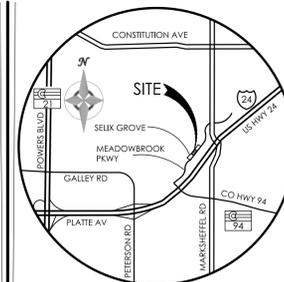


GULFEAGLE SUPPLY - SITE PLAN

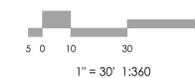
LOTS 3-5, CLAREMONT BUSINESS PARK FILING NO. 2,
1455 SELIX GROVE, EL PASO COUNTY, COLORADO



VICINITY MAP
NOT TO SCALE

BENCHMARK
ELEVATIONS SHOWN ON THIS DRAWING ARE
BASED ON THE CSU FIMS NETWORK (NGVD29).

BASIS OF BEARINGS: THE BASIS OF ALL BEARINGS
SHOWN ON THIS DRAWING IS THE NORTH LINE
OF MEADOWBROOK PARKWAY BEARING
S33°55'12"W.



LEGEND	
---	PROPERTY LINE
- - - -	EASEMENT LINE
---	LOT LINE
---	BUILDING SETBACK LINE
---	ADJACENT PROPERTY LINE
EXISTING	
---	INDEX CONTOUR
- - - -	INTERMEDIATE CONTOUR
[Pattern]	CONCRETE AREA
[Pattern]	ASPHALT AREA
[Pattern]	CURB AND GUTTER
[Pattern]	BUILDING/ BUILDING OVERHANG
[Pattern]	DECK
[Pattern]	RETAINING WALL - SOLID/ ROCK
[Symbol]	SIGN
[Symbol]	BOLLARD
[Symbol]	WOOD FENCE
[Symbol]	CHAIN LINK FENCE
[Symbol]	BARBED WIRE FENCE
[Symbol]	TREE (EVERGREEN/DECIDUOUS)
[Symbol]	SHRUB
[Symbol]	ROCK
PROPOSED	
---	INDEX CONTOUR
- - - -	INTERMEDIATE CONTOUR
[Pattern]	CONCRETE AREA
[Pattern]	ASPHALT AREA
[Pattern]	CURB AND GUTTER
[Pattern]	BUILDING/ BUILDING OVERHANG
[Pattern]	DECK
[Pattern]	RETAINING WALL - SOLID ROCK
[Symbol]	SIGN
[Symbol]	BOLLARD
[Symbol]	TOP OF WALL/GRADE AT BOTTOM OF WALL
[Symbol]	TOP OF CURB/FLOWLINE
[Symbol]	SPOT ELEVATION FL = FLOWLINE TSW = TOP OF SIDEWALK FF = 5986.00 FINISHED FLOOR ELEVATION
[Symbol]	CHAINLINK FENCE

OWNER
SEJ RESCH FAMILY PARTNERSHIP, LTD.
2900 7TH AVENUE EAST, SUITE 200
TAMPA, FL 33605
(813) 248-4911

DEVELOPER
GULFEAGLE SUPPLY
JEFF BARNES, BRANCH MANAGER
1456 SELIX GROVE
COLORADO SPRINGS, CO 80915
(719) 574-7663

ENGINEER
M.V.E., INC.
1903 LELARAY STREET, STE 200
COLORADO SPRINGS, CO 80909
(719) 635-5736

ZONING
CS, CAD-0 (COMMERCIAL SERVICE,
COMMERCIAL AIRPORT DISTRICT)

SETBACK
FRONT = 25 FT
REAR = 25 FT
SIDE = 25 FT

LOT INFORMATION
MAXIMUM LOT COVERAGE - NONE
MAXIMUM BUILDING HEIGHT = 45 FT
SPECIAL USE REQUIRED FOR
CONTRACTOR STORAGE

LEGAL DESCRIPTION
LOTS 3, 4 & 5, CLAREMONT BUSINESS
PARK FILING NO. 2

TAX SCHEDULE NO.
5408102007 = LOT 3
5408102008 = LOT 4
5408102009 = LOT 5

SITE SPECIFIC NOTES:

1. THE ENTIRE FENCED AREA OF THIS PROPERTY IS FOR THE USE OF MATERIAL STORAGE.
2. THIS STORAGE YARD IS IN SUPPORT OF GULFEAGLE SUPPLY ON THE OPPOSITE SIDE OF SELIX GROVE (1456 SELIX GROVE).
3. THE TRAILER SHOWN IS FOR TEMPORARY SHELTER DURING LOADING / UNLOADING OPERATIONS. THE TRAILER WILL HAVE ELECTRIC SERVICE ONLY.
4. THE ENTIRE FENCED AREA OF THIS PROPERTY SHALL BE RECYCLED ASPHALT / GRAVEL.

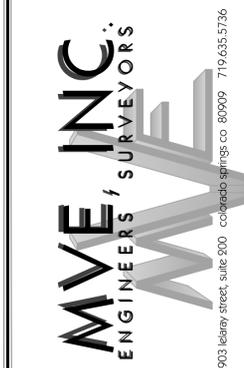
ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

SITE SPECIFIC ADA NOTE:

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Approved
By: **Craig Dossey, Executive Director**
Date: **10/21/2019**
El Paso County Planning & Community Development



REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

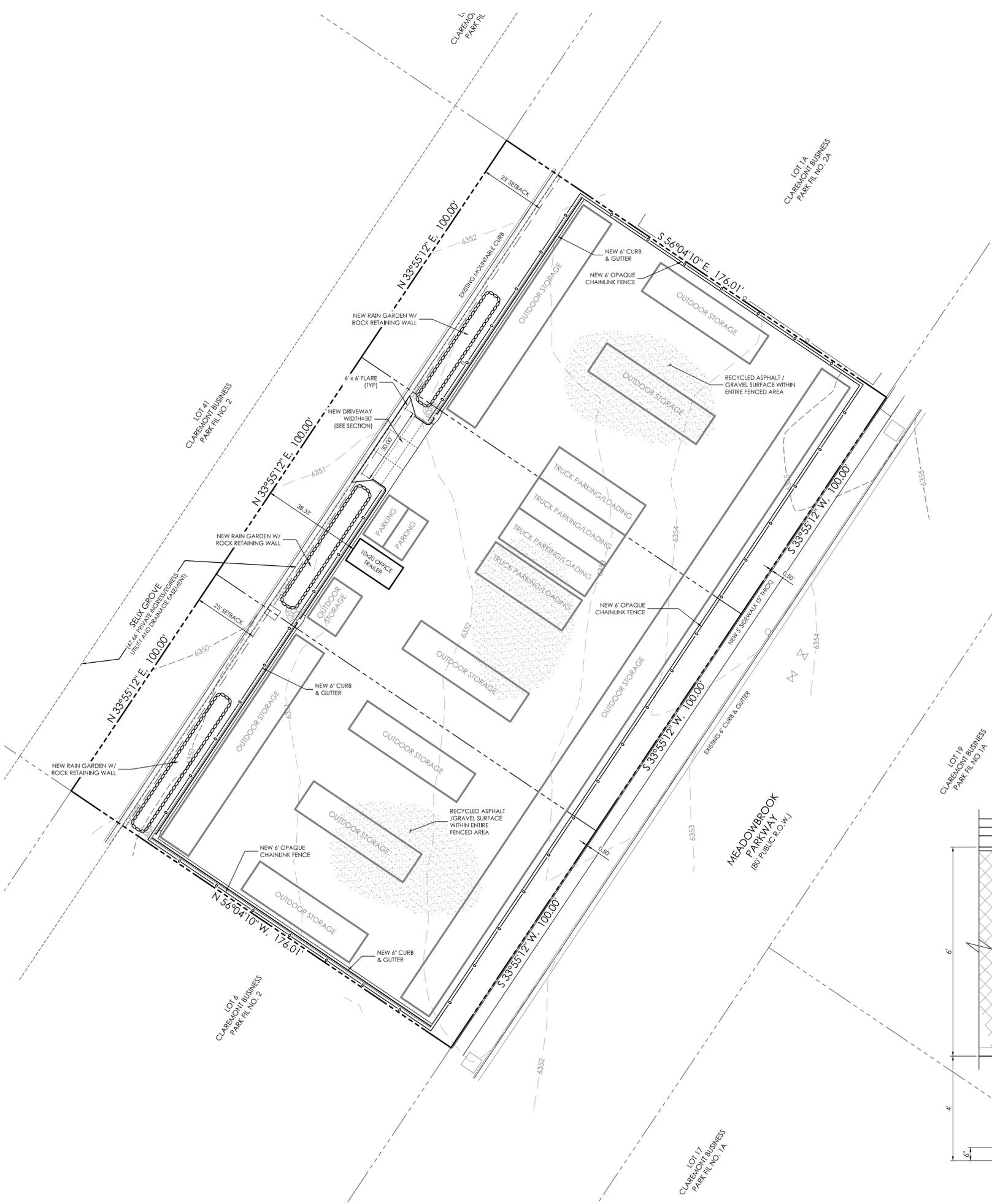
**GULFEAGLE
SUPPLY**

**SITE DEVELOPMENT
PLAN**

MVE PROJECT 61078
MVE DRAWING -DEV-SP

July 17, 2019
SHEET 1 OF 2

PCD FILE NO. AL198



SITE SPECIFIC NOTES:

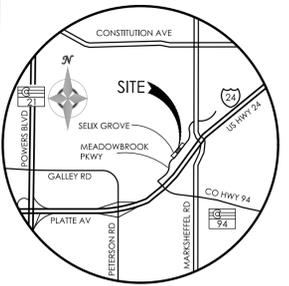
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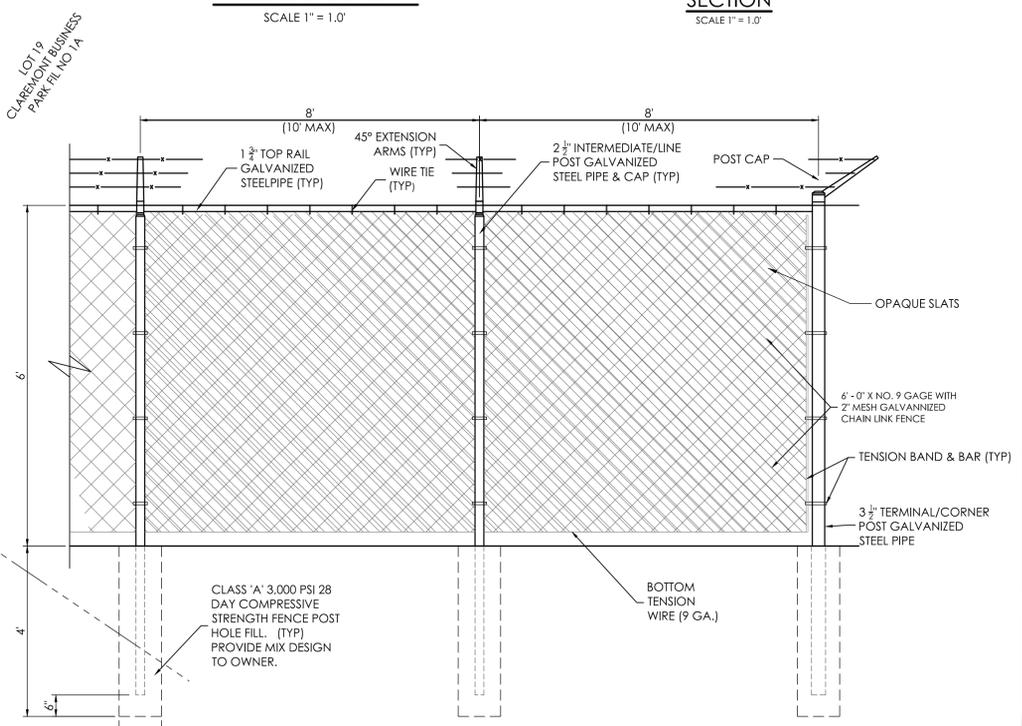
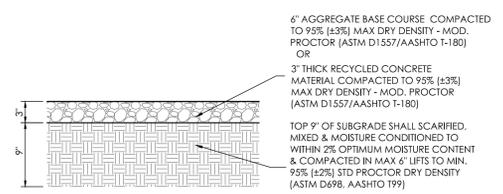
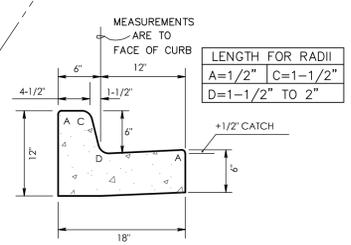
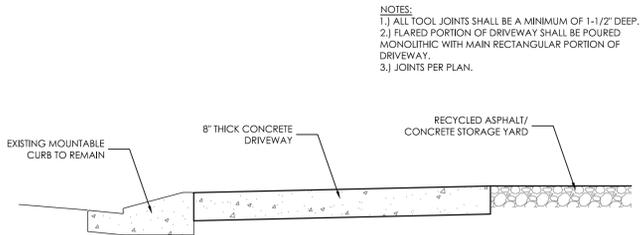
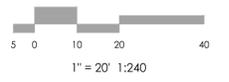
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BENCHMARK
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REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

GULFEAGLE SUPPLY
SITE DEVELOPMENT PLAN

MVE PROJECT 61078
MVE DRAWING -DEV-DS

July 17, 2019
SHEET 2 OF 2

