

SORPRESA EAST ADDITION NO. 1 RESIDENTIAL COMMUNITY CITY OF COLORADO SPRINGS PUD - DEVELOPMENT PLAN OCTOBER 2019

LEGAL DESCRIPTION:

A PARCEL OF LAND IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER (NW 1/4, SE 1/4) OF SECTION 6, T13S R65W OF THE 6th P.M. EL PASO COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARING: THE EASTERLY RIGHT-OF-WAY LINE OF TUTT BOULEVARD, BEING MONUMENTED AT THE NORTH BY A NO. 5 REBAR AND ALUMINUM CAP WITNESS CORNER STAMPED "13" W.C. LS 25966" AND AT THE SOUTH BY THE SW 1/16TH CORNER OF SECTION 6, STAMPED "MATRIX, T13S R65W PLS NO. 34977". SAID LINE BEARS N00°18'44"E A DISTANCE OF 694.13 FEET.

COMMENCING AT SAID SW 1/16TH CORNER, THENCE N87°07'22"E A DISTANCE OF 1273.20 FEET, THENCE N87°07'10"E A DISTANCE OF 162.97 FEET TO THE SOUTHEAST CORNER OF "WOODMEN VISTAS SUBDIVISION" AS RECORDED UNDER RECEPTION NO. 208712760 IN THE EL PASO COUNTY RECORDS AND THE POINT OF BEGINNING;

THENCE N00°10'04"W ALONG THE EAST LINE THEREOF, 328.82 FEET TO THE SOUTHWEST CORNER OF THAT PARCEL DESCRIBED IN A QUIT CLAIM DEED RECORDED UNDER RECEPTION NO. 201168820;
THENCE N88°43'47"E ALONG THE SOUTHERLY LINE THEREOF, 327.12 FEET TO THE SOUTHEAST CORNER OF SAID QUIT CLAIM DEED;

THENCE N00°11'01"W, ALONG THE EASTERLY LINE THEREOF AND ALONG THE EASTERLY LINES OF QUIT CLAIM DEED UNDER RECEPTION NO. 213108148 AND WARRANTY DEED UNDER RECEPTION NO. 205009334, A DISTANCE OF 348.52 FEET TO THE SOUTH LINE OF 30 FOOT SORPRESA LANE AS RECORDED IN BOOK 1587 AT PAGE 149 OF THE EL PASO COUNTY RECORDS;
THENCE N87°59'29"E ALONG THE SOUTHERLY LINE THEREOF 423.10 FEET TO THE WESTERLY LINE OF THE C. ARLENE NANCE PROPERTY (NO RECORDING INFORMATION KNOWN);
THENCE S00°14'19"E ALONG THE WESTERLY LINE THEREOF AND ALONG THE WESTERLY LINE OF THAT PARCEL DESCRIBED IN A WARRANTY DEED RECORDED UNDER RECEPTION NO. 204150183 IN THE EL PASO COUNTY RECORDS A DISTANCE OF 661.40 FEET TO THE NORTH LINE OF "LODGE AT BLACK FOREST SUBDIVISION FILING NO. 1" AS RECORDED UNDER RECEPTION NO. 214713432 IN THE EL PASO COUNTY RECORDS;
THENCE S87°05'29"W ALONG THE NORTHERLY LINE THEREOF, 423.81 FEET;
THENCE CONTINUING S87°06'40"W ALONG SAID NORTHERLY LINE 327.71 FEET TO .THE POINT OF BEGINNING.

SAID PARCEL OF LAND CONTAINS A CALCULATED AREA OF 8.8929 ACRES OF LAND, MORE OR LESS.

GENERAL NOTES:

- THE DEVELOPMENT WILL BE COMPRISED OF SINGLE FAMILY RESIDENTIAL UNITS
- A 2 YEAR APPROXIMATE BUILD OUT IS ANTICIPATED.
- ALL STREETS WITHIN THIS DEVELOPMENT ARE PRIVATE AND WILL BE OWNED AND MAINTAINED AS PER THE FOLLOWING TRACT DESCRIPTIONS. REFER TO SHEET S-1, G-1 & U-1 OF THIS SET FOR SPECIFIC DETAILS AS TO WIDTHS PROPOSED, AND SIDEWALK AND UTILITY EASEMENTS.
- STANDARD CITY STREET LIGHTING WILL BE USED THROUGHOUT, TO BE INSTALLED BY THE DEVELOPER.
- STREET GRADES WILL BE IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE AND OVER LOT GRADING WILL BE USED TO ACHIEVE LOT CONFORMANCE WITH STREETS
- ALL LOTS AND DIMENSIONS OF LOTS ARE SHOWN IN AN APPROXIMATE WAY ONLY. PLATTED LOT DIMENSIONS MAY VARY, HOWEVER DENSITIES ARE ESTABLISHED BY THIS PLAN AND BY ORDINANCE
- TRACT A IS GENERALLY FOR ACCESS, PARKING, DRAINAGE, LANDSCAPING AND PUBLIC UTILITIES FOR THE RESIDENTS OF THE SORPRESA RESIDENTIAL DEVELOPMENT. THIS TRACT SHALL BE USED FOR PRIVATE STREETS AND DRIVES, PUBLIC IMPROVEMENTS, PUBLIC AND PRIVATE UTILITIES, PUBLIC DRAINAGE AND COMMON OPEN SPACE. THE SORPRESA RESIDENTIAL DEVELOPMENT WILL BE RESPONSIBLE FOR MAINTENANCE AND LANDSCAPING OF THE TRACT.
- THE DEVELOPER IS RESPONSIBLE FOR THE CONSTRUCTION OF ALL SIDEWALKS AND TRAILS WITHIN ALL TRACTS.
- PUBLIC IMPROVEMENT EASEMENTS OR TRACTS WILL BE PROVIDED FOR ALL PUBLIC SIDEWALKS LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY.
- ALL UTILITIES WILL BE LOCATED PER CITY STANDARD AND SIZED ACCORDINGLY.
- NO SIGNIFICANT NATURAL FEATURES EXIST ON THIS PROPERTY
- STREET SIGNS: TEMPORARY OR PERMANENT STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF ROADWAYS ALLOWS PASSAGE BY VEHICLES (2009 IFC §501.4)
- THE DEVELOPER WILL PROVIDE ALL STREET NAME SIGNS PUBLIC AND PRIVATE. THE PRIVATE STREET NAME SIGN WILL BE BROWN WITH WHITE LETTERING. THE PUBLIC STREET NAME SIGNS WILL BE GREEN WITH WHITE LETTERING
- NO DIRECT VEHICULAR ACCESS WILL BE ALLOWED ONTO SORPRESA LANE FROM THE LOTS
- HOME MODELS MAY BE DETERMINED AT BUILDING PERMIT/PLOT PLAN SUBMITTAL. EITHER FOOTPRINT 'XX' OR 'X' MAYBE USED. (SEE MODEL TYPE' ON THIS SHEET)
- 'STOP' SIGNS WILL BE PROVIDED AND INSTALLED BY THE DEVELOPER AND MEET MUTCD & TRAFFIC ENGINEERING DESIGN STANDARDS.
- STAIRWAYS AND LANDINGS: MAY NOT EXTEND OR PROJECT INTO ANY SIDE, REAR, OR FRONT SETBACK IF THE WIDTH OR DEPTH OF THE SETBACK IS REDUCED TO LESS THAN THREE (3) FEET.
- THE DEVELOPER WILL BE RESPONSIBLE TO CONSTRUCT SORPRESA LANE ADJACENT TO THE SUBJECT PROPERTY (BASED ON CONDITIONS OF THE ANNEXATION AGREEMENT).
- PRIVATE DRAINAGE EASEMENT TO BE CONVEYED TO THE RESERVE AT SORPRESA RESIDENTIAL DEVELOPMENT HOMEOWNERS ASSOCIATION, INC. DRAINAGE FACILITIES TO INCLUDE SWALES AND STORM PIPE TO BE OWNED AND MAINTAINED BY THE SORPRESA RESIDENTIAL DEVELOPMENT HOMEOWNERS ASSOCIATION, INC. DRAINAGE PATTERNS AND FACILITIES WITHIN EASEMENT WILL NOT BE IMPEDED THROUGH GRADING, LANDSCAPING, OR PHYSICAL IMPROVEMENTS BY HOMEOWNER.
- THE ARTICLES OF INCORPORATION OF SORPRESA RESIDENTIAL DEVELOPMENT HOMEOWNERS ASSOCIATION, INC. WERE FILED WITH THE COLORADO SECRETARY OF STATE UNDER IDENTIFICATION NO. xxxxxxxxxxxxxxxx THE AREA INCLUDED IN THE PLAT IS SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS OF THE SORPRESA RESIDENTIAL DEVELOPMENT HOMEOWNERS ASSOCIATION, INC., RECORDED RECEPTION
- NUMBER: xxxxxxxxxxxxxxxx.
- THE DENSITY, DESIGN AND DIMENSIONAL CONTROLS SET FORTH IN THIS PUD DEVELOPMENT PLAN SHALL GOVERN THE SORPRESA RESIDENTIAL DEVELOPMENT PROJECT. ALL OTHER DENSITY, DESIGN AND DIMENSIONAL CONTROLS ESTABLISHED UNDER CITY CODE CHAPTER 7 SHALL NOT APPLY UNLESS OTHERWISE STATED BY THIS PUD DEVELOPMENT PLAN.
- ACCESS EASEMENTS AGREEMENTS: ACCESS EASEMENTS WILL BE GRANTED BY THE DEVELOPER TO THE PROPERTY OWNERS ON THE THE EAST AND WEST, ADJACENT TO THE DEVELOPMENT, TO PROVIDE ACCESS TO THE PUBLIC ROW.

LAND USE DATA

EXISTING ZONE: RR - 5 / CAD-O, (RURAL RESIDENTIAL / COMMERCIAL AIRPORT OVERLAY DISTRICT, EL PASO COUNTY)
PROPOSED ZONE: PUD - AO-CAD (PLANNED UNIT DEVELOPMENT) / AO-CAD (AIRPORT OVERLAY)
PROPOSED USE: RESIDENTIAL - SINGLE FAMILY DWELLING UNITS
MASTER PLAN/CONCEPT PLAN: SORPRESA EAST ADDITION NO.1, CPC-CP-19-XXXX
DRAINAGE BASIN: COTTONWOOD CREEK
TAX SCHEDULE NUMBER: 5306000047 / 48
ADDRESS: 6435 SORPRESA LANE

LAND COVERAGE AND DENSITY SUMMARY:

TOTAL AREA OF LOTS	225,466.92 S.F.	5.18 AC.
COMMON AREA OPEN SPACE /PRIVATE DRIVES / DRAINAGE		
FACILITIES TRACTS	161,907.08 S.F.	3.71 AC.
TOTAL AREA	387,374.00 S.F.	8.89 AC.

TOTAL NUMBER OF LOTS: 70
DENSITY: 7.87 DU/AC

LOT DATA:

MINIMUM LOTS SIZE: 2,736 S.F.
EXPECTED HOME SIZE (RANGE) (TOTAL SF) 1,690 S.F TO 2066 S.F
MAXIMUM BUILDING COVERAGE (FOOTPRINT) 1,100 S.F TO 1,251 S.F.
MAXIMUM BUILDING HEIGHT 35'-0"

MINIMUM BUILDING SETBACKS:

FRONT SETBACK: 20' MINIMUM
SIDE SETBACK: 5' MINIMUM
REAR SETBACK: 7' MINIMUM

PARKING ALLOCATION:

REQUIRED:

(2 EXTERIOR SPACES PER UNIT - DRIVEWAYS)

70 UNITS:	140 SPACES
VISITOR PARKING (.25 PER UNIT = 18 SPACES)	18 SPACES
TOTAL	158 SPACES

PROPOSED:

	REQUIRED	PROVIDED
UNITS - EXTERIOR SPACES	70 UNITS / 2 SPACES P/UNIT (DRIVEWAY = 140 SPACES)	140 SPACES
OFF STREET PARKING (VISITOR)	(.25 PER UNIT = 18 SPACES)	48 SPACES
TOTAL		188 SPACES

PROPERTY OWNER ASSOCIATION NOTES:

THE SORPRESA RESIDENTIAL DEVELOPMENT HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR ALL LANDSCAPE MAINTENANCE OF COMMON OPEN SPACES, WATER QUALITY/DETENTION AREAS & ACCESS TRACTS. THE RESPONSIBILITIES INCLUDE THE FOLLOWING:

- MAINTENANCE AND LANDSCAPE MAINTENANCE OF PRIVATE PARKS/OPEN SPACES & COMMON AREAS
- TRASH REMOVAL WITHIN ALL COMMON AREAS
- STREET CLEANING OF PRIVATE STREETS
- SNOW REMOVAL ON PRIVATE STREETS

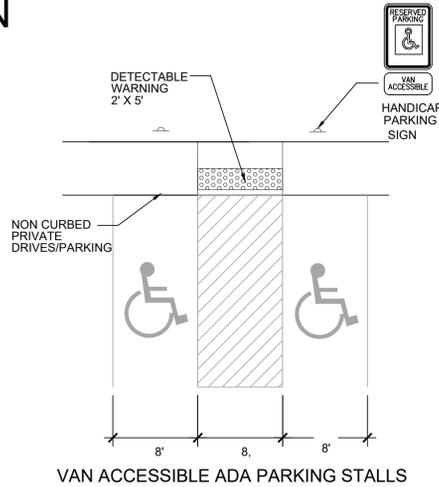
TRACT TABLE				
TRACT	SQUARE FEET	ACRES	OWNERSHIP/MAINTENANCE	PURPOSE
A	161,907.08 S.F.	3.72	SORPRESA RESIDENTIAL DEVELOPMENT HOMEOWNERS ASSOCIATION	ACCESS, PARKS, LANDSCAPING, DRAINAGE, PUBLIC UTILITIES, COMMON OPEN SPACE

AVIGATION EASEMENT:

THE AVIGATION EASEMENT DEDICATED HEREIN FOR PUBLIC AVIGATION PURPOSES, SHALL BE CONSIDERED A PUBLIC EASEMENT SUBJECT TO THOSE TERMS AND CONDITIONS AS SPECIFIED ON THE INSTRUMENT RECORDED AT RECEPTION NO. 217069667 OF THE RECORDS OF EL PASO COUNTY, COLORADO. ALL OTHER EASEMENTS OR INTERESTS OF RECORD AFFECTING ANY OF THE PLATTED PROPERTY DEPICTED HEREON SHALL NOT BE AFFECTED AND SHALL REMAIN IN FULL FORCE AND EFFECT.

FLOODPLAIN INFORMATION:

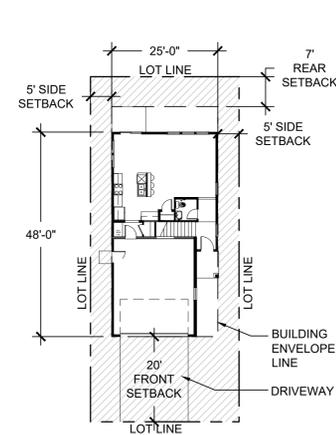
THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NO. 08041C0529G, EFFECTIVE DATE DECEMBER 7, 2018, INDICATES THIS PARCEL OF LAND TO BE LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).



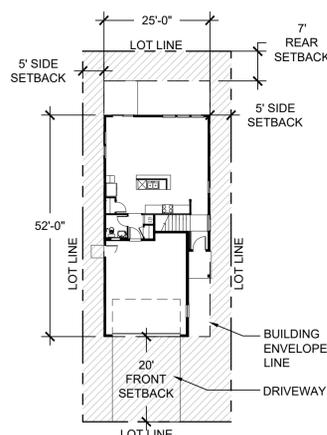
VAN ACCESSIBLE ADA PARKING STALLS



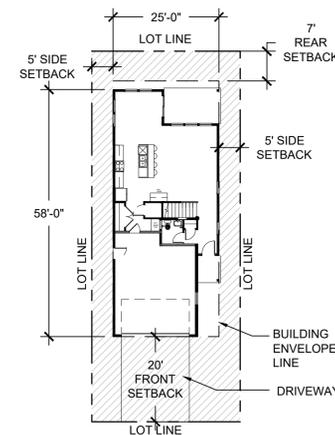
VICINITY MAP:



MAIN LEVEL FLOOR PLAN-1690
1,690 TOTAL S.F. PER UNIT
1,100 S.F. BUILDING FOOTPRINT
(SEE ELEVATION SHEET A-1)



MAIN LEVEL FLOOR PLAN-1840
1,840 TOTAL S.F. PER UNIT
1,200 S.F. BUILDING FOOTPRINT
(SEE ELEVATION SHEET A-2)



MAIN LEVEL FLOOR PLAN-2066
2,066 TOTAL S.F. PER UNIT
1,251 S.F. BUILDING FOOTPRINT
(SEE ELEVATION SHEET A-3)

UNITY TYPE NOTES:

- THE BUILDING ENVELOPE FOR EACH LOT SHALL BE DETERMINED BY A 5' OFFSET FROM SIDE LOT LINES, 7' OFFSET FROM REAR LOT LINE AND 20' OFFSET FROM FRONT LOT LINE.
- STAIRWAYS, LANDINGS AND PATIOS MAY EXTEND INTO SIDE, REAR AND FRONT BUILDING ENVELOPE SETBACKS.
- LOT SIZE AND PRIVACY FENCE LOCATION VARIES BY LOT. SEE SITE PLAN (S-1).

DEVELOPMENT SCHEDULE: SPRING 2020

OWNERSHIP:

Challenger Communities
8605 Explorer Drive #250
Colorado Springs, CO 80920

PREPARED BY:

APPLICANT /PLANNER/LANDSCAPE ARCHITECT:
Land Patterns, Inc
PO Box 60112
Colorado Springs, CO 80960

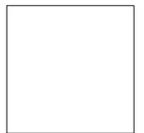
SURVEYOR:
Barron Land, Inc.
2790 N. Academy Blvd., Suite 311
Colorado Springs, CO 80917

ARCHITECT:
Challenger Homes, Inc.
8605 Explorer Drive #250
Colorado Springs, CO 80920

CIVIL ENGINEER:
Calamont Engineering
321 W. Henrietta Ave Suite 'A'
Woodland Park, CO 80863
(719)426-2124

SHEET INDEX:

CATEGORY	DESCRIPTION	SHEET NUMBER
COVER	PROJECT INFORMATION	SHEET 1 OF 13
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S-2	SITE DETAILS / ADA ACCESSIBLE/ CSFD TURNING RADIUS	SHEET 3 OF 13
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G-2	PRELIMINARY GRADING PLAN	SHEET 5 OF 13
U-1	PRELIMINARY UTILITY & MASTER FACILITY PLAN	SHEET 6 OF 13
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A-3	ARCHITECTURAL ELEVATIONS	SHEET 13 OF 13



CITY APPROVAL STAMP
CITY FILE NO. AR XX 18-XXXXXX

NO.	DATE	DESCRIPTION	BY
REVISIONS			
		BENCHMARK DATA(ELEV.)	
		(DATUM)	
		(DESCRIPTION/LOCATION)	

CLIENT/OWNER:

CHALLENGER HOMES
8605 Explore Drive #250
Colorado Springs, CO 80902

PREPARED BY:

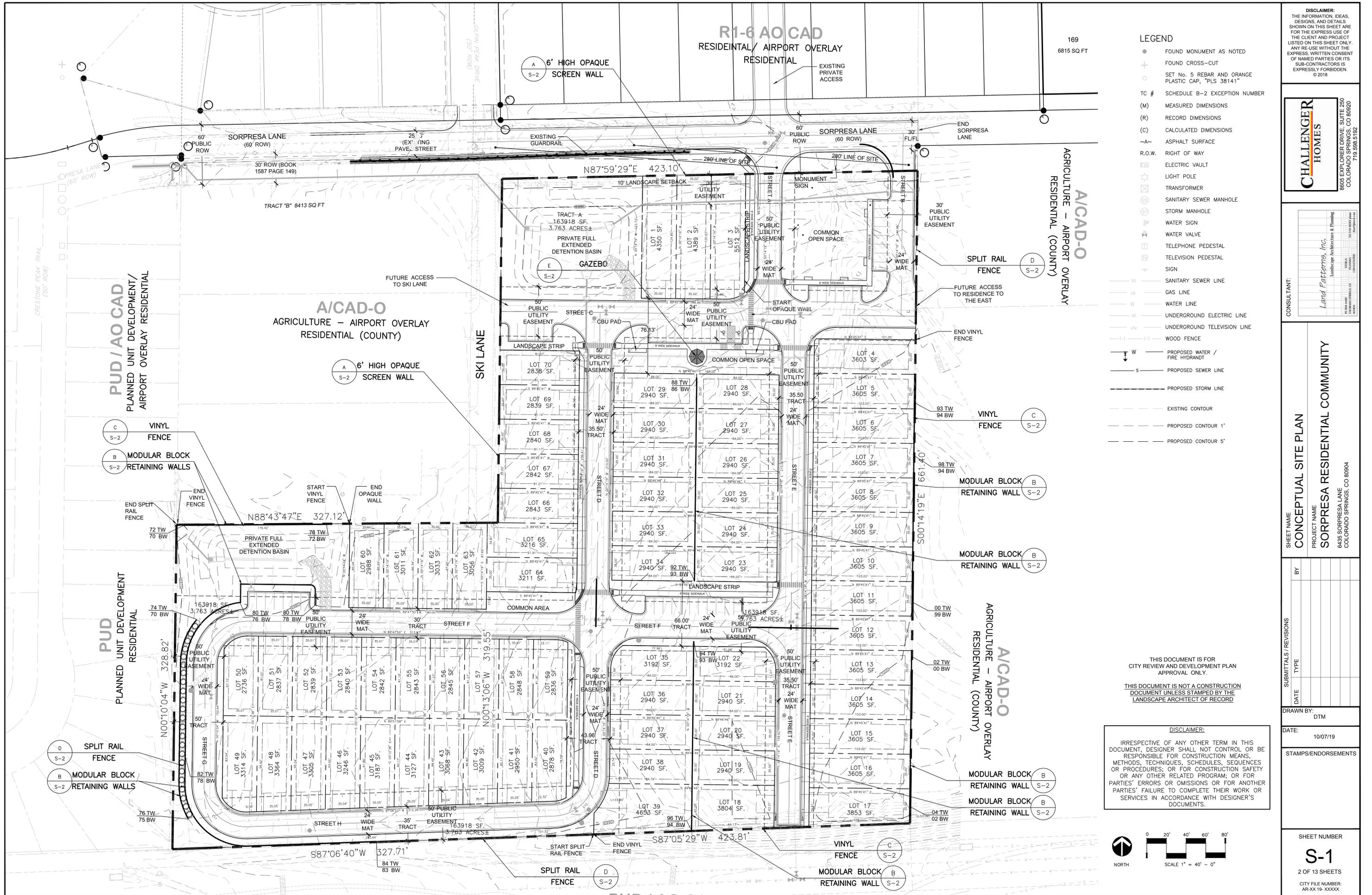
Land Patterns, Inc.
Landscape Architecture & Planning
PO BOX 60112
COLORADO SPRINGS, CO 80960
DESIGN CONSULTATION
719 578 8689
lpl@lplarc.com

SORPRESA EAST ADDITION NO. 1

PUD - DEVELOPMENT PLAN

COVER SHEET

DESIGNED BY: SCALE: DATE ISSUED:
DRAWN BY: HORIZ: SHEET NO. 1 OF 13 SHEETS
CHECKED BY: VERT:



- LEGEND**
- FOUND MONUMENT AS NOTED
 - + FOUND CROSS-CUT
 - SET NO. 5 REBAR AND ORANGE PLASTIC CAP, "PLS 38141"
 - TC # SCHEDULE B-2 EXCEPTION NUMBER
 - (M) MEASURED DIMENSIONS
 - (R) RECORD DIMENSIONS
 - (C) CALCULATED DIMENSIONS
 - ~ ASPHALT SURFACE
 - R.O.W. RIGHT OF WAY
 - ⊞ ELECTRIC VAULT
 - ⊞ LIGHT POLE
 - ⊞ TRANSFORMER
 - ⊞ SANITARY SEWER MANHOLE
 - ⊞ STORM MANHOLE
 - ⊞ WATER SIGN
 - ⊞ WATER VALVE
 - ⊞ TELEPHONE PEDESTAL
 - ⊞ TELEVISION PEDESTAL
 - ⊞ SIGN
 - SS — SANITARY SEWER LINE
 - GS — GAS LINE
 - W — WATER LINE
 - UE — UNDERGROUND ELECTRIC LINE
 - UT — UNDERGROUND TELEVISION LINE
 - (-) — WOOD FENCE
 - W — PROPOSED WATER / FIRE HYDRANT
 - S — PROPOSED SEWER LINE
 - — PROPOSED STORM LINE
 - — — — — EXISTING CONTOUR
 - · — · — · — PROPOSED CONTOUR 1'
 - · — · — · — PROPOSED CONTOUR 5'

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COLORADO SPRINGS, CO 80920
719.598.5192

CONSULTANT:
Land Patterns, Inc.
Landscape Architecture & Planning
1100 S. WILLOW AVE.
DENVER, CO 80202

CONCEPTUAL SITE PLAN
PROJECT NAME: **SORPRESA RESIDENTIAL COMMUNITY**
6435 SORPRESA LANE
COLORADO SPRINGS, CO 80904

DATE	BY	REVISIONS

DRAWN BY: DTM

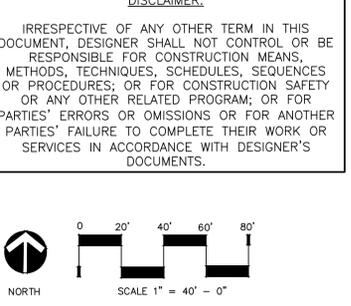
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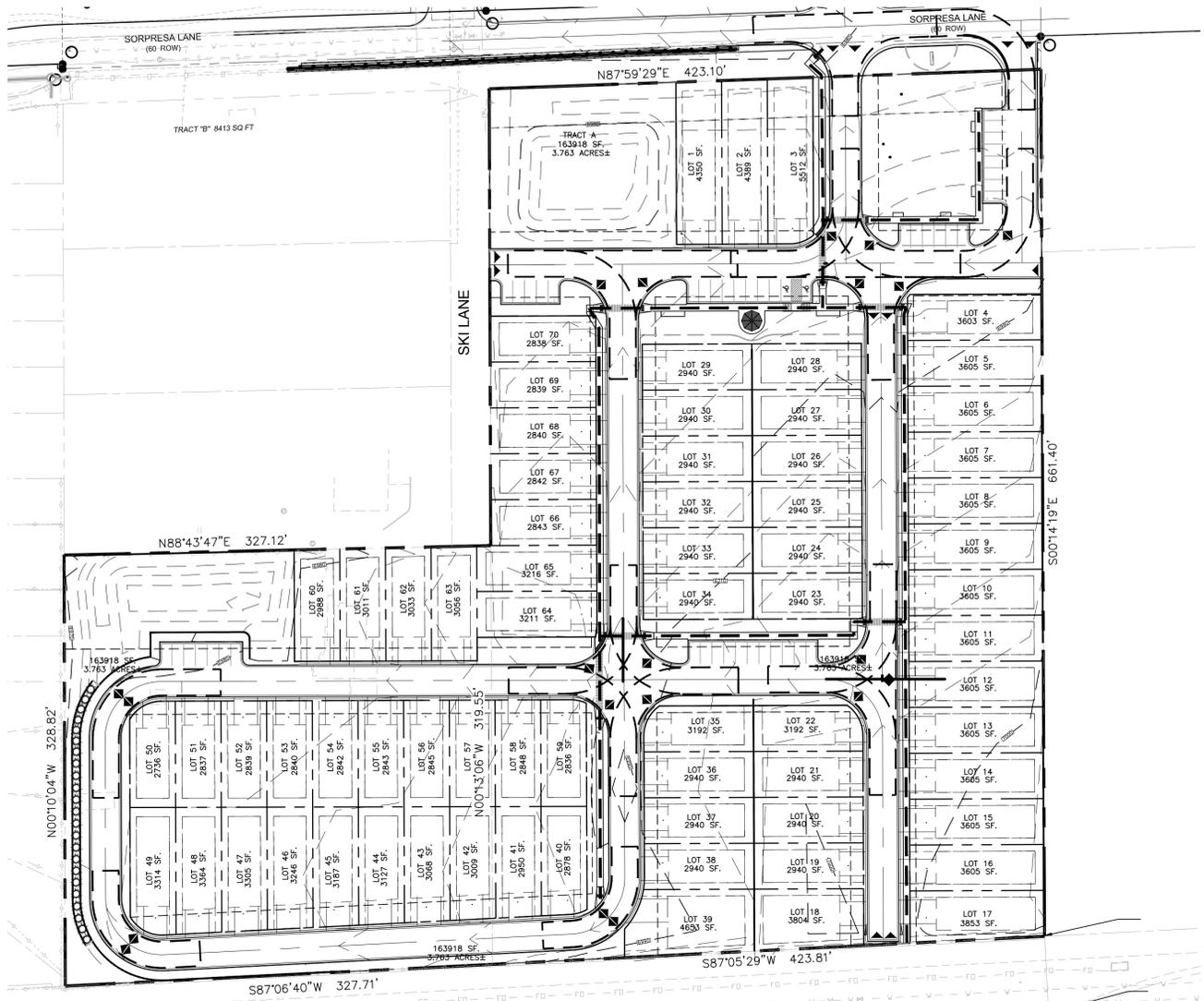
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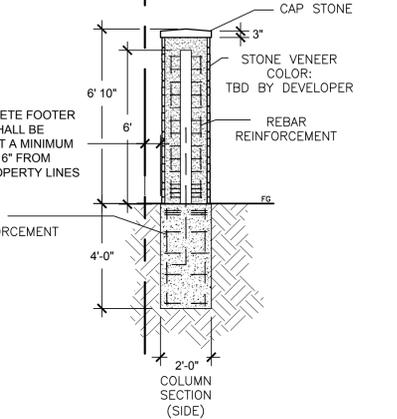
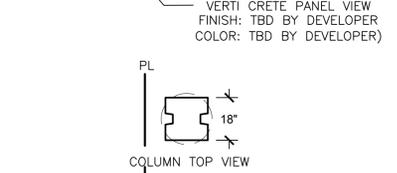
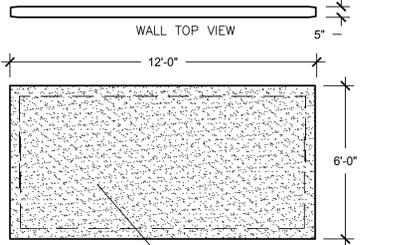
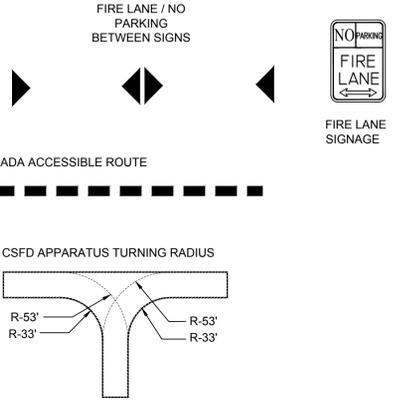
SHEET NUMBER
S-1
2 OF 13 SHEETS
CITY FILE NUMBER:
AR-XX-19-XXXXX

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LEGEND

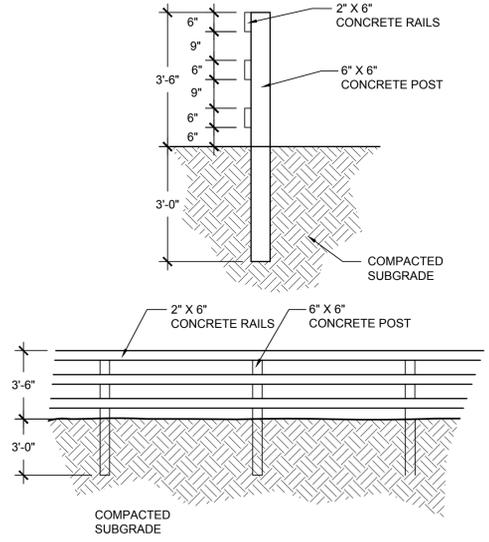
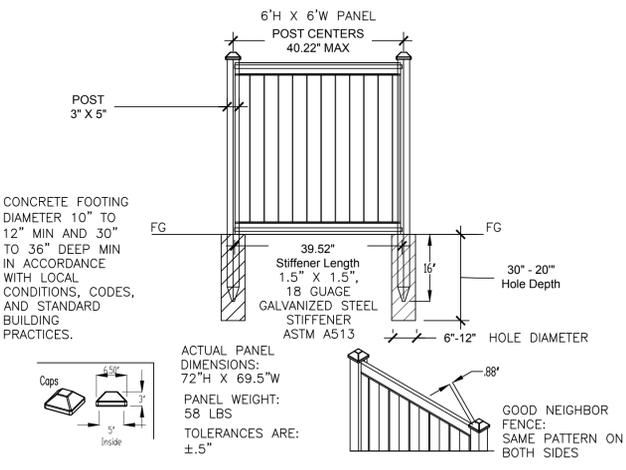
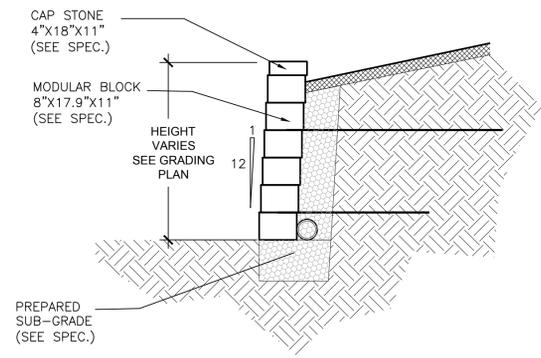
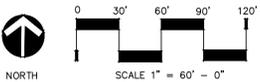


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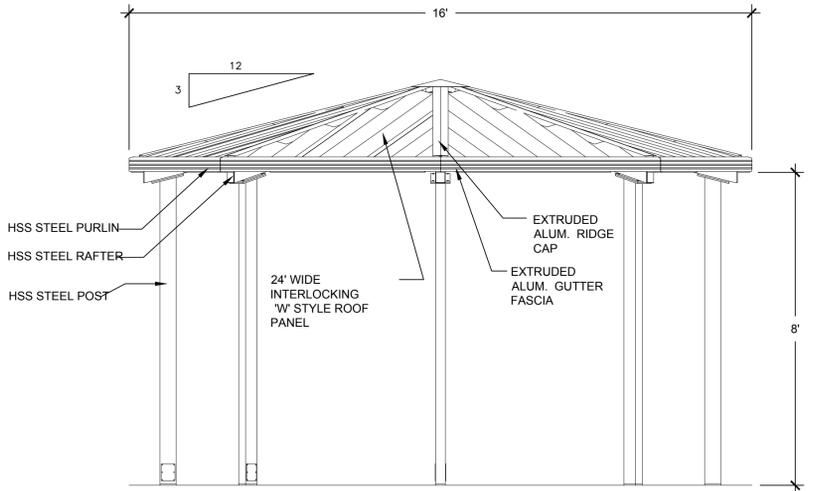
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ADA ACCESSIBLE ROUTE / CSFD TURNING RADIUS



NOTES:
1. COLOR OF RAILS & POST TO BE DETERMINED BY DEVELOPER

A
S-2 6' HIGH LANDSCAPE OPAQUE SCREEN WALL NTS



B
S-2 MODULAR BLOCK RETAINING WALL NTS

C
S-2 6' HIGH VINYL FENCE NTS

D
S-2 3 RAIL CONCRETE FENCE NTS

E
S-2 GAZEBO NTS

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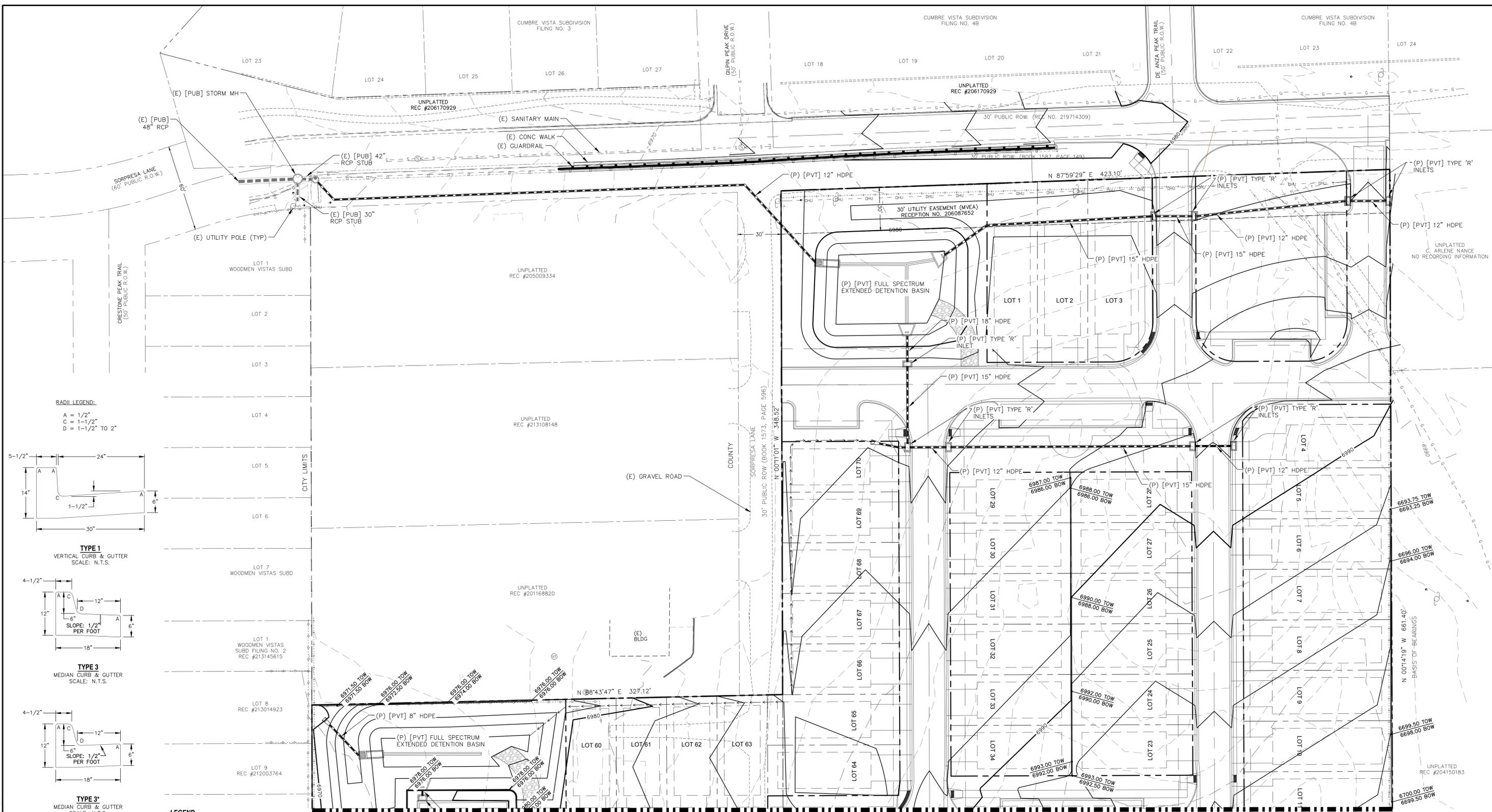
SITE NAME:
SITE DETAILS
PROJECT NAME:
SORPRESA RESIDENTIAL COMMUNITY
6435 SORPRESA LANE
COLORADO SPRINGS, CO 80904

BY	DATE	REVISIONS

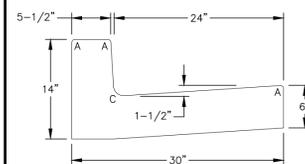
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STAMPS/ENDORSEMENTS

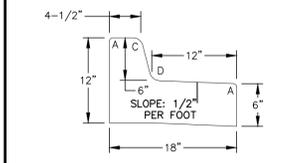
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S-2
3 OF 13 SHEETS
CITY FILE NUMBER:
AR-XX-19-XXXX



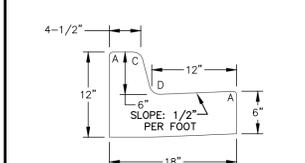
RADII LEGEND:
 A = 1/2"
 C = 1-1/2"
 D = 1-1/2" TO 2"



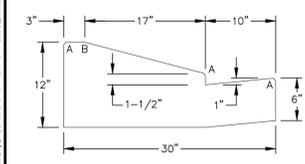
TYPE 1
 VERTICAL CURB & GUTTER
 SCALE: N.T.S.



TYPE 3
 MEDIAN CURB & GUTTER
 SCALE: N.T.S.

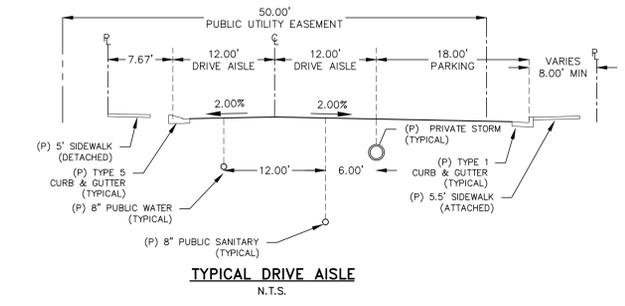
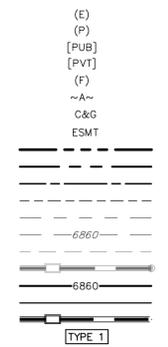


TYPE 3'
 MEDIAN CURB & GUTTER
 SCALE: N.T.S.

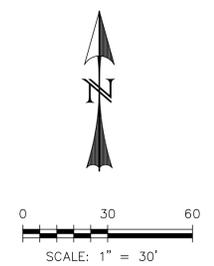


TYPE 5
 RAMP CURB & GUTTER
 SCALE: N.T.S.

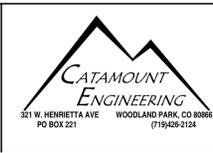
- LEGEND**
- (E) EXISTING
 - (P) PROPOSED
 - [PUB] PUBLIC
 - [PVT] PRIVATE
 - (F) FUTURE
 - EXISTING ASPHALT
 - CURB AND GUTTER
 - EASEMENT
 - BOUNDARY
 - RIGHT-OF-WAY
 - LOT LINE
 - EASEMENT
 - SETBACK
 - (E) CONTOUR, INDEX
 - (E) CONTOUR
 - (E) STORM SEWER, INLET, MH
 - (P) CONTOUR, INDEX
 - (P) CONTOUR
 - (P) STORM SEWER, INLET, MH
 - CURB TYPE CALL-OUT



MATCHLINE - SEE SHT 5



PREPARED FOR:
CHALLENGER HOMES
 8605 EXPLORER DRIVE
 #250 COLORADO SPRINGS, CO 80920
 (719) 598-5192

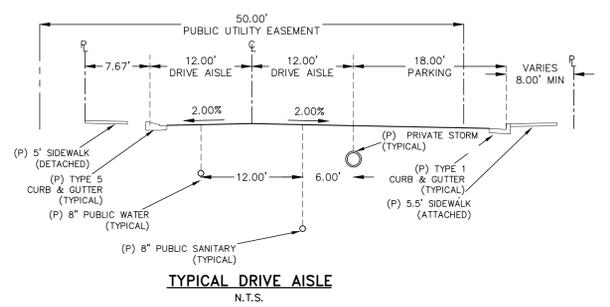
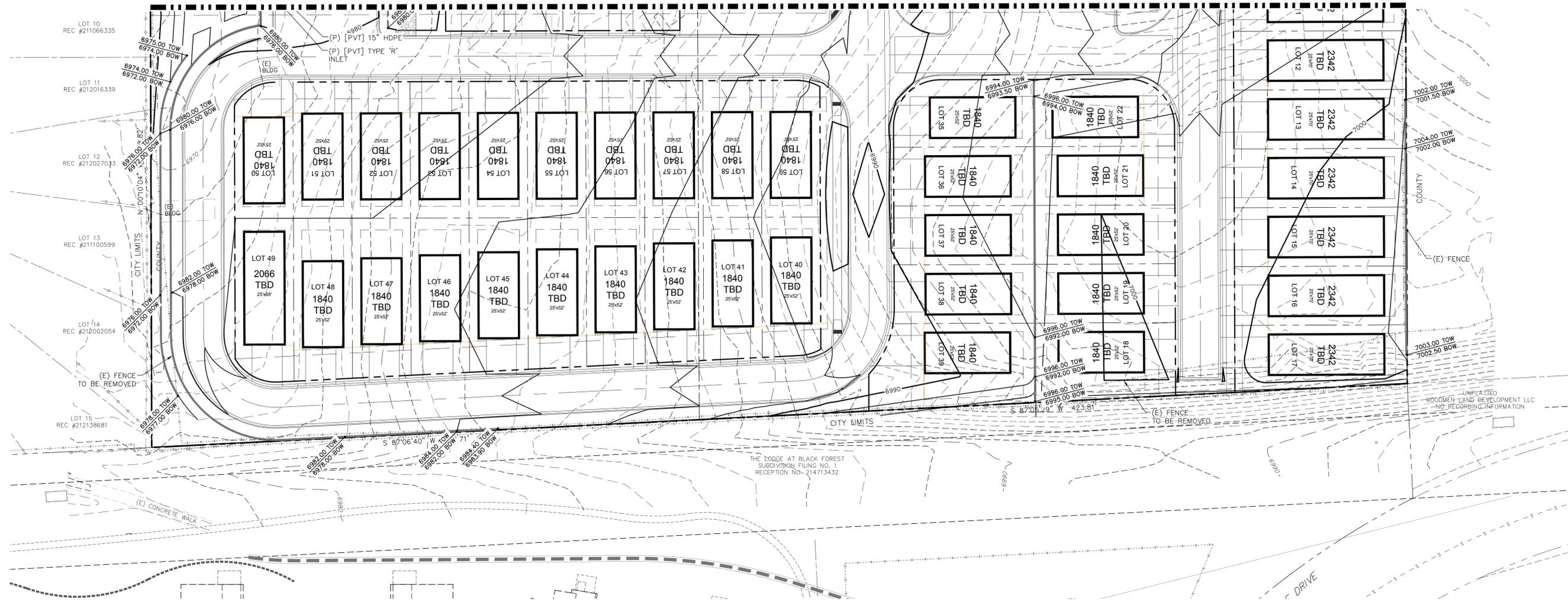


SOPRESSA EAST ADDITION
 FILING NO. 1
PRELIMINARY
GRADING PLAN

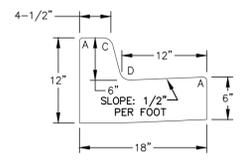
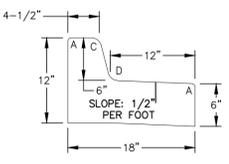
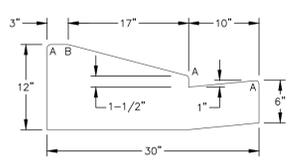
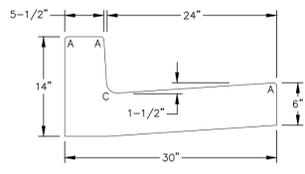
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SCALE: 1" = 30'	DATE: 10/01/19
JOB NUMBER: 18-169	SHEET: 4 OF 13

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MATCHLINE - SEE SHT 4



- LEGEND**
- EXISTING (E)
 - PROPOSED (P)
 - PUBLIC [PUB]
 - PRIVATE [PVT]
 - FUTURE (F)
 - EXISTING ASPHALT ~A~
 - CURB AND GUTTER C&G
 - EASEMENT ESMT
 - BOUNDARY - - - - -
 - RIGHT-OF-WAY - - - - -
 - LOT LINE - - - - -
 - EASEMENT - - - - -
 - SETBACK - - - - -
 - (E) CONTOUR, INDEX - - - - -
 - (E) CONTOUR - - - - -
 - (E) STORM SEWER, INLET, MH - - - - -
 - (P) CONTOUR, INDEX - - - - -
 - (P) CONTOUR - - - - -
 - (P) STORM SEWER, INLET, MH - - - - -
 - CURB TYPE CALL-OUT [TYPE 1]



RADII LEGEND:
 A = 1/2"
 C = 1-1/2"
 D = 1-1/2" TO 2"

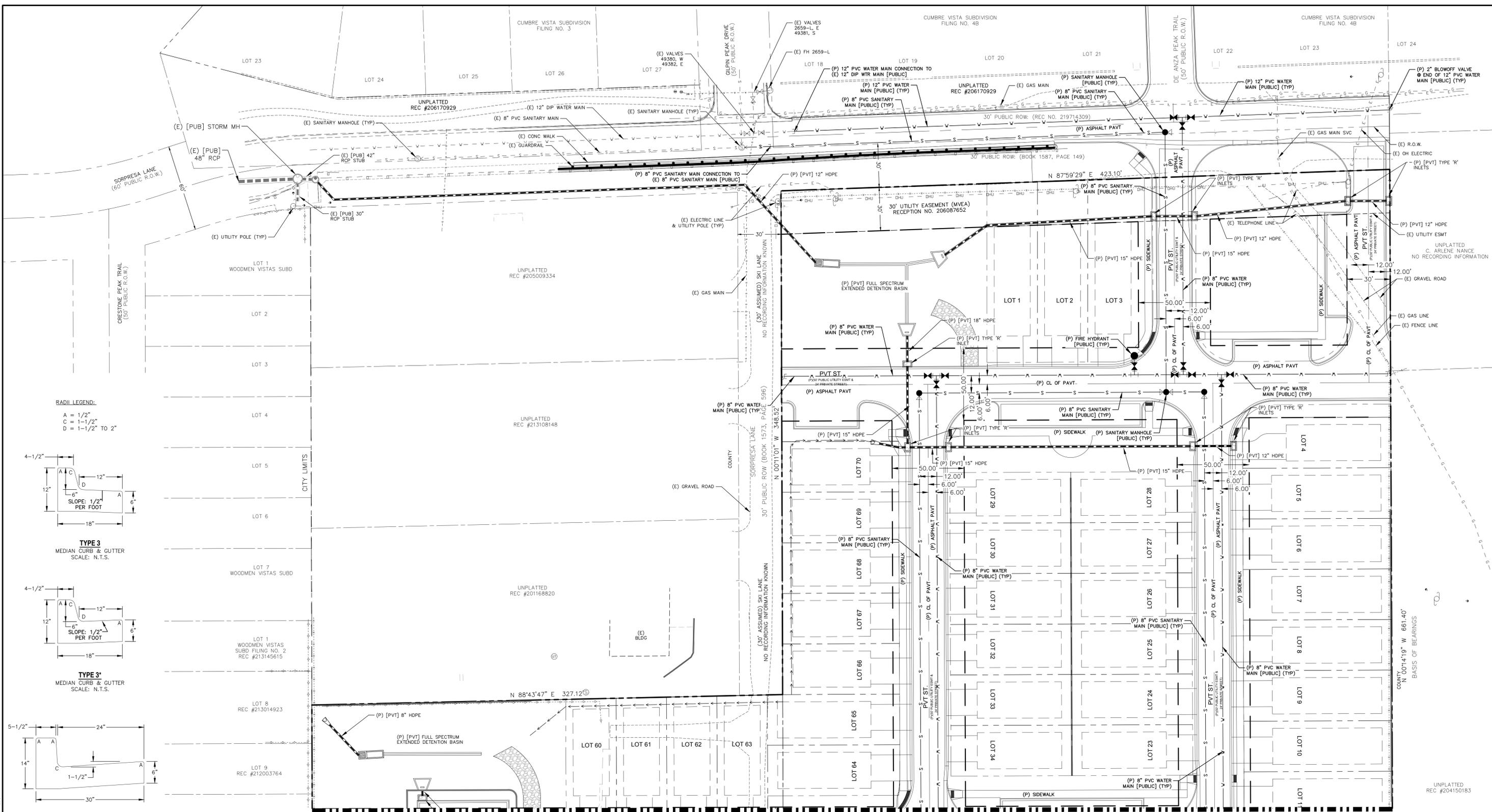
PREPARED FOR:
CHALLENGER HOMES
 8605 EXPLORER DRIVE
 #250
 COLORADO SPRINGS, CO 80920
 (719) 598-5192



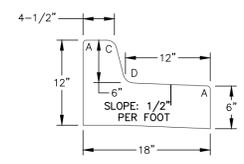
SOPRESSA EAST ADDITION
 FILING NO. 1
PRELIMINARY
 GRADING PLAN

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SCALE: 1"=30'	DATE: 10/01/19
JOB NUMBER: 18-169	SHEET: 5 OF 13

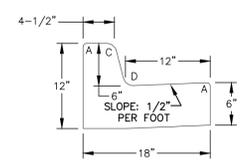
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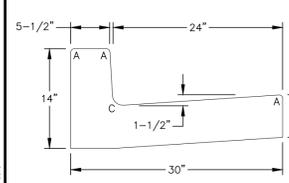
RADII LEGEND:
 A = 1/2"
 C = 1-1/2"
 D = 1-1/2" TO 2"



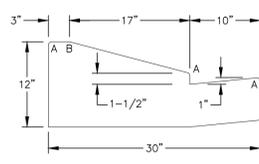
TYPE 3
 MEDIAN CURB & GUTTER
 SCALE: N.T.S.



TYPE 3
 MEDIAN CURB & GUTTER
 SCALE: N.T.S.



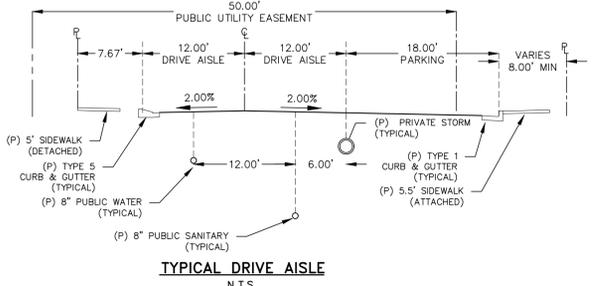
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 VERTICAL CURB & GUTTER
 SCALE: N.T.S.



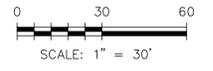
TYPE 5
 RAMP CURB & GUTTER
 SCALE: N.T.S.

LEGEND

- | | | | |
|---------------------|-------|--------------------------------|-----|
| EXISTING | (E) | BOUNDARY | --- |
| PROPOSED | (P) | RIGHT-OF-WAY | --- |
| PUBLIC | [PUB] | LOT LINE | --- |
| PRIVATE | [PVT] | EASEMENT | --- |
| FUTURE | (F) | SETBACK | --- |
| EXISTING ASPHALT | ~A~ | (E) SANITARY MAIN, MH | --- |
| C&G CURB AND GUTTER | C&G | (E) WATER MAIN, BOV, VALVE, FH | --- |
| EASEMENT | ESMT | (E) UG ELECTRIC | --- |
| FIRE HYDRANT | FH | (E) UG TELEPHONE | --- |
| MANHOLE | MH | (P) SANITARY MAIN, MH | --- |
| PROTECT-IN-PLACE | [PIP] | (P) SANITARY SEWER SERVICE | --- |
| SANITARY | SAN | (E) STORM SEWER, INLET, MH | --- |
| SEWER | SWR | (P) STORM SEWER, INLET, MH | --- |
| STORM | STM | (P) WATER MAIN, BOV, VALVE, FH | --- |
| WATER | WTR | (P) WATER SERVICE | --- |



TYPICAL DRIVE AISLE
 N.T.S.



PREPARED FOR:
GOODWIN KNIGHT
 8605 EXPLORER DRIVE
 #250
 COLORADO SPRINGS, CO 80920
 (719) 598-5192

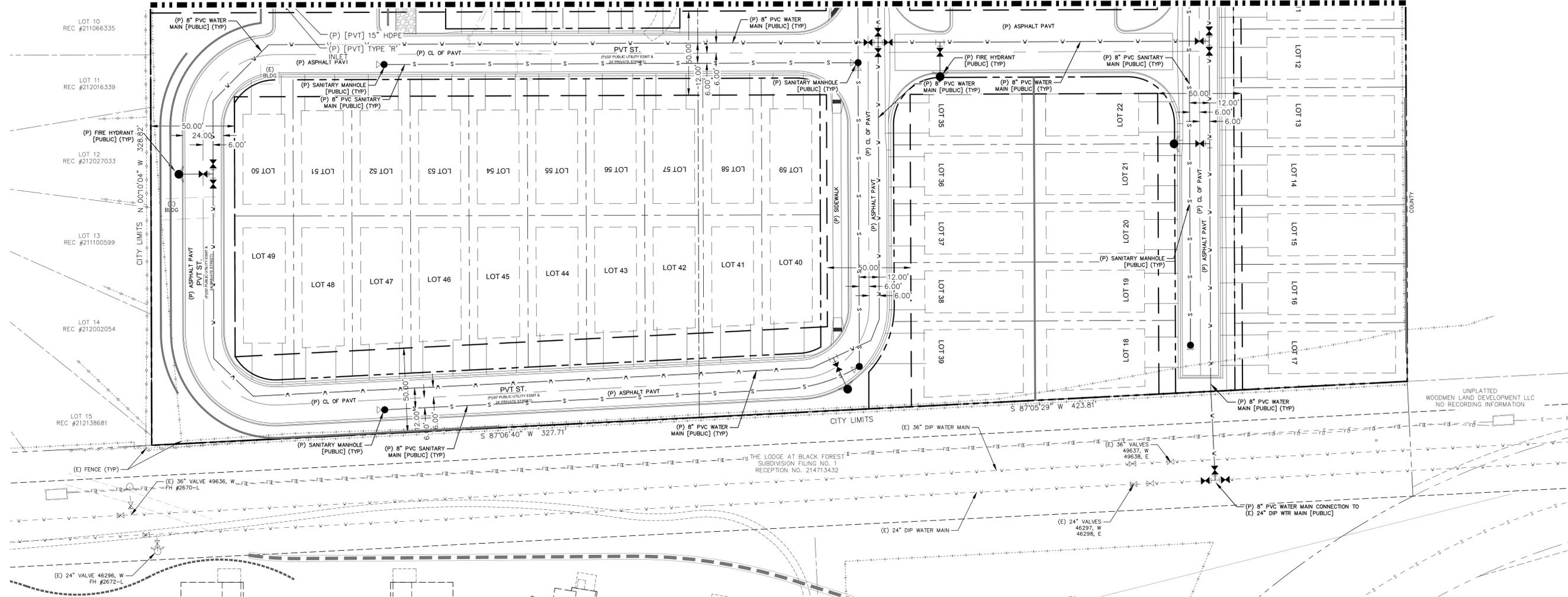


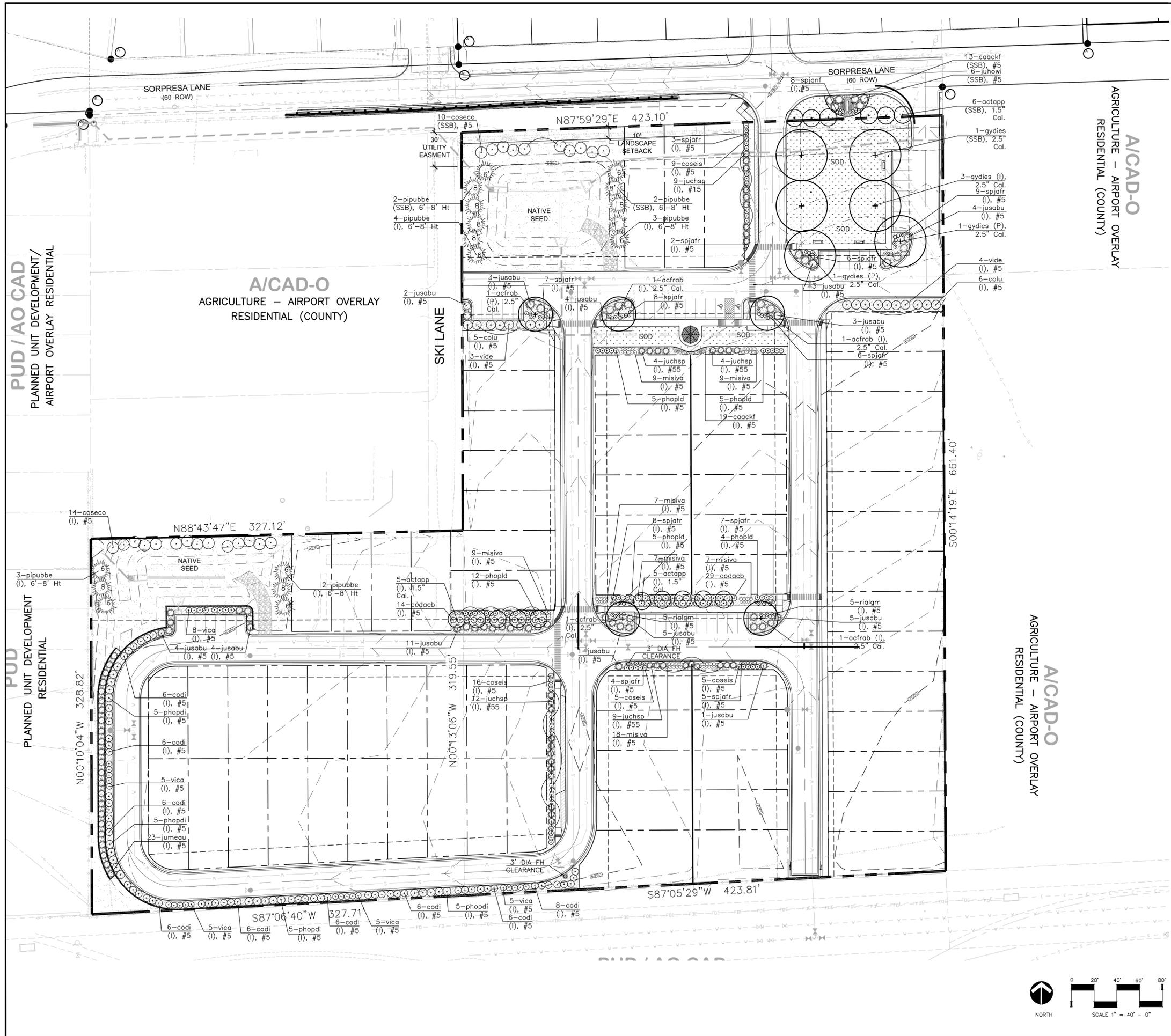
SOPRESSA EAST ADDITION
 FILING NO. 1
PRELIMINARY UTILITY 7
PUBLIC FACILITY PLAN

CHECKED BY: DLM	DRAWN BY: DBM
SCALE: 1"=30'	DATE: 10/01/19
JOB NUMBER: 18-169	SHEET: 6 OF 13

MATCHLINE - SEE SHT 7

MATCHLINE - SEE SHT 6





GROUND PLANE LEGEND

- 

SOD: INDICATES IRRIGATED SOD AREAS.
14,031 S.F.
- 

SHRUB BEDS: INDICATES SHRUB BEDS WITH ROCK MULCH. SHRUBS IN BEDS ARE TO HAVE AN 18" DIAMETER (OR 1 1/2 X ROOT BALL) WOOD MULCH RING AT THE BASE OF THE PLANT. TREES IN BEDS ARE TO HAVE A 3-4" DIAMETER (OR 2 X ROOT BALL) WOOD MULCH RING AT THE BASE OF THE TREE. SEE SHEET LS-4&5 FOR DETAILS AND SPECIFICATIONS OF WOOD & ROCK MULCH MATERIALS.
20,844 S.F.
- 

NATIVE SEED AREAS: INDICATES NATIVE SEED AREAS. IRRIGATED FOR ESTABLISHMENT PURPOSES ONLY.
34,070 S.F.

DISCLAIMER:
THE INFORMATION, IDEAS, DESIGNS, AND DETAILS SHOWN ON THIS SHEET ARE FOR THE EXPRESS USE OF THE CLIENT AND PROJECT LISTED ON THIS SHEET ONLY. ANY RE-USE WITHOUT THE EXPRESS WRITTEN CONSENT OF NAMED PARTIES OR ITS SUB-CONTRACTORS IS EXPRESSLY FORBIDDEN.
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COLORADO SPRINGS, CO 80920
719.598.5192

CONSULTANT:
Land Patterns, Inc.
Landscape Architecture & Planning
1000 W. WASHINGTON ST., SUITE 100
DENVER, CO 80202
719.733.1111

SHEET NAME: FINAL LANDSCAPE PLAN
PROJECT NAME: SORPRESA RESIDENTIAL COMMUNITY
6435 SORPRESA LANE
COLORADO SPRINGS, CO 80904

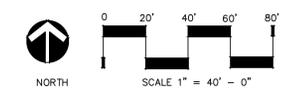
DATE	BY	REVISIONS

DRAWN BY: DTM
DATE: 10-07-19
STAMPS/ENDORSEMENTS:

SHEET NUMBER: L-1
8 OF 13 SHEETS
CITY FILE NUMBER: AR-XX-19-XXXX

THIS DOCUMENT IS FOR CITY REVIEW AND DEVELOPMENT PLAN APPROVAL ONLY.
THIS DOCUMENT IS NOT A CONSTRUCTION DOCUMENT UNLESS STAMPED BY THE LANDSCAPE ARCHITECT OF RECORD
AN IRRIGATION PLAN TO BE SUBMITTED FOR REVIEW WITHIN 90 DAYS SUBSEQUENT TO RECEIVING A BUILDING PERMIT. THE PLAN MUST BE APPROVED PRIOR TO THE INSTALLATION OF ANY IRRIGATION COMPONENTS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

DISCLAIMER:
IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, DESIGNER SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES; OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAM; OR FOR PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH DESIGNER'S DOCUMENTS.



Appendix E
SCHEMATIC LANDSCAPE DIAGRAM

Submitted in conformance with Policy 311

NAME OF PROJECT:
**SORPRESA RESIDENTIAL DEVELOPMENT
Phase 1 & 2**
DATE:
OCTOBER 2019

CLIMATE ZONE
(from Figure 4 of Landscape Policy Manual) – circle one:
FOOTHILLS & PLAINS

FOOTHILLS **FOOTHILLS & PLAINS** PLAINS

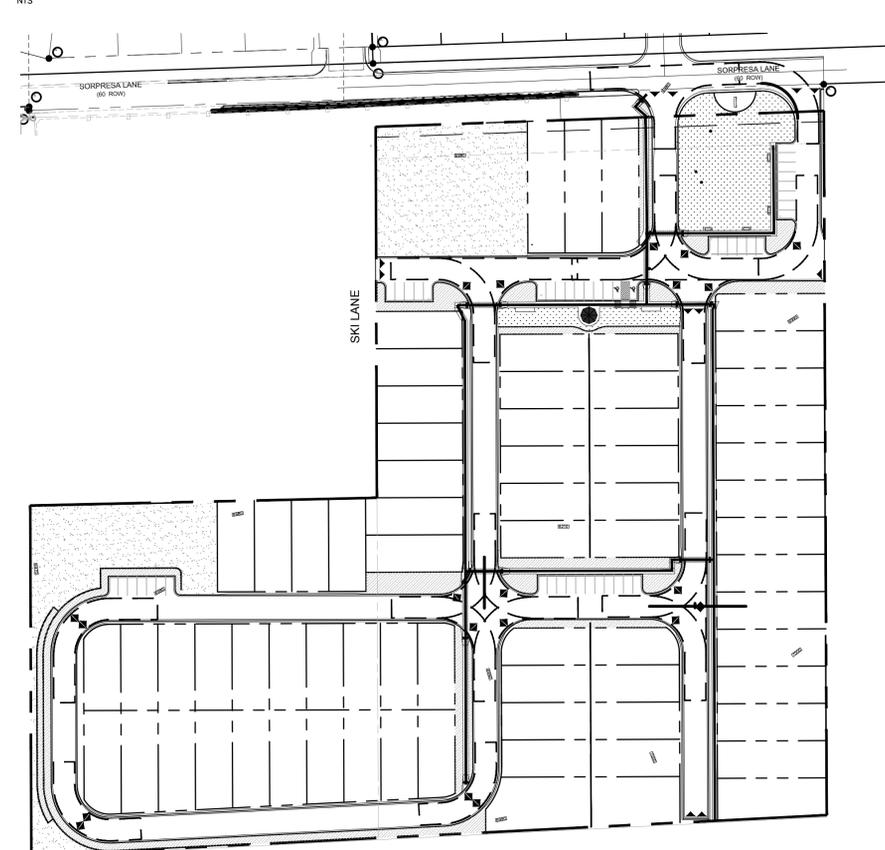
- PLANT COMMUNITIES**
(to be labeled by number(s) on diagram):
- Semi-arid Shrublands
 - Pinyon-Juniper Woodlands
 - Prairie
 - Lower Elevation Riparian
 - Foothill Shrublands
 - Ponderosa Pine Forest
 - Upper Elevation Riparian
 - Douglas Fir Forest
- HYDROZONES**
(supplemental water – to be labeled by letter(s) on diagram):
- V (D)** – Very Low (0 to 7 inches per year)
L (A) – Low (7 to 15 inches per year)
M (S) – Moderate (15 to 25 inches per year)
H (W) – High (more than 25 inches per year)

S
SOD: INDICATES IRRIGATED SOD AREAS.
14,031 S.F.

2-8 D/L/S
SHRUB BEDS: INDICATES SHRUB BEDS WITH ROCK MULCH. SHRUBS IN BEDS ARE TO HAVE AN 18" DIAMETER (OR 1 1/2 X ROOT BALL) WOOD MULCH RING AT THE BASE OF THE PLANT. TREES IN BEDS ARE TO HAVE A 3-4' DIAMETER (OR 2 X ROOT BALL) WOOD MULCH RING AT THE BASE OF THE TREE. SEE SHEET LS-4&5 FOR DETAILS AND SPECIFICATIONS OF WOOD & ROCK MULCH MATERIALS.
20,844 S.F.

L
NATIVE SEED AREAS: INDICATES NATIVE SEED AREAS. IRRIGATED FOR ESTABLISHMENT PURPOSES ONLY.
34,070 S.F.

HYDROZONE MAP



Site Category Calculations									
Project Name					Sorpresa Residential Development				
Date		10/7/19			Climate Zone		Prairie/Foothills		
Project Number		18015			Property Zone		PBC		
Landscape Setbacks									
Plant Label Code	Street Name/Zone Boundary	Street Classification	Width (in ft.)	Linear Footage	Tree / Feet	No. Trees			
SSB	Sorpresa Lane	Non Arterial	10'	423'	1/30	14	11		
Motor Vehicle Lots (Code Section / Policy 321 & 317 (pp. 31 & 38))									
Plant Label Code	No. of Vehicle Spaces Provided	Shade Trees (1/15 sp)	Vehicle Lot Frontages	Length of Frontage (ft.) (excluding driveway)	2/3 Length of Frontage (ft.)				
P	48	3	3						
Internal Landscaping (Code Section / Policy 322 & 317 (pp. 31 & 40))									
Plant Label Code	Net Site Area (s.f.) (less Public ROW)	Percent Minimum Internal Area (%)	Internal Area (s.f.)	Internal Trees (1/500 s.f.)	Required	Provided			
I	387,248	15%	58,087	68,945	116	68			
Landscape Buffers & Screens (Code Section / Policy 323 & 317 (pp. 31 & 41))									
Plant Label Code	Street Name or Property Line	Width (in ft.)	Linear Footage	Buffer Trees (1/200)	Evergreen Trees				
S		20'	20'	75%	75%				
Additional Plants									
X	Additional plants not required to be installed								
qp	Shrubs meeting ground plane requirements								

CONTRACTOR RESPONSIBILITY:

CONSTRUCTION DOCUMENTS INCLUDE CONSTRUCTION PLANS AND PROJECT SPECIFICATIONS. CONTRACTOR IS RESPONSIBLE FOR READING ALL DOCUMENTS ASSOCIATED WITH THE INSTALLATION OF IRRIGATION AND PLANT MATERIAL PRIOR TO COMMENCING INSTALLATION (INCLUDING CITY INSTALLATION AND PLANTING GENERAL NOTES REQUIREMENTS – THIS SHEET).

CONTRACTOR IS RESPONSIBLE FOR CONTACTING PROJECT LANDSCAPE ARCHITECT OR IRRIGATION DESIGNER WITH QUESTIONS REGARDING DISCREPANCIES WITHIN THESE DOCUMENTS. REQUEST FOR SUBSTITUTIONS OR RELOCATION OF MATERIALS MUST BE AUTHORIZED BY THE LANDSCAPE ARCHITECT AND/OR IRRIGATION DESIGNER OF RECORD.

MATERIAL INSPECTIONS:

1. LANDSCAPE INSPECTION AND APPROVAL:

PRE-DELIVERY INSPECTION: ALL PLANT MATERIALS SHALL BE AVAILABLE AT ONE SITE FOR VISUAL INSPECTION PRIOR TO INSTALLATION. INSPECTIONS OF NEW PLANTS ARE PRIMARILY FOR QUALITY, SIZE AND VARIETY, BUT OTHER REQUIREMENTS ARE NOT WAIVED EVEN THOUGH VISUAL INSPECTION RESULTS IN APPROVAL. PLANTS MAY BE INSPECTED WHERE GROWING, BUT INSPECTION AT THE PLACE OF GROWTH SHALL NOT PRECLUDE THE RIGHT OF REJECTION AT THE SITE. REJECTED PLANTS AND OTHER MATERIALS SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH SUITABLE SPECIMENS.

THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO FINAL ACCEPTANCE OF ANY AND ALL MATERIALS AND PLANTS WHICH, IN HIS/HER OPINION, FAIL TO MEET SPECIFICATIONS.

2. IRRIGATION INSPECTIONS: NOTIFICATION FOR IRRIGATION SYSTEM INSPECTION WHILE TRENCH IS OPEN SHALL BE GIVEN 2 WEEKS IN ADVANCE OF REQUESTED INSPECTION DATE

AFFIDAVIT INSPECTIONS:

1. LANDSCAPE ARCHITECT AND/OR IRRIGATION DESIGNER OF RECORD SHALL BE NOTIFIED AT LEAST TWO WEEKS PRIOR TO CLIENT SEEKING OCCUPANCY PERMIT FOR AFFIDAVIT INSPECTION. SEE CITY OF COLORADO SPRINGS REQUIREMENTS, INSTALLATION, VERIFICATION AND DEFERRAL – CODE SECTION 309 – (THIS SHEET)

GENERAL PLANTING NOTES:

1. Exact locations, elevations and configurations of utilities, structures, existing plants and natural features are the responsibility of the user and shall be field verified prior to any work, including material orders. Caution shall be exercised during all field work: surveying, locating, hand digging, pilot holes and/or other appropriate methods may be required for subsurface work. Contact local utilities locating services at least 2 business days (not including the day of the actual notice) prior to excavation work. Utility Notification Center of Colorado 12600 W. Colfax Ave., Suite B-310, Lakewood, CO 80215 (800)-922-1987.

2. TOPSOIL STOCKPILING: See Grading Plan for stockpiling, mound soil no higher than 1.3 m (4 feet) high for less than 1 year and preferably less than 6 months. Cover (SEE NATIVE SEED MIX) to prevent soil erosion and contamination by weeds.

3. WEED CONTROL: Apply pre/post emergent herbicides per manufactures recommendations (see specifications for manufacturer's products). Prepare all sod areas and planting beds before planting by applying herbicide as per label directions to weed or grass growth in planting areas on site. Do not proceed with landscape installation until weed growth has been controlled.

4. SOIL AMENDMENTS:

Spread the following amendments to ALL landscape areas. Amendments are per the submitted soils report and approved by the City.

- Add 3 cu. yds. Premium Compost III (an A-1 Organics Product or an approved equal) per 1,000 s.f.
- Add 3 lb. Nitrogen (N) per 1,000 s.f.
- Add 4 lbs. Phosphorus (P) per 1,000 s.f.
- Add 2 oz. zinc (Zn) per 1000 s.f.
- Iron 4 oz (Fe) per 1000 s.f.

Prior to spreading amendments rip (till) ALL existing soil to a depth of eight (8) inches minimum (see project specifications) All parking lot islands shall be tilled and soil amendments added to a depth of 30" (see project specifications).

Spread and till soil amendments to a depth of 8" in all landscape areas

5. TREE & SHRUB PIT BACKFILL MIXTURE: shall be 70% native soil and 30% organic mix.

6. IRRIGATION: An automatic irrigation shall be installed. All trees and shrubs in planting beds shall be drip irrigated. Fescue Sod and native seed areas are to be irrigated by pop-up and/or spray heads. Native seed areas will be irrigated for establishment purposes only. Rain sensors will be required.

AN IRRIGATION PLAN SHALL BE SUBMITTED BY A QUALIFIED IRRIGATION DESIGNER FOR REVIEW WITHIN 90 DAYS SUBSEQUENT TO RECEIVING A BUILDING PERMIT. THE PLAN MUST BE APPROVED PRIOR TO THE INSTALLATION OF ANY IRRIGATION COMPONENTS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

7. PLANT LIST: Codes for the species (scientific name), size, and quantity required to complete the planting, are listed and indicated by symbol in the drawings. In the event discrepancies occur between information indicated in the schedule and information indicated by symbol on the drawings, the information indicated by symbol on the drawings shall govern.

8. FORM: All plants shall conform to the ANSI Z60.1, and Colorado Nursery Act. Provide plant material well formed, true to species or variety, free from injuries and disfigurement, unless otherwise approved by the Landscape Architect. Trees shall be fully branched in proportion to width and height. Trees, both deciduous and evergreen, shall have relatively straight trunks and one central leader (trees shall not be "poled"), unless otherwise approved by the Landscape Architect. Shrubs shall be provided that have the height and number of primary stems as recommended by ANSI Z60.1. An acceptable plant shall be well shaped with sufficient well-spaced side branches recognized by the ANLA (American Nurserymen and Landscaper Association) as typical for the variety grown in the region.

9. HEALTH: Provide healthy plant material. Plant material shall be free from disease, defects such as disfiguring knots, sunscald, windburn or bark abrasions, infestations or injury and have a vigorous root system. Root balls shall be free of weeds. If necessary, spray plant material at time of installation and periodically as required to exclude infestation until final acceptance.

10. SIZE: The minimum acceptable sizes of plants measured before pruning with branches in normal position, shall conform to measurements as specified in the plant list furnished. Height and spread dimensions refer to main body of plant and not from branch or root tip to tip. Measure trees and shrubs with branches in normal position. Measure trunk caliper 6" above ground up to and including 4" caliper size and 12" above ground for larger sizes. The sizes identified are minimum sizes; plant material smaller than specified is unacceptable. Plants larger than specified may be used, if approved, at no additional cost.

11. PRUNING: All plants shall not have been pruned after selection by the Landscape Architect or Contractor at either the supplier's nursery or the Contractor's work site, except as otherwise provided herein. (See Specs).

12. IDENTIFICATION: All plant materials shall be identified by means of a grower's label affixed to the plant. The grower's label shall give the data necessary to indicate conformance to specifications. Use durable waterproof labels with water-resistant ink which will remain legible for at least 60 days.

13. SUBSTITUTIONS: No substitutions accepted, except with the written permission of the Landscape Architect or owners authorized representative.

14. STEEL EDGER: All edger shall be 14 gauge – 4" high by 3/8" thick by 10' lengths. Color shall be green.

14. TREE STAKES & GUYS: For deciduous trees: Lodgepole Pine 1-1/2"-2" diameter post, 8' long with bottom end pencil pointed. For evergreen trees, steel "T" posts, 30" bottom portion with anchor intact. Guying Material: ArborTie manufactured by Deep Root Partners, L.P. (800) 458-7668 or approved equal. Submit sample to Owner's Authorized Representative for approval a minimum of two (2) weeks prior to delivery on-site. Color: Green.

15. TREE WRAP: Standard nursery crepe tape not less than 4" wide, designed to prevent winter sun-scaled. Secured every 24" by taping. Do not use duct tape.

16. ROCK MULCH: In areas noted as ROCK MULCH, apply 3/4" size of granite rock as indicated on drawings over geo-textile fabric layer. Place rock in entire designated area to minimum depth of 3"-4".

17. COBBLE MULCH: In areas noted as COBBLE MULCH, apply 2"-4" size of cobble/river rock as indicated on drawings over geo-textile fabric layer. Place cobble in entire designated area to minimum depth of 12" (see project specifications).

Individual trees installed in cobbled shrub beds shall have a wood mulch ring 3' to 4' in diameter. Individual shrubs installed in cobbled shrub beds shall have a wood mulch ring 1 1/2 the size of the rootball.

18. WOOD MULCH: Where indicated on the plans for areas designated to receive WOOD Mulch all planting, including individual plant wood mulch rings shall be mulched with three inches (3"-4") of shredded wood cedar mulch. Cedar mulch shall be a fibrous material, not chipped or chunks, (see specs for acceptable type), and watered in after installation.

17. BOULDERS: Landscape Boulders shall be Granite Cottonwood Boulders, 2'-4" in diameter as supplied by C&C Sand Co. or approved equal.

19. GEO-TEXTILE FABRIC: Underlayment fabric for weed barrier – USED IN ROCK & COBBLE MULCH DESIGNATED AREAS ONLY – shall have a nominal weight of 3.5 oz. per square yard with a permeability of 0.7 cm/sec. minimum (see project specifications).

20. EDGER: All edger shall be 14 gauge – 4" high by 3/8" thick by 10' lengths. Color shall be green.

21. SOD: All areas designated as SOD shall meet the following conditions: A Colorado grown mix having a healthy, vigorous root system that has been regularly watered, mowed, fertilized and sprayed for weeds in the sod nursery with the following mixture of grasses or approved equal:

- 100% Thermal Blue Texas Hybrid
- Recommended Blend: Survivorist Tall Fescue
- 47% Grande II (Tall Fescue)
- 47% SR850 (Tall Fescue)
- 6% Spitfire (Texas hybrid bluegrass)

22. NATIVE SEED: All areas designated as NATIVE SEED shall meet the following conditions: A Colorado grown mix having a healthy, vigorous root system that has been regularly watered, mowed, fertilized and sprayed for weeds in the sod nursery with the following mixture of grasses or approved equal:

- Low Grow Mix as supplied by Arkansas Valley Seed, Inc.:
- 30% Ephraim Crested Wheatgrass
- 25% Sheep Fescue
- 20% Perennial Rye
- 15% Chewings Fescue
- 10% Canada Bluegrass
- Seeding Rate (new seed)
- Dryland: 20-25 lbs per acre
- Irrigated: 40 lbs per acre

23. NETTING/EROSION CONTROL BLANKET: Erosion control blankets for native seed areas with slopes 3:1 or steeper shall use BioNet S150 BN – Double Net Straw Blanket with a 1.60 lbs per square foot permissible shear stress (FHWA FP-03 category: Type 2.D). Netting shall be 100% biodegradable jute fiber (or approved equal), application shall be per the manufacturer's specifications.

**CITY OF COLORADO SPRINGS REQUIREMENTS
INSTALLATION, VERIFICATION, AND DEFERRAL**

Code Section 309. (Paraphrased)

Installation

All landscaping, irrigation system and other site work shown on the approved landscape and irrigation plans shall be properly installed and stabilized against soil erosion and/or financially assured, prior to issuance of a Certificate of Occupancy or prior to issuance of a building permit in the case of a double frontage lot streetscape requirement or common area (Section 305, B.2&3 of this Part), or prior to final development plan approval for the conversion of vacant land to nonresidential use that does not involve the construction of a structure.

Required Verification

The owner or developer shall provide an inspection affidavit executed by both the qualified landscape plan designer and the qualified irrigation plan designer, which certifies that all components have been properly installed in conformance with the approved plans. In lieu of the provision of a properly executed inspection affidavit, City Planning shall inspect and verify the initial landscape and irrigation system installation subject to compliance with Section 310.B of this Part.

Deferral of Installation

In cases where all or some portion of the required landscaping, irrigation system or other site work can not be installed due to seasonal conditions that would jeopardize the health of plant materials or prohibit the installation of the irrigation system or plant materials; or due to the unavailability of plant material, or to construction activities, the owner or developer may make the following arrangements in order to secure a Certificate of Occupancy.

- An acceptable financial assurance shall be posted with the Development Review Manager. Acceptable financial assurances shall include cash, certificates of deposit, irrevocable letters of credit, performance bonds and escrow accounts. Said assurance shall be accompanied by a description of the uncompleted landscaping, irrigation system and/or site work and an estimate of the cost required to complete the same. The assurance shall be an amount equal to the cost estimate.
- The owner or developer shall agree in writing that he or she, or any successors or assigns, shall complete the required landscaping, irrigation system, and/or site work within one year or less from the date of issuance of the Certificate of Occupancy.
- The financial assurance shall be released once all of the required landscaping, irrigation system, and/or site work has been installed, and verified in compliance with Section 309.C of this Part.

Policy 309.

- Where seeding is permitted, it shall be financially assured and the assurance shall not be totally released until the seeding is considered to be established in a healthy state by City Planning.
- A functional test of the irrigation system shall be performed by the installer and verified by the qualified designer, or be verified by City Planning in conformance with Section 3-3-31 0.B of the Landscape Code.
- Financial assurances shall contain the basic provisions of the acceptable forms for financial assurances available from City Planning.
- Installation Standards:
 - In motor vehicle lot planting areas compacted by site grading, soil shall be structurally renovated (tiled), or removed and replaced, to a depth of thirty inches (30").
 - All plants shall meet or exceed standards established by the Colorado Nursery Act, and the "American Standard of Nursery Stock". All plant shall be typical of their species, healthy, free of disease, insect pests and mechanical injuries, have adequate root systems, and otherwise be consistent with the intent of the Landscape Code and Landscape Policy Manual.
 - Installation shall be in accordance with the Planting Details as specified on the details sheet with regard to planting hole depth, size and shape, root ball preparation, construction of water basins, appropriate staking and guying, mulching and watering.
 - Seeded landscape areas shall have no bare areas larger than six inches by six inches (6" x 6") after germination.

MAINTENANCE ASSURANCE

Code Section 310. (Paraphrased)

Compliance Inspection:

City Planning shall perform a landscape compliance inspection two (2) years after the initial landscape installation is verified in conformance with Section 309.C of this Part.

Alternative to Inspection Affidavit:

When a properly executed inspection affidavit is not provided as required by Section 309.C of this Part, the owner or developer shall post an acceptable financial assurance with the Development Review Manager for a two (2) year period that guarantees the maintenance in good condition of all required landscaping components, except irrigation system components, and the replacement or repair of said components. City Planning will then inspect and verify the initial landscape and irrigation system installation.

Type and Amount of Assurance

Acceptable financial assurances shall include cash, certificates of deposit, irrevocable letters of credit, performance bonds and escrow accounts. The amount of the assurance shall be established in the Landscape Policy Manual. Said assurance shall be reduced in conformance with the procedures established in the Landscape Policy Manual.

- The amount of the financial assurance for maintenance shall be ten percent (10%) of the cost of the required landscape installation. No financial assurance shall be required for the irrigation system.
- The amount of the financial assurance for maintenance may be reduced by the cost of verified, required plant replacements, on a one-time basis, during the two-year assurance period.

Release of Assurance

The financial assurance shall be released once City Planning verifies that all of the required landscaping has been maintained in compliance with the requirements and standards of this Landscape Code and the Landscape Policy Manual for a period of two (2) years from the date of verification of the initial landscape installation.

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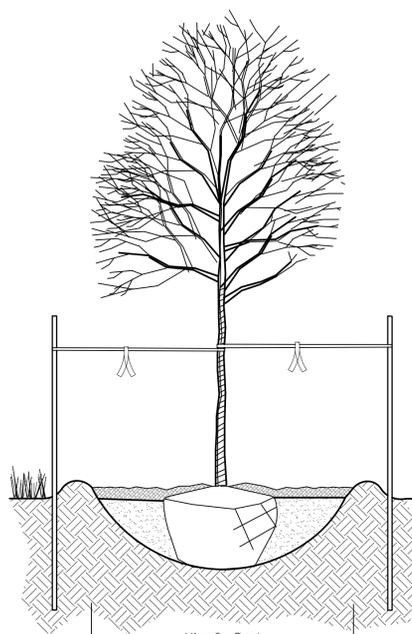
HYDROZONE MAP & LANDSCAPE NOTES
PROJECT NAME
SORPRESA RESIDENTIAL COMMUNITY
6435 SORPRESA LANE
COLORADO SPRINGS, CO 80904

SUBMITTALS / REVISIONS	DATE	BY	TYPE			
				DATE	BY	TYPE

DRAWN BY: DTM
DATE: 10-07-19

STAMPS/ENDORSEMENTS

SHEET NUMBER
L-2
9 OF 13 SHEETS
CITY FILE NUMBER:
AR-XX-19-XXXXX



Do not remove or cut the leader.

Prune dead or damaged wood prior to planting (see note #3 below).

Wrap entire surface of trunk up to second branch. Secure wrap at top, bottom and at two foot intervals (see specs for tree wrap materials)

Guying material: Nylon straps with grommets below midpoint of tree. Tighten #10 guy wire by twisting. Protect branches from touching wire. Allow a slight sag for sway. Provide flagging tape with minimum 6" dangling (see specs for guying material and color).

Stake trees up to 3" caliper with two post on the leeward and windward sides. Stake trees over 3" caliper with 3 evenly spaced. Set stakes 18" minimum into undisturbed subgrade. Remove stakes and guy wires within 12-18 months of planting.

Remove soil to the root flare prior to positioning root ball in pit. Plant root flare at soil grade.

3-4" minimum depth organic wood mulch. Avoid contact with trunk. See specs. for specified mulch. Mulch ring shall be 72" in diameter if located in turf area.

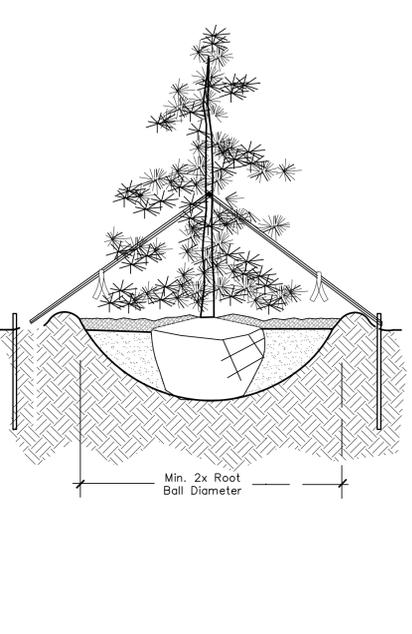
Backfill mixture shall be 2/3 native soil and 1/3 organic mix (see landscape notes and specs for soil mix).

6" high earth saucer beyond edge of root ball when tree is located in dryland, native and downhill sides on slopes. Saucers are not required in irrigated turf areas.

Positioned tree in place and remove all twine, rope, plastic and rubber. Remove all treated green burlap and wire basket from rootball. Rootball shall rest on firm, undisturbed soil.

- NOTES:
1. Dig pit so that the top of the root flare is level with surrounding grade. The root flare should determine the depth of the pit, not the top of the rootball.
 2. Before delivery to the site assure nursery has marked the North side of all trees. At time of installation rotate tree so the mark is facing North.
 3. Prune dead, broken or crossed branches and branches with weak or narrow crotches. Do not remove the terminal buds or branches that extend to the edge of the crown.
 4. Structural Pruning should
 5. Do not fertilize for at least one growing season.
 6. Keep plants moist and shaded until planted.

A DECIDUOUS TREE PLANTING DETAIL
LS-5 NOT TO SCALE



Do not remove or cut the leader.

Prune dead or damaged wood prior to planting (see note #3 below).

Guying material: Nylon straps with grommets below midpoint of tree. Tighten #10 guy wire by twisting. Protect branches from touching wire. Allow a slight sag for sway. Provide flagging tape with minimum 6" dangling (see specs for guying material and color).

Remove soil to the root flare prior to positioning root ball in pit. Plant root flare at soil grade.

3-4" minimum depth organic wood mulch. Avoid contact with trunk. See specs. for specified mulch. Mulch ring shall be 72" in diameter if located in turf area.

6" high earth saucer beyond edge of root ball when tree is located in dryland, native and downhill sides on slopes. Saucers are not required in irrigated turf areas.

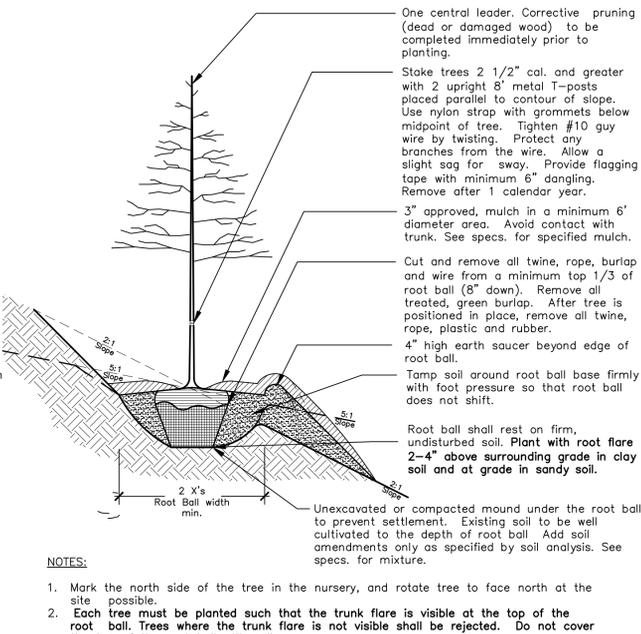
Stake trees 6' in height or smaller with two post on the leeward and windward sides. Stake trees 6' high and over with 3 metal angle iron placed 120° apart. Set stakes 18" minimum into undisturbed subgrade. Remove stakes and guy wires within 12-18 months of planting.

Scarify sides of planting pit. Backfill mixture shall be 2/3 native soil and 1/3 organic mix (see landscape notes and specs for soil mix).

Positioned tree in place and remove all twine, rope, plastic and rubber. Remove all treated green burlap and wire basket from rootball. Rootball shall rest on firm, undisturbed soil.

- NOTES:
1. Dig pit so that the top of the root flare is level with surrounding grade. The root flare should determine the depth of the pit, not the top of the rootball.
 2. Before delivery to the site assure nursery has marked the North side of all trees. At time of installation rotate tree so the mark is facing North.
 3. Prune dead, broken or crossed branches and branches with weak or narrow crotches. Do not remove the terminal buds or branches that extend to the edge of the crown.
 4. Structural Pruning should
 5. Do not fertilize for at least one growing season.
 6. Keep plants moist and shaded until planted.

C EVERGREEN TREE PLANTING DETAIL
LS-5 NOT TO SCALE



One central leader. Corrective pruning (dead or damaged wood) to be completed immediately prior to planting.

Stake trees 2 1/2" cal. and greater with 2 upright 8" metal T-posts placed parallel to contour of slope. Use nylon strap with grommets below midpoint of tree. Tighten #10 guy wire by twisting. Protect any branches from the wire. Allow a slight sag for sway. Provide flagging tape with minimum 6" dangling. Remove after 1 calendar year.

3" approved, mulch in a minimum 6' diameter area. Avoid contact with trunk. See specs. for specified mulch.

Cut and remove all twine, rope, burlap and wire from a minimum top 1/3 of root ball (8" down). Remove all treated, green burlap. After tree is positioned in place, remove all twine, rope, plastic and rubber.

4" high earth saucer beyond edge of root ball.

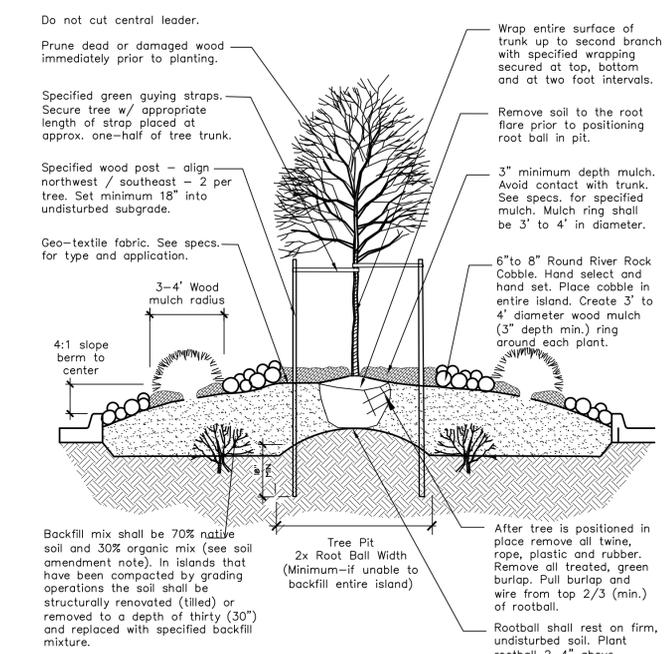
Tamp soil around root ball base firmly with foot pressure so that root ball does not shift.

Root ball shall rest on firm, undisturbed soil. Plant with root flare 2-4" above surrounding grade in clay soil and at grade in sandy soil.

Unexcavated or compacted mound under the root ball to prevent settlement. Existing soil to be well cultivated to the depth of root ball. Add soil amendments only as specified by soil analysis. See specs. for mixture.

- NOTES:
1. Mark the north side of the tree in the nursery, and rotate tree to face north at the site possible.
 2. Each tree must be planted such that the trunk flare is visible at the top of the root ball. Trees where the trunk flare is not visible shall be rejected. Do not cover the top of the root ball with soil.
 3. Prune dead, broken or crossed branches and branches with weak or narrow crotches. Do not remove lower limbs and sprouts for at least two growing seasons.
 4. Stake only when necessary. Stake trees 2" cal. and smaller with metal post on prevailing wind side.
 5. Do not wrap trunk unless required on exposed sites for species with thin bark. Use electrical tape, not duct tape. Do not use twine. Wrap in November and remove in spring.
 6. Do not fertilize for at least one growing season.
 7. Keep plants moist and shaded until planted.

F TREE PLANTING ON SLOPE
LS-5 NTS



Do not cut central leader.

Prune dead or damaged wood immediately prior to planting.

Specified green guying straps. Secure tree w/ appropriate length of strap placed at approx. one-half of tree trunk.

Specified wood post - align northwest / southeast - 2 per tree. Set minimum 18" into undisturbed subgrade.

Geo-textile fabric. See specs. for type and application.

3-4" Wood mulch radius

4:1 slope berm to center

Wrap entire surface of trunk up to second branch with specified wrapping secured at top, bottom and at two foot intervals.

Remove soil to the root flare prior to positioning root ball in pit.

3" minimum depth mulch. Avoid contact with trunk. See specs. for specified mulch. Mulch ring shall be 3' to 4' in diameter.

6" to 8" Round River Rock Cobble. Hand select and hand set. Place cobble in entire island. Create 3' to 4' diameter wood mulch (3" depth min.) ring around each plant.

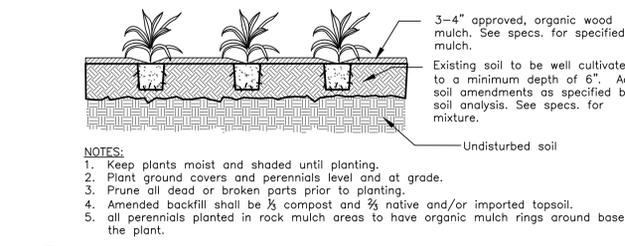
Backfill mix shall be 70% native soil and 30% organic mix (see soil amendment note). In islands that have been compacted by grading operations the soil shall be structurally renovated (tiled) or removed to a depth of thirty (30") and replaced with specified backfill mixture.

After tree is positioned in place remove all twine, rope, plastic and rubber. Remove all treated, green burlap. Pull burlap and wire from top 2/3 (min.) of rootball.

Rootball shall rest on firm, undisturbed soil. Plant rootball 2-4" above surrounding grade in clay soil and at grade in sandy soil.

- NOTES:
1. Dig pit so that the top of the root flare is level with surrounding grade. The root flare should determine the depth of the pit, not the top of the rootball.
 2. Prune dead, broken or crossed branches and branches with weak or narrow crotches. Do not remove lower limbs and sprouts for at least two growing seasons.
 3. Do not fertilize for at least one growing season.
 4. Amended backfill shall be 1/3 compost and 2/3 Native and or imported topsoil.
 5. All shrubs in rock areas to receive shredded mulch rings.
 6. Deep water all plants at time of planting.
 7. On slopes plant rootball at grade and provide saucer rim on down hill side. Water in at planting.

B PLANTING FOR PARKING LOT ISLANDS & SHRUB BEDS w/ COBBLE & WOOD MULCH RINGS
LS-5 NTS



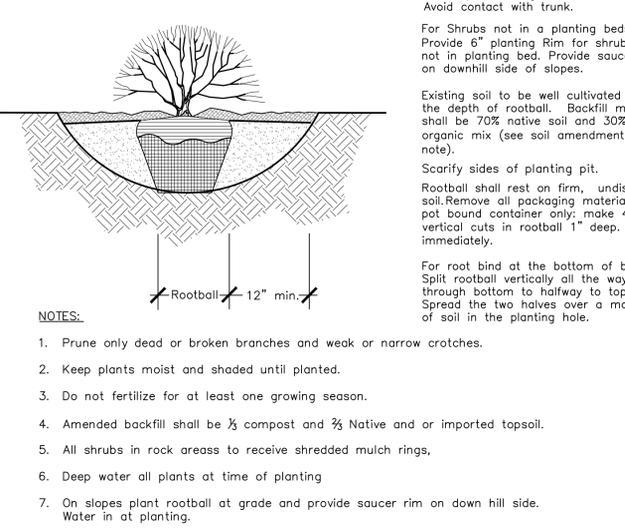
3-4" approved, organic wood mulch. See specs. for specified mulch.

Existing soil to be well cultivated to a minimum depth of 6". Add soil amendments as specified by soil analysis. See specs. for mixture.

Undisturbed soil

- NOTES:
1. Keep plants moist and shaded until planting.
 2. Plant ground covers and perennials level and at grade.
 3. Prune all dead or broken parts prior to planting.
 4. Amended backfill shall be 1/3 compost and 2/3 native and/or imported topsoil.
 5. All perennials planted in rock mulch areas to have organic mulch rings around base of the plant.

E PERENNIAL/ GROUND COVER PLANTING
LS-5 NOT TO SCALE



Plant top of rootball at grade.

3-4" specified organic mulch. Avoid contact with trunk.

For Shrubs not in a planting bed: Provide 6" planting Rim for shrubs not in planting bed. Provide saucer on downhill side of slopes.

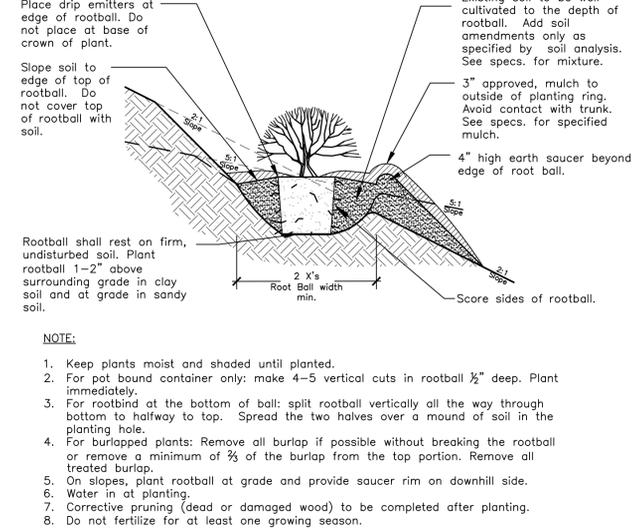
Existing soil to be well cultivated to the depth of rootball. Backfill mix shall be 70% native soil and 30% organic mix (see soil amendment note).

Scarify sides of planting pit. Rootball shall rest on firm, undisturbed soil. Remove all packaging material. For pot bound container only; make 4-5 vertical cuts in rootball 1" deep. Plant immediately.

For root bind at the bottom of ball: Split rootball vertically all the way through bottom to halfway to top. Spread the two halves over a mound of soil in the planting hole.

- NOTES:
1. Prune only dead or broken branches and weak or narrow crotches.
 2. Keep plants moist and shaded until planted.
 3. Do not fertilize for at least one growing season.
 4. Amended backfill shall be 1/3 compost and 2/3 Native and or imported topsoil.
 5. All shrubs in rock areas to receive shredded mulch rings.
 6. Deep water all plants at time of planting.
 7. On slopes plant rootball at grade and provide saucer rim on down hill side. Water in at planting.

D SHRUB PLANTING DETAIL
LS-5 NOT TO SCALE



Place drip emitters at edge of rootball. Do not place at base of crown of plant.

Slope soil to edge of top of rootball. Do not cover top of rootball with soil.

Existing soil to be well cultivated to the depth of rootball. Add soil amendments only as specified by soil analysis. See specs. for mixture.

3" approved, mulch to outside of planting ring. Avoid contact with trunk. See specs. for specified mulch.

4" high earth saucer beyond edge of root ball.

Rootball shall rest on firm, undisturbed soil. Plant rootball 1-2" above surrounding grade in clay soil and at grade in sandy soil.

Score sides of rootball.

- NOTE:
1. Keep plants moist and shaded until planted.
 2. For pot bound container only: make 4-5 vertical cuts in rootball 1/2" deep. Plant immediately.
 3. For rootbind at the bottom of ball: split rootball vertically all the way through bottom to halfway to top. Spread the two halves over a mound of soil in the planting hole.
 4. For burlapped plants: Remove all burlap if possible without breaking the rootball or remove a minimum of 2/3 of the burlap from the top portion. Remove all treated burlap.
 5. On slopes, plant rootball at grade and provide saucer rim on downhill side.
 6. Water in at planting.
 7. Corrective pruning (dead or damaged wood) to be completed after planting.
 8. Do not fertilize for at least one growing season.

G SHRUB PLANTINGS ON SLOPES
LS-5 NTS

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THIS DOCUMENT IS FOR CITY REVIEW AND DEVELOPMENT PLAN APPROVAL ONLY.

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AN IRRIGATION PLAN TO BE SUBMITTED FOR REVIEW WITHIN 90 DAYS SUBSEQUENT TO RECEIVING A BUILDING PERMIT. THE PLAN MUST BE APPROVED PRIOR TO THE INSTALLATION OF ANY IRRIGATION COMPONENTS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

LANDSCAPE PLANT SCHEDULE							
Abbr.	Qty.	Botanical Name	Common Name	App. B Key	Mature Width	Planting Size	Notes
TREES							
actrab	5	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	S	30'-40'	2.5" Cal.	
actapp	16	Acer tataricum 'Pattern Perfect'	Pattern Perfect Tatarian Maple	235AD	15'-20'	1.5" Cal.	
crarin	6	Gymnocladus dioica 'Spartan'	Spartan Coffee tree	34AS	40'-50'	2.5" Cal.	
juchsp	38	Juniperus chinensis	Spartan Juniper	2568DA	4'-6'	#15	
pipbbe	8	Picea pungens 'Baby Blue Eyes'	Baby Blue Eyes Spruce	678S	10'-15'	6' ht.	
pipbbe	9	Picea pungens 'Baby Blue Eyes'	Baby Blue Eyes Spruce	678S	10'-15'	8' ht.	
Percent Signature Trees:		Signature Trees:					
(60% minimum - Policy 311.3k)		77					
		82		= 94% Signature Trees			
SHRUBS							
codacb	43	Cotoneaster dammeri 'Caral Beauty'	Caral Beauty Cotoneaster	44568S	4'-6'	#5	
codi	56	Cotoneaster divaricatus	Spreading Cotoneaster	2345S	6'-8'	#5	
colu	11	Cotoneaster lucidus	Peaking Cotoneaster	2345D	6'-10'	#5	
coseco	24	Cornus Serica coloradense	Colorado Redtwig Dogwood	457S	8'-12'	#5	
cosels	35	Cornus Serica 'Isanti'	Isanti Dogwood	457S	4'-6'	#5	
juhwi	6	Juniperus horizontalis 'Wiltonii'	Wilton Carpet Juniper	2568A	6'-8'	#5	
jumeau	23	Juniperus x media 'Pfitzeriana Aurea'	Gold Tip Pfitzer Juniper	DA	6'-8'	#5	
jusabr	19	Juniperus sabinia 'Broadmoor'	Broadmoor Juniper	568A	5'-8'	#5	
jusabu	31	Juniperus sabinia 'Buffalo'	Buffalo Juniper	568A	6'-8'	#5	
phoodi	20	Physocarpus opulifolius 'Diablo'	Diablo Ninebark	568SA	6'-8'	#5	
phoidm	31	Physocarpus opulifolius 'Little Devil'	Little Devil Ninebark	568SA	3'-4'	#5	
ridgm	10	Ribes alpinum 'Green Mound'	Green Mound Currant	24567DA	2'-3'	#5	
spjafr	40	Spiraea japonica 'Froebelii'	Froebel Spirea	SA	4'-5'	#5	
spjanf	32	Spiraea japonica 'Neon Flash'	Neon Flash Spirea	SA	4'-5'	#5	
vica	28	Viburnum carlesii	Koreanspice Viburnum	A	4'-6'	#5	
vide	7	Viburnum dentatum	Arrowwood Viburnum	A	6'-8'	#5	
Percent Signature Shrubs:		Signature Shrubs:					
(60% minimum - Policy 311.3k)		282					
		416		= 68% Signature Shrubs			
GRASSES							
coackf	32	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	A (L)	18"-24"	#1	
misipj	91	Miscanthus sinensis purpurascens	Purple Maiden Grass	DA	2'-3'	#1	
misiva	59	Miscanthus sinensis 'Variegatus'	Variegated Maiden Grass	DA	2'-3'	#1	
PERENNIALS							
hestor	70	Hemerocallis 'Stella de Oro'	Dwarf Glad Daylily	D	12"-18"	#1	

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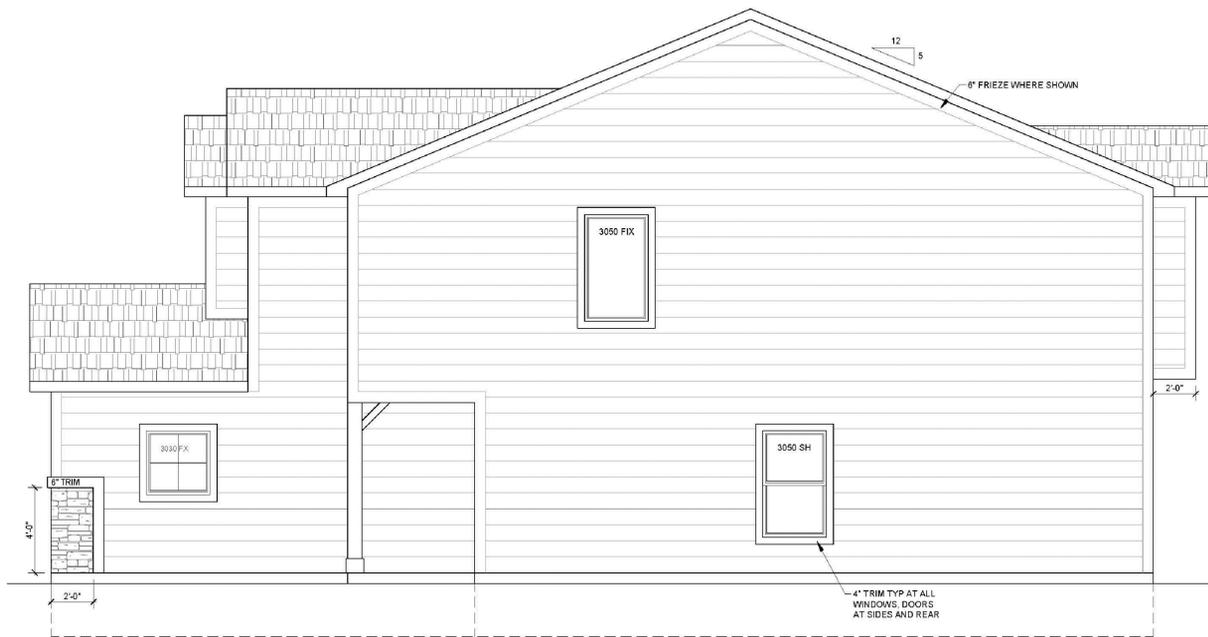
LANDSCAPE DETAILS & PLANT SCHEDULE
PROJECT NAME
SORPRESA RESIDENTIAL COMMUNITY
6435 SORPRESA LANE
COLORADO SPRINGS, CO 80904

DATE	BY	REVISIONS

DRAWN BY: DTM
DATE: 10 / 07 / 2019

STAMPS/ENDORSEMENTS

SHEET NUMBER
L-3
10 OF 13 SHEETS
CITY FILE NUMBER: AR-XX-19-XXXXX



SIDE ELEVATION - FARMHOUSE

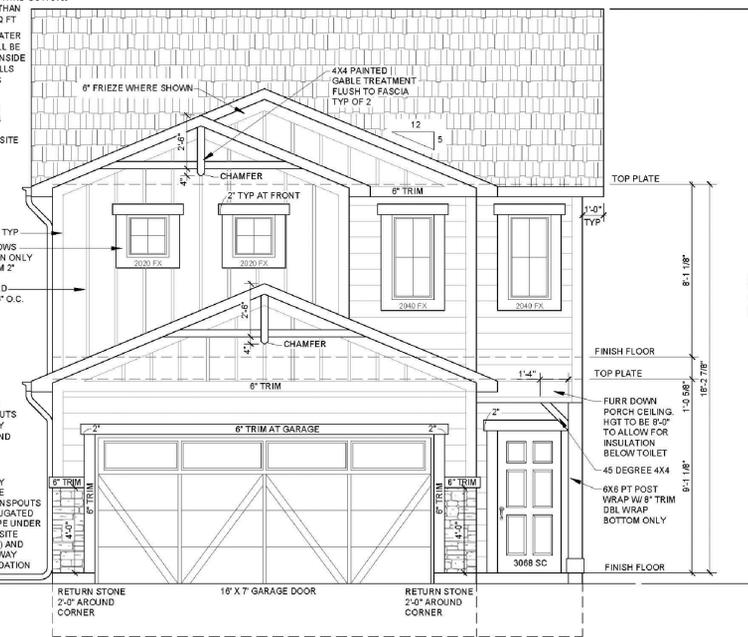
1/4"=1'-0"

CLASS "A" ASPHALT SHINGLES OVER 15# FELT INSTALLATION OF SHINGLES FROM MAY 18 THRU OCT. 31# CAN BE LESS THAN 240 LBS/100 SQ FT AN ICE AND WATER BARRIER SHALL BE INSTALLED 2" INSIDE EXTERIOR WALLS AND AT GAVES OVER 700'

6" COMPOSITE FASCIA ON 2x4 SUB-FASCIA W/ 3/8" COMPOSITE SOFFIT

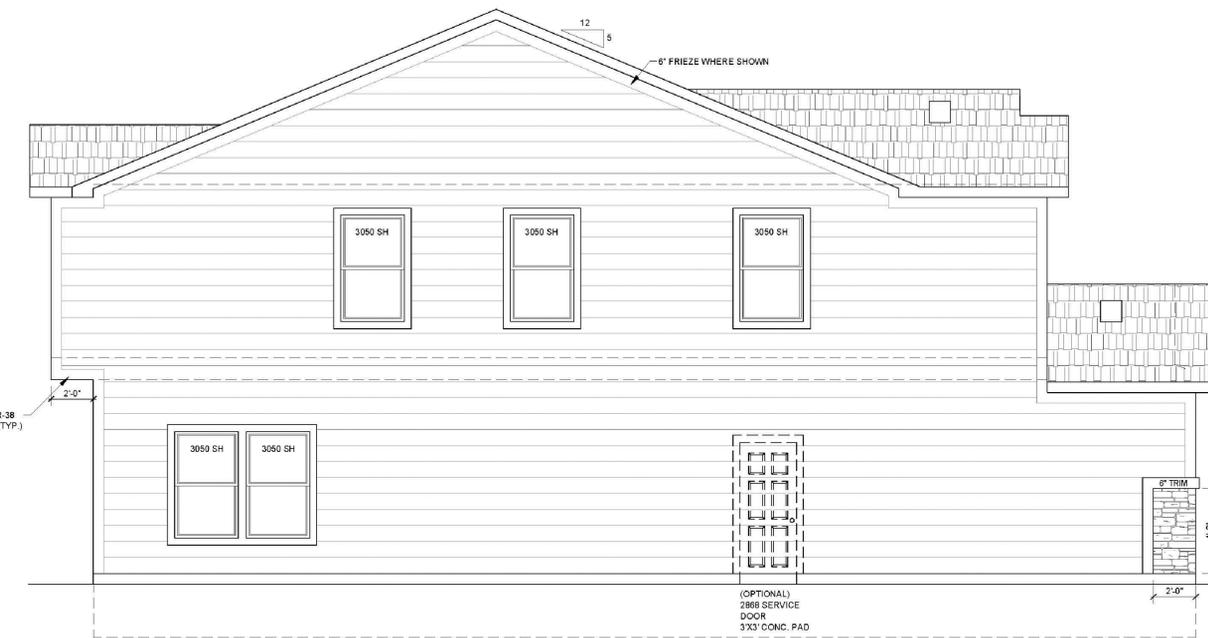
6" CORNER TRIM, TYP. 6" TRIM AT WINDOWS FRONT ELEVATION ONLY EXTEND TOP TRIM 2" 4X8 SOFFIT BOARD W/ 1X2 TRIM @ 16" O.C.

9" GUTTERS & DOWNSPOUTS FIELD VERIFY LOCATION AND QUANTITY TIP CUT EXTENDS 36" MIN AWAY FROM HOUSE ROUTE DOWNSPOUTS THRU CORRUGATED FLEXIBLE PIPE UNDER SLABS (PER SITE CONDITIONS) AND DAYLIGHT AWAY FROM FOUNDATION



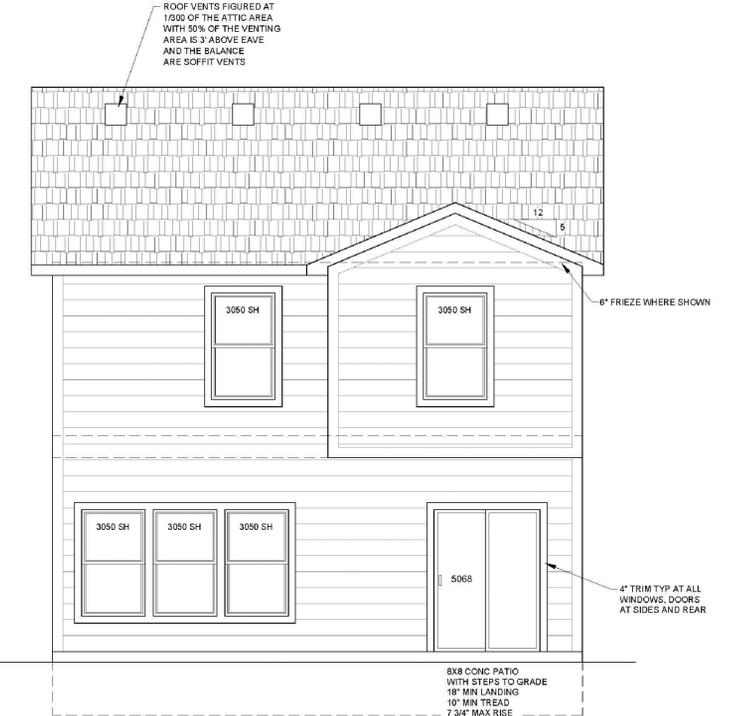
1840-FRONT ELEVATION - FARMHOUSE

1/4"=1'-0"



GARAGE SIDE ELEVATION - FARMHOUSE

1/4"=1'-0"



REAR ELEVATION - FARMHOUSE

1/4"=1'-0"

FARMHOUSE PAINT PACKAGES:

PACKAGE #2
 MAIN BODY: LOGGIA
 2ND BODY: TAVERN TAUPÉ
 TRIM: PATIENCE
 ACCENT: FOGGY DAY

PACKAGE #4
 MAIN BODY: DOVER WHITE
 2ND BODY: SHIITAKE
 TRIM: PORPOISE
 ACCENT: SPICED CIDER

PACKAGE #9
 MAIN BODY: GAUNTLET GRAY
 2ND BODY: PUSSYWILLOW
 TRIM: EIDER WHITE
 ACCENT: TRICORN BLACK

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SHEET NAME:
 ARCHITECTURAL ELEVATIONS - UNIT 1840

PROJECT NAME:
 SORPRESA RESIDENTIAL COMMUNITY
 6435 SORPRESA LANE
 COLORADO SPRINGS, CO 80904

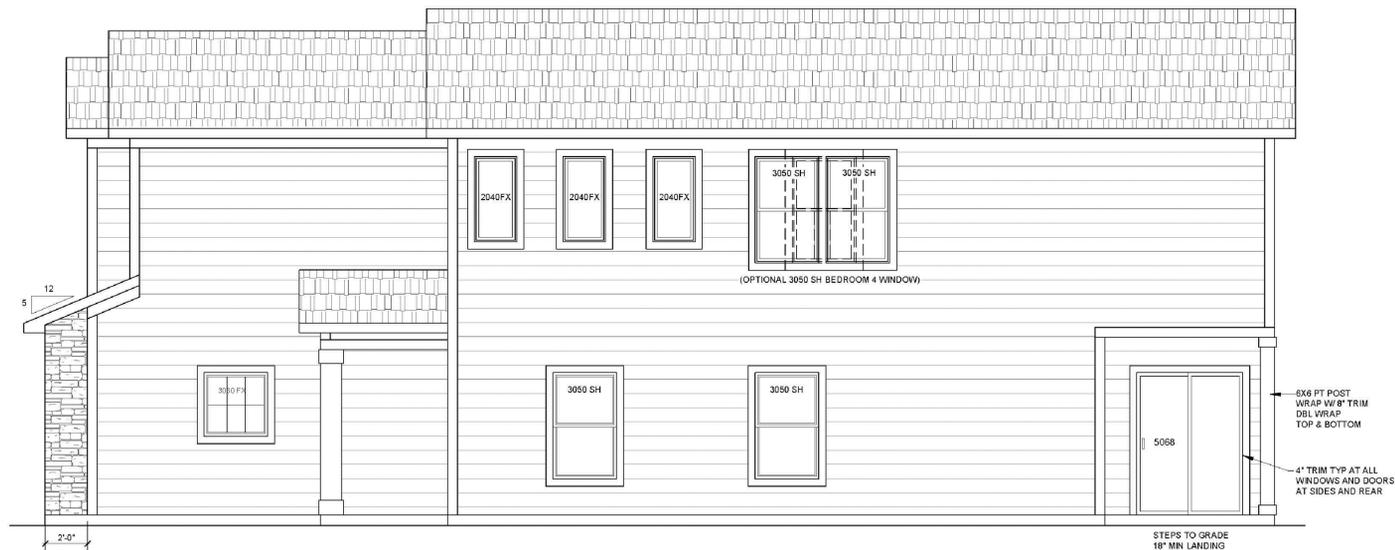
SUBMITTALS / REVISIONS	
DATE	BY

DRAWN BY: DTM

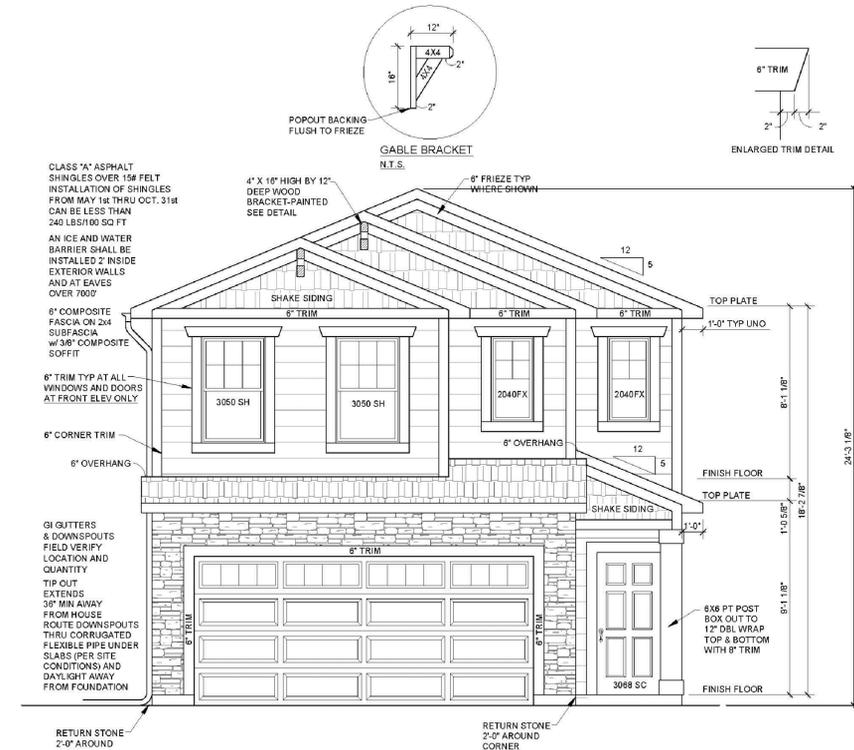
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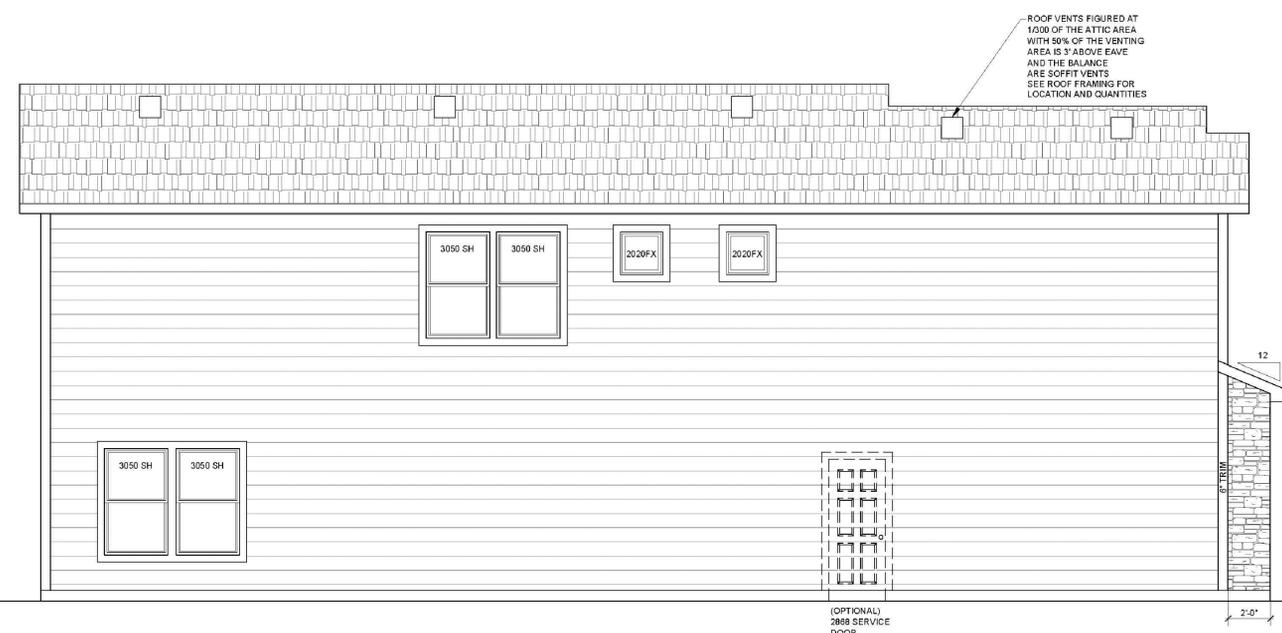
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A-2
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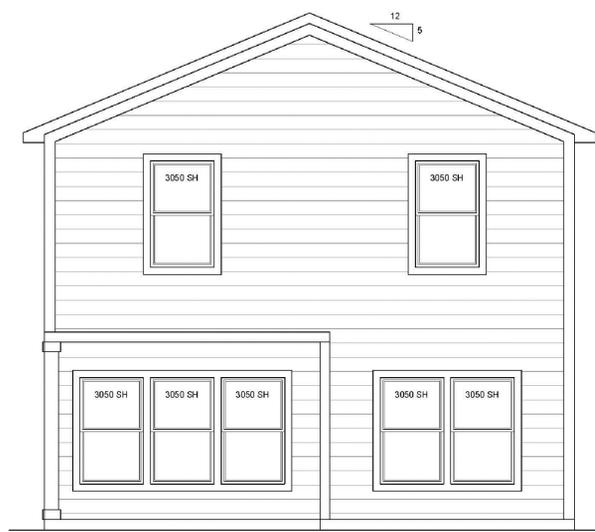
SIDE ELEVATION
1/4"=1'-0"



2066-FRONT ELEVATION - CRAFTSMAN
1/4"=1'-0"



GARAGE SIDE ELEVATION
1/4"=1'-0"



REAR ELEVATION
1/4"=1'-0"

CRAFTSMAN PAINT PACKAGES:

PACKAGE #3
MAIN BODY: QUIVER TAN
2ND BODY: FAVORITE TAN
TRIM: CHATEAU BROWN
ACCENT: CAJUN RED

PACKAGE #7
MAIN BODY: ZEUS
2ND BODY: UNIVERSAL KHAKI
TRIM: PANDA WHITE
ACCENT: SEALSKIN

PACKAGE #10
MAIN BODY: SLATE TILE
2ND BODY: INTELLECTUAL GRAY
TRIM: SHOJI WHITE
ACCENT: RUSTIC RED

DISCLAIMER:
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SHEET NAME: ARCHITECTURAL ELEVATIONS - UNIT 2066
PROJECT NAME: SORPRESA RESIDENTIAL COMMUNITY
6435 SORPRESA LANE
COLORADO SPRINGS, CO 80904

SUBMITTALS / REVISIONS	
DATE	BY

DRAWN BY: DTM

DATE: 10 / 07 / 2019

STAMPS/ENDORSEMENTS

SHEET NUMBER
A-3
13 OF 13 SHEETS
CITY FILE NUMBER:
AR-XX-19-XXXX