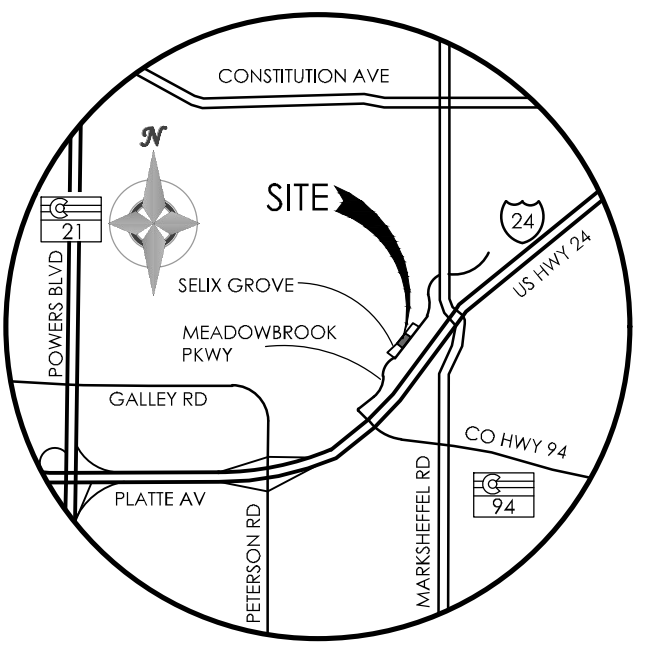


# GULFEAGLE SUPPLY - SITE PLAN

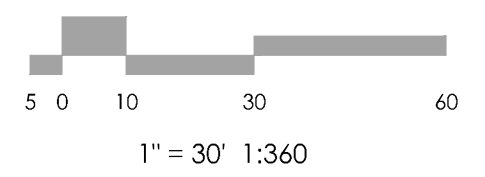
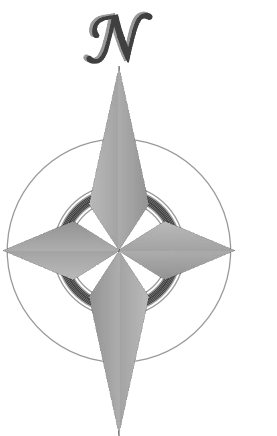
LOTS 3-5, CLAREMONT BUSINESS PARK FILING NO. 2,  
1455 SELIX GROVE, EL PASO COUNTY, COLORADO



VICINITY MAP  
NOT TO SCALE

BENCHMARK  
ELEVATIONS SHOWN ON THIS DRAWING ARE  
BASED ON THE CSU FIMS NETWORK (NGVD29).

BASIS OF BEARINGS: THE BASIS OF ALL BEARINGS  
SHOWN ON THIS DRAWING IS THE NORTH LINE  
OF MEADOWBROOK PARKWAY BEARING  
S33°55'12"W.



## LEGEND

- PROPERTY LINE
- EASEMENT LINE
- LOT LINE
- BUILDING SETBACK LINE
- ADJACENT PROPERTY LINE

### EXISTING

- 5985--- INDEX CONTOUR
- 84--- INTERMEDIATE CONTOUR
- CONCRETE AREA
- ASPHALT AREA
- CURB AND GUTTER
- BUILDING/  
BUILDING OVERHANG
- DECK
- RETAINING WALL - SOLID/  
ROCK
- SIGN
- BOLLARD
- WOOD FENCE
- CHAIN LINK FENCE
- BARBED WIRE FENCE
- TREE (EVERGREEN/DECIDUOUS)
- SHRUB
- ROCK

### PROPOSED

- 5985--- INDEX CONTOUR
- 84--- INTERMEDIATE CONTOUR
- CONCRETE AREA
- ASPHALT AREA
- CURB AND GUTTER
- BUILDING/  
BUILDING OVERHANG
- DECK
- RETAINING WALL - SOLID  
ROCK
- SIGN
- BOLLARD
- 86.0 TW  
83.0 FG  
TOP OF WALL/GRADE AT BOTTOM  
OF WALL
- 86.85  
83.35  
TOP OF CURB/FLOWLINE
- 84.84  
TSW  
SPOT ELEVATION  
FL = FLOWLINE  
TSW = TOP OF SIDEWALK  
FINISHED FLOOR ELEVATION
- FF = 5986.00
- CHAINLINK FENCE

### OWNER

SEJ RESCH FAMILY PARTNERSHIP, LTD.  
2900 7TH AVENUE EAST, SUITE 200  
TAMPA, FL 33605  
(813) 248-4911

### DEVELOPER

GULFEAGLE SUPPLY  
JEFF BARNES, BRANCH MANAGER  
1456 SELIX GROVE  
COLORADO SPRINGS, CO 80915  
(719) 574-7663

### ENGINEER

M.V.E., INC.  
1903 LELARAY STREET, STE 200  
COLORADO SPRINGS, CO 80909  
(719) 635-5736

### ZONING

CS, CAD-0 (COMMERCIAL SERVICE,  
COMMERCIAL AIRPORT DISTRICT)

### SETBACK

FRONT = 25 FT  
REAR = 25 FT  
SIDE = 25 FT

### LOT INFORMATION

MAXIMUM LOT COVERAGE - NONE  
MAXIMUM BUILDING HEIGHT = 45 FT  
SPECIAL USE REQUIRED FOR  
CONTRACTOR STORAGE

### LEGAL DESCRIPTION

LOTS 3, 4 & 5, CLAREMONT BUSINESS  
PARK FILING NO. 2

### TAX SCHEDULE NO.

5408102009, 5408102008, 5408102007

### SITE SPECIFIC NOTES:

1. THE ENTIRE AREA OF THIS PROPERTY IS FOR THE USE OF MATERIAL STORAGE.
2. THIS STORAGE YARD IS IN SUPPORT OF GULFEAGLE SUPPLY ON THE OPPOSITE SIDE OF SELIX GROVE (1456 SELIX GROVE).
3. THE TRAILER SHOWN IS FOR TEMPORARY SHELTER DURING LOADING / UNLOADING OPERATIONS. THE TRAILER WILL HAVE ELECTRIC SERVICE ONLY.

Please fix typo

Please remove this note referencing the City of Colorado Springs.

**NOT A CONSTRUCTION DOCUMENT**  
THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION PURPOSES. IT IS PREPARED FOR THE CITY OF COLORADO SPRINGS DEVELOPMENT PLAN APPROVAL PROCESS ONLY. IT IS REQUIRED THAT ANY SUBSEQUENT CONSTRUCTION PLANS ADHERE TO THE APPROVED DEVELOPMENT PLAN.



REVISIONS

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

**GULFEAGLE SUPPLY**  
SITE DEVELOPMENT PLAN

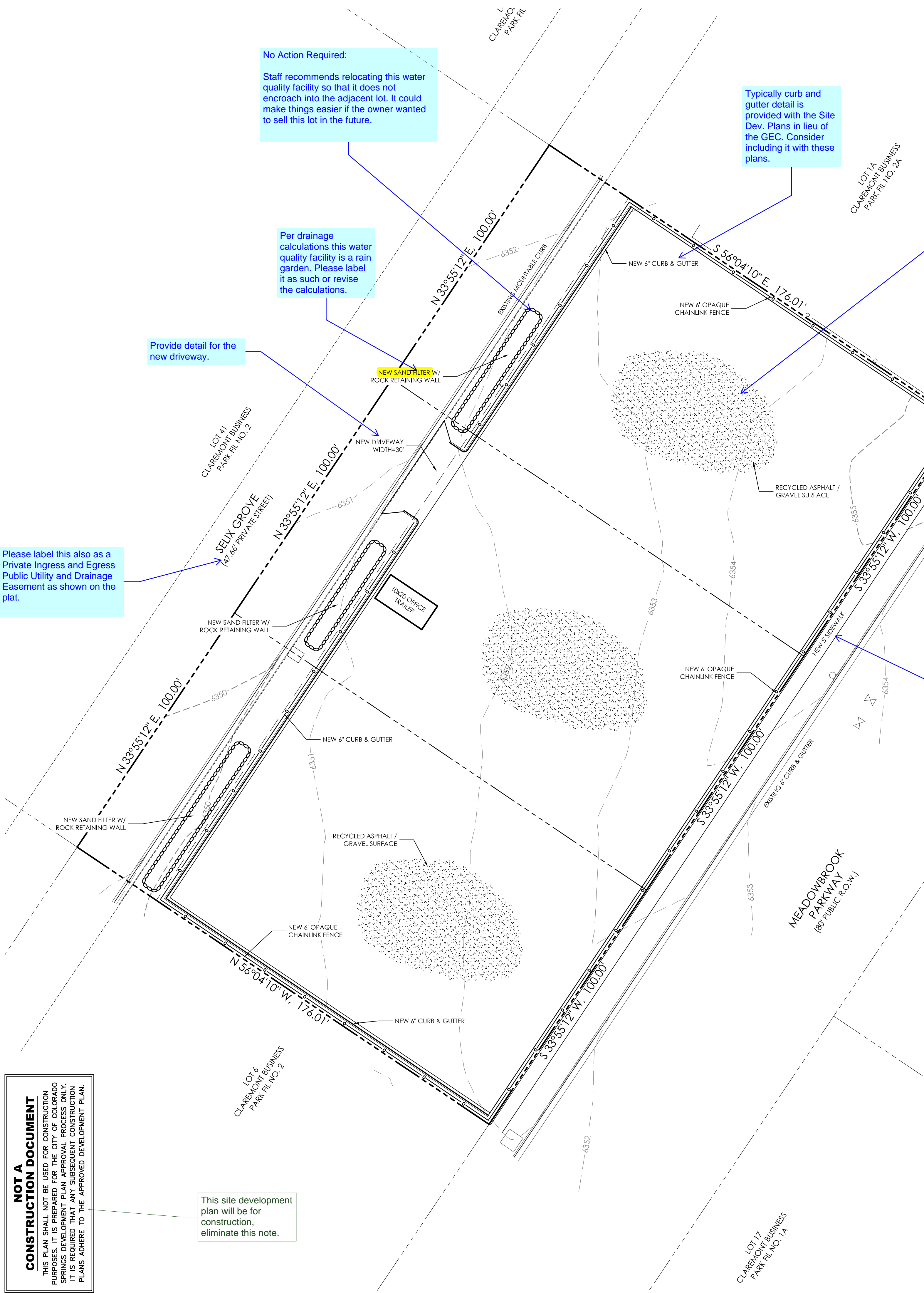
MVE PROJECT 61078  
MVE DRAWING -DEV-SP

MARCH 12, 2019  
SHEET 1 OF 2

Add PCD File No. PPR1911

**NOT A CONSTRUCTION DOCUMENT**  
 THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION PURPOSES. IT IS PREPARED FOR THE CITY OF COLORADO SPRINGS DEVELOPMENT PLAN APPROVAL PROCESS ONLY. IT IS REQUIRED THAT ANY SUBSEQUENT CONSTRUCTION PLANS ADHERE TO THE APPROVED DEVELOPMENT PLAN.

This site development plan will be for construction, eliminate this note.



No Action Required:  
 Staff recommends relocating this water quality facility so that it does not encroach into the adjacent lot. It could make things easier if the owner wanted to sell this lot in the future.

Per drainage calculations this water quality facility is a rain garden. Please label it as such or revise the calculations.

Provide detail for the new driveway.

Please label this also as a Private Ingress and Egress Public Utility and Drainage Easement as shown on the plat.

Typically curb and gutter detail is provided with the Site Dev. Plans in lieu of the GEC. Consider including it with these plans.

Please clarify whether this hatch indicates that just the areas shown will be recycled asphalt/gravel or the entire fenced area.

Provide dimension from the sidewalk to the property line. Per EPC criteria sidewalk shall be 6" from the property line.

This plan needs more detail, it should show all storage areas for the contractor's equipment yard as well as parking for vehicles. An alternative parking ratio can be requested if the original site of the supply yard has adequate parking.

This site plan must also show where outside storage of items will be. The storage should not be taller than the fence. Taller storage should be placed in the rear third of the property. Only 50% of the land next to a roadway can be occupied by outside storage.

Please indicate the thickness of the new sidewalk (5" min.)

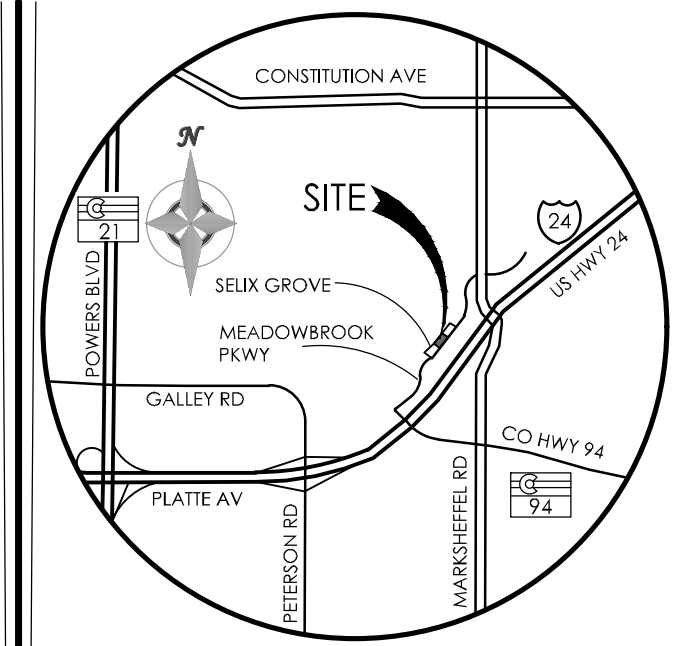
See comment regarding note on page 1 of Site development plan.

**SITE SPECIFIC NOTES:**

1. THE ENTIRE AREA OF THIS PROPERTY IS FOR THE USE OF MATERIAL STORAGE.
2. THIS STORAGE YARD IS IN SUPPORT OF GULFEAGLE SUPPLY ON THE OPPOSITE SIDE OF SILEX GROVE (1456 SILEX GROVE).
3. THE TRAILER SHOWN IS FOR TEMPORARY SHELTER DURING LOADING / UNLOADING OPERATIONS. THE TRAILER WILL HAVE ELECTRIC SERVICE ONLY.

Add this note and an ADA route for the property:

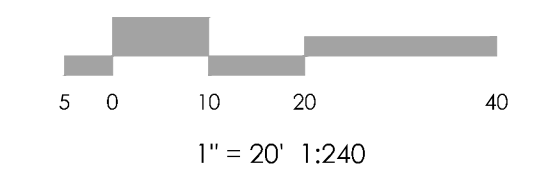
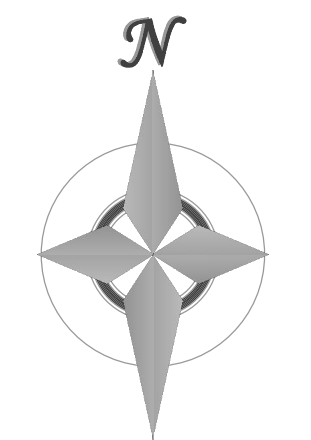
The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.



VICINITY MAP  
 NOT TO SCALE

BENCHMARK  
 ELEVATIONS SHOWN ON THIS DRAWING ARE BASED ON THE CSU FIMS NETWORK (NGVD29).

BASIS OF BEARINGS: THE BASIS OF ALL BEARINGS SHOWN ON THIS DRAWING IS THE NORTH LINE OF MEADOWBROOK PARKWAY BEARING S33°55'12"W.



**MVE, INC.**  
 ENGINEERS / SURVEYORS

1903 Lelary Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS

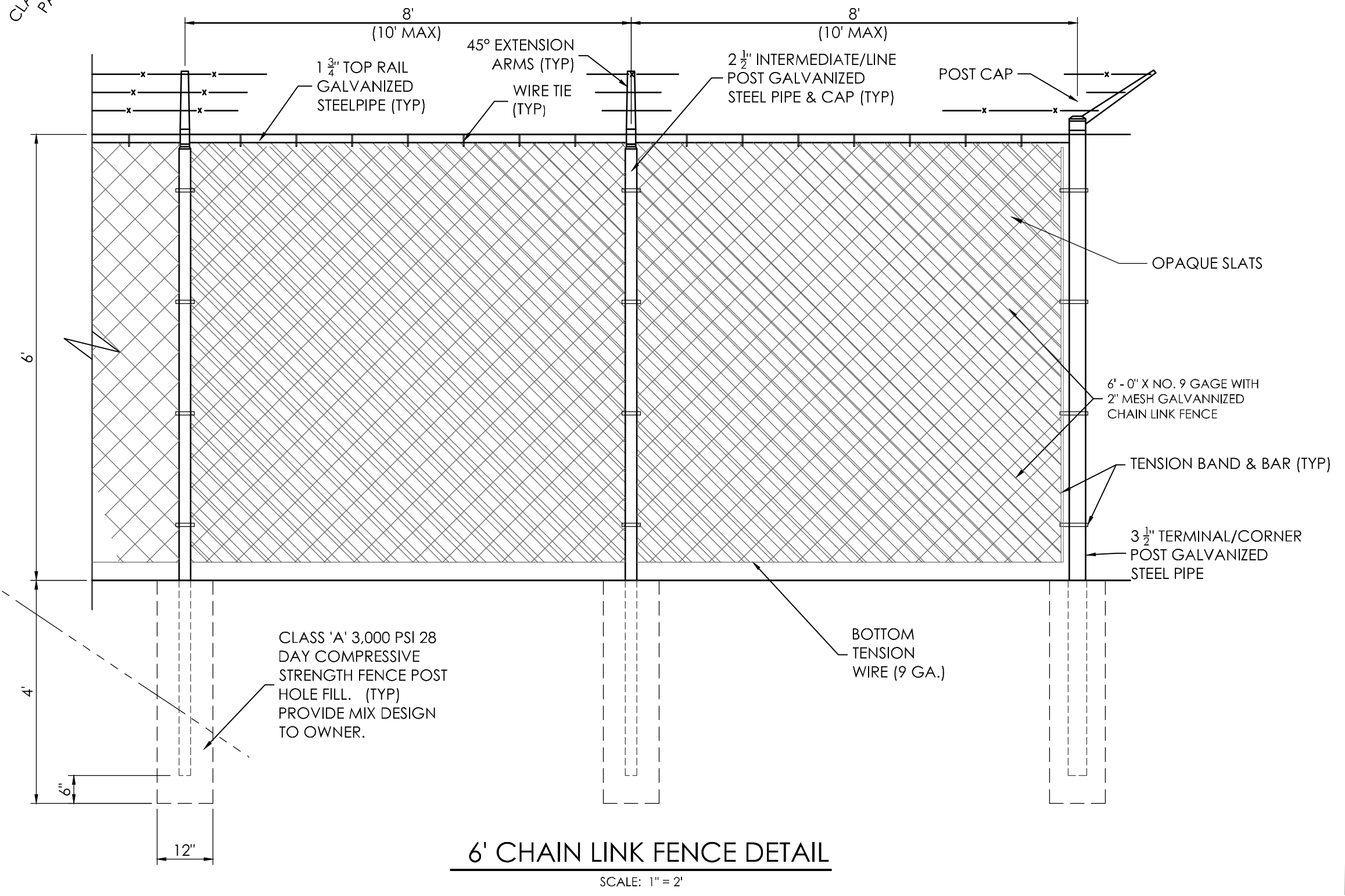
DESIGNED BY \_\_\_\_\_  
 DRAWN BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_  
 AS-BUILTS BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_

**GULFEAGLE SUPPLY**

**SITE DEVELOPMENT PLAN**

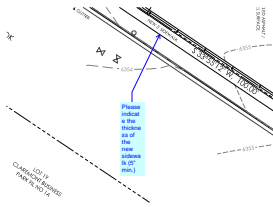
MVE PROJECT 61078  
 MVE DRAWING -DEV-DS

MARCH 12, 2019  
 SHEET 2 OF 2



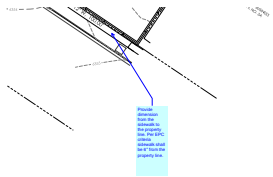
# Markup Summary

Daniel Torres (14)



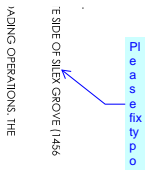
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**Page Label:** [2] 61078-DEV-DS-DEV-DS  
**Lock:** Unlocked  
**Author:** Daniel Torres  
**Date:** 4/1/2019 10:39:42 AM  
**Color:** ■

Please indicate the thickness of the new sidewalk (5" min.)



**Subject:** Callout  
**Page Label:** [2] 61078-DEV-DS-DEV-DS  
**Lock:** Unlocked  
**Author:** Daniel Torres  
**Date:** 4/1/2019 11:13:06 AM  
**Color:** ■

Provide dimension from the sidewalk to the property line. Per EPC criteria sidewalk shall be 6" from the property line.



**Subject:** Callout  
**Page Label:** [1] 61078-DEV-SP-DEV-CS  
**Lock:** Unlocked  
**Author:** Daniel Torres  
**Date:** 4/1/2019 11:48:19 AM  
**Color:** ■

Please fix typo

3. THE TRAIL  
2. THIS STO  
SILEX GR

**Subject:** Highlight  
**Page Label:** [1] 61078-DEV-SP-DEV-CS  
**Lock:** Unlocked  
**Author:** Daniel Torres  
**Date:** 4/1/2019 11:48:27 AM  
**Color:** ■

SILEX

OF SILEX GR

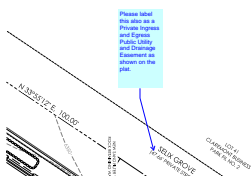
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SILEX

Add PCD File No. PPR1911

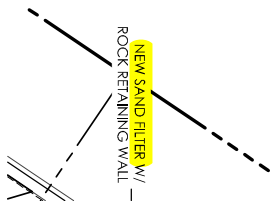
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Add PCD File No. PPR1911



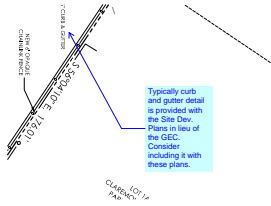
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Please label this also as a Private Ingress and Egress Public Utility and Drainage Easement as shown on the plat.



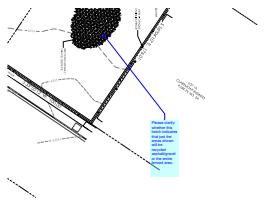
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NEW SAND FILT



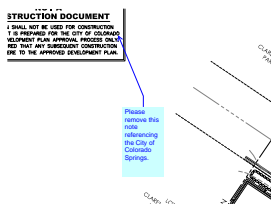
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Typically curb and gutter detail is provided with the Site Dev. Plans in lieu of the GEC. Consider including it with these plans.



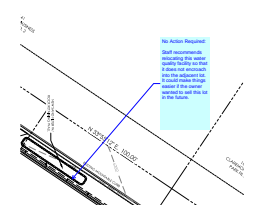
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Please clarify whether this hatch indicates that just the areas shown will be recycled asphalt/gravel or the entire fenced area.



**Subject:** Callout  
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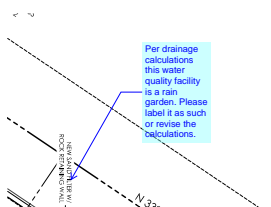
Please remove this note referencing the City of Colorado Springs.



**Subject:** Callout  
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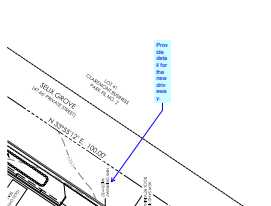
No Action Required:

Staff recommends relocating this water quality facility so that it does not encroach into the adjacent lot. It could make things easier if the owner wanted to sell this lot in the future.



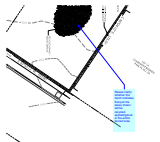
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Per drainage calculations this water quality facility is a rain garden. Please label it as such or revise the calculations.

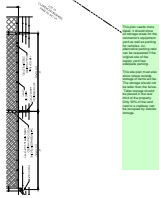


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**Date:** 4/3/2019 7:23:57 AM  
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Provide detail for the new driveway.



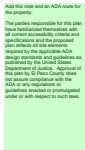
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**Subject:** Stamp  
**Page Label:** [2] 61078-DEV-DS-DEV-DS  
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**Author:** dskendall  
**Date:**  
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**Subject:** Text Box  
**Page Label:** [2] 61078-DEV-DS-DEV-DS  
**Lock:** Unlocked  
**Author:** dskendall  
**Date:** 4/4/2019 2:34:14 PM  
**Color:** ■

This plan needs more detail, it should show all storage areas for the contractor's equipment yard as well as parking for vehicles. An alternative parking ratio can be requested if the original site of the supply yard has adequate parking.

This site plan must also show where outside storage of items will be. The storage should not be taller than the fence. Taller storage should be placed in the rear third of the property. Only 50% of the land next to a roadway can be occupied by outside storage.



-----  
**Subject:** Text Box  
**Page Label:** [2] 61078-DEV-DS-DEV-DS  
**Lock:** Unlocked  
**Author:** dskendall  
**Date:** 4/4/2019 2:49:42 PM  
**Color:** ■

Add this note and an ADA route for the property:

The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.



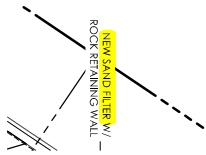
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**Color:** ■

This site development plan will be for construction, eliminate this note.



-----  
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**Page Label:** [2] 61078-DEV-DS-DEV-DS  
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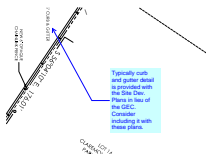
See comment regarding note on page 1 of Site development plan.



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Su  
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Lo  
Au  
Da  
Co  
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SPRINGS DEVELOPMENT PLAN  
APPROVAL PROCESS ONLY.



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Su  
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**Color:**

IT IS REQUIRED THAT ANY  
SUBSEQUENT CONSTRUCTION