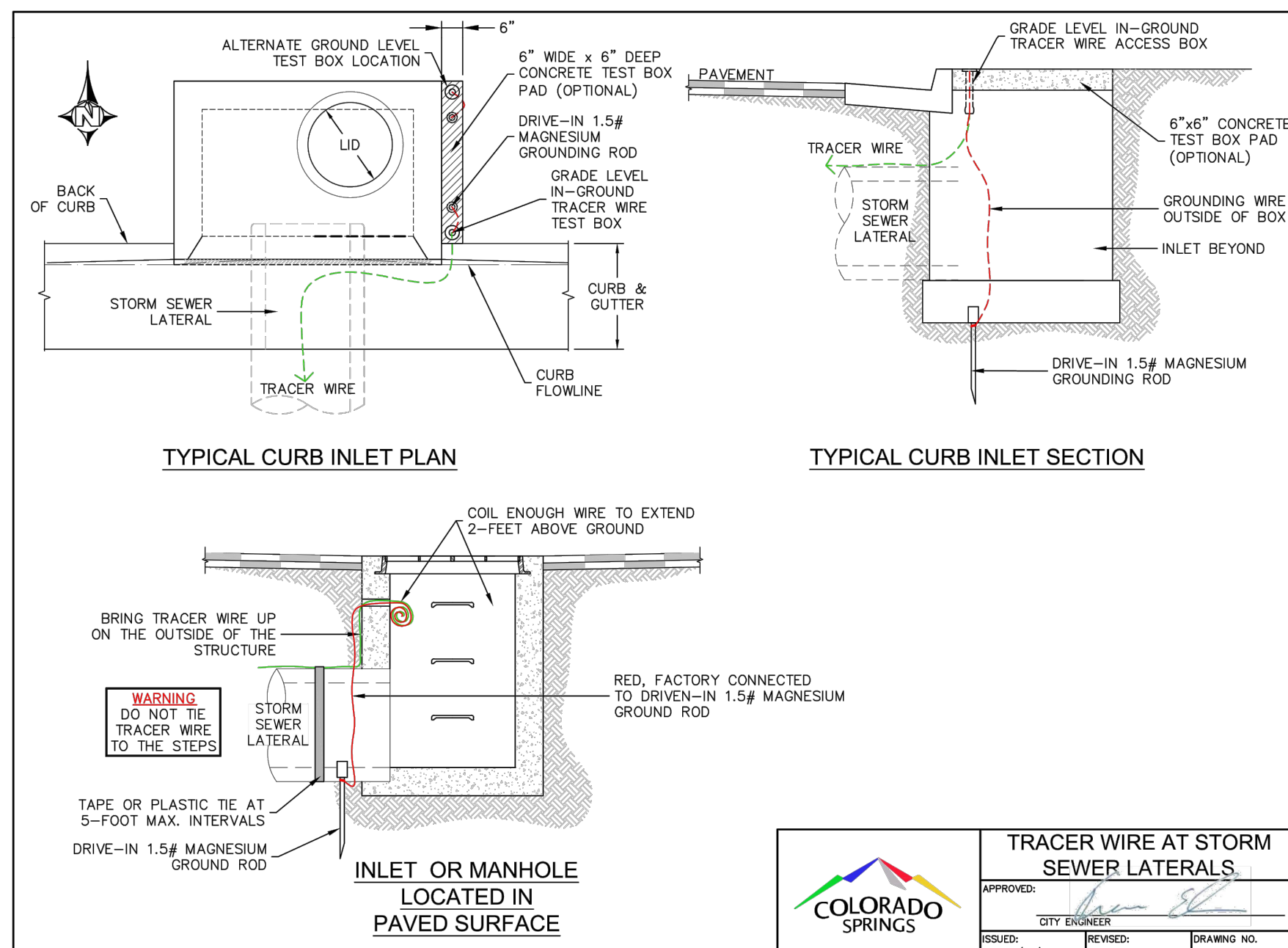
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT CITY OF COLORADO SPRINGS ENGINEERING DIVISION (THE CITY) STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS (EXCAVATION, CONCRETE, TRAFFIC CONTROL, ETC.), AND NOTIFY THE CITY BY 1500 HOURS THE BUSINESS DAY BEFORE INSPECTION IS REQUIRED.
- DO NOT BACKFILL INLETS PRIOR TO ONE-POUND ANODE AND 1.5# MAGNESIUM GROUND ROD INSTALLATION.
- TRACER WIRE SHALL BE INSTALLED ON ALL UNDERGROUND PIPE.
- TRACER WIRE FOR STORM SEWER AND DRAIN LINES SHALL BE GREEN IN ACCORDANCE WITH AMERICAN PUBLIC WORKS ASSOCIATION (APWA) UNIFORM COLOR CODE.
- "OPEN TRENCH" TRACER WIRE SHALL BE #8 OR #10 AWG COPPER SOLID OR #12 AWG COPPER CLAD HIGH STRENGTH WITH MINIMUM 30 MIL HDPE INSULATION THICKNESS COMPLYING WITH ASTM D-1248, AND A MINIMUM AVERAGE TENSILE BREAK LOAD OF 450-LBS, AND A 30-MIL HDPE JACKET-GREEN (TYPICAL).
- "PIPE/SPLIT LINING" TRACER WIRE SHALL BE 7X7 STRANDED COPPER CLAD STEEL, EXTREME STRENGTH WITH 4,700 LB. BREAK LOAD, WITH MINIMUM 50-MIL HDPE INSULATION THICKNESS.
- TRACER WIRE SHALL BE SECURED EVERY 5-FEET TO 8-FEET ON THE TOP OF THE PIPE BY TAPING OR TYING TO THE PIPE.
- A 4-WAY CONNECTOR OR (2) 3-WAY CONNECTORS WITH SHORT JUMP WIRE ARE REQUIRED AT ALL CROSSINGS.
- TRACER WIRE SHALL BE AS CONTINUOUS AS POSSIBLE. IF SPLICING IS NECESSARY, THE ONLY APPROVED SPLICE METHOD IS A SPLIT BOLT CONNECTOR HOUSED IN A SPLIT BOLT HOUSING.
- ANY DAMAGE OCCURRING DURING INSTALLATION OF THE TRACER WIRE MUST BE IMMEDIATELY REPAIRED BY REMOVING THE DAMAGED WIRE AND INSTALLING A NEW SECTION OF WIRE WITH APPROVED CONNECTORS, TAPING AND/OR SPRAY COATING SHALL NOT BE ALLOWED AS A CONNECTION.
- EXPOSED WIRE SHALL BE WRAPPED WITH SCOTCH LINERLESS RUBBER SPLICING TAPE TO SEAL OUT MOISTURE, AND THEN COATED WITH SCOTCH SUPER 33+ VINYL ELECTRIC TAPE TO SEAL THE RUBBER TAPE.
- TRACER WIRE CAN NOT BE PLACED INSIDE DRAINAGE INLETS.

TERMINATION/ACCESS:

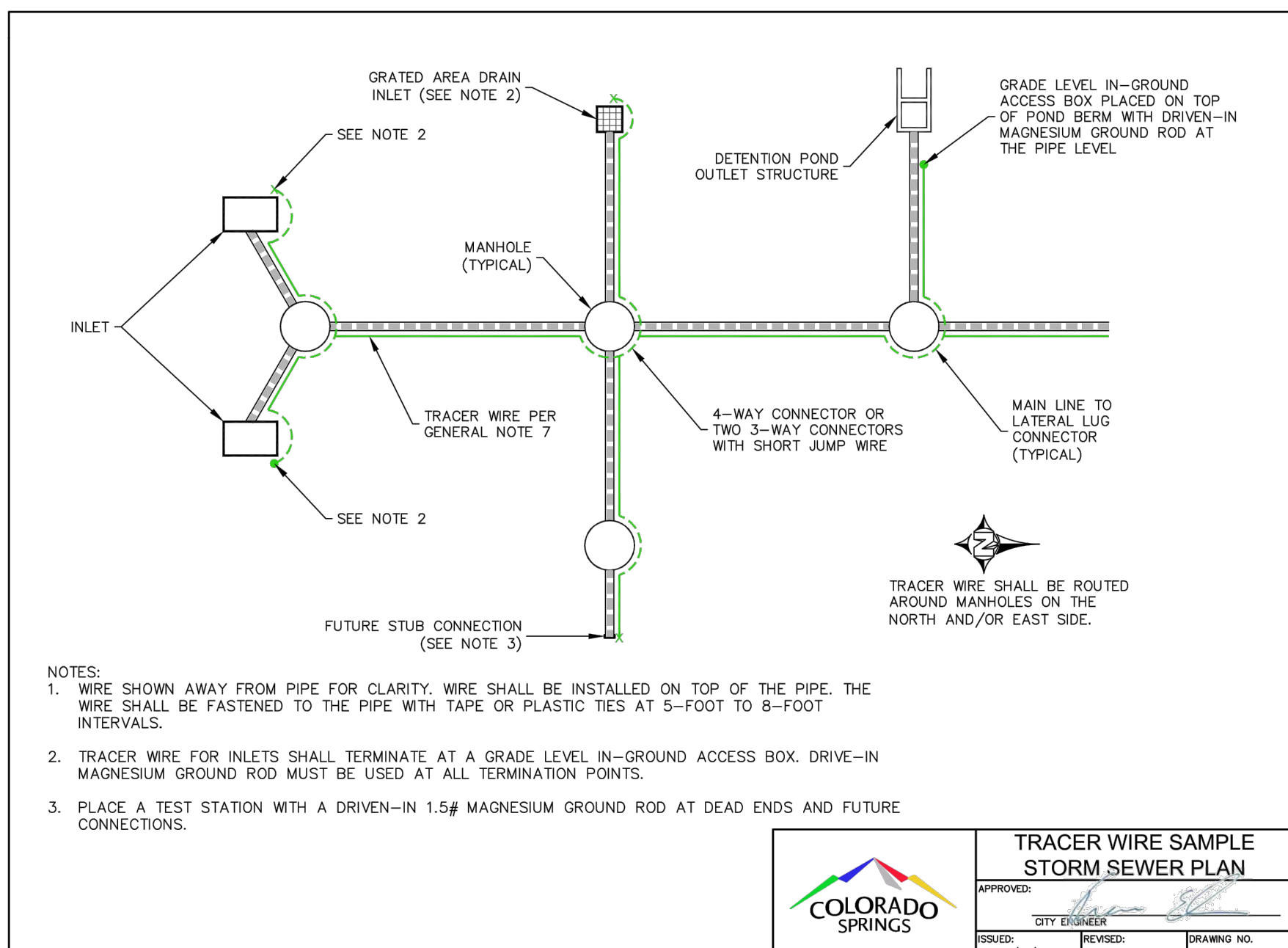
- TRACER WIRE SHALL BE BROUGHT ABOVE GROUND AND CONNECT AT EACH INLET AND MANHOLE IN A GRADE LEVEL TRACER WIRE TEST BOX.
- A MINIMUM OF 2- FEET OF EXCESS/SKACK WIRE IS REQUIRED IN ALL TRACER WIRE ACCESS BOXES AFTER MEETING FINAL ELEVATION.
- DRIVE-IN 1.5# MAGNESIUM GROUND RODS (ANODE) WHICH SHALL BE ATTACHED TO THE END OF THE TRACER WIRE.
- TRACER WIRE MUST BE PROPERLY GROUNDED AT ALL DEAD ENDS (INLETS, OUTFALL, ETC.), AND DRIVEN INTO NATIVE SOIL AT PIPE LEVEL.
- TRACER WIRE TERMINATION POINTS MUST UTILIZE A WIRE ACCESS BOX.
- TRACER WIRE ACCESS BOXES MUST INCLUDE A MANUAL INTERRUPTIBLE CONDUCTIVE/CONNECTIVE LINK BETWEEN TERMINAL FOR TRACER WIRE CONNECTION AND TERMINAL FOR GROUND ROD WIRE CONNECTION.
- GROUNDED ANODE WIRE AND 1.5# MAGNESIUM GROUND ROD WIRE SHALL BE CONNECTED TO THE IDENTIFIED LOCATION (BOTTOM) TERMINAL IN ALL ACCESS BOXES.
- ALL SERVICE LATERAL TRACER WIRES MUST BE PROPERLY CONNECTED TO THE MAINLINE TRACER WIRE TO ENSURE FULL TRACING/LOCATING CAPABILITIES FROM A SINGLE CONNECTION POINT.
- TRUNK LINE TRACER WIRE SHALL BE CONTINUOUS, BY-PASSING AROUND THE OUTSIDE OF MANHOLES/STRUCTURES ON THE NORTH OR EAST SIDE, UNLESS ON THE END SECTION.
- ALL NEW TRACER WIRE INSTALLATIONS SHALL BE TESTED AND LOCATED PRIOR TO ACCEPTANCE. TESTING AND LOCATING SHALL BE PERFORMED BY A THIRD PARTY AT THE COMPLETION OF ROUGH GRADING AND PRIOR TO FINAL ACCEPTANCE OF THE PROJECT. ANY DEFICIENCIES SHALL BE CORRECTED PRIOR TO FINAL ACCEPTANCE.
- WHEN REPAIRS ARE PERFORMED ON STORMWATER LINE, TRACER WIRE SHALL BE TESTED PRIOR TO FINAL ACCEPTANCE.



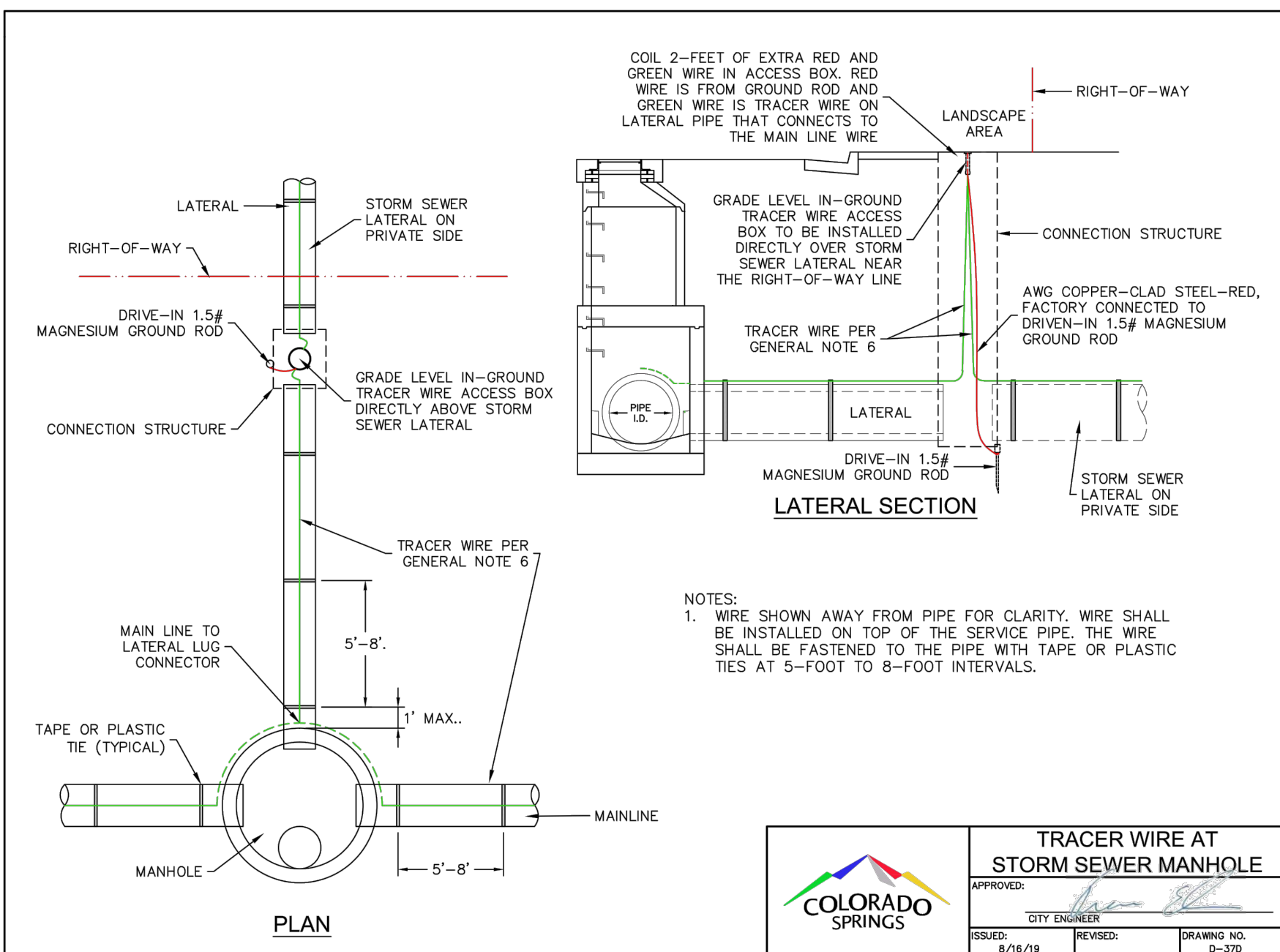
TRACER WIRE GENERAL NOTES			
APPROVED:	CITY ENGINEER	REVISION:	DRAWING NO.
ISSUED:	8/16/19	REVISION:	D-37A



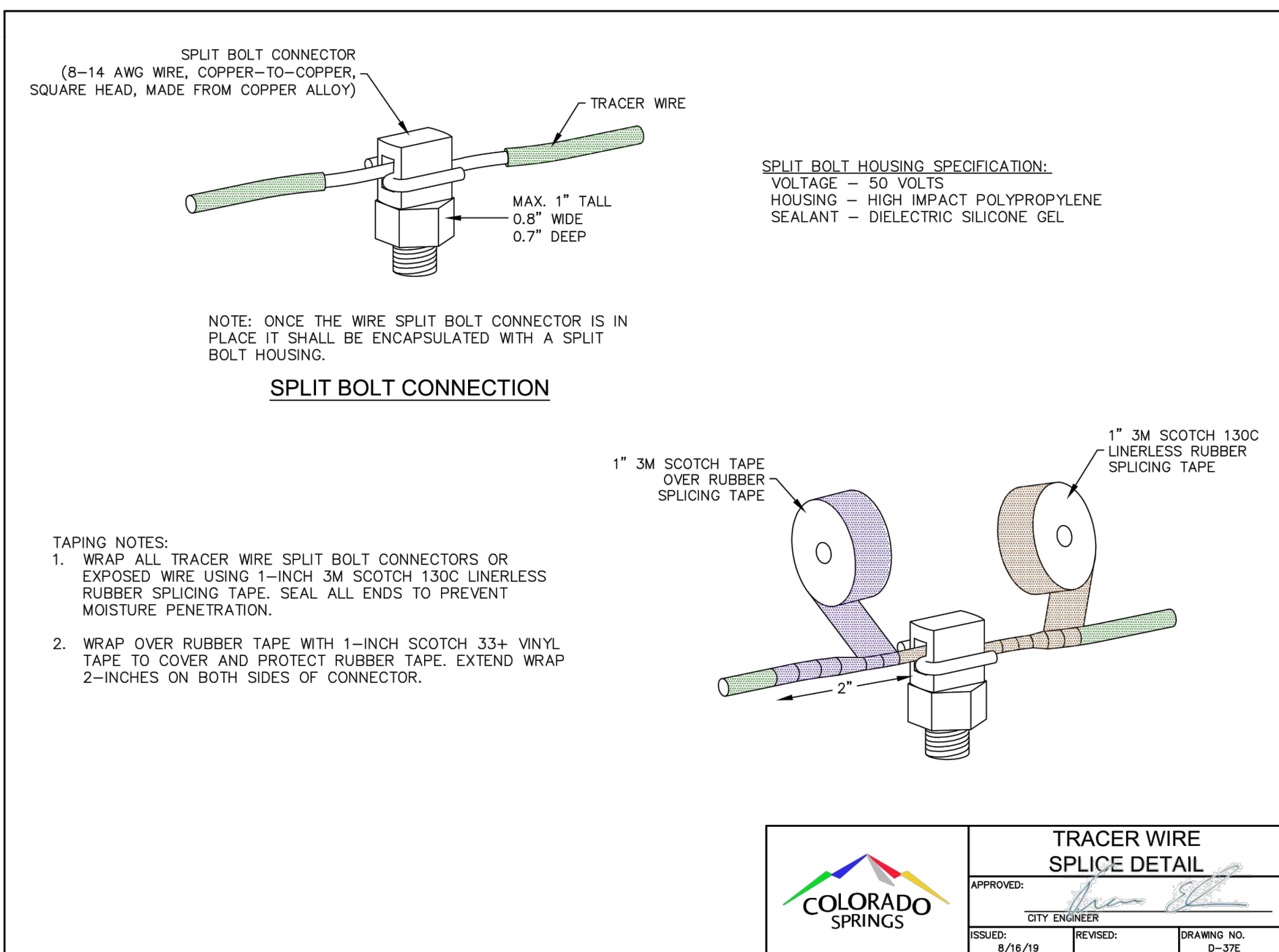
TRACER WIRE AT STORM SEWER LATERALS			
APPROVED:	CITY ENGINEER	REVISION:	DRAWING NO.
ISSUED:	8/16/19	REVISION:	D-37B



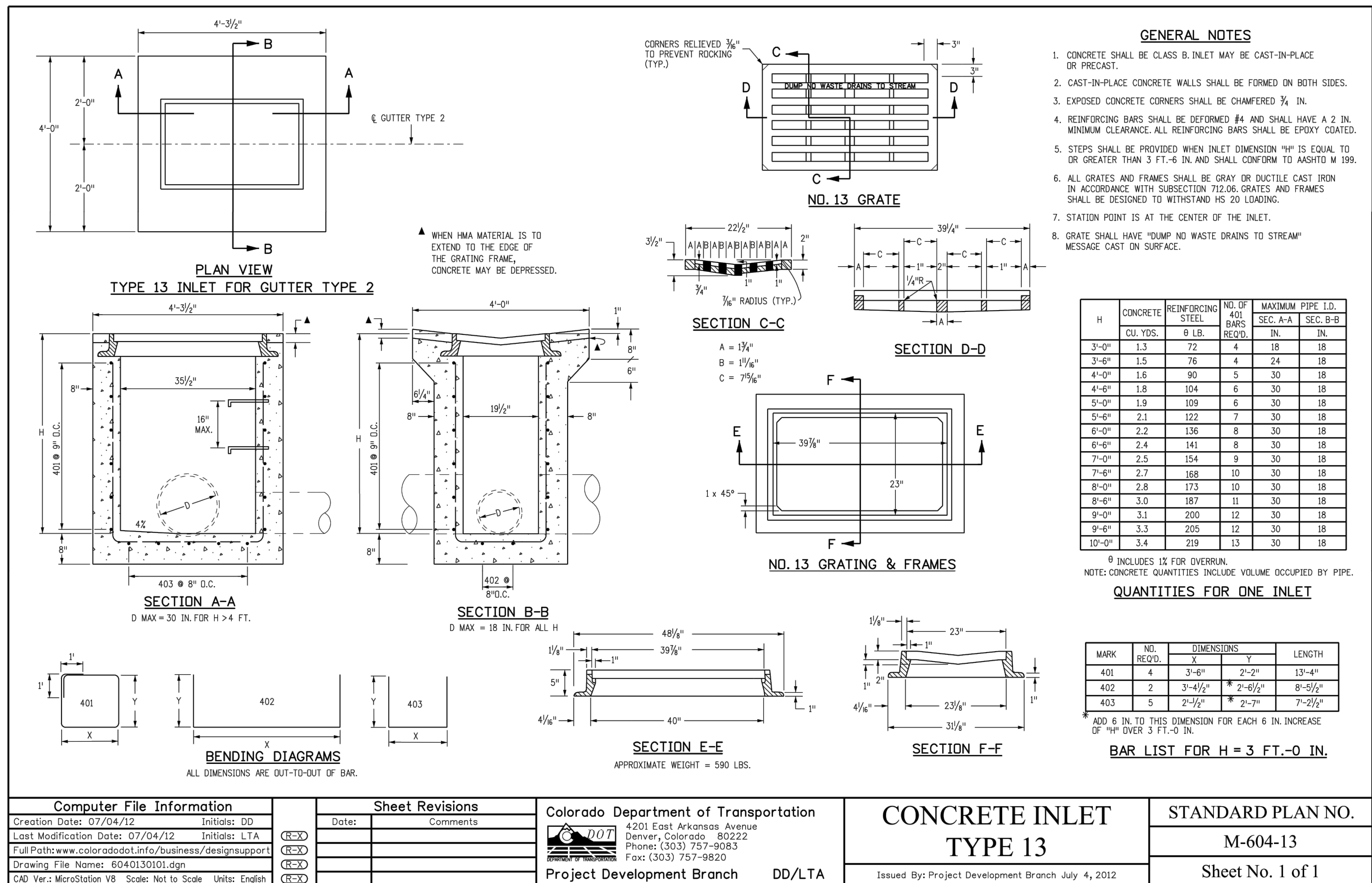
TRACER WIRE SAMPLE STORM SEWER PLAN			
APPROVED:	CITY ENGINEER	REVISION:	DRAWING NO.
ISSUED:	8/16/19	REVISION:	D-37C



TRACER WIRE AT STORM SEWER MANHOLE			
APPROVED:	CITY ENGINEER	REVISION:	DRAWING NO.
ISSUED:	8/16/19	REVISION:	D-37D



TRACER WIRE SPLICE DETAIL			
APPROVED:	CITY ENGINEER	REVISION:	DRAWING NO.
ISSUED:	8/16/19	REVISION:	D-37E



GENERAL NOTES

- CONCRETE SHALL BE CLASS B. INLET MAY BE CAST-IN-PLACE OR PRECAST.
- CAST-IN-PLACE CONCRETE WALLS SHALL BE FORMED ON BOTH SIDES.
- EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 3/4 IN.
- REINFORCING BARS SHALL BE DEFORMED #4 AND SHALL HAVE A 2 IN. MINIMUM CLEARANCE. ALL REINFORCING BARS SHALL BE EPOXY COATED.
- STEPS SHALL BE PROVIDED WHEN INLET DIMENSION "H" IS EQUAL TO OR GREATER THAN 3 FT.-6 IN. AND SHALL CONFORM TO AASHTO M 199.
- ALL GRATES AND FRAMES SHALL BE GRAY OR DUCTILE CAST IRON IN ACCORDANCE WITH SUBSECTION 712.06. GRATES AND FRAMES SHALL BE DESIGNED TO WITHSTAND HS 20 LOADING.
- STATION POINT IS AT THE CENTER OF THE INLET.
- GRATE SHALL HAVE "DUMP NO WASTE DRAINS TO STREAM" MESSAGE CAST ON SURFACE.

H	CONCRETE	REINFORCING STEEL	NO. OF 401 BARS	MAXIMUM PIPE I.D.
3'-0"	1.3	72	4	18
3'-6"	1.5	76	4	24
4'-0"	1.6	90	5	30
4'-6"	1.8	104	6	30
5'-0"	1.9	109	6	30
5'-6"	2.1	122	7	30
6'-0"	2.2	136	8	30
6'-6"	2.4	141	8	30
7'-0"	2.5	154	9	30
7'-6"	2.7	168	10	30
8'-0"	2.8	173	10	30
8'-6"	3.0	187	11	30
9'-0"	3.1	200	12	30
9'-6"	3.3	205	12	30
10'-0"	3.4	219	13	30

9 INCLUDES 1% FOR OVERLAP.
NOTE: CONCRETE QUANTITIES INCLUDE VOLUME OCCUPIED BY PIPE.

QUANTITIES FOR ONE INLET

MARK	NO.	DIMENSIONS	LENGTH
401	4	3'-6"	13'-4"
402	2	3'-4 1/2"	8'-5 1/2"
403	5	2'-1 1/2"	7'-2 1/2"

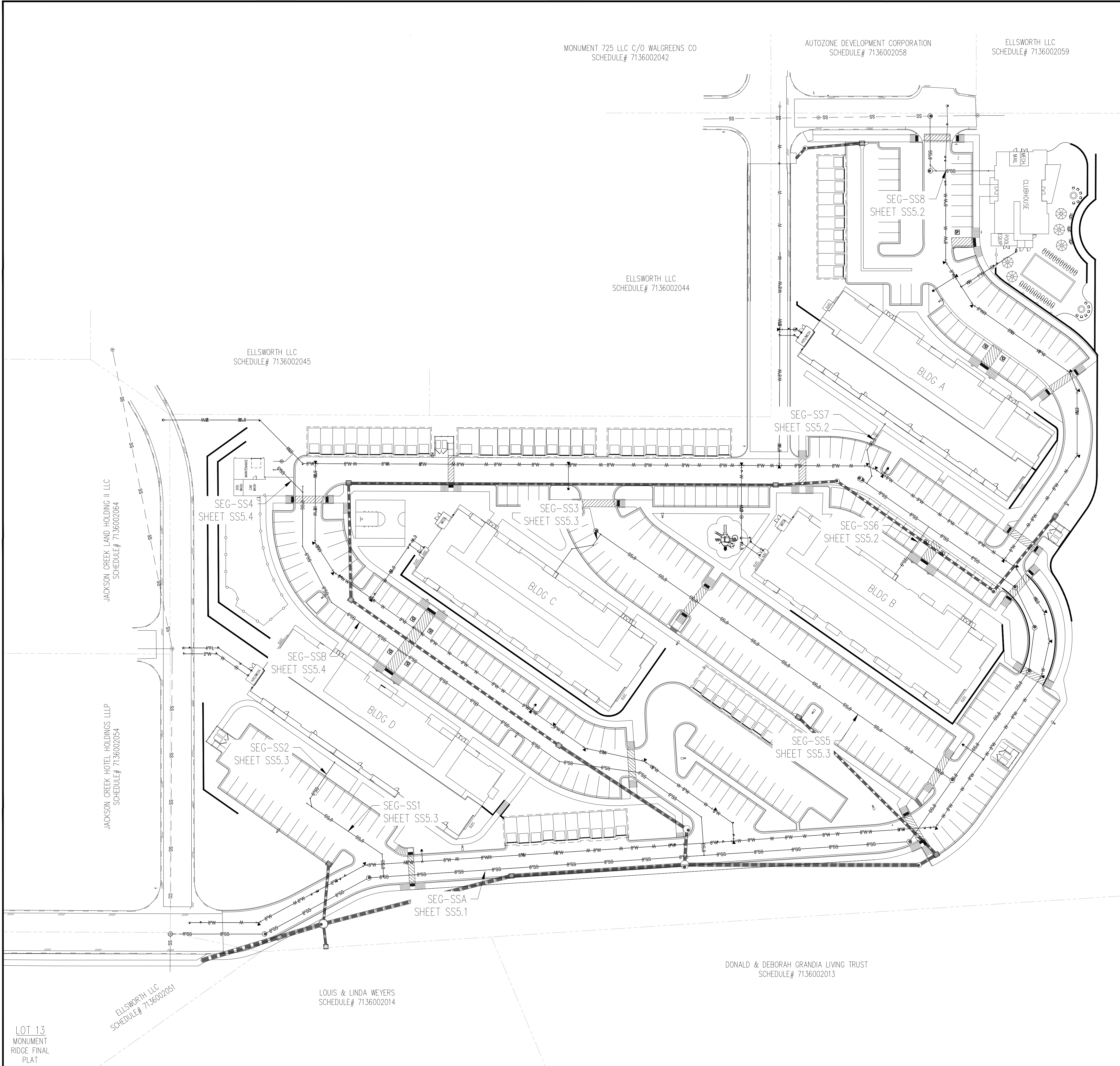
BAR LIST FOR H = 3 FT.-0 IN.

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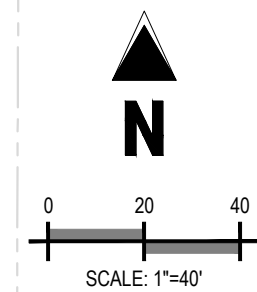
CONSTRUCTION DOCUMENTS
STORM DRAIN
MONUMENT RIDGE APARTMENTS
SEC BAPTIST RD & STRUTHERS RD
MONUMENT, CO

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FAMILY OF CHRIST LUTHERAN CHURCH
SCHEDULE# 7136002063

PAUL & TANA YATES
SCHEDULE# 7136002012



UTILITY LEGEND	
	PROPERTY LINE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING GAS LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED RETAINING WALL
	EXISTING SANITARY MANHOLE
	EXISTING STORM MANHOLE
	PROPOSED MANHOLE
	EXISTING FLARED END SECTION (FES)
	PROPOSED STORM INLET
	EXISTING GATE VALVE
	PROPOSED GATE VALVE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	PROPOSED BEND
	INVERT
	STA
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	P.I.E.
	P.U.E.
	P.U.D.
	PUBLIC IMPROVEMENT EASEMENT
	PUBLIC UTILITY EASEMENT
	PUBLIC UTILITY AND DRAINAGE EASEMENT

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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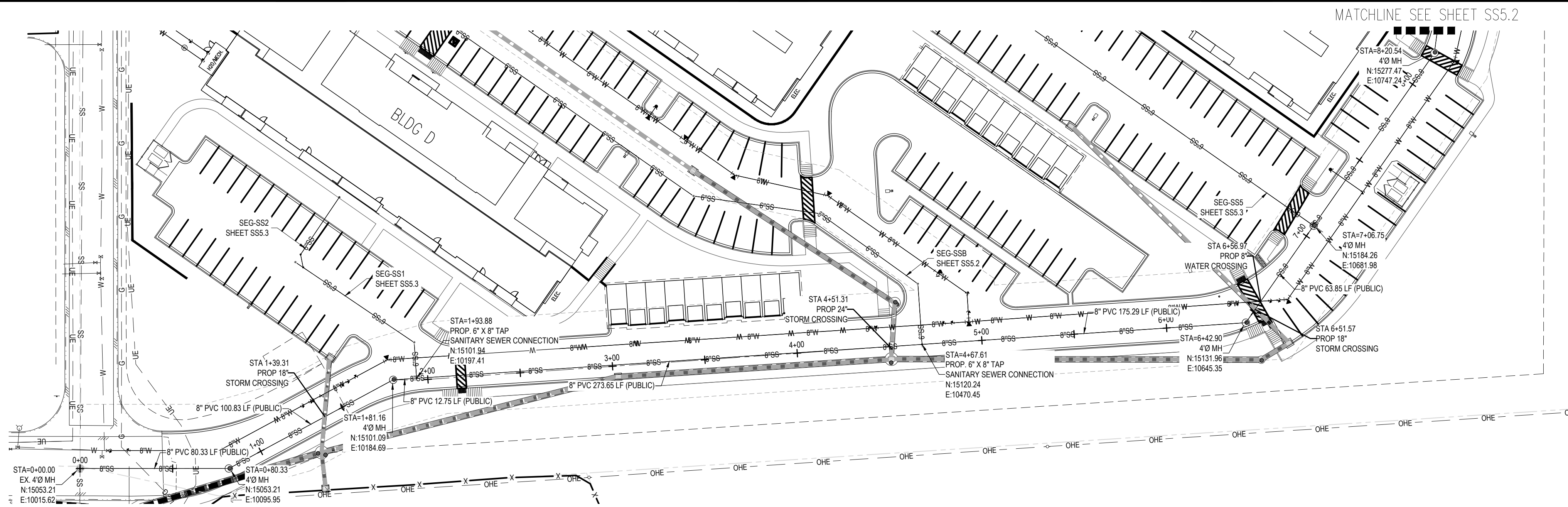


CONSTRUCTION DOCUMENTS
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MONUMENT RIDGE APARTMENTS

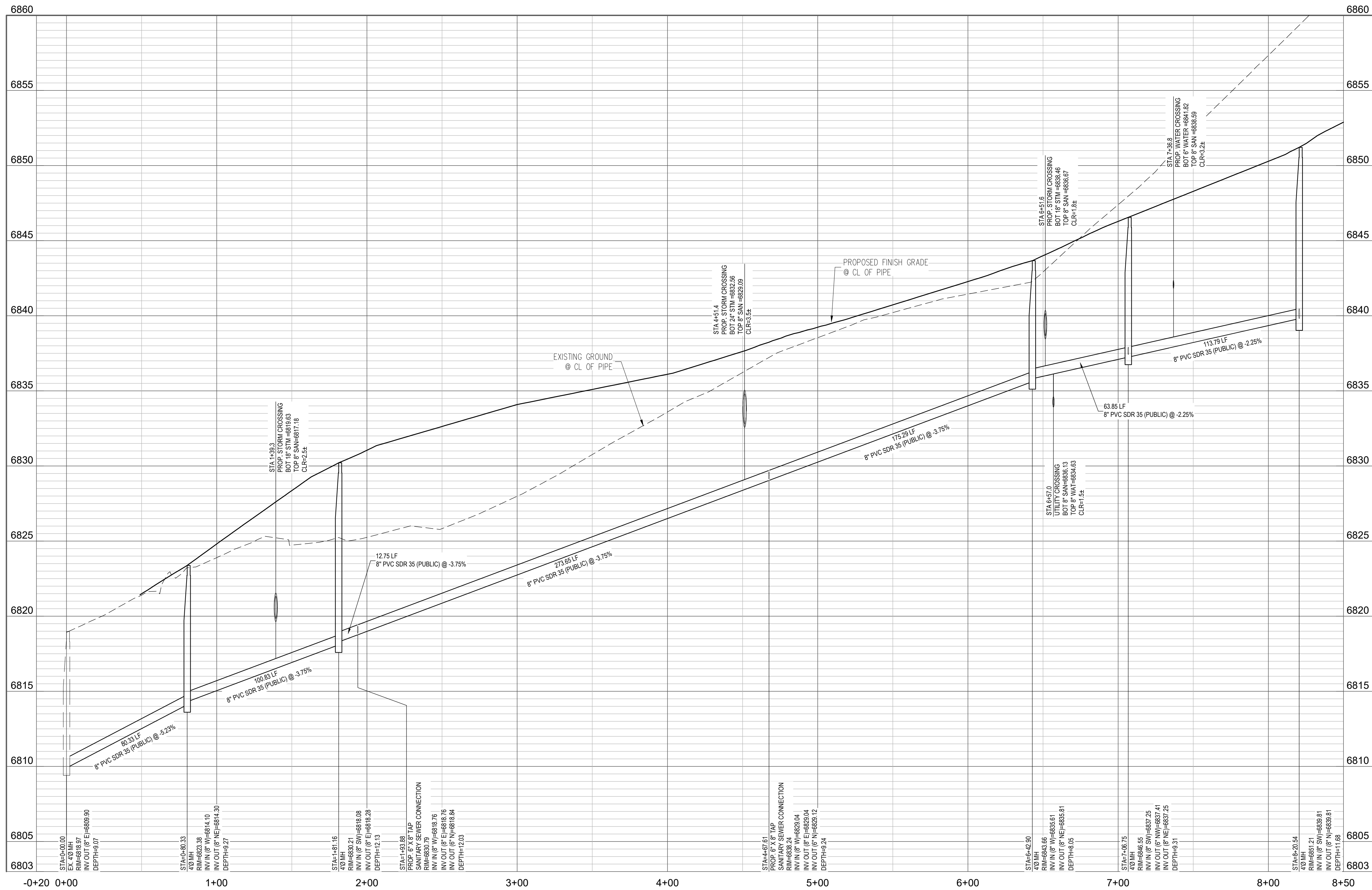
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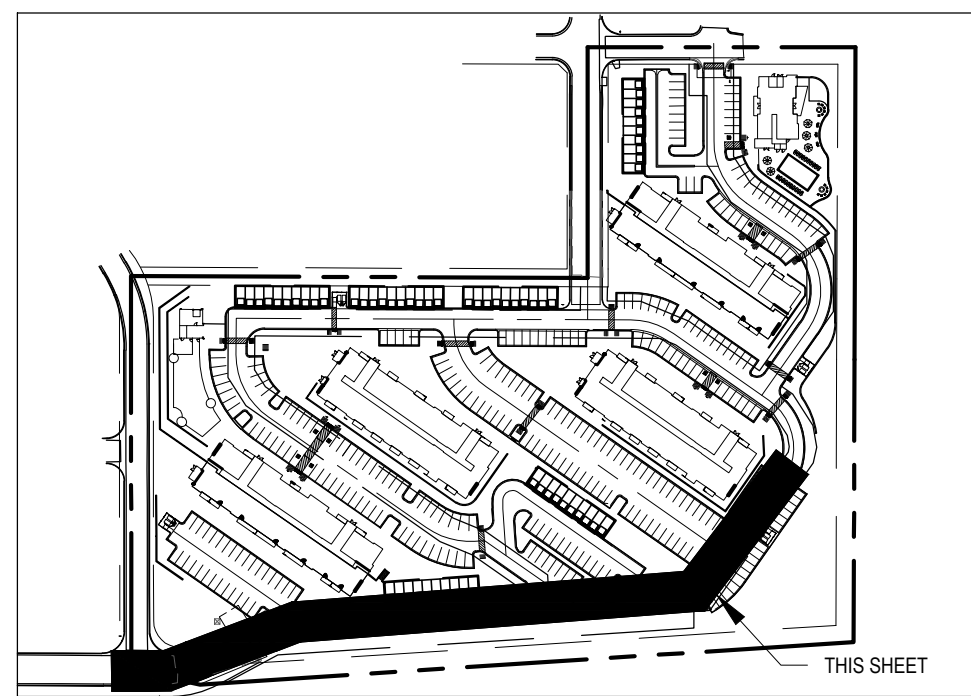
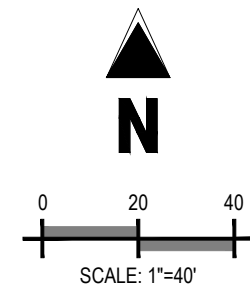
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Drawn By:	TPT
Checked By:	RGD
Date:	12/11/2019



PLAN - SANITARY SEWER SEG-SSA: STA -0+20 TO STA 8+00



PROFILE - SANITARY SEWER SEG-SSA: STA -0+20 TO STA 8+00
SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL



KEY MAP

UTILITY LEGEND

- | | |
|-----|--------------------------------------|
| --- | PROPERTY LINE |
| --- | EXISTING WATER LINE |
| --- | PROPOSED WATER LINE |
| --- | EXISTING SANITARY SEWER |
| --- | PROPOSED SANITARY SEWER |
| --- | EXISTING GAS LINE |
| --- | EXISTING UNDERGROUND ELECTRIC LINE |
| --- | EXISTING STORM SEWER |
| --- | PROPOSED STORM SEWER |
| --- | PROPOSED RETAINING WALL |
| --- | EXISTING SANITARY MANHOLE |
| --- | EXISTING STORM MANHOLE |
| --- | PROPOSED MANHOLE |
| --- | EXISTING FLARED END SECTION (FES) |
| --- | PROPOSED STORM INLET |
| --- | EXISTING GATE VALVE |
| --- | PROPOSED GATE VALVE |
| --- | EXISTING FIRE HYDRANT |
| --- | PROPOSED FIRE HYDRANT |
| --- | PROPOSED BEND |
| --- | INVERT |
| --- | STA |
| --- | EXISTING |
| --- | P.I.E. |
| --- | PUBLIC IMPROVEMENT EASEMENT |
| --- | P.U.E. |
| --- | PUBLIC UTILITY EASEMENT |
| --- | P.U.D. |
| --- | PUBLIC UTILITY AND DRAINAGE EASEMENT |

NOTES

1. ALL SANITARY SEWER IMPROVEMENTS ARE PUBLIC UNLESS LABELED OTHERWISE. CONTRACTOR TO VERIFY SIZE, LOCATION, AND MATERIAL OF EXISTING SEWER.
2. SLOPES ON ALL SANITARY SEWER SERVICE LINES ARE TO BE 1.04% UNLESS SPECIFIED OTHERWISE.
3. CAUTION! MAINTAIN 18" MINIMUM SEPARATION FOR UTILITY SERVICE CROSSING AND OTHER UTILITIES.
4. 3/4" COPPER WATER SERVICE LINE AND 3/4" METER SHALL BE USED.
5. 4" PVC SANITARY SEWER SERVICE LINE SHALL BE USED.
6. INSTALL WATER METER AND BACKFLOW IN ACCORDANCE WITH CSU WATER LESS DETAIL B1-17.

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MONUMENT, CO

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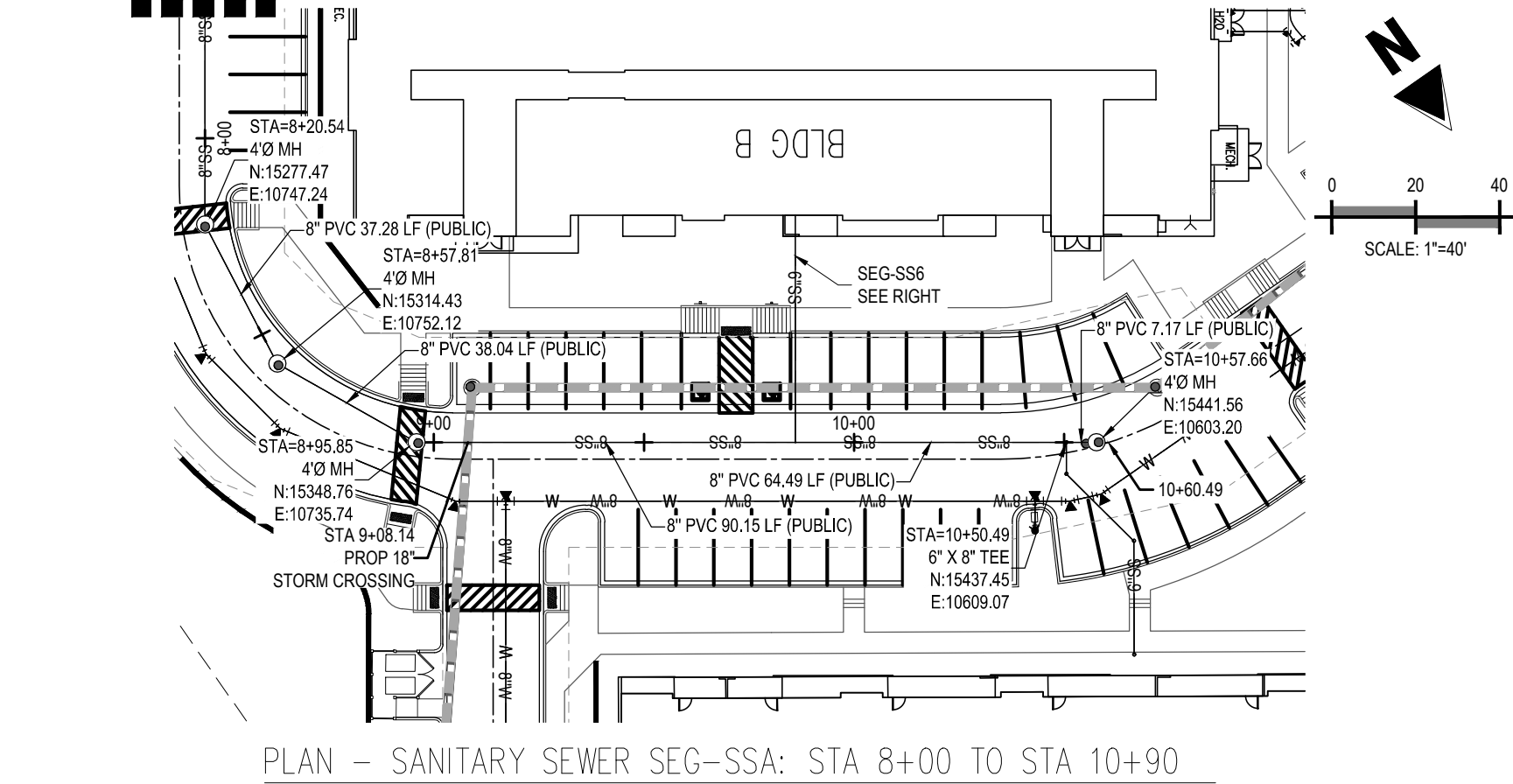
Project No:	GNK000002.20
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Checked By:	RGD
Date:	12/11/2019

SANITARY PLAN & PROFILE

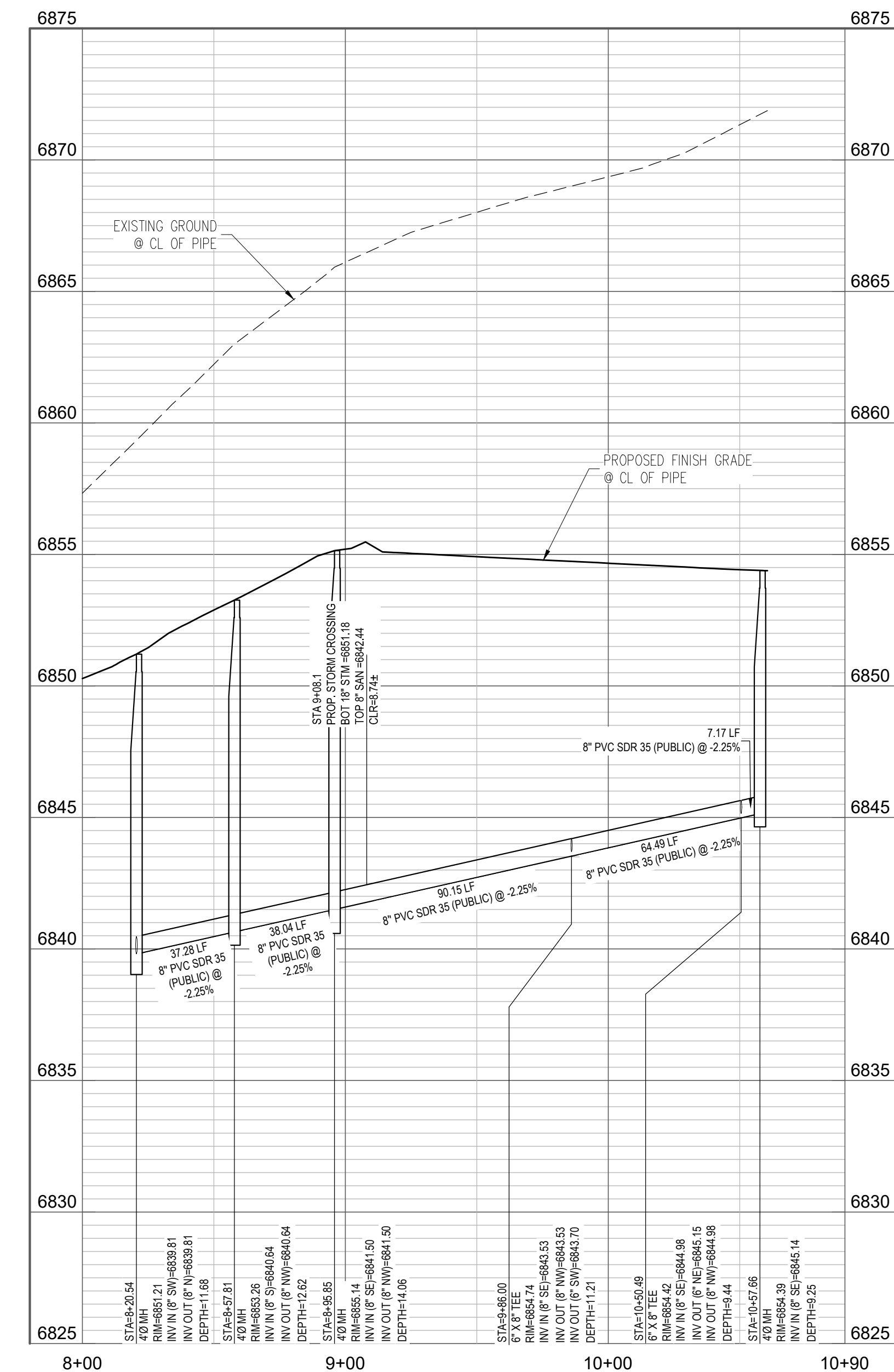
SS5.1

Sheet 33 of 43

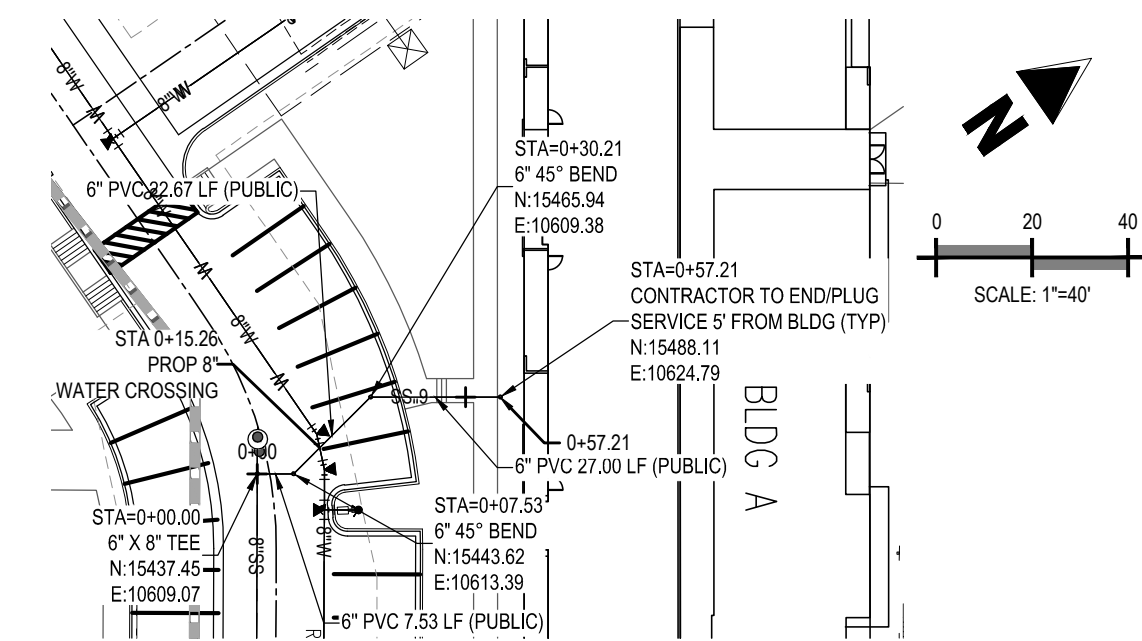
MATCHLINE SEE SHEET SS5.1



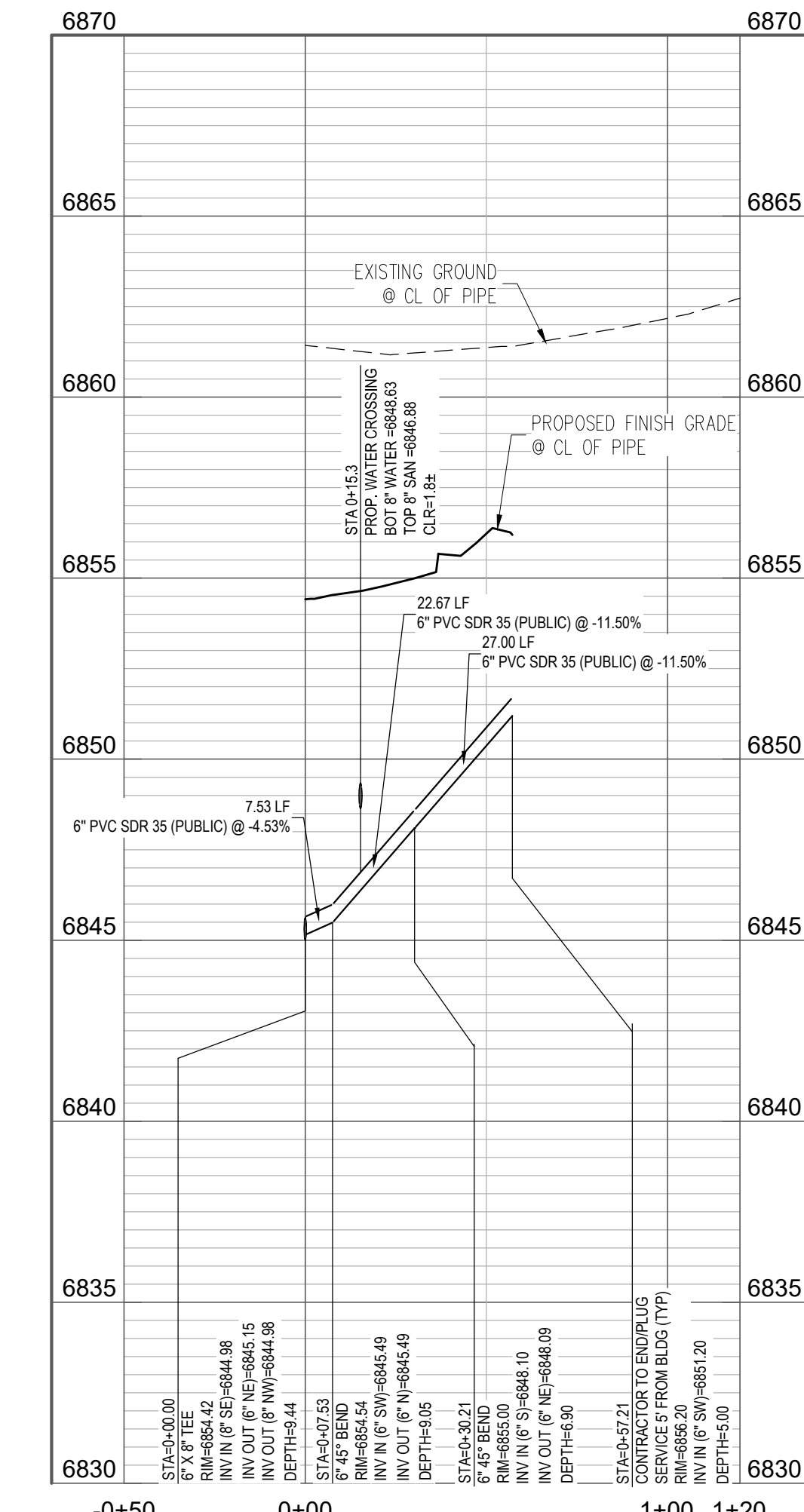
PLAN - SANITARY SEWER SEG-SSA: STA 8+00 TO STA 10+90



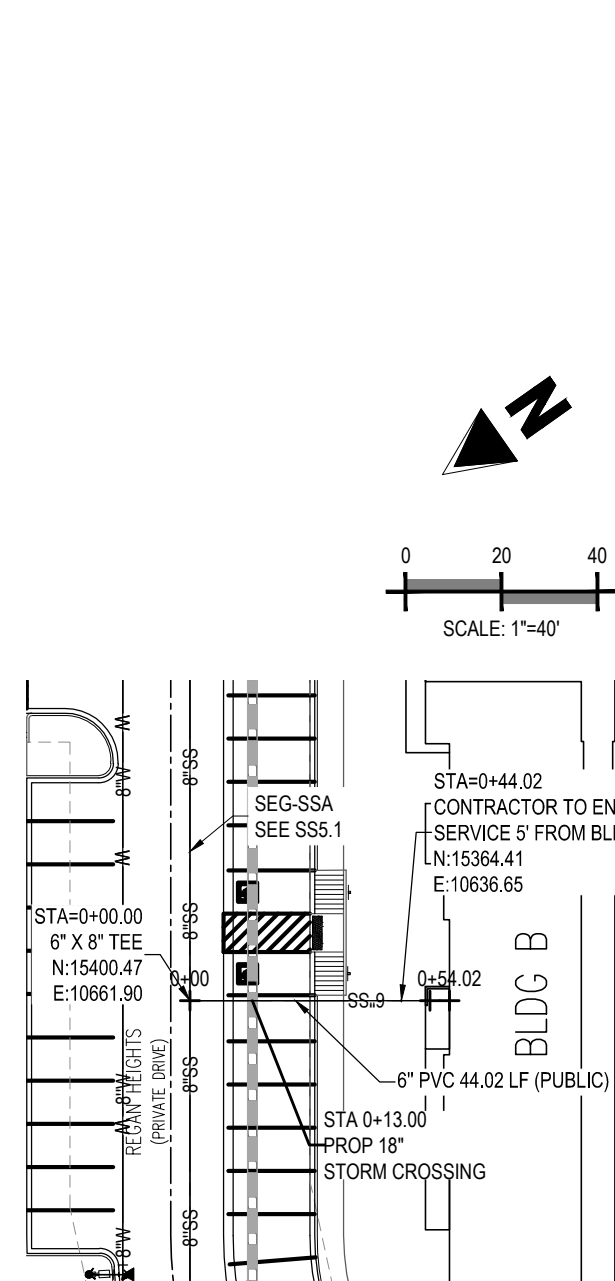
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SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL



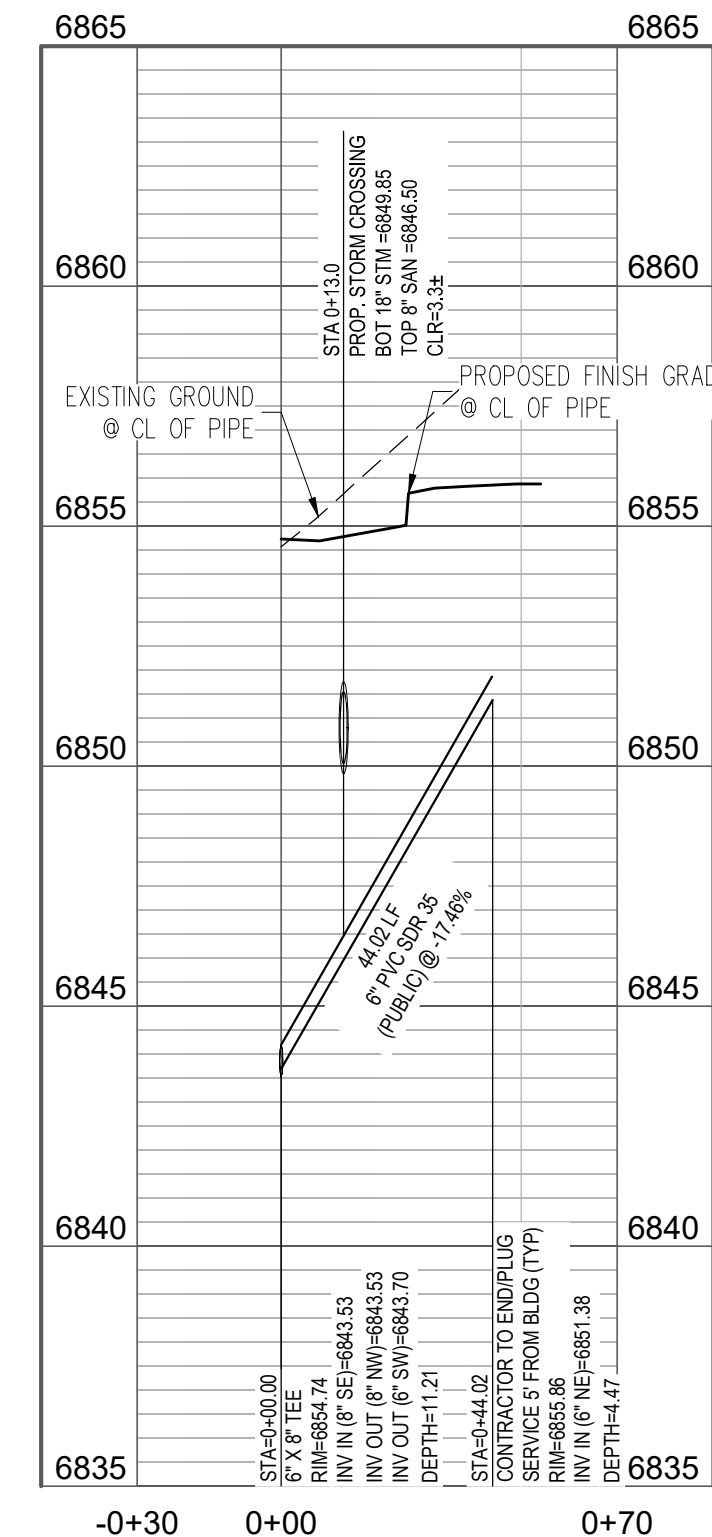
PLAN - SANITARY SEWER SEG-SS7: STA -0+50 TO STA 4+00



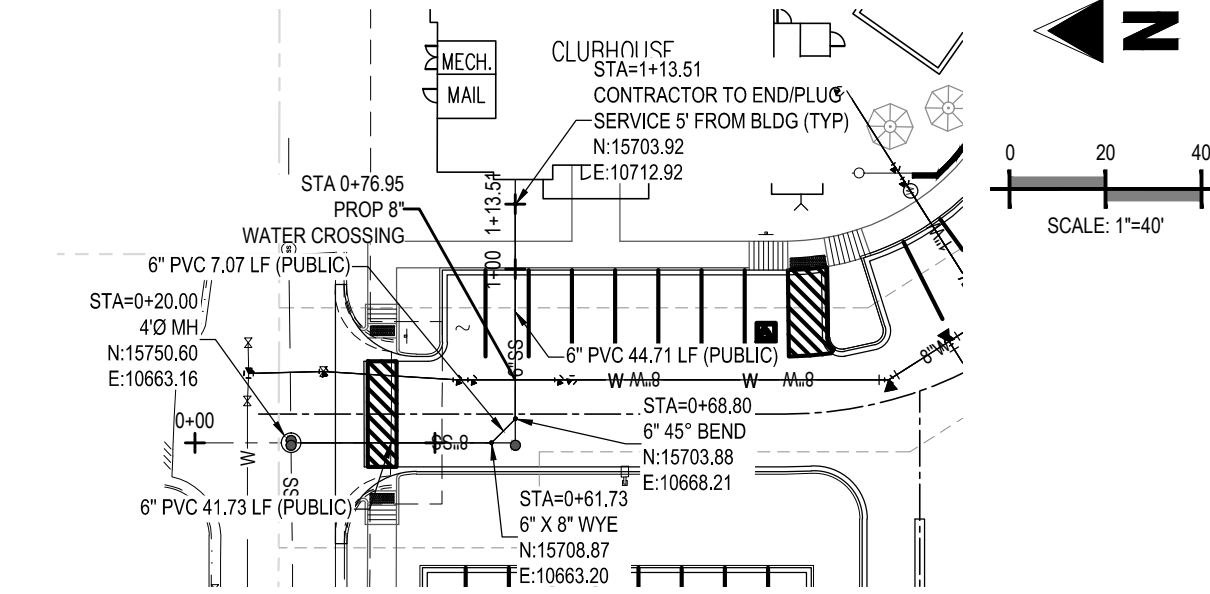
PROFILE - SANITARY SEWER SEG-SS7: STA -0+20 TO STA 0+80
SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL



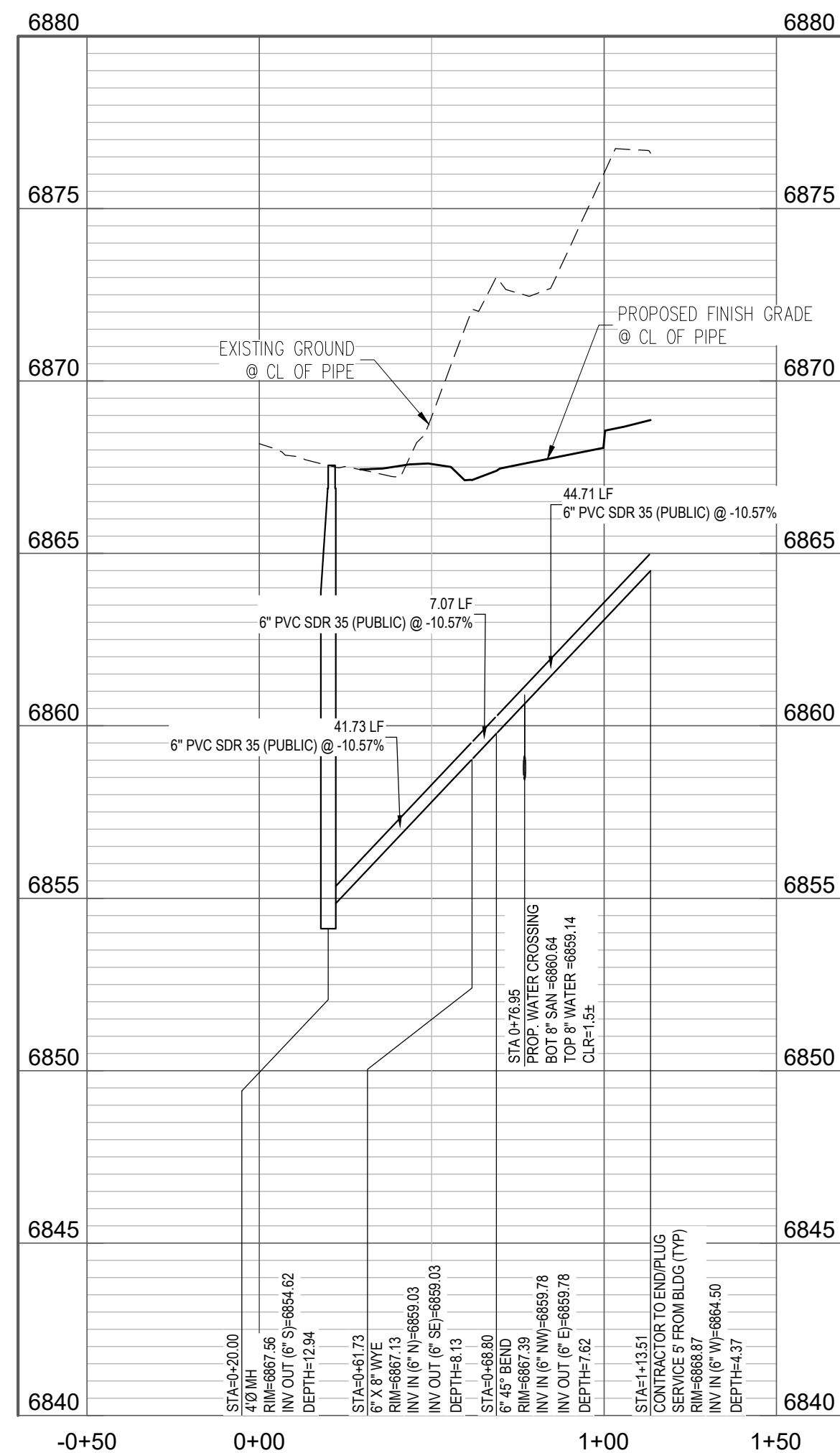
PLAN - SANITARY SEWER SEG-SS6:
STA -0+30 TO STA 0+70



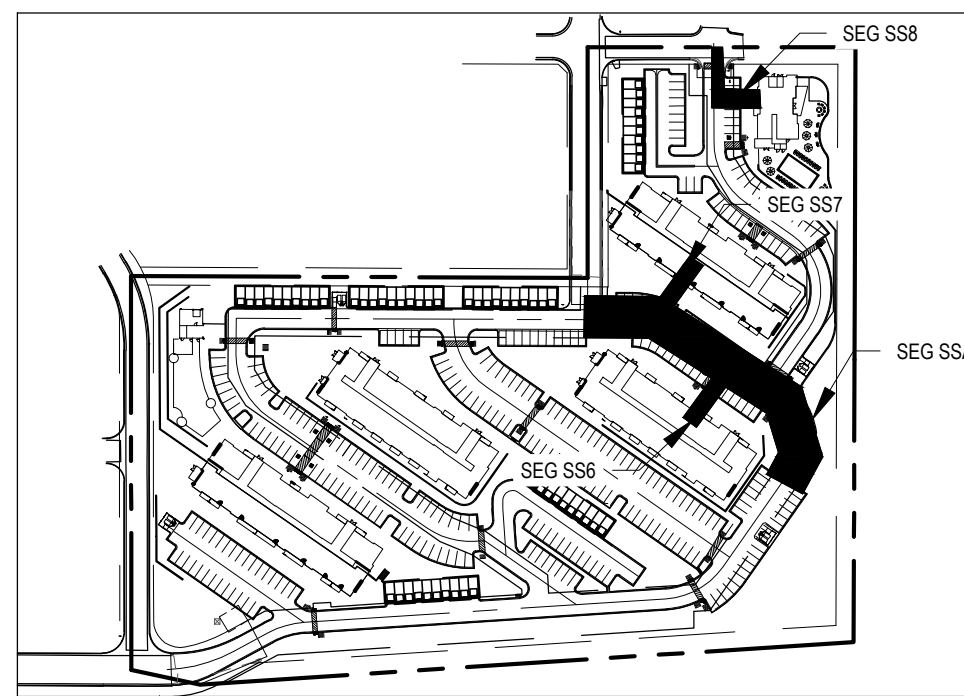
PROFILE - SANITARY SEWER SEG-SS6:
STA -0+30 TO STA 0+70
SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL



PLAN - SANITARY SEWER SEG-SS8: STA -0+50 TO STA 1+50



PROFILE - SANITARY SEWER SEG-SS8: STA -0+50 TO STA 1+50
SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL



KEY MAP

UTILITY LEGEND

---	PROPERTY LINE
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING GAS LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	PROPOSED RETAINING WALL
---	EXISTING SANITARY MANHOLE
---	EXISTING STORM MANHOLE
---	PROPOSED MANHOLE
---	EXISTING FLARED END SECTION (FES)
---	PROPOSED STORM INLET
---	EXISTING GATE VALVE
---	PROPOSED GATE VALVE
---	EXISTING FIRE HYDRANT
---	PROPOSED FIRE HYDRANT
---	INVERT
---	INVERT
---	STATION
---	EXISTING
---	P.U.E. PUBLIC UTILITY EASEMENT
---	P.U.E. PUBLIC UTILITY EASEMENT
---	P.U.D. PUBLIC UTILITY AND DRAINAGE EASEMENT

NOTES

- ALL SANITARY SEWER IMPROVEMENTS ARE PUBLIC UNLESS LABELED OTHERWISE. CONTRACTOR TO VERIFY SIZE, LOCATION, AND MATERIAL OF EXISTING SEWER.
- SLOPES ON ALL SANITARY SEWER SERVICE LINES ARE TO BE 1.04% UNLESS SPECIFIED OTHERWISE.
- CAUTION! MAINTAIN 18" MINIMUM SEPARATION FOR UTILITY SERVICE CROSSING AND OTHER UTILITIES.
- 3/4" COPPER WATER SERVICE LINE AND 3/4" METER SHALL BE USED.
- 4" PVC SANITARY SEWER SERVICE LINE SHALL BE USED.
- INSTALL WATER METER AND BACKFLOW IN ACCORDANCE WITH CSU WATER LESS DETAIL B1-17.

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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KNIGHT

CONSTRUCTION DOCUMENTS
SANITARY SEWER
MONUMENT RIDGE APARTMENTS

SEC BAPTIST RD & STRUTHERS RD
MONUMENT, CO

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SANITARY PLAN & PROFILE

SS5.2

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CONSTRUCTION DOCUMENTS
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MONUMENT, CO

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Project No:	GNK000002.20
Drawn By:	TPT
Checked By:	RGD
Date:	12/11/2019

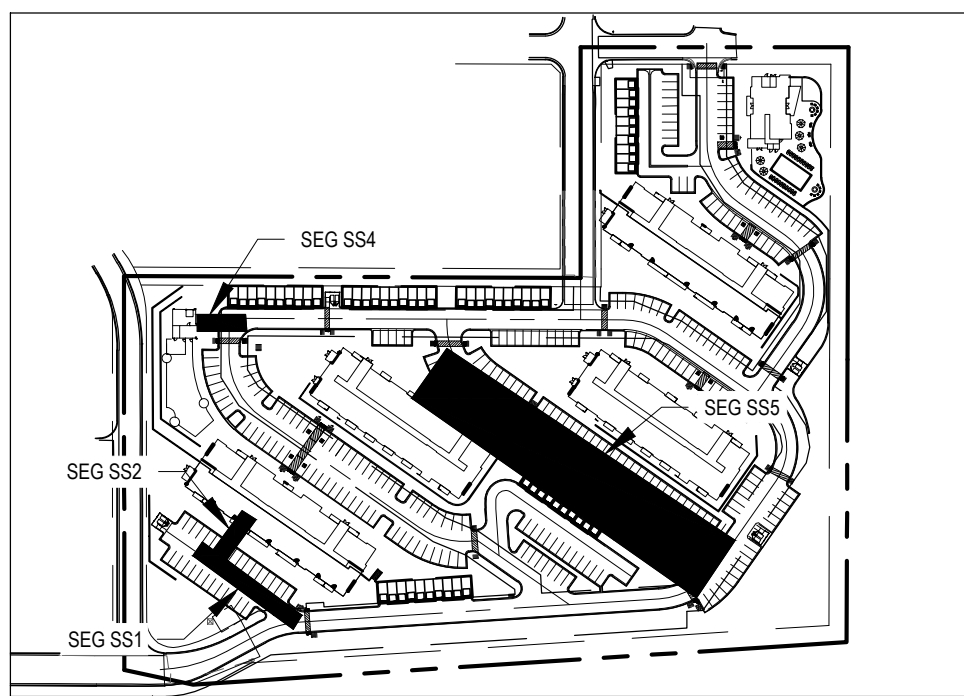
SANITARY PLAN & PROFILE

SS5.3

Sheet 35 of 43

NOTES

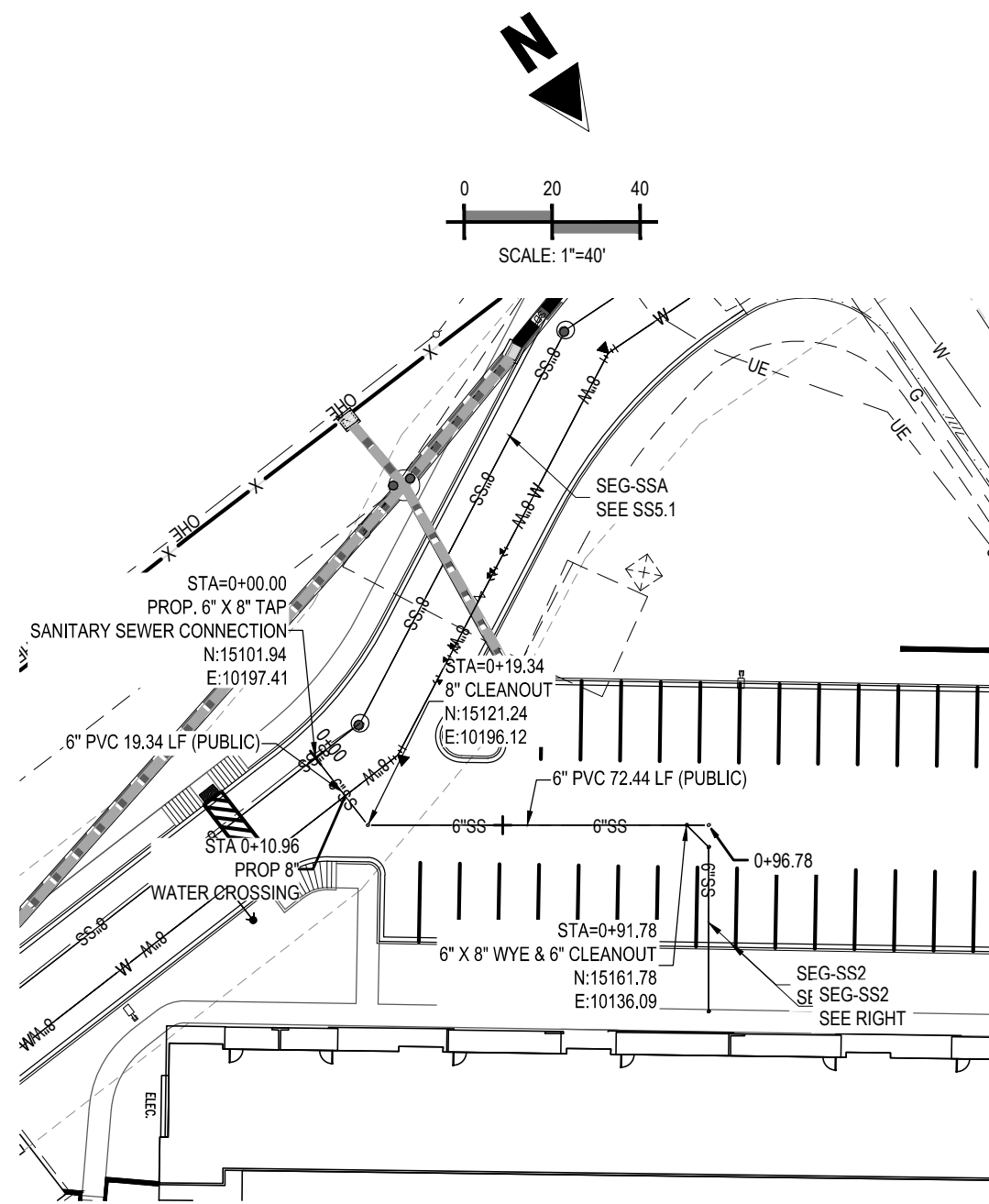
1. ALL SANITARY SEWER IMPROVEMENTS ARE PUBLIC UNLESS LABELED OTHERWISE.
2. CONTRACTOR TO VERIFY SIZE, LOCATION, AND MATERIAL OF EXISTING SEWER STUB.
3. SLOPES ON ALL SANITARY SEWER SERVICE LINES ARE TO BE 1.04% UNLESS SPECIFIED OTHERWISE.
4. CAUTION: MAINTAIN 18" MINIMUM SEPARATION FOR UTILITY SERVICE CROSSING AND OTHER UTILITIES.
5. 3/4" COPPER WATER SERVICE LINE AND 3/4" METER SHALL BE USED.
6. 4" PVC SANITARY SEWER SERVICE LINE SHALL BE USED.
7. INSTALL WATER METER AND BACKFLOW IN ACCORDANCE WITH CSU WATER LESS DETAIL B1-17



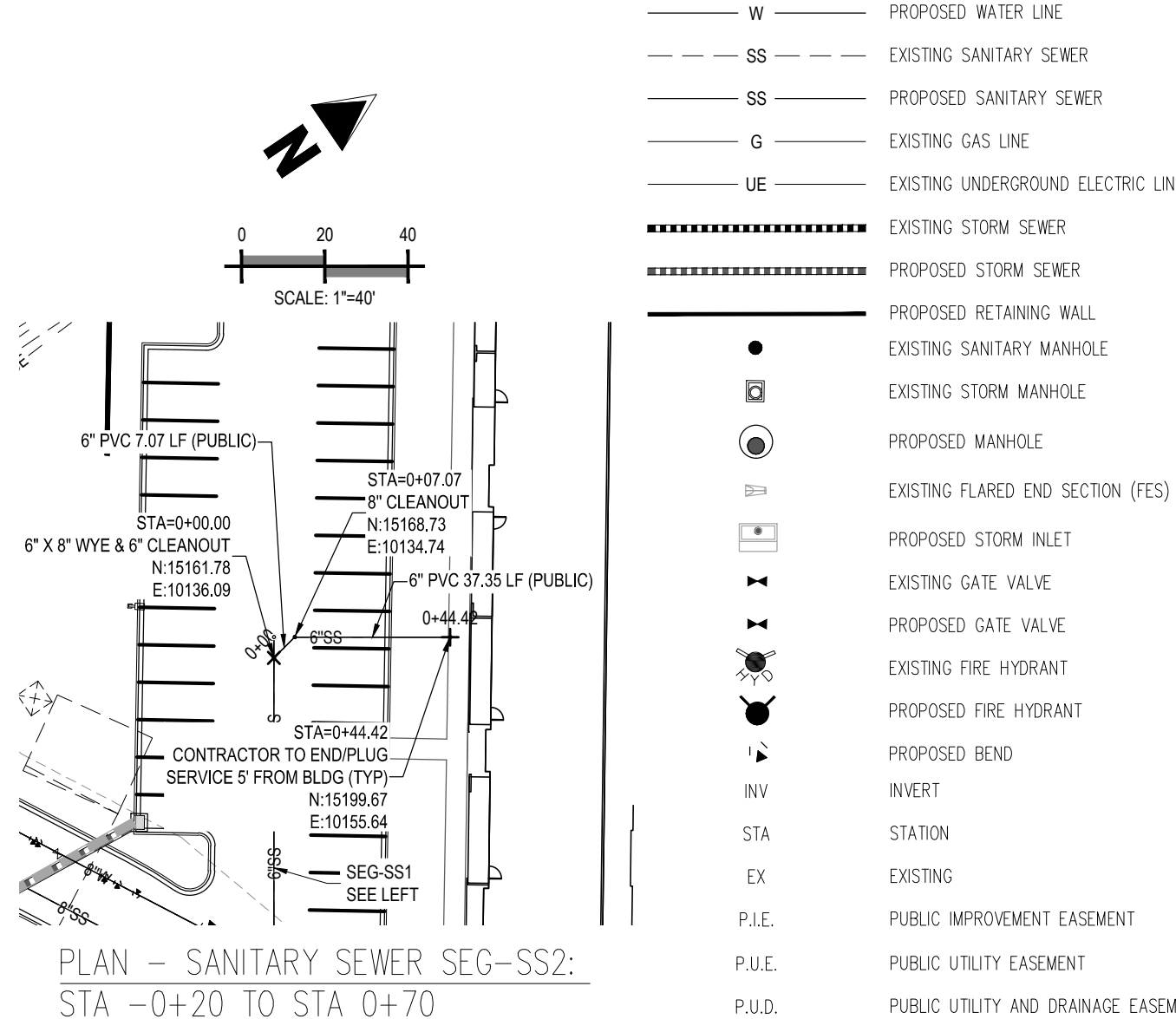
SITE MAP

UTILITY LEGEND

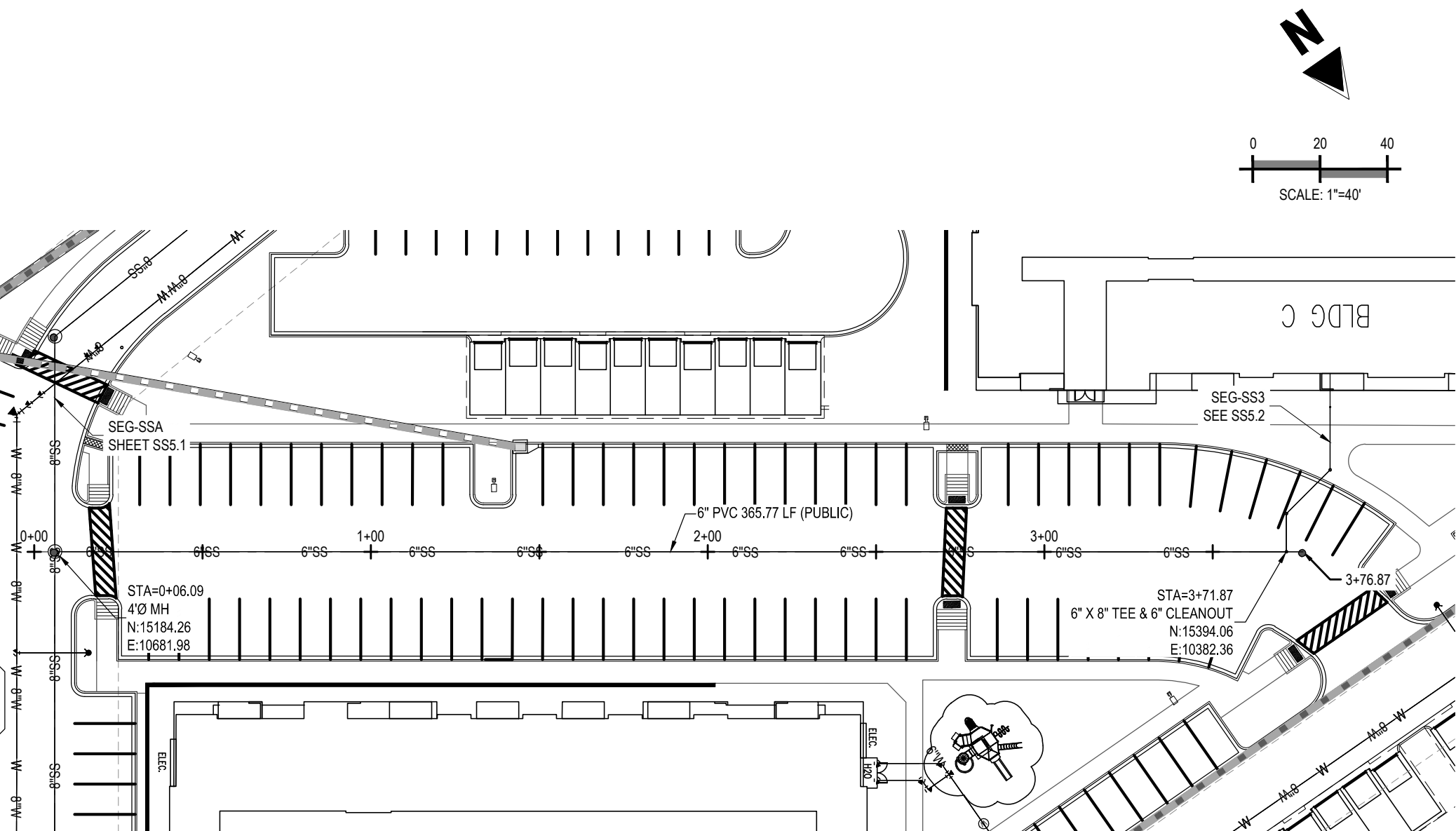
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---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING GAS LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	PROPOSED RETAINING WALL
---	EXISTING SANITARY MANHOLE
---	EXISTING STORM MANHOLE
---	PROPOSED MANHOLE
---	EXISTING FLARED END SECTION (FES)
---	PROPOSED STORM INLET
---	EXISTING GATE VALVE
---	PROPOSED GATE VALVE
---	EXISTING FIRE HYDRANT
---	PROPOSED FIRE HYDRANT
---	PROPOSED BEND
---	INVERT
---	STATION
---	EXISTING
---	P.I.E. PUBLIC IMPROVEMENT EASEMENT
---	P.U.E. PUBLIC UTILITY EASEMENT
---	P.U.D. PUBLIC UTILITY AND DRAINAGE EASEMENT



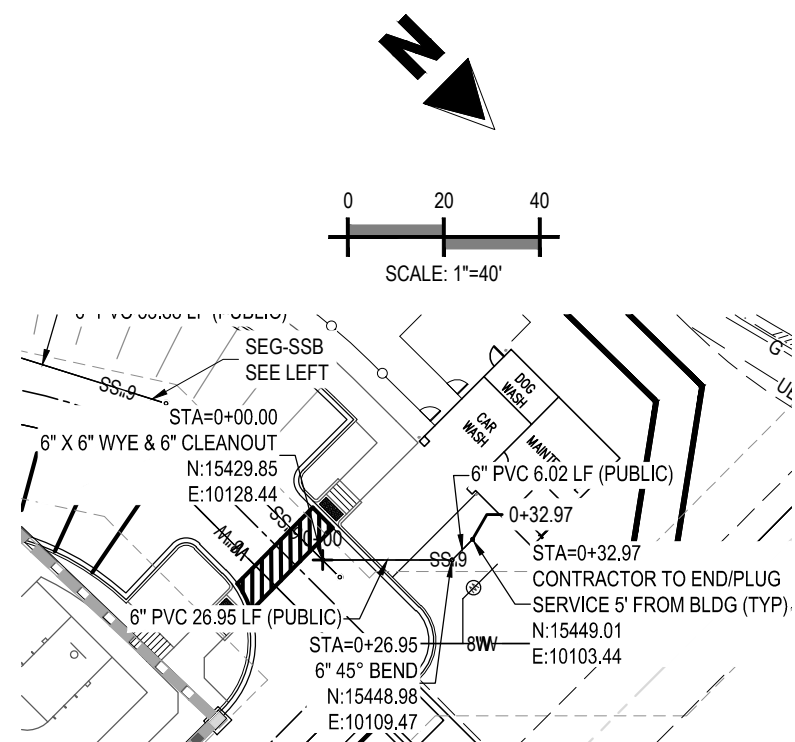
PLAN - SANITARY SEWER SEG-SS1: STA -0+20 TO STA 1+30



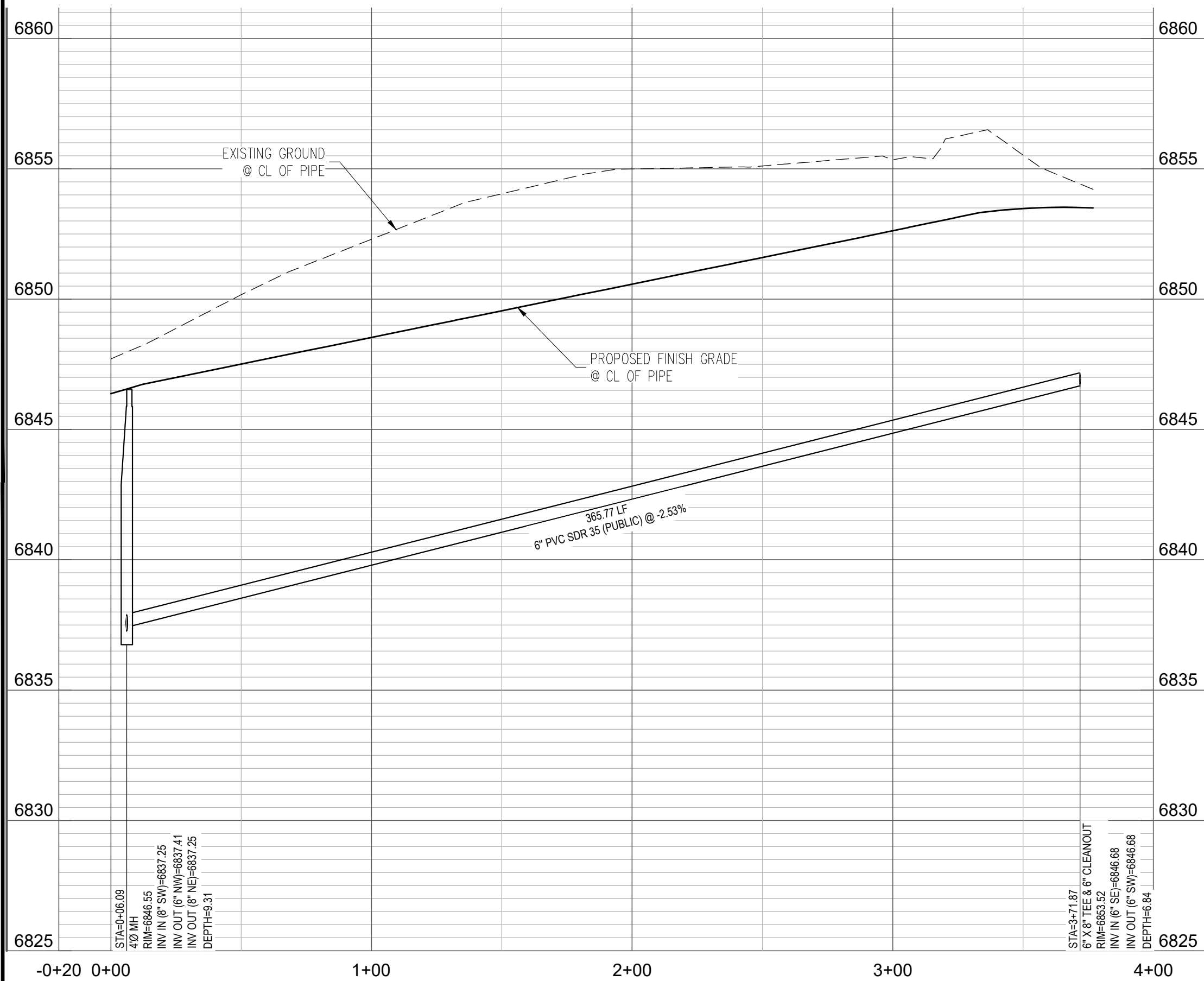
PLAN - SANITARY SEWER SEG-SS2:
STA -0+20 TO STA 0+70



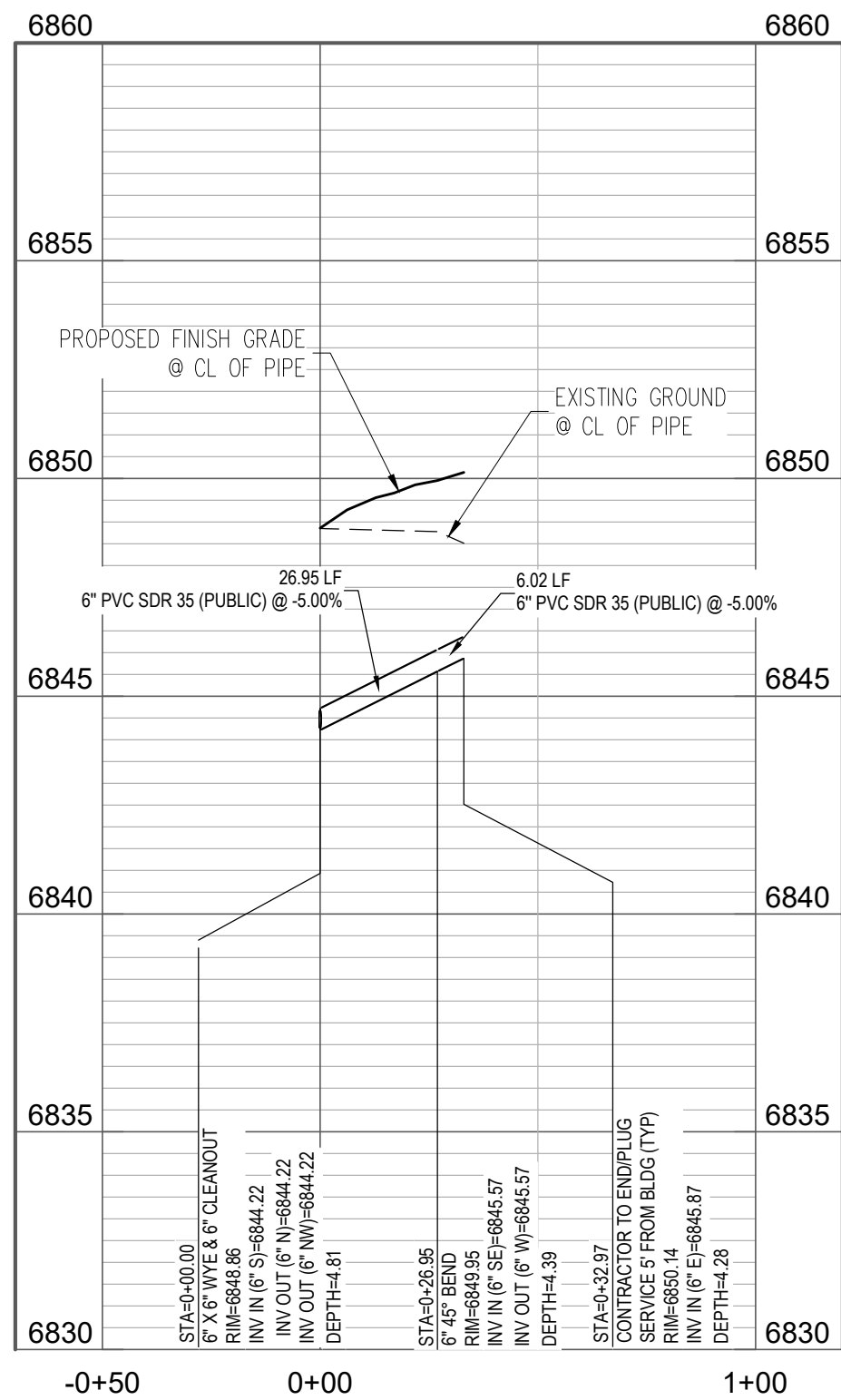
PLAN - SANITARY SEWER SEG-SS5: STA -0+20 TO STA 2+00



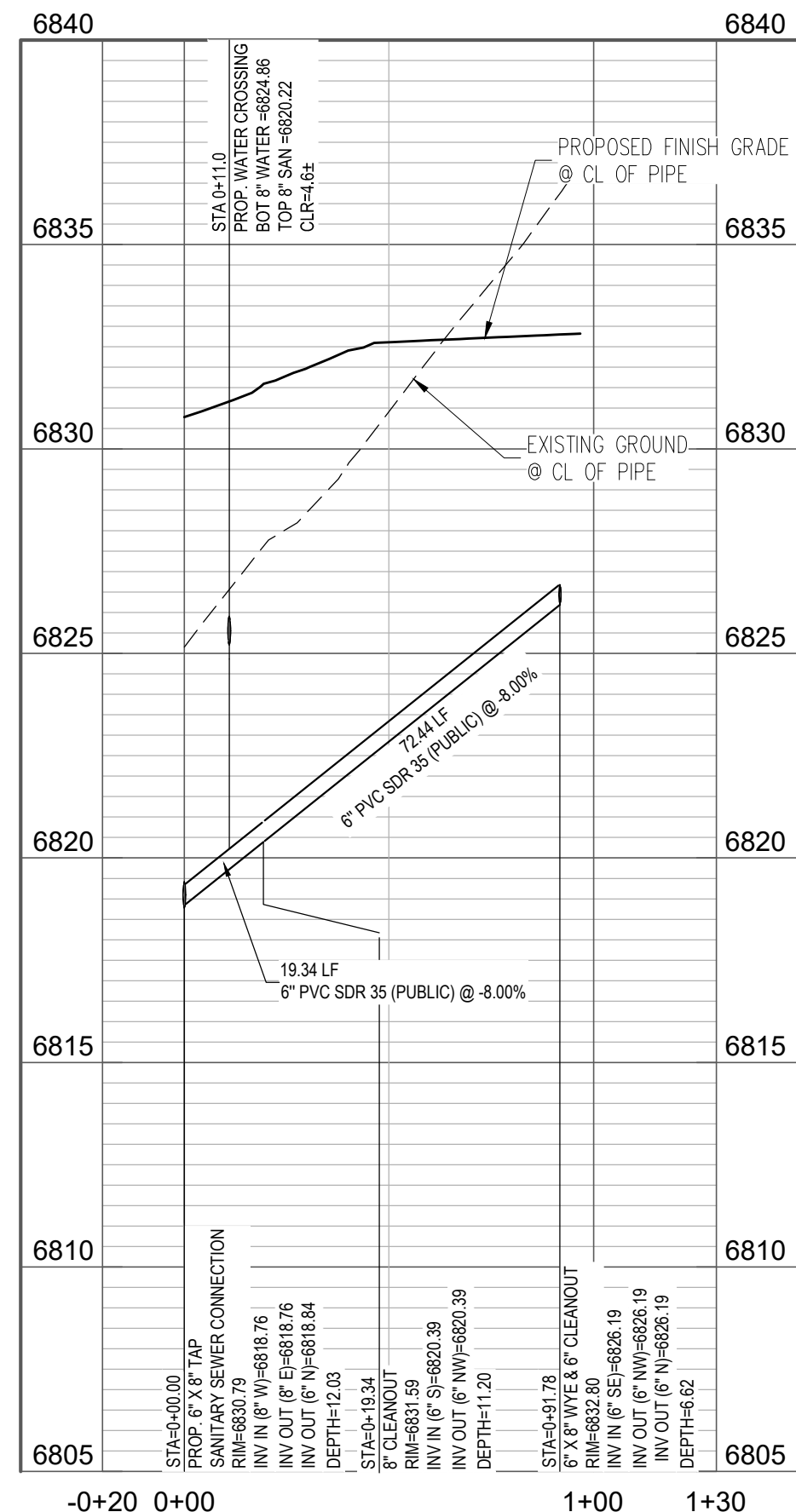
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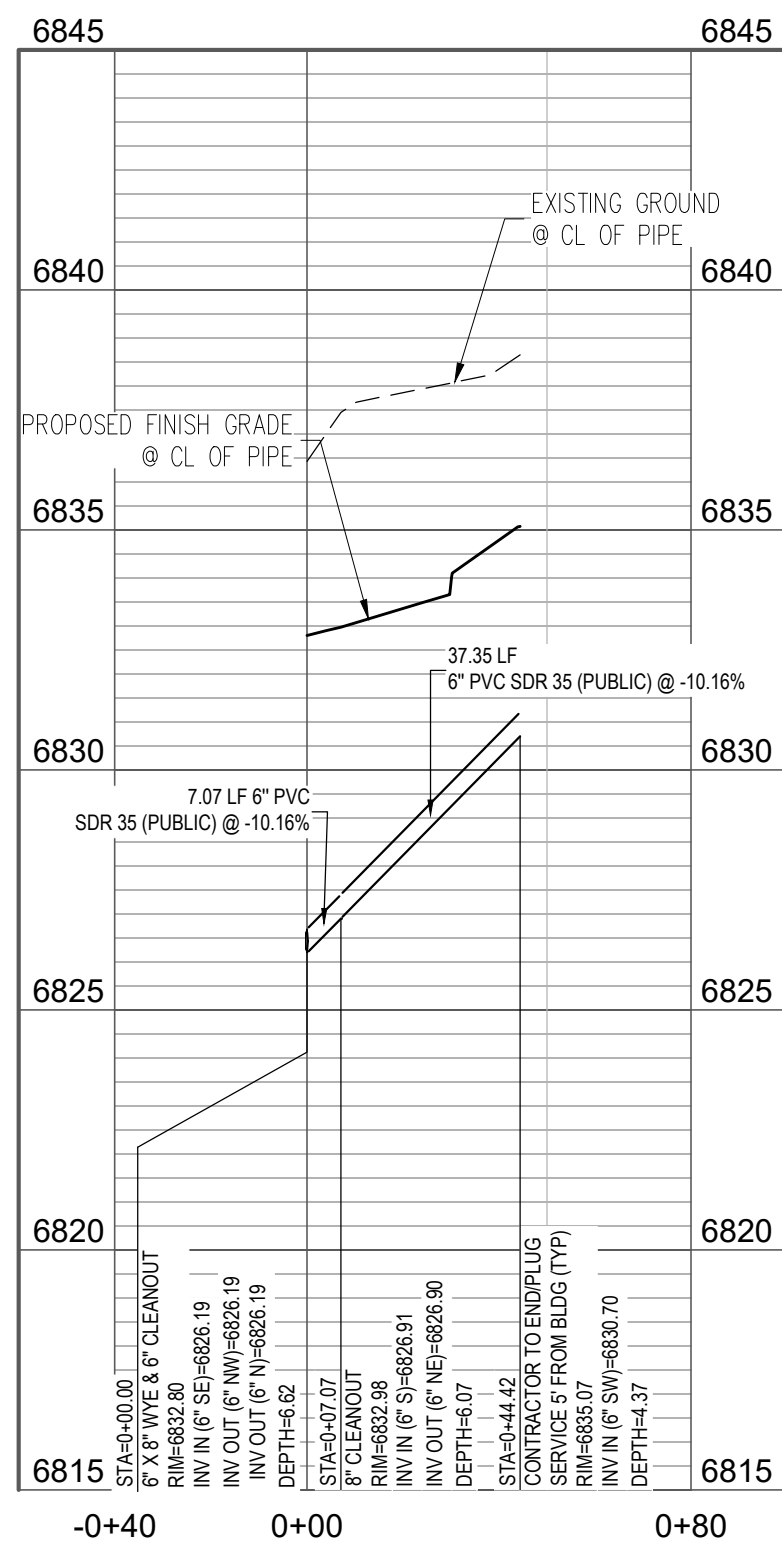
PROFILE - SANITARY SEWER SEG-SS5: STA -0+20 TO STA 4+00
SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL



PROFILE - SANITARY SEWER SEG-SS4: STA -0+50 TO STA 1+00
SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL



PROFILE - SANITARY SEWER SEG-SS1: STA -0+20 TO STA 1+30
SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL



PROFILE - SANITARY SEWER SEG-SS2: STA -0+20 TO STA 0+70
SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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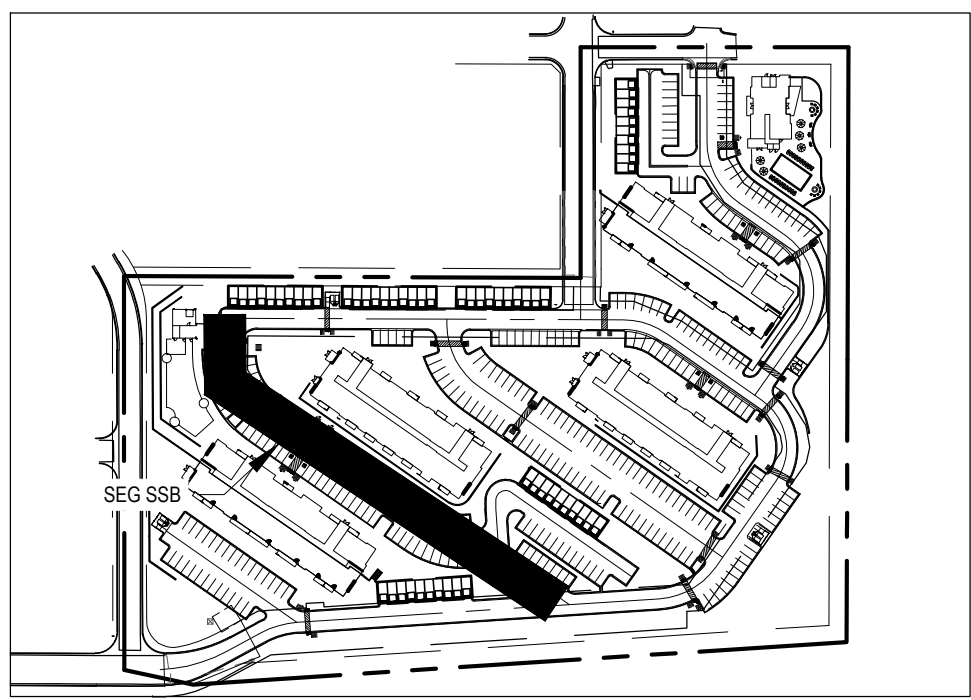
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Project No:	GNK000002.20
Drawn By:	TPT
Checked By:	RGD
Date:	12/11/2019

SANITARY PLAN & PROFILE

SS5.4

Sheet 36 of 43



SITE MAP

UTILITY LEGEND

---	PROPERTY LINE
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING GAS LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	PROPOSED RETAINING WALL
---	EXISTING SANITARY MANHOLE
---	PROPOSED MANHOLE
---	EXISTING FLARED END SECTION (FES)
---	PROPOSED STORM INLET
---	EXISTING GATE VALVE
---	PROPOSED GATE VALVE
---	EXISTING FIRE HYDRANT
---	PROPOSED FIRE HYDRANT
---	PROPOSED BEND
---	INVERT
---	STA
---	EX
---	P.I.E.
---	P.U.E.
---	P.U.D.

NOTES

- ALL SANITARY SEWER IMPROVEMENTS ARE PUBLIC UNLESS LABELED OTHERWISE.
- CONTRACTOR TO VERIFY SIZE, LOCATION, AND MATERIAL OF EXISTING SEWER STUB.

NOTES

- SLOPES ON ALL SANITARY SEWER SERVICE LINES ARE TO BE 2.08% UNLESS SPECIFIED OTHERWISE.
- CAUTION! MAINTAIN 18" MINIMUM SEPARATION FOR UTILITY SERVICE CROSSING AND OTHER UTILITIES.
- 3/4" COPPER WATER SERVICE LINE AND 3/4" METER SHALL BE USED.
- 4" PVC SANITARY SEWER SERVICE LINE SHALL BE USED.
- INSTALL WATER METER AND BACKFLOW IN ACCORDANCE WITH CSU WATER LESS DETAIL 61-17

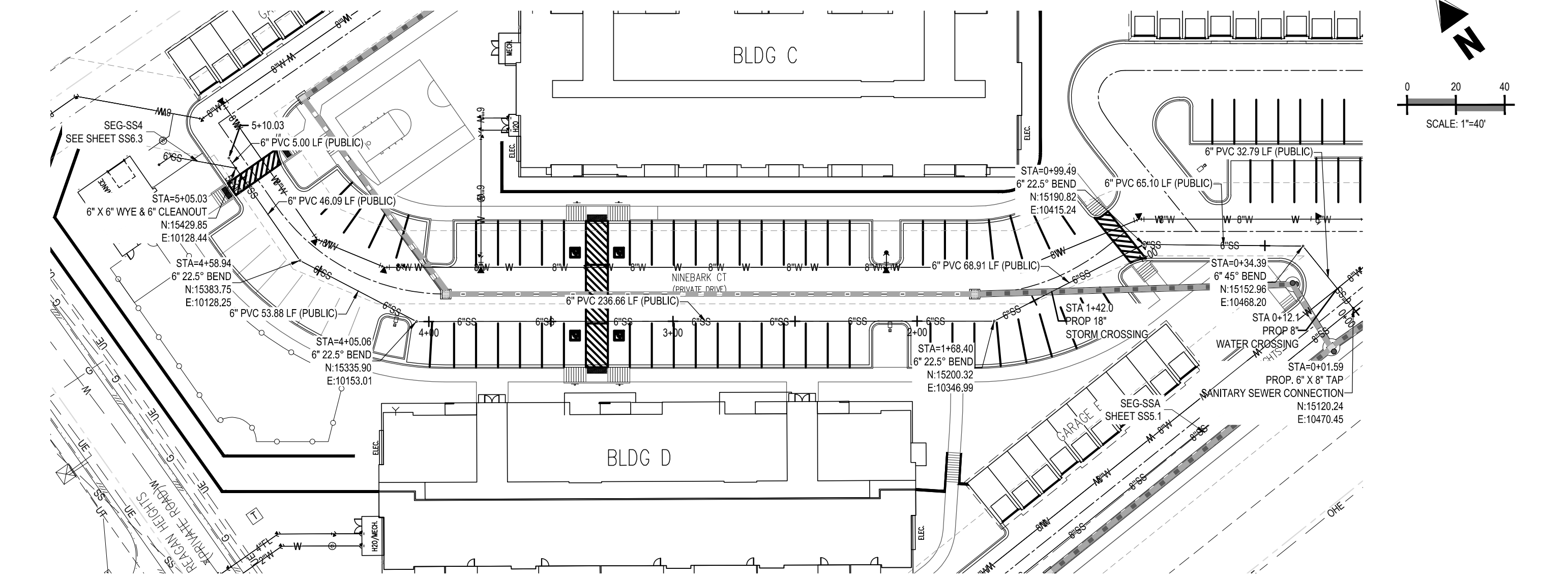
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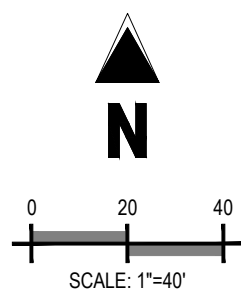
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- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.





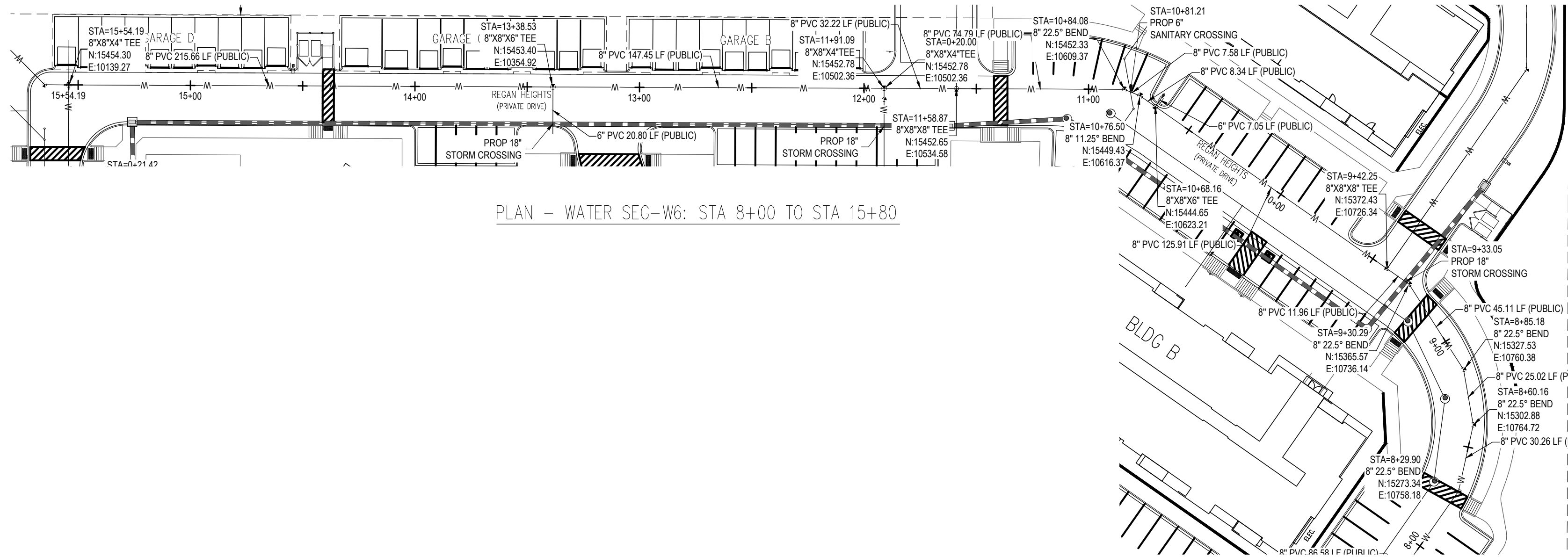
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SCHEDULE# 7136002063

PAUL & TANA YATES
SCHEDULE# 7136002012

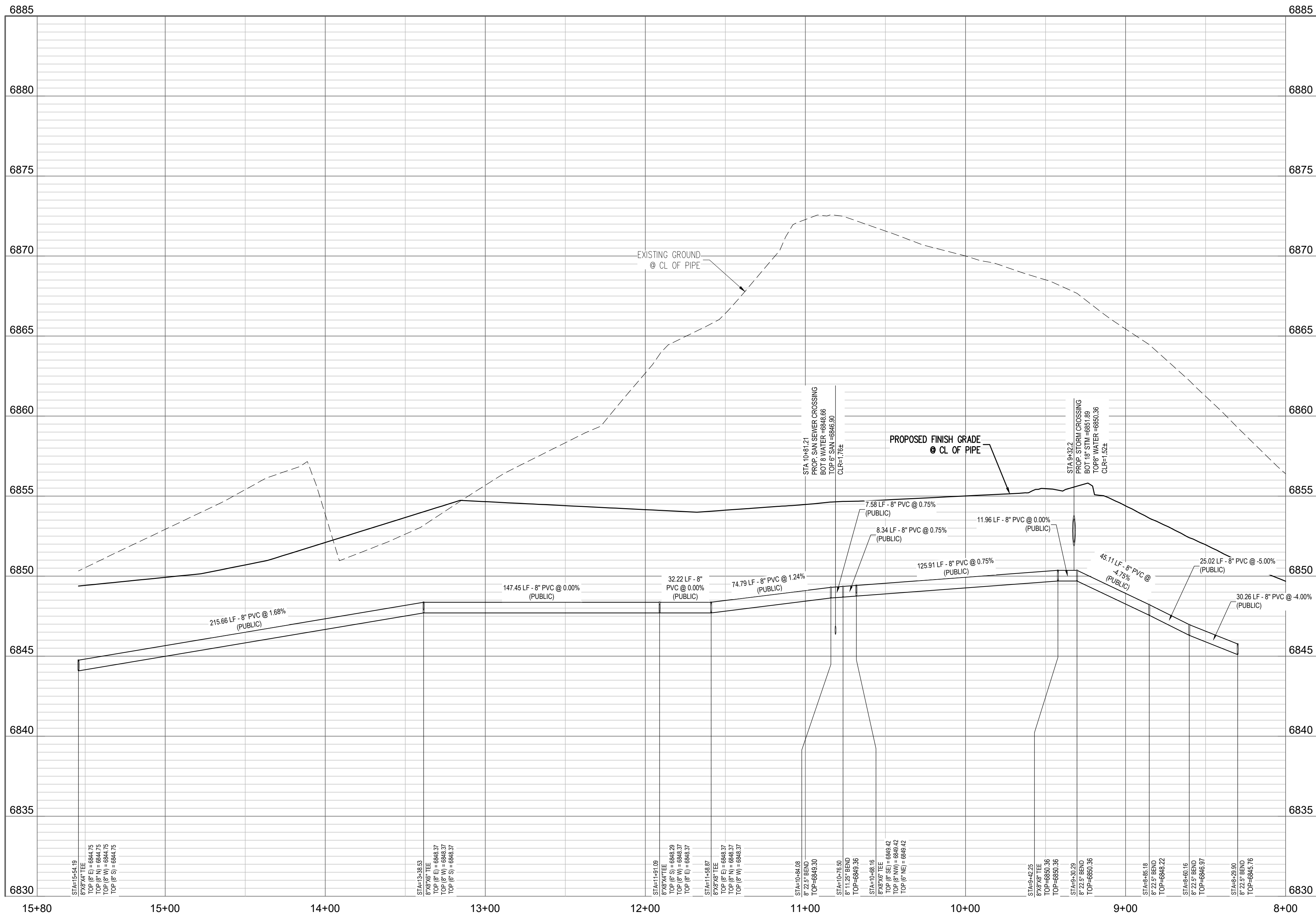
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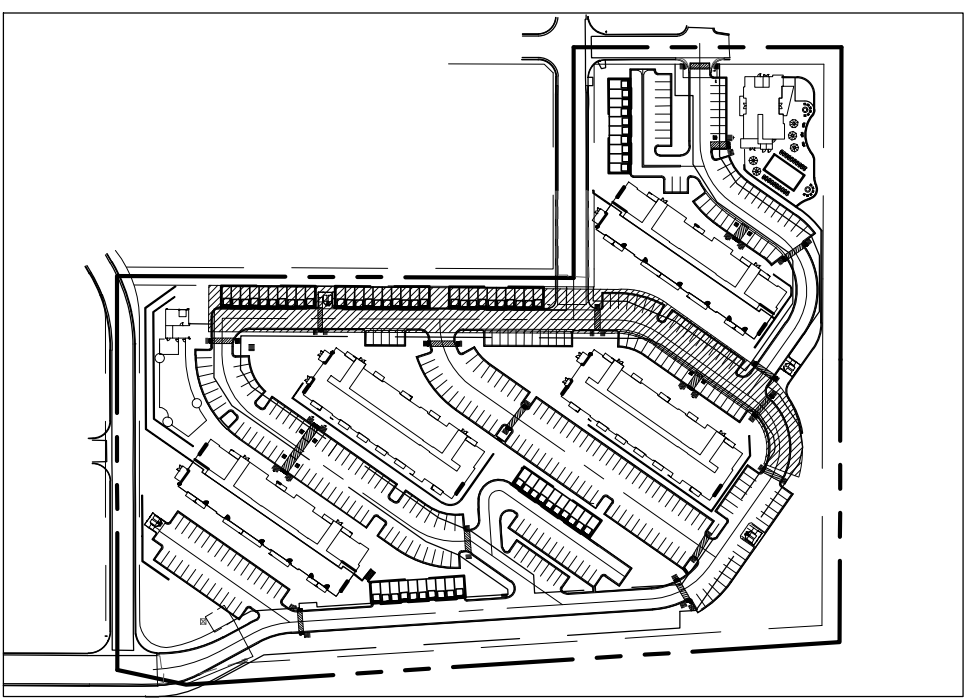
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



PLAN - WATER SEG-W6: STA 8+00 TO STA 15+80



PROFILE - WATER SEG-W5: STA 8+00 TO STA 15+80
SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL



KEY MAP

UTILITY LEGEND

---	PROPERTY LINE
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING GAS LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND TELEPHONE LINE
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	PROPOSED WALL
---	EXISTING SANITARY MANHOLE
---	EXISTING STORM MANHOLE
---	PROPOSED MANHOLE
---	EXISTING FLARED END SECTION (FES)
---	PROPOSED STORM INLET
---	EXISTING GATE VALVE
---	PROPOSED GATE VALVE
---	EXISTING FIRE HYDRANT
---	PROPOSED FIRE HYDRANT
---	PROPOSED BEND
---	INVERT
---	STA
---	EX
---	P.I.E.
---	P.U.E.
---	P.U.D.

NOTES:

1. FIRE HYDRANT ASSEMBLY INCLUDES 6" DIP, 6" GATE VALVE, AND FIRE HYDRANT.
2. FIRE HYDRANT BURY DEPTH IS FROM BOTTOM OF PIPE TO SURFACE. FLANGE ELEVATION IS 4" ABOVE SURFACE ELEVATION.
3. ALL FIRE HYDRANTS ARE RESTRAINED PER TRIVIEW METRO DISTRICT DETAIL 7.
4. ALL WATER MAINS ARE PUBLIC UNLESS OTHERWISE NOTED.
5. PIPE LENGTHS ARE FROM BENDS/TEES. LENGTHS TO BE VERIFIED FOR BIDDING PURPOSES.
6. ALL WATER MAINS ARE PVC.
7. ALL TEES TO BE CONSTRUCTED PER TRIVIEW METRO DISTRICT DETAIL 26.
8. WATER MAIN TO BE INSTALLED BETWEEN 5'-6' FT BELOW FINISHED GRADE UNLESS OTHERWISE SHOWN.
9. CONTRACTOR SHALL VERIFY LOCATION, DEPTH, AND MATERIAL OF EXISTING 8" WATERLINE.
10. FLOWILL PER TRIVIEW METRO DISTRICT SECTION 3.15.
11. THE WATER MAIN SHALL BE CONSTRUCTED WITHOUT MECHANICAL JOINTS FOR 9 FEET ON EITHER SIDE OF THE CROSS TO MEET THE REQUIREMENTS FOR SECONDARY CONTAINMENT PER TRIVIEW METRO DISTRICT DETAIL 12.
12. INSTALL WATER METER IN ACCORDANCE WITH TRIVIEW METRO DISTRICT DETAIL 12.
13. CAUTION: MAINTAIN 18" MINIMUM SEPARATION FOR UTILITY SERVICE CROSSING AND OTHER UTILITIES.

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
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CONSTRUCTION DOCUMENTS
WATER
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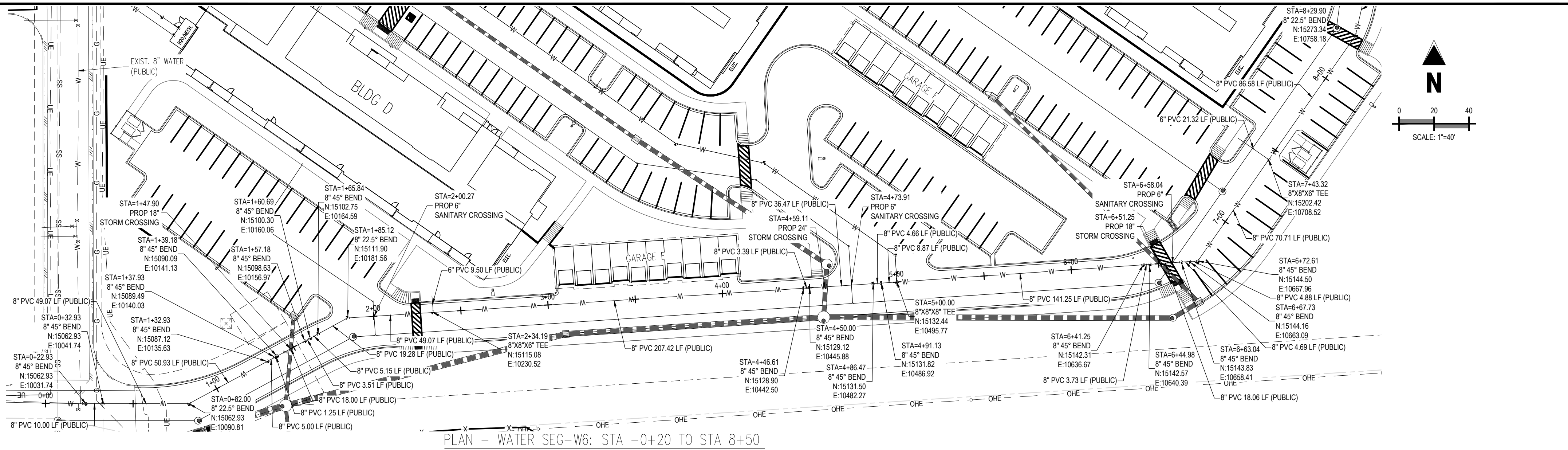
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Project No:	GNK000002.20
Drawn By:	TPT
Checked By:	RGD
Date:	12/30/2019

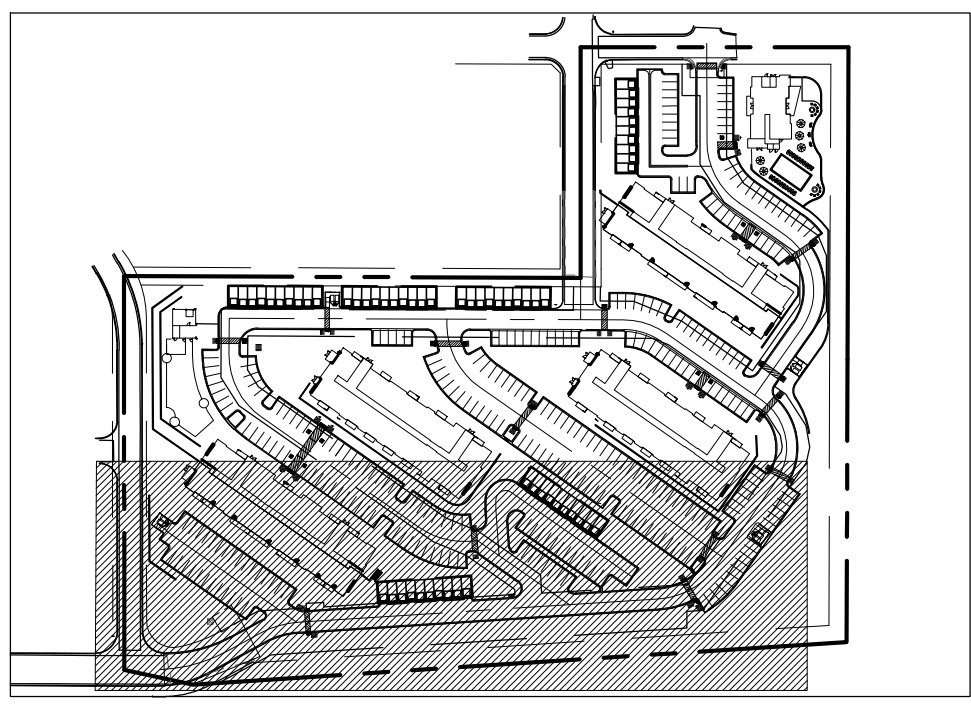
WATER PLAN & PROFILE

W6.1

Sheet 38 of 43



PLAN - WATER SEG-W6: STA -0+20 TO STA 8+50



KEY MAP

UTILITY LEGEND

- PROPERTY LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING UNDERGROUND TELEPHONE LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED WALL
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE
- PROPOSED MANHOLE
- EXISTING FLARED END SECTION (FES)
- PROPOSED STORM INLET
- EXISTING GATE VALVE
- PROPOSED GATE VALVE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED BEND
- INVERT
- STA
- EX
- P.I.E.
- P.U.E.
- P.U.D.

NOTES:

- FIRE HYDRANT ASSEMBLY INCLUDES 6" DIP, 6" GATE VALVE, AND FIRE HYDRANT
- FIRE HYDRANT BURY DEPTH IS FROM BOTTOM OF PIPE TO SURFACE. FLANGE ELEVATION IS 4" ABOVE SURFACE ELEVATION.
- ALL FIRE HYDRANTS ARE RESTRAINED PER TRIVIEW METRO DISTRICT DETAIL 7.
- ALL WATER MAINS ARE PUBLIC UNLESS OTHERWISE NOTED.
- PIPE LENGTHS ARE FROM BENDS/TEES. LENGTHS TO BE VERIFIED FOR BIDDING PURPOSES.
- ALL WATER MAINS ARE PVC.
- ALL TEES TO BE CONSTRUCTED PER TRIVIEW METRO DISTRICT DETAIL 26.
- WATER MAIN TO BE INSTALLED BETWEEN 5'-6" FT BELOW FINISHED GRADE UNLESS OTHERWISE SHOWN.
- CONTRACTOR SHALL VERIFY LOCATION, DEPTH, AND MATERIAL OF EXISTING 8" WATERLINE.
- FLOWFILL PER TRIVIEW METRO DISTRICT SECTION 3.15.
- THE WATER MAIN SHALL BE CONSTRUCTED WITHOUT MECHANICAL JOINTS FOR 9 FEET ON EITHER SIDE OF THE CROSS TO MEET THE REQUIREMENTS FOR SECONDARY CONTAINMENT PER TRIVIEW METRO DISTRICT DETAIL 12.
- INSTALL WATER METER IN ACCORDANCE WITH TRIVIEW METRO DISTRICT DETAIL 12.
- CAUTION! MAINTAIN 18" MINIMUM SEPARATION FOR UTILITY SERVICE CROSSING AND OTHER UTILITIES.

CAUTION - NOTICE TO CONTRACTOR

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GOODWIN
KNIGHT

CONSTRUCTION DOCUMENTS
WATER
MONUMENT RIDGE APARTMENTS
SEC BAPTIST RD & STRUTHERS RD
MONUMENT, CO

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Project No: GNK000002.20
Drawn By: TPT
Checked By: RGD
Date: 12/30/2019

WATER PLAN & PROFILE

W6.2

Sheet 39 of 43

PROFILE - WATER SEG-W5: STA -0+20 TO STA 8+50
SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL

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CONSTRUCTION DOCUMENTS
WATER
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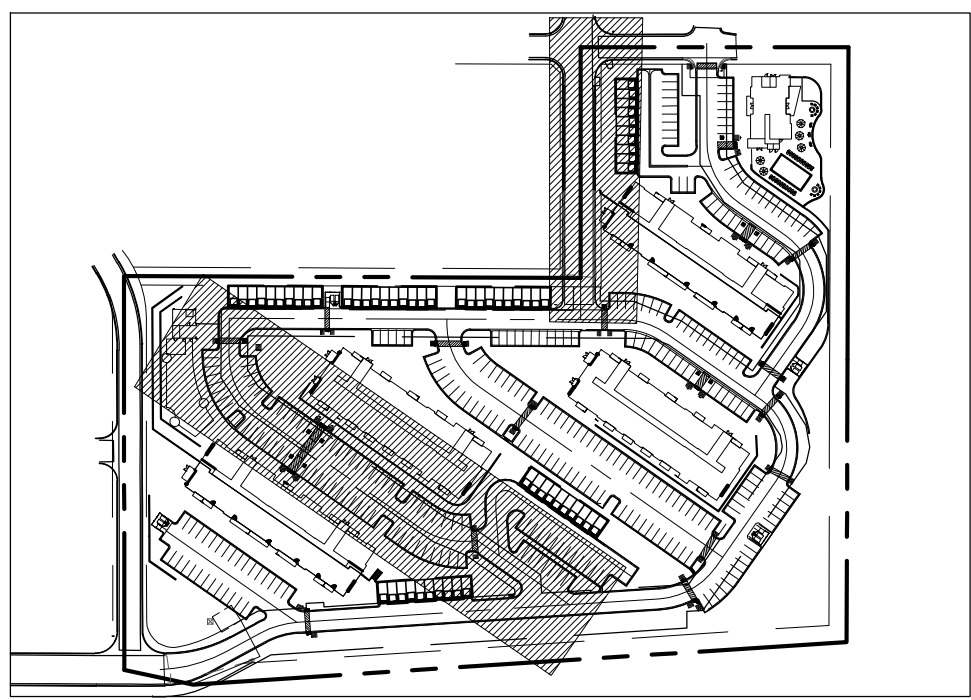
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Project No:	GNK000002.20
Drawn By:	TPT
Checked By:	RGD
Date:	12/30/2019

WATER PLAN & PROFILE

W6.3

Sheet 40 of 43



KEY MAP

UTILITY LEGEND

---	PROPERTY LINE
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING GAS LINE
---	EXISTING UNDERGROUND ELECTRIC LINE
---	EXISTING UNDERGROUND TELEPHONE LINE
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	PROPOSED WALL
---	EXISTING SANITARY MANHOLE
---	EXISTING STORM MANHOLE
---	PROPOSED MANHOLE
---	EXISTING FLARED END SECTION (FES)
---	PROPOSED STORM INLET
---	EXISTING GATE VALVE
---	PROPOSED GATE VALVE
---	EXISTING FIRE HYDRANT
---	PROPOSED FIRE HYDRANT
---	PROPOSED BEND
---	INVERT
---	STA
---	EX
---	P.I.E.
---	P.U.E.
---	P.U.D.

NOTES:

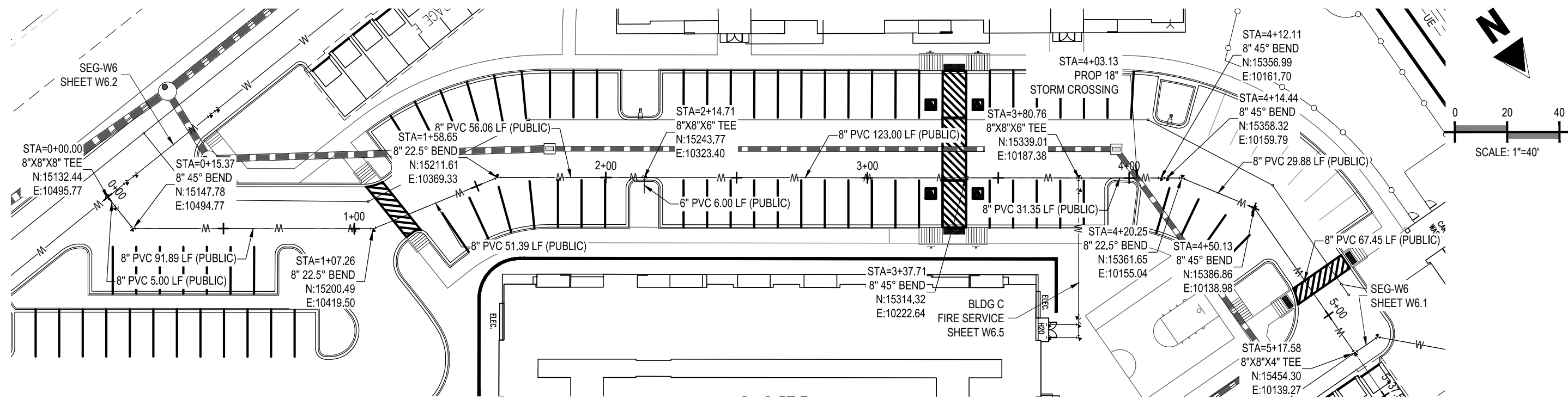
- FIRE HYDRANT ASSEMBLY INCLUDES 6" DIP, 6" GATE VALVE, AND FIRE HYDRANT.
- FIRE HYDRANT BURY DEPTH IS FROM BOTTOM OF PIPE TO SURFACE. FLANGE ELEVATION IS 4" ABOVE SURFACE ELEVATION.
- ALL FIRE HYDRANTS ARE RESTRAINED PER TRIVIEW METRO DISTRICT DETAIL 7..
- ALL WATER MAINS ARE PUBLIC UNLESS OTHERWISE NOTED.
- PIPE LENGTHS ARE FROM BENDS/TEES. LENGTHS TO BE VERIFIED FOR BIDDING PURPOSES.
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CAUTION - NOTICE TO CONTRACTOR

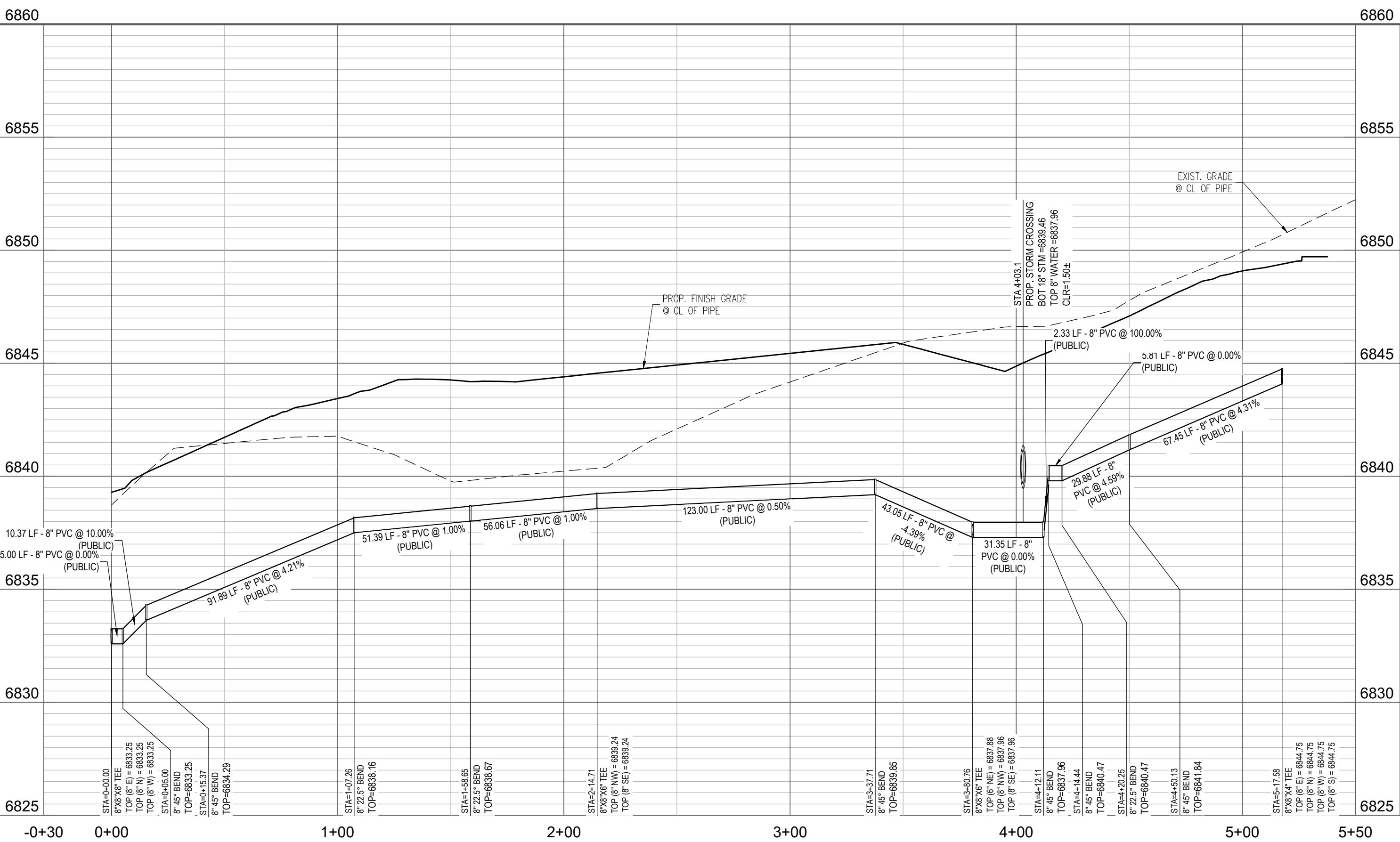
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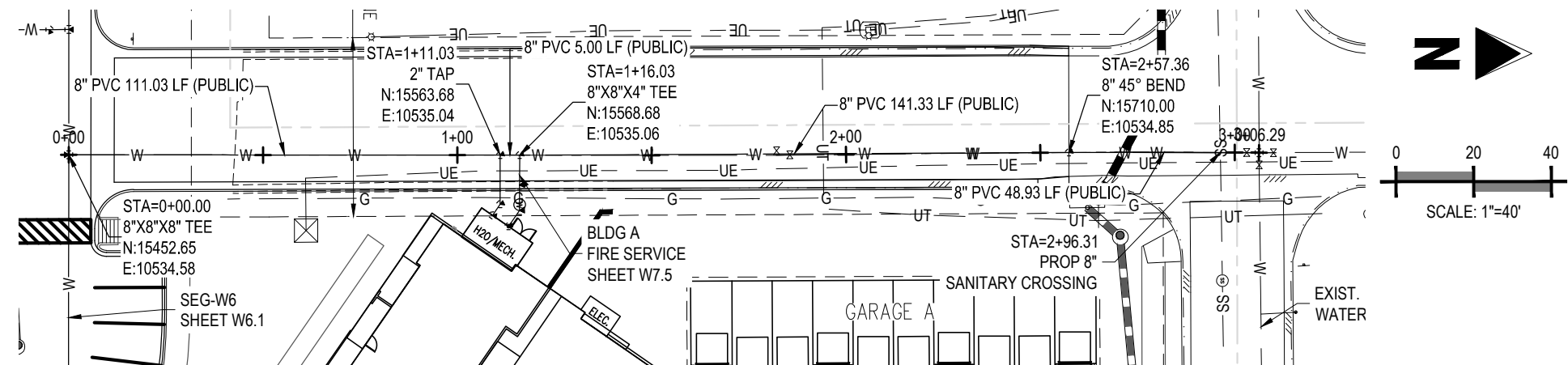
Know what's below.
Call before you dig.



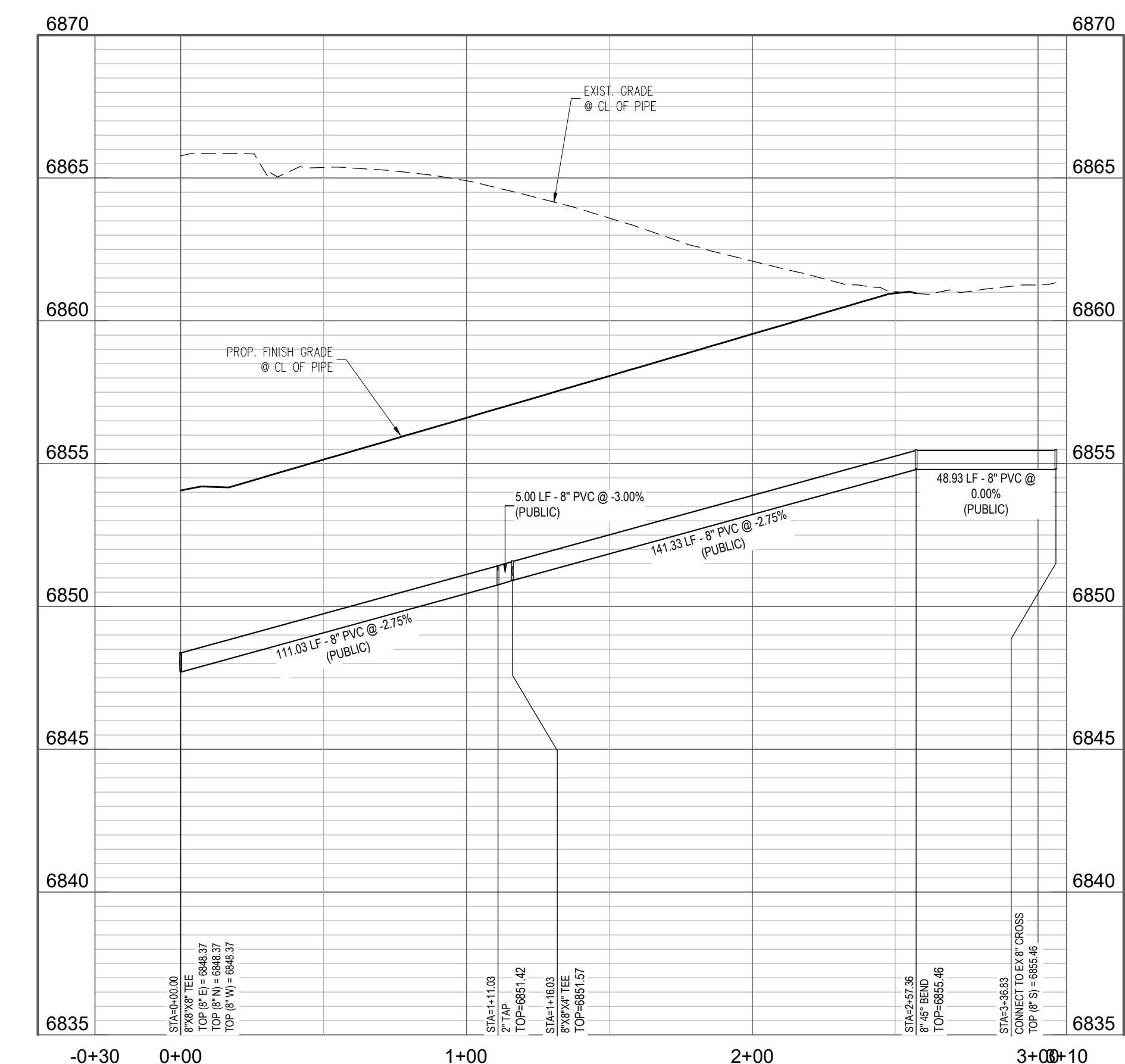
PLAN - WATER SEG-W3: STA -0+30 TO STA 5+50



PROFILE - WATER SEG-W3: STA -0+30 TO STA 5+50
SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL



PLAN - WATER SEG-W2: STA -0+30 TO STA 3+10



PROFILE - WATER SEG-W2: STA -0+30 TO STA 3+10
SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL











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- ## UTILITY LEGEND
- | | |
|---|--------------------------------------|
| _____ | PROPERTY LINE |
| --- W --- | EXISTING WATER LINE |
| --- W --- | PROPOSED WATER LINE |
| --- SS --- | EXISTING SANITARY SEWER |
| --- SS --- | PROPOSED SANITARY SEWER |
| --- G --- | EXISTING GAS LINE |
| --- UE --- | EXISTING UNDERGROUND ELECTRIC LINE |
| --- UT --- | EXISTING UNDERGROUND TELEPHONE LINE |
| ===== | EXISTING STORM SEWER |
| ===== | PROPOSED STORM SEWER |
| ===== | PROPOSED WALL |
| ● | EXISTING SANITARY MANHOLE |
|  | EXISTING STORM MANHOLE |
|  | PROPOSED MANHOLE |
| SECTION | EXISTING FLARED END SECTION (FES) |
|  | PROPOSED STORM INLET |
|  | EXISTING GATE VALVE |
|  | PROPOSED GATE VALVE |
|  | EXISTING FIRE HYDRANT |
|  | PROPOSED FIRE HYDRANT |
|  | PROPOSED BEND |
| INV | INVERT |
| STA | STATION |
| EX | EXISTING |
| P.I.E. | PUBLIC IMPROVEMENT EASEMENT |
| P.U.E. | PUBLIC UTILITY EASEMENT |
| P.U.D. | PUBLIC UTILITY AND DRAINAGE EASEMENT |

NOTES:

1. FIRE HYDRANT ASSEMBLY INCLUDES 6" BO, 6" GATE VALVE, AND FIRE HYDRANT.
2. FIRE HYDRANT BURY DEPTH IS FROM BOTTOM OF PIPE TO SURFACE. FLANGE SHALL BE 4" ABOVE SURFACE ELEVATION.
3. ALL FIRE HYDRANTS ARE RESTRAINED PER TRENCH MASTER DISTRICT DETAIL 7.
4. ALL WATER MAINS ARE PUBLIC UNLESS OTHERWISE NOTED.
5. PIPE SHALL BE MADE OF BENDS/TEES. LENGTHS TO BE VERIFIED FOR BIDDING PURPOSES.
6. ALL WATER MAINS ARE PVC.
7. ALL TEES TO BE CONSTRUCTED PER TRENCH MASTER DISTRICT DETAIL 26.
8. WATER MAINS TO BE INSTALLED BETWEEN 5'-6" BELOW FINISHED GRADE UNLESS OTHERWISE SHOWN.
9. CONTRACTOR SHALL VERIFY LOCATION, DEPTH, AND MATERIAL OF EXISTING 8" WATER MAIN.
10. FLOWLINE PER TRENCH MASTER DISTRICT SECTION 3.15.
11. THE WATER MAIN SHALL BE CONSTRUCTED WITHOUT MECHANICAL JOINTS FOR EXCEPT FOR OTHER SIDE OF THE MAIN TO MEET THE REQUIREMENTS FOR SEPTICER CONTAINMENT PER TRENCH MASTER DISTRICT DETAIL 12.
12. INSTALL WATER MAIN IN ACCORDANCE WITH TRENCH MASTER DISTRICT DETAIL 12.
13. MAINTAIN 18" MINIMUM SEPARATION FOR UTILITY SERVICE CROSSING AND OTHER UTILITIES.

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CONSTRUCTION DOCUMENTS
WATER
MONUMENT RIDGE APARTMENTS

SEC BAPTIST RD & STRUTHERS RD
MONUMENT, CO

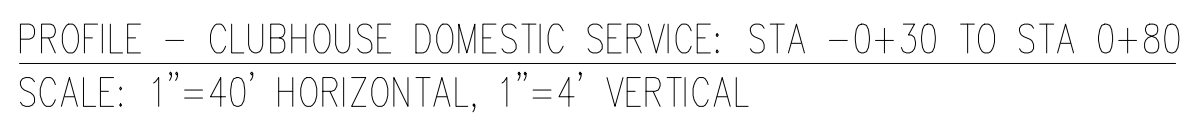
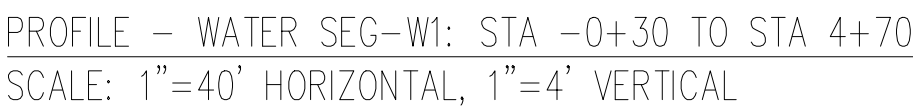
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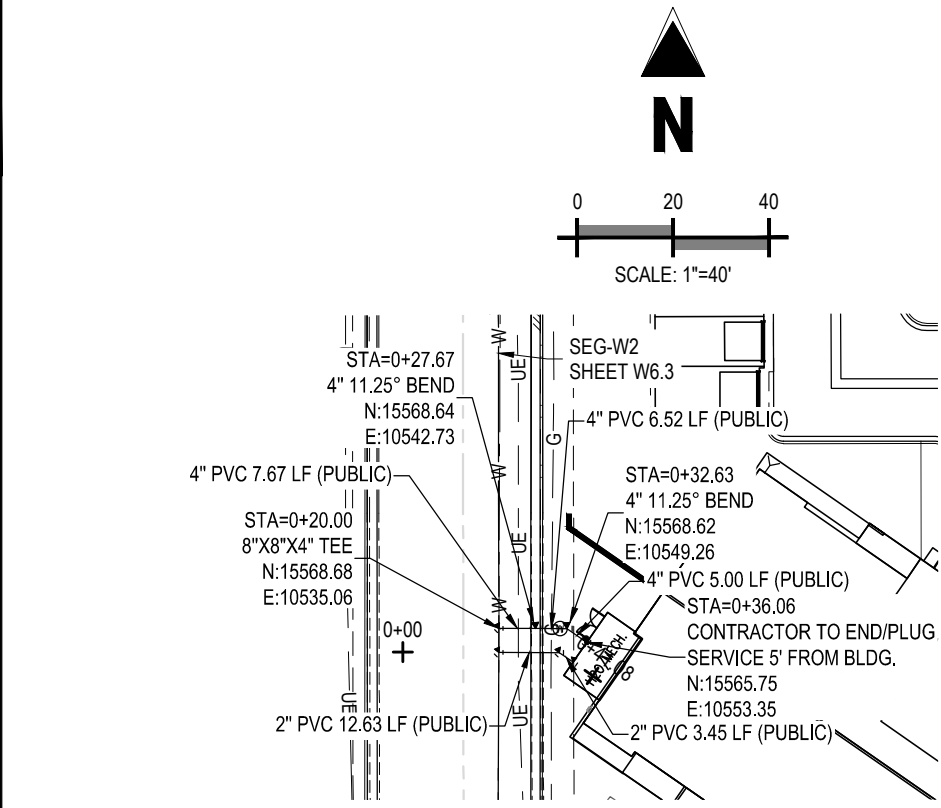
WATER PLAN & PROFILE

W6.4

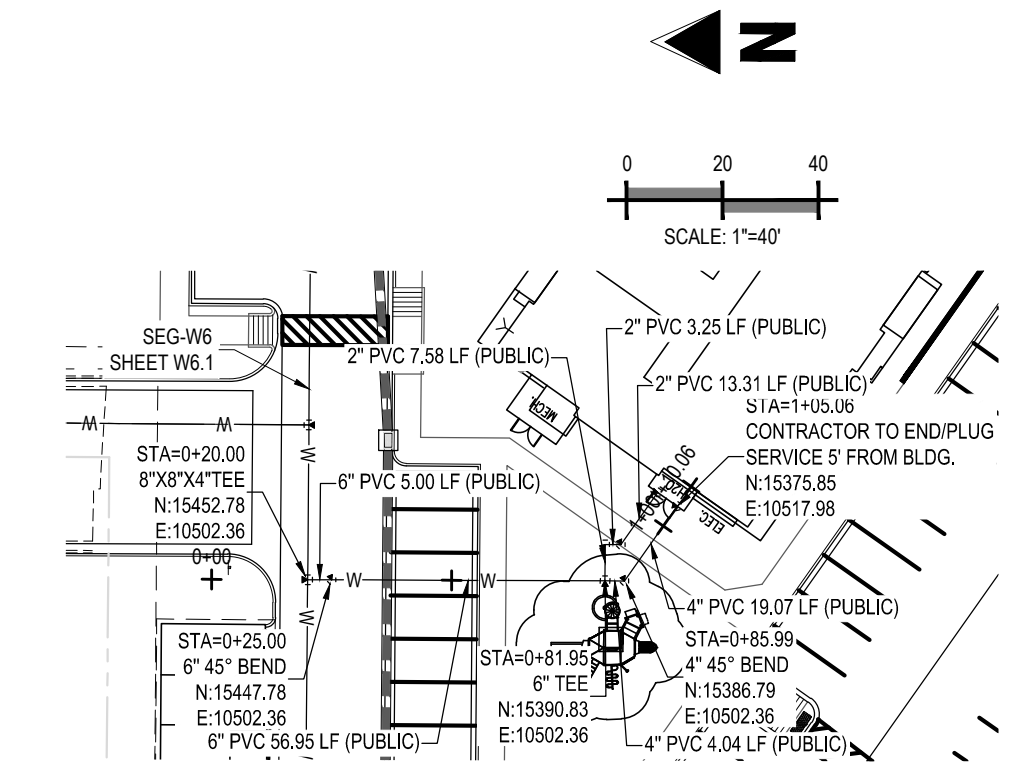
Sheet 41 of 43



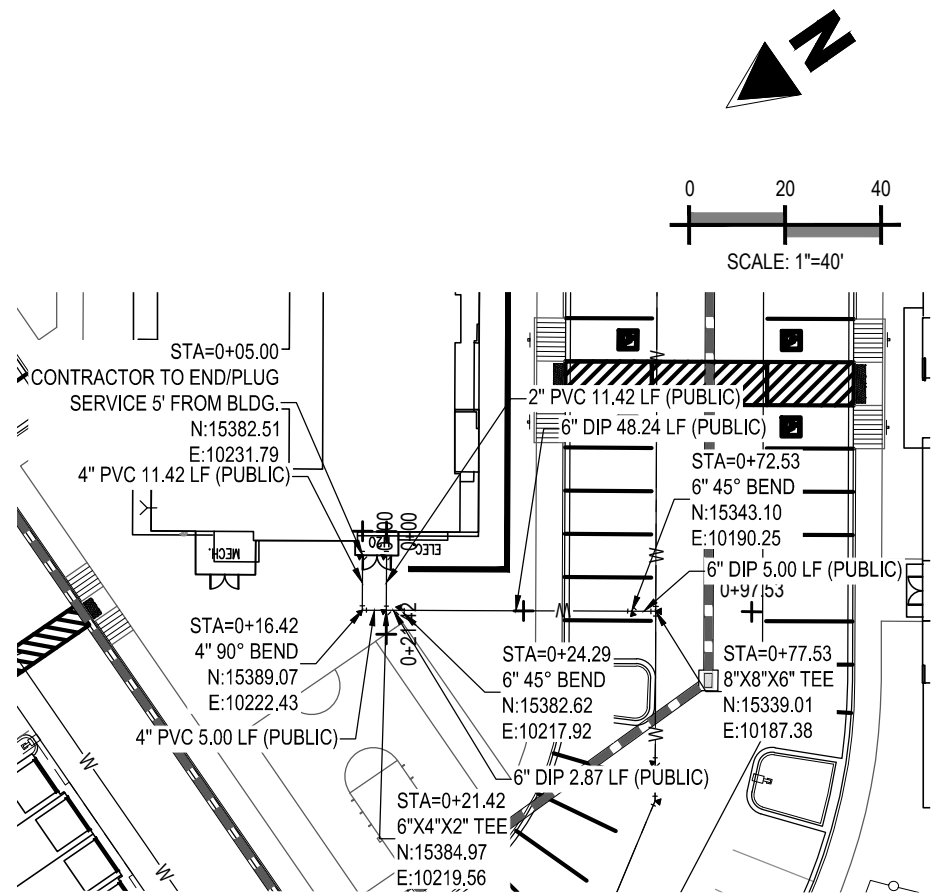
WATER PLAN & PROFILE



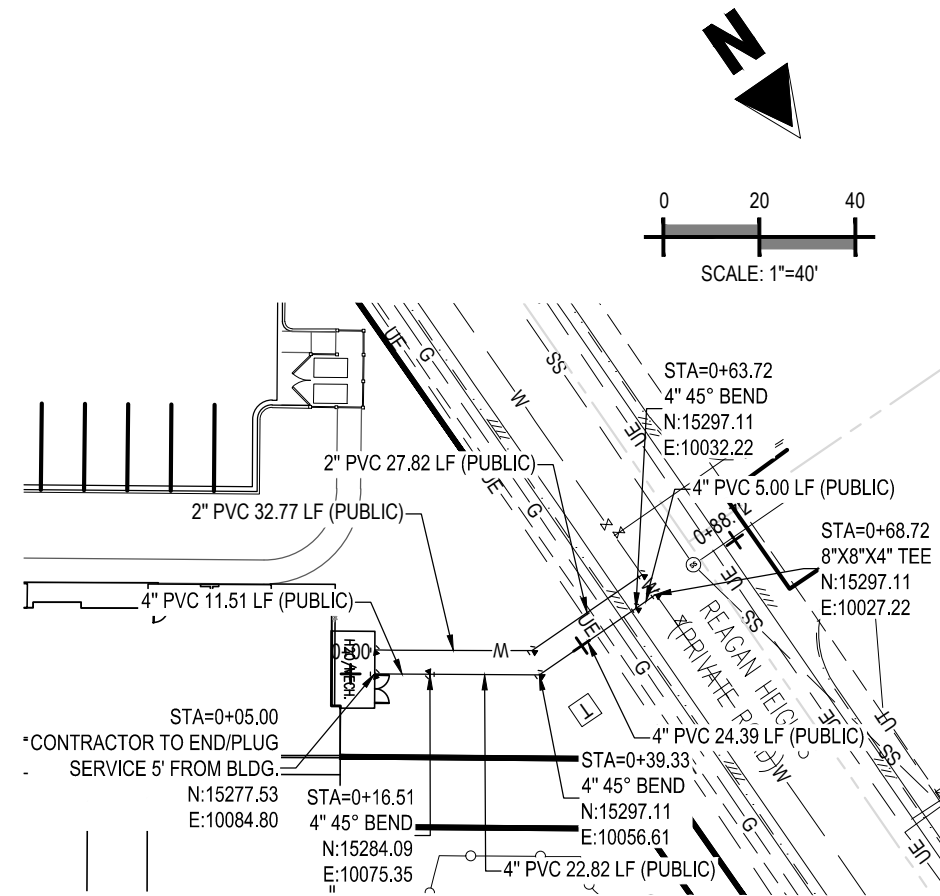
PLAN – BUILDING A FIRE SERVICE: STA -0+20 TO STA 0+60



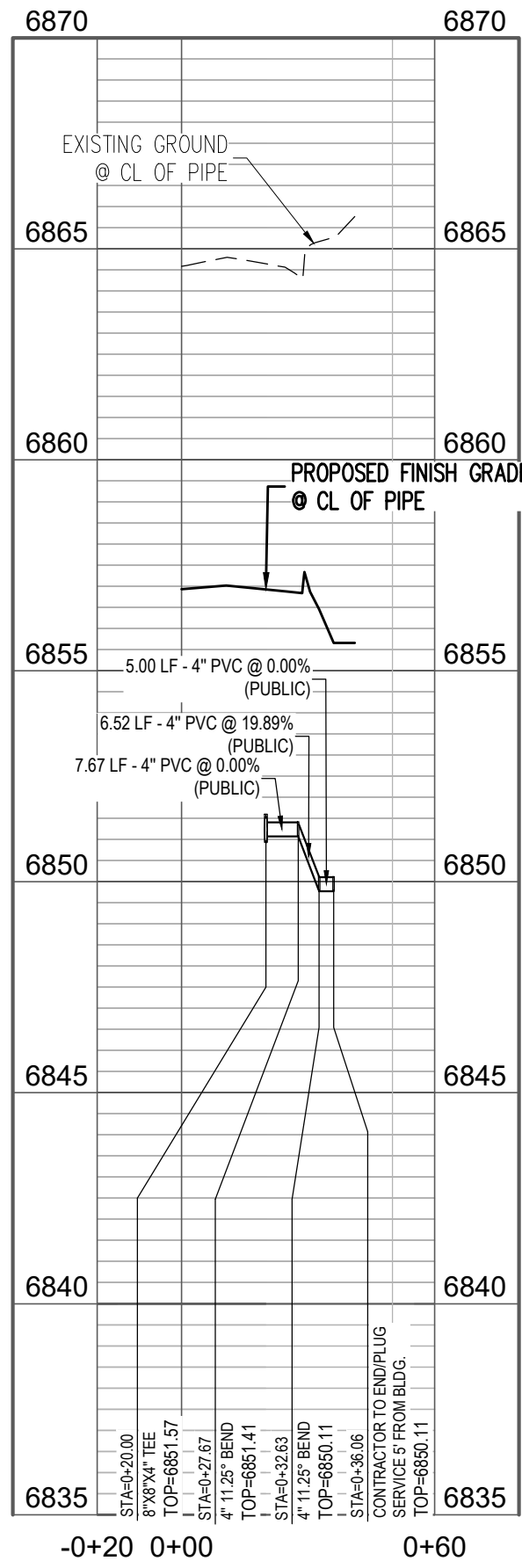
PLAN – BUILDING B FIRE SERVICE: STA -0+20 TO STA 1+30



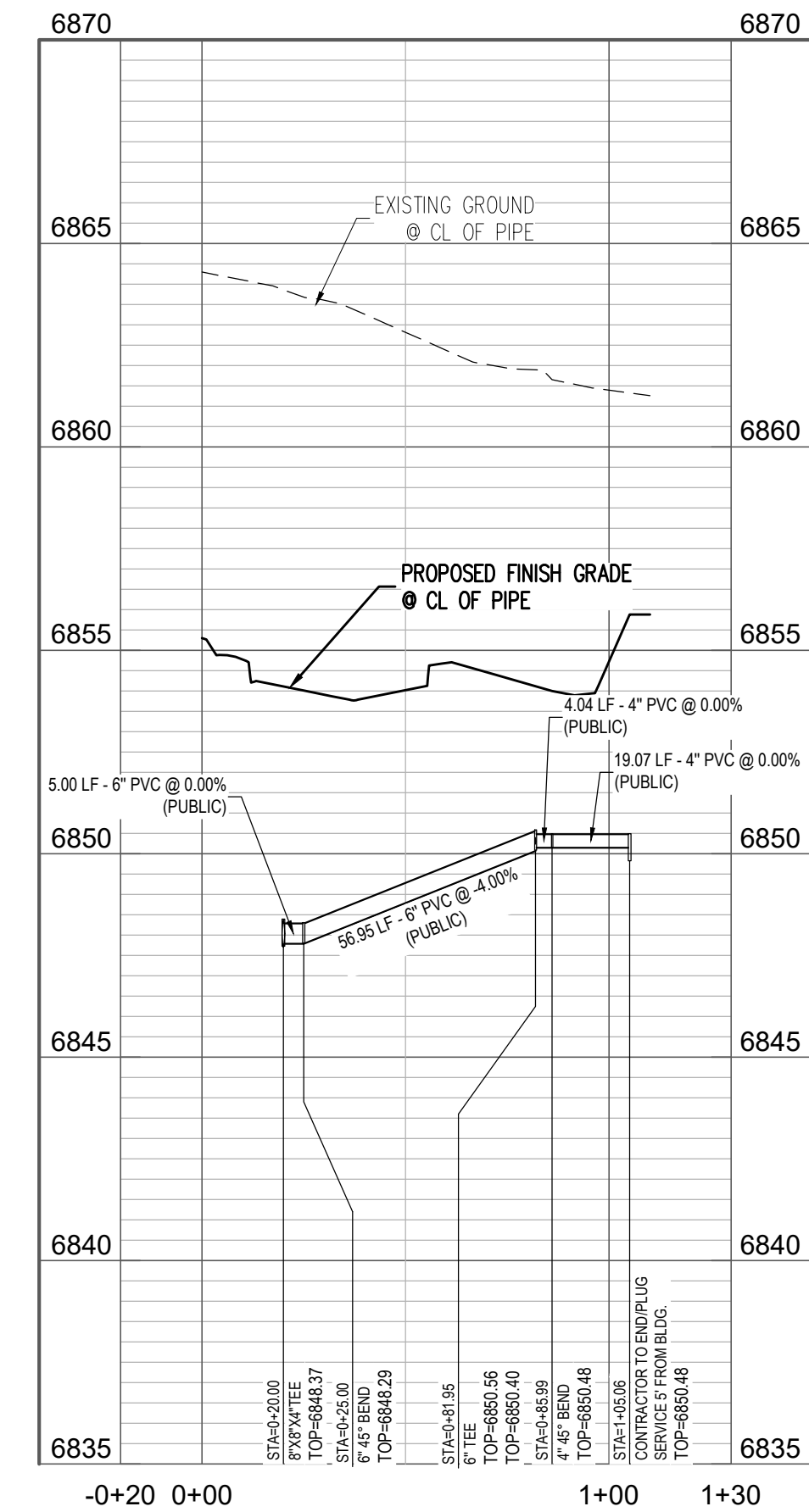
PLAN – BUILDING C FIRE SERVICE: STA -0+20 TO STA 1+10



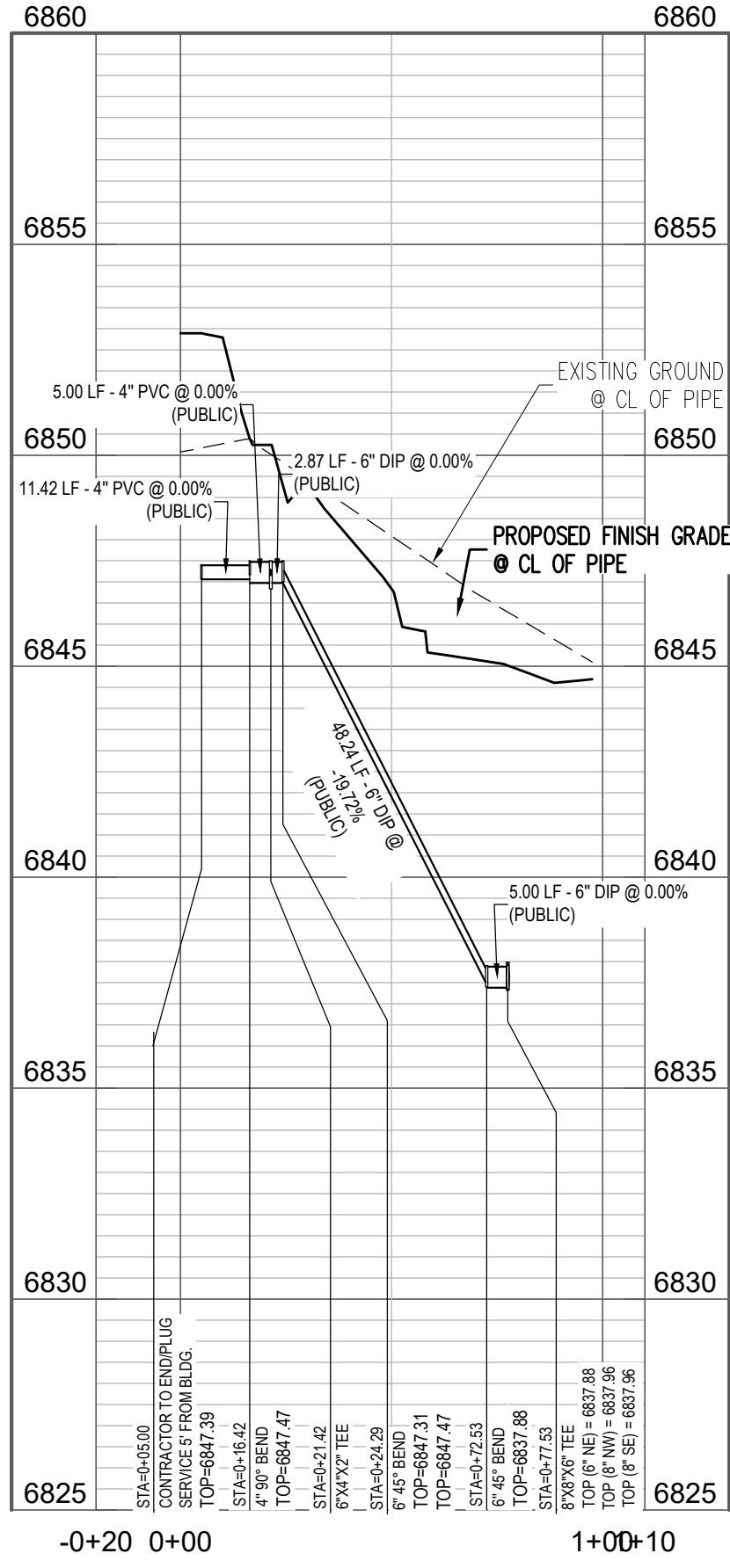
PLAN – BUILDING D FIRE SERVICE: STA -0+20 TO STA 1+00



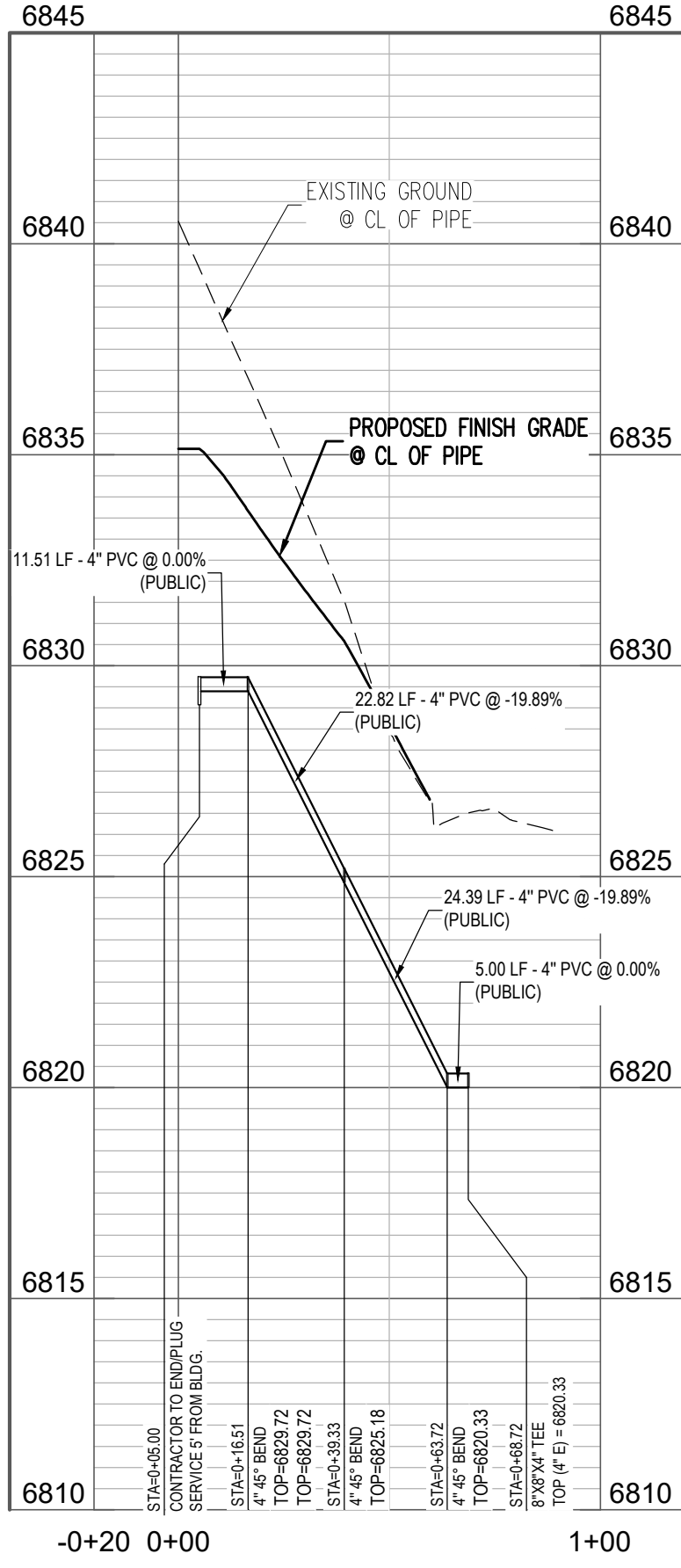
PROFILE – BUILDING A FIRE SERVICE: STA -0+20 TO STA 0+60
SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL



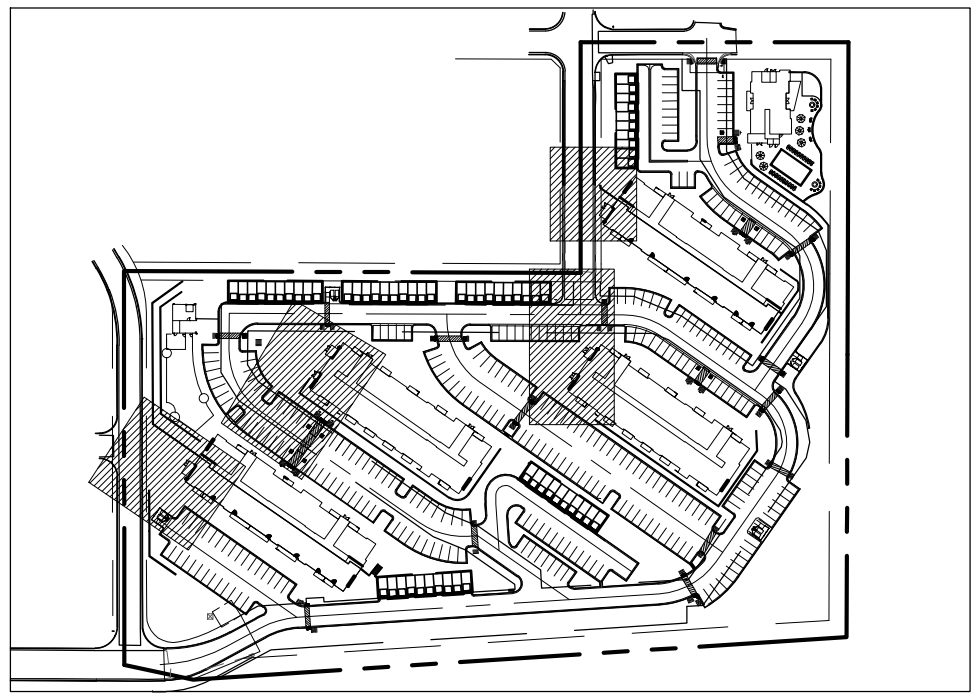
PROFILE – BUILDING B FIRE SERVICE: STA -0+20 TO STA 1+30
SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL



PROFILE – BUILDING C FIRE SERVICE: STA -0+20 TO STA 1+10
SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL



PROFILE – BUILDING D FIRE SERVICE: STA -0+20 TO STA 1+00
SCALE: 1"=40' HORIZONTAL, 1"=4' VERTICAL



KEY MAP

UTILITY LEGEND

- PROPERTY LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING UNDERGROUND TELEPHONE LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED WALL
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE
- PROPOSED MANHOLE
- EXISTING FLARED END SECTION (FES)
- PROPOSED STORM INLET
- EXISTING GATE VALVE
- PROPOSED GATE VALVE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED BEND
- INVERT
- STA
- EX
- P.I.E.
- P.U.E.
- P.U.D.
- STATION
- EXISTING
- PUBLIC IMPROVEMENT EASEMENT
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- PUBLIC UTILITY AND DRAINAGE EASEMENT

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CONSTRUCTION DOCUMENTS
WATER
MONUMENT RIDGE APARTMENTS

SEC BAPTIST RD & STRUTHERS RD
MONUMENT, CO

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Project No:	GNK000002.20
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Checked By:	RGD
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WATER PLAN & PROFILE

W6.5

Sheet 42 of 43

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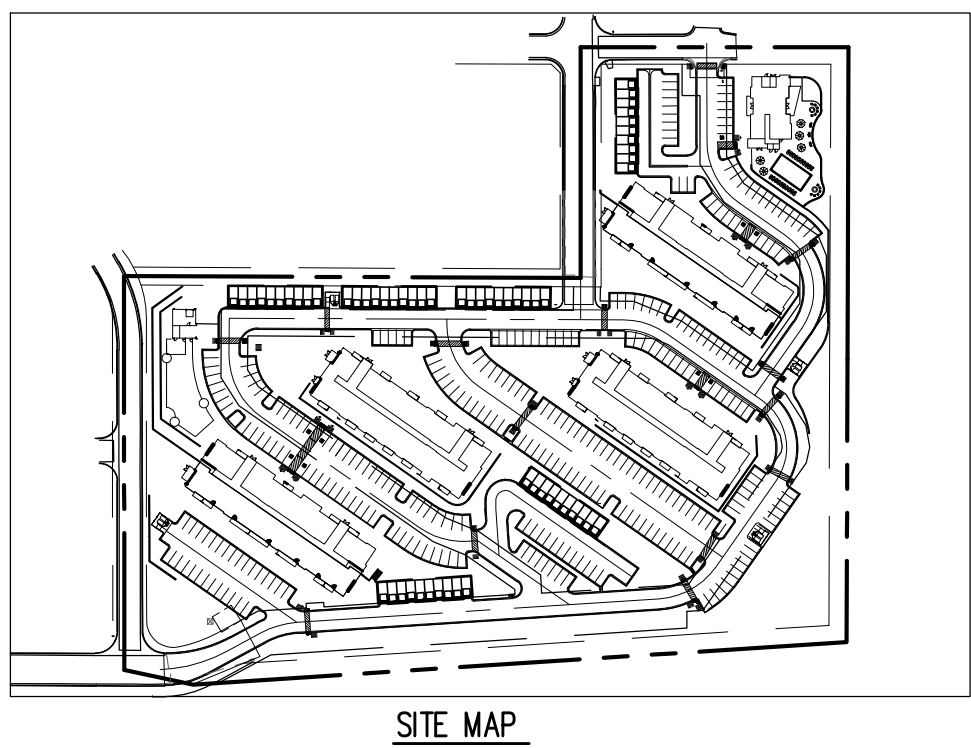


CONSTRUCTION DOCUMENTS
SITE IMPROVEMENTS
MONUMENT RIDGE APARTMENTS
SEC BAPTIST RD & STRUTHERS RD
MONUMENT, CO

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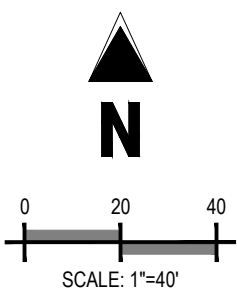
Project No:	GNK000002.20
Drawn By:	TPT
Checked By:	RGD
Date:	12/11/2019

PROPOSED EASEMENTS
U7.0
Sheet 43 of 43



- GENERAL NOTES**
1. ALL PROPOSED PAVING AREAS AND DRIVE ASLES TO BE PAVED WITH ASPHALT.
 2. ALL PROPOSED SIDEWALKS TO BE CONSTRUCTED WITH CONCRETE.
 3. ALL CROSS PANS TO BE CONSTRUCTED TO MONUMENT CITY STANDARD DETAIL D102.
 4. ALL CURBS TO BE TYPES 1 OR 3 PER MONUMENT CITY STANDARD DETAIL D101.
 5. ALL PEDESTRIAN RAMPS TO BE CONSTRUCTED TO MONUMENT CITY DETAIL D108.

- LEGEND**
- PROPERTY BOUNDARY LINE
 - ADJACENT PROPERTY BOUNDARY LINE
 - - - EXISTING EASEMENT BOUNDARY LINE
 - - - PROPOSED EASEMENT BOUNDARY LINE



FAMILY OF CHRIST LUTHERAN CHURCH
SCHEDULE# 7136002063

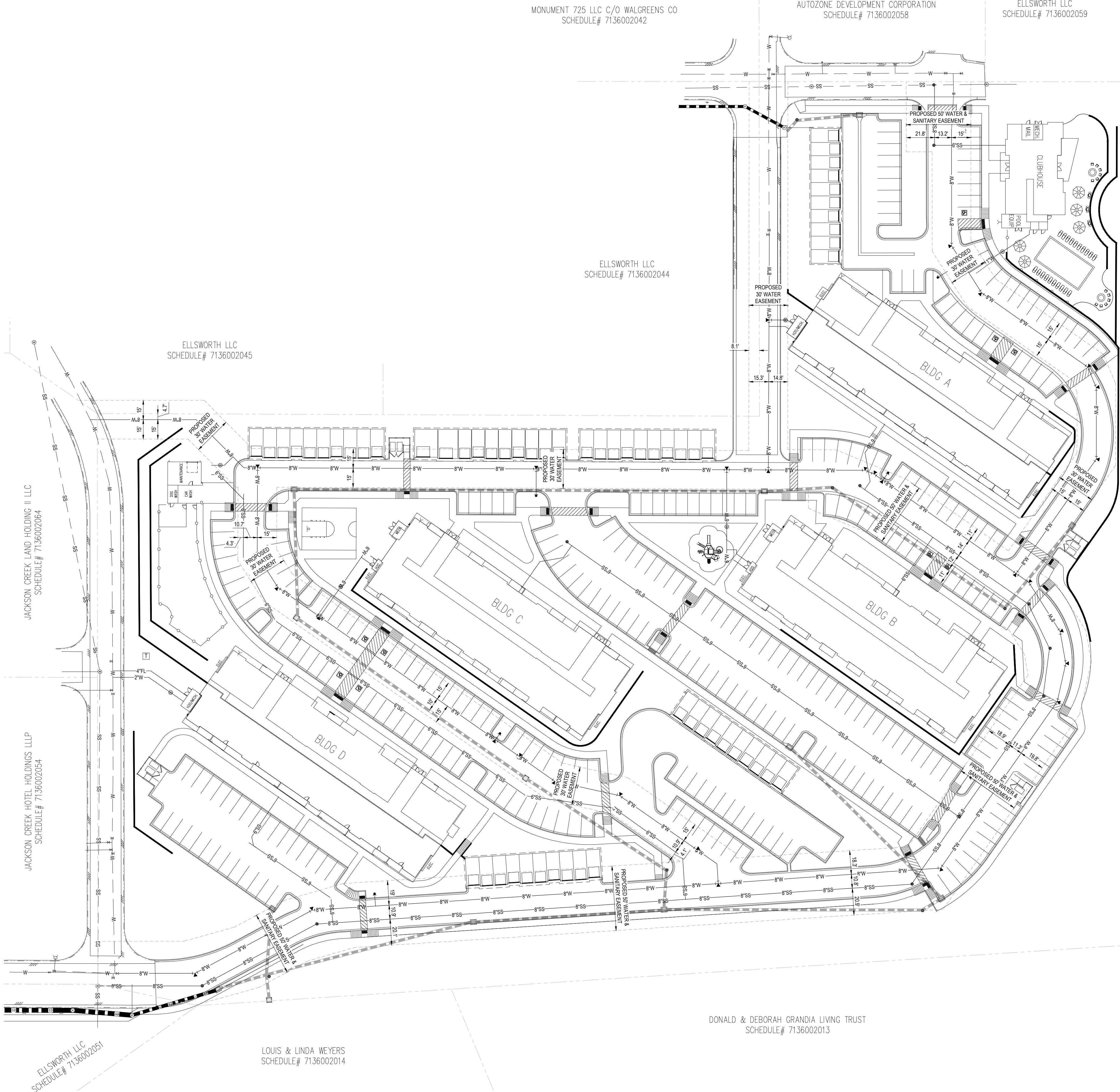
PAUL & TANA YATES
SCHEDULE# 7136002012

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AUTOZONE DEVELOPMENT CORPORATION
SCHEDULE# 7136002058

ELLSWORTH LLC
SCHEDULE# 7136002059

ELLSWORTH LLC
SCHEDULE# 7136002044

ELLSWORTH LLC
SCHEDULE# 7136002045

JACKSON CREEK LAND HOLDING II LLC
SCHEDULE# 7136002064

JACKSON CREEK HOTEL HOLDINGS III LP
SCHEDULE# 7136002054

ELLSWORTH LLC
SCHEDULE# 7136002051

LOUIS & LINDA WEYERS
SCHEDULE# 7136002014

DONALD & DEBORAH GRANDIA LIVING TRUST
SCHEDULE# 7136002013