

A PARCEL OF LAND IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER (NW 1/4, SE 1/4) OF SECTION 6, T13S R65W OF THE 6th P.M. EL PASO COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT SAID SW 1/16TH CORNER, THENCE N87°07'22"E A DISTANCE OF 1273.20 FEET, THENCE N87°07'10"E A DISTANCE OF 162.97 FEET TO THE SOUTHEAST CORNER OF "WOODMEN VISTAS SUBDIVISION" AS RECORDED UNDER RECEPTION NO. 208712760 IN THE EL PASO COUNTY RECORDS AND THE POINT OF BEGINNING;

SAID PARCEL OF LAND CONTAINS A CALCULATED AREA OF 8.8929 ACRES OF LAND, MORE OR LESS.

REFERENCE DRAWINGS			

THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NO. 08041C0529G, EFFECTIVE DATE DECEMBER 7, 2018, INDICATES THIS PARCEL OF LAND TO BE LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).



ARCHITECT:
Challenger Homes, Inc.
8605 Explorer Drive #250
Colorado Springs, CO 80920




REFERENCE DRAWINGS				
	NO.	DATE	DESCRIPTION	BY
	REVISIONS			
		BENCHMARK DATA(ELEV.) _____		
		(DATUM) _____		
		(DESCRIPTION/LOCATION) _____		

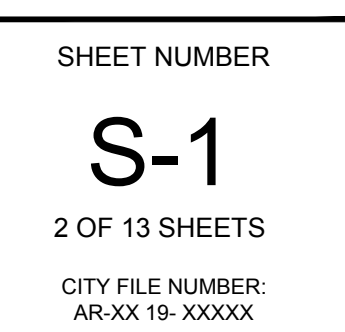
CHALLENGER
HOMES
8605 Explore Drive #250
Colorado Springs, CO 80902

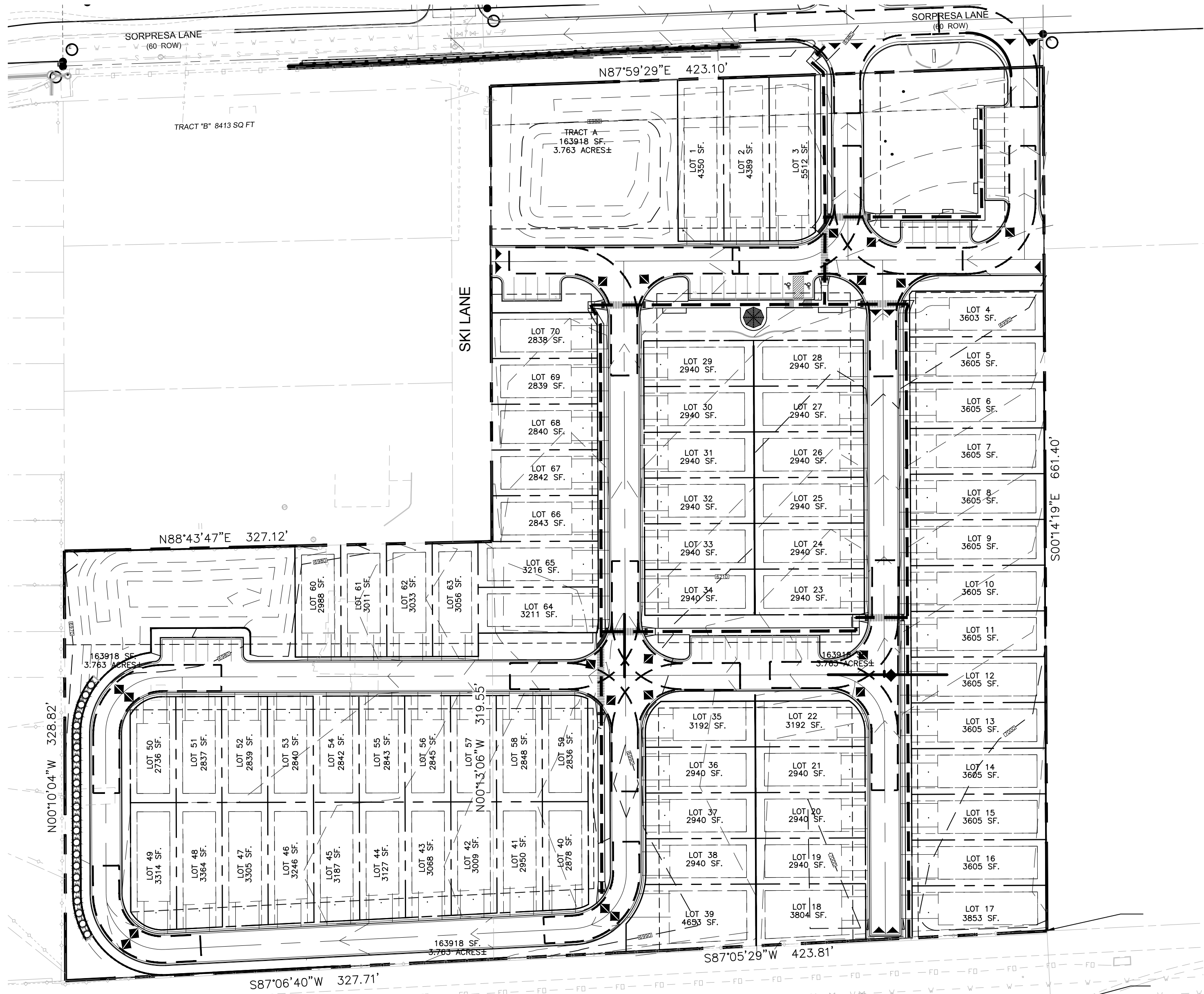
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DESIGNED BY:	SCALE	DATE ISSUED:
DRAWN BY:	HORIZ:	SHEET NO. 1 OF 13 SHEETS
CHECKED BY:	VERT:	

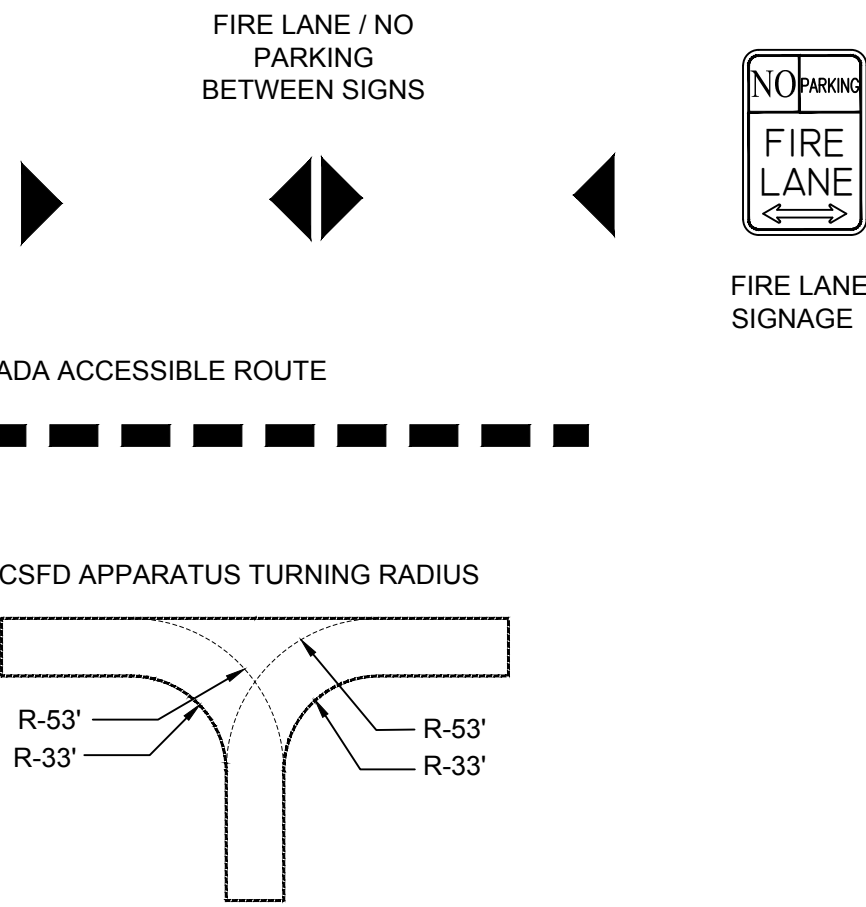


XX 18-XXXXXX





LEGEND

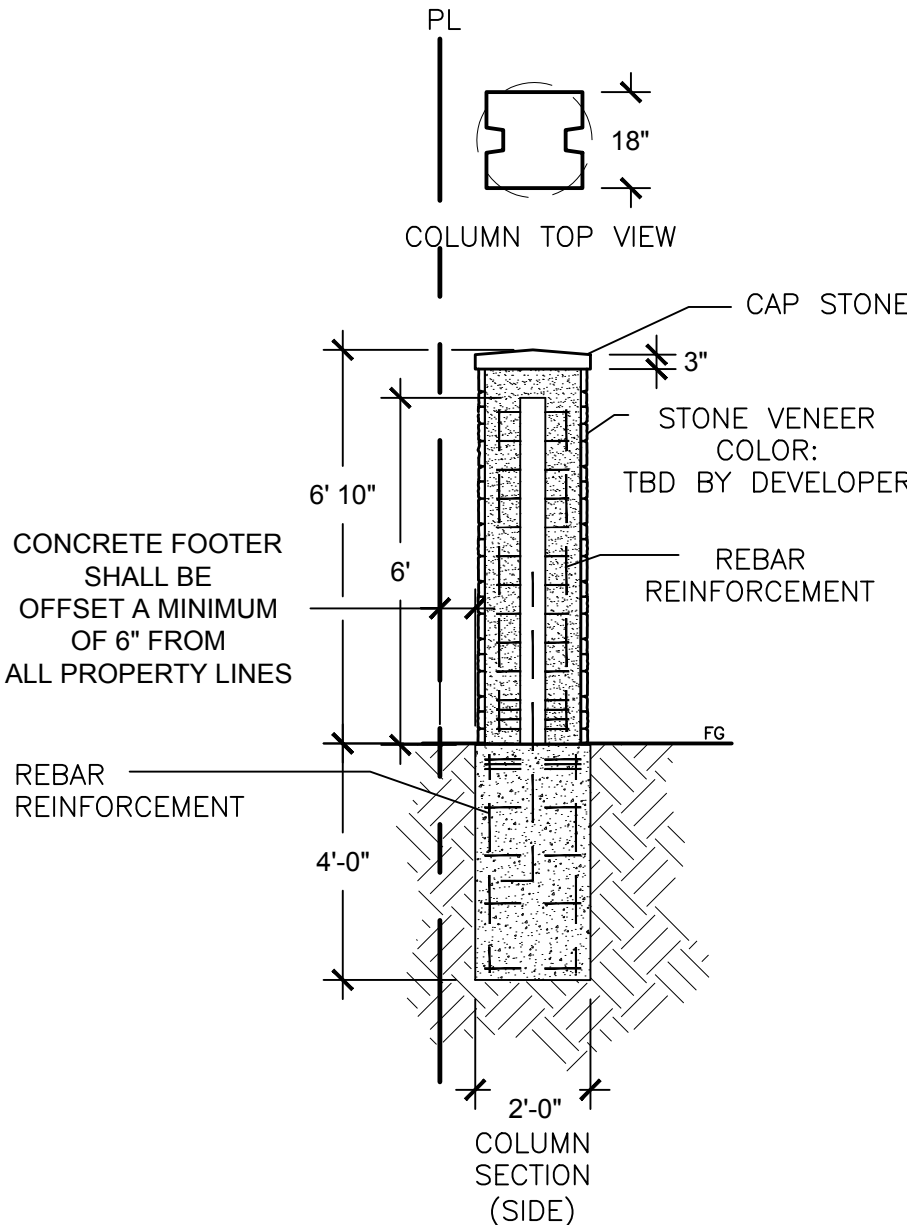
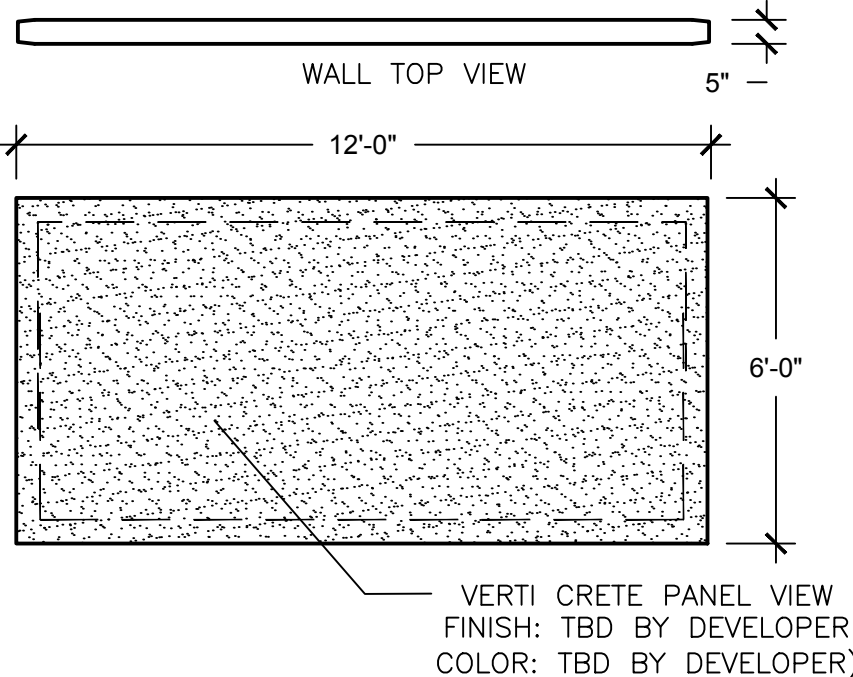


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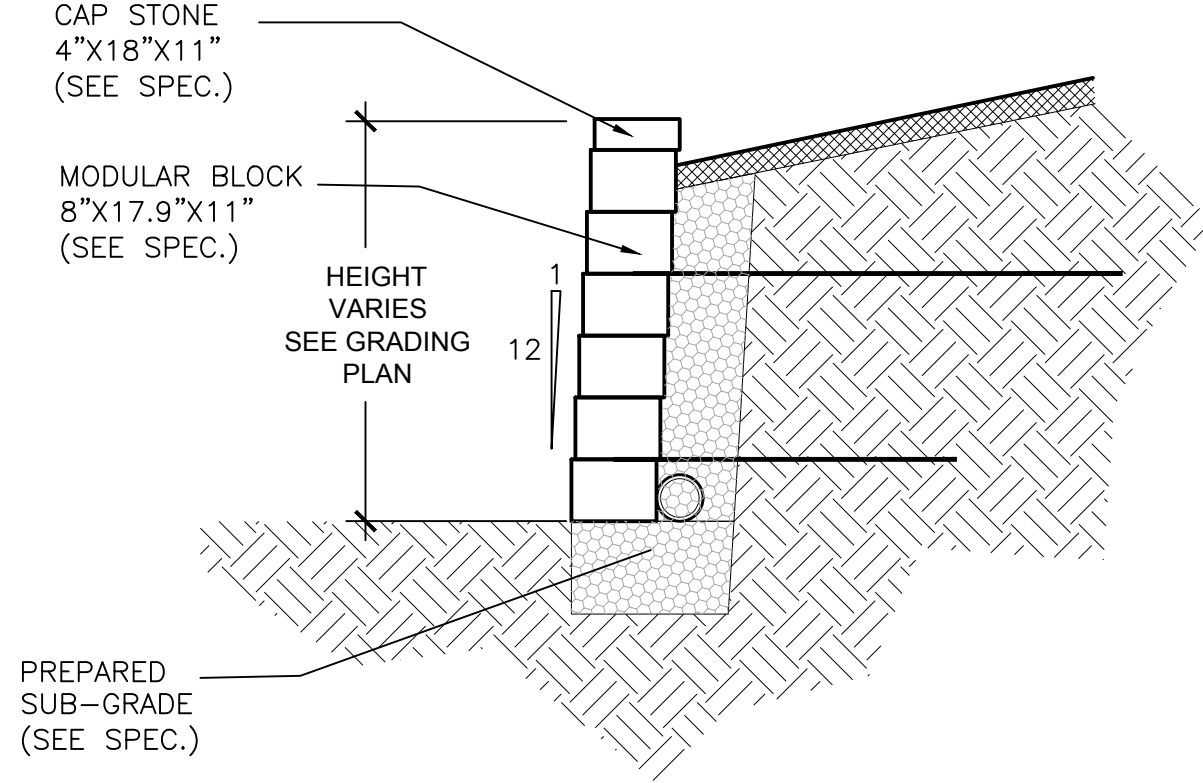
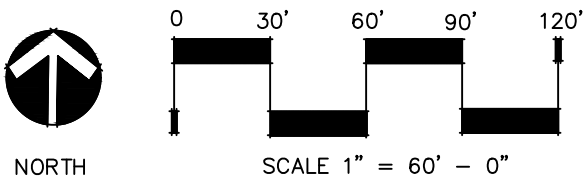
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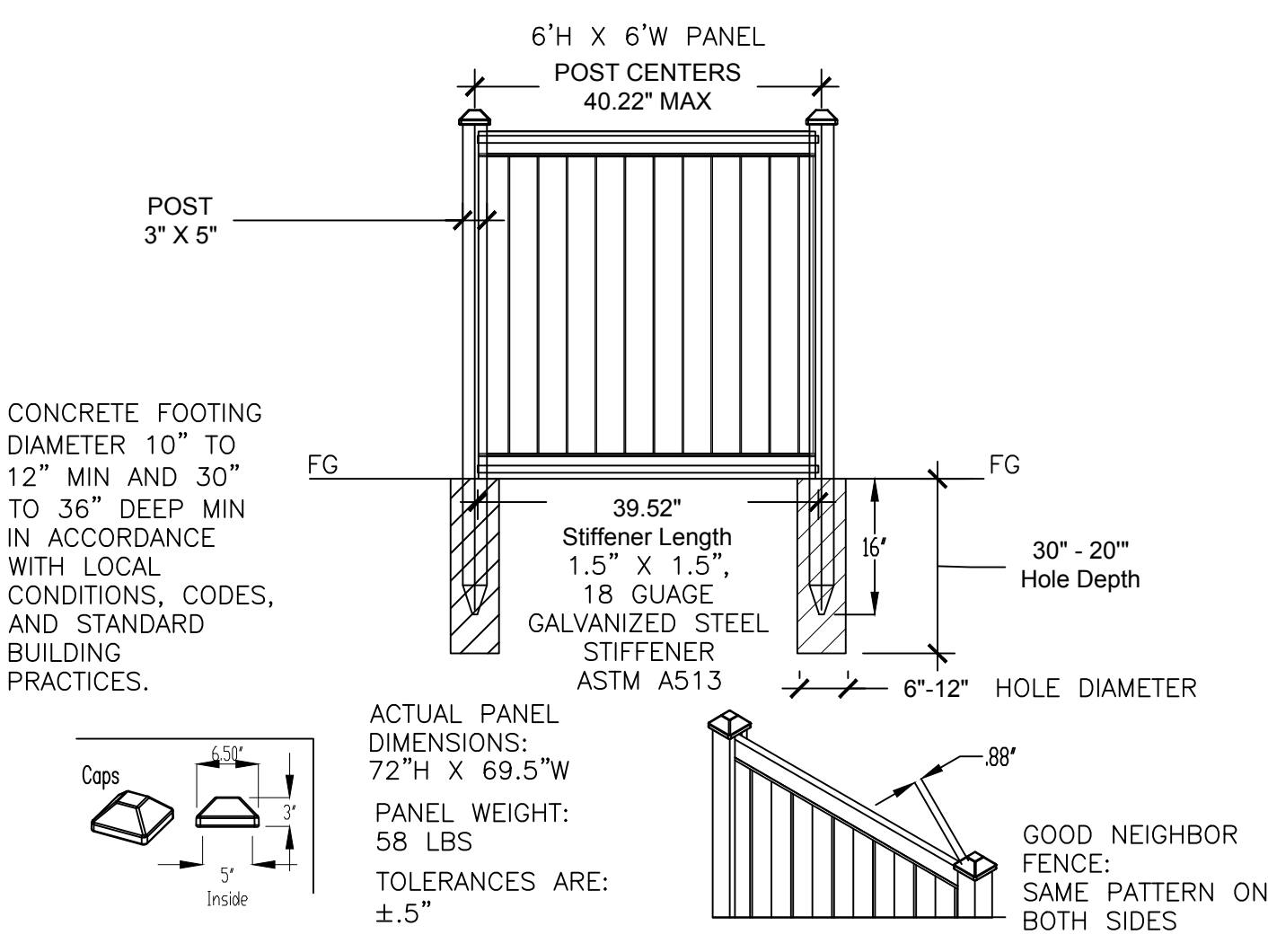


A S-2 6' HIGH LANDSCAPE OPAQUE SCREEN WALL NTS

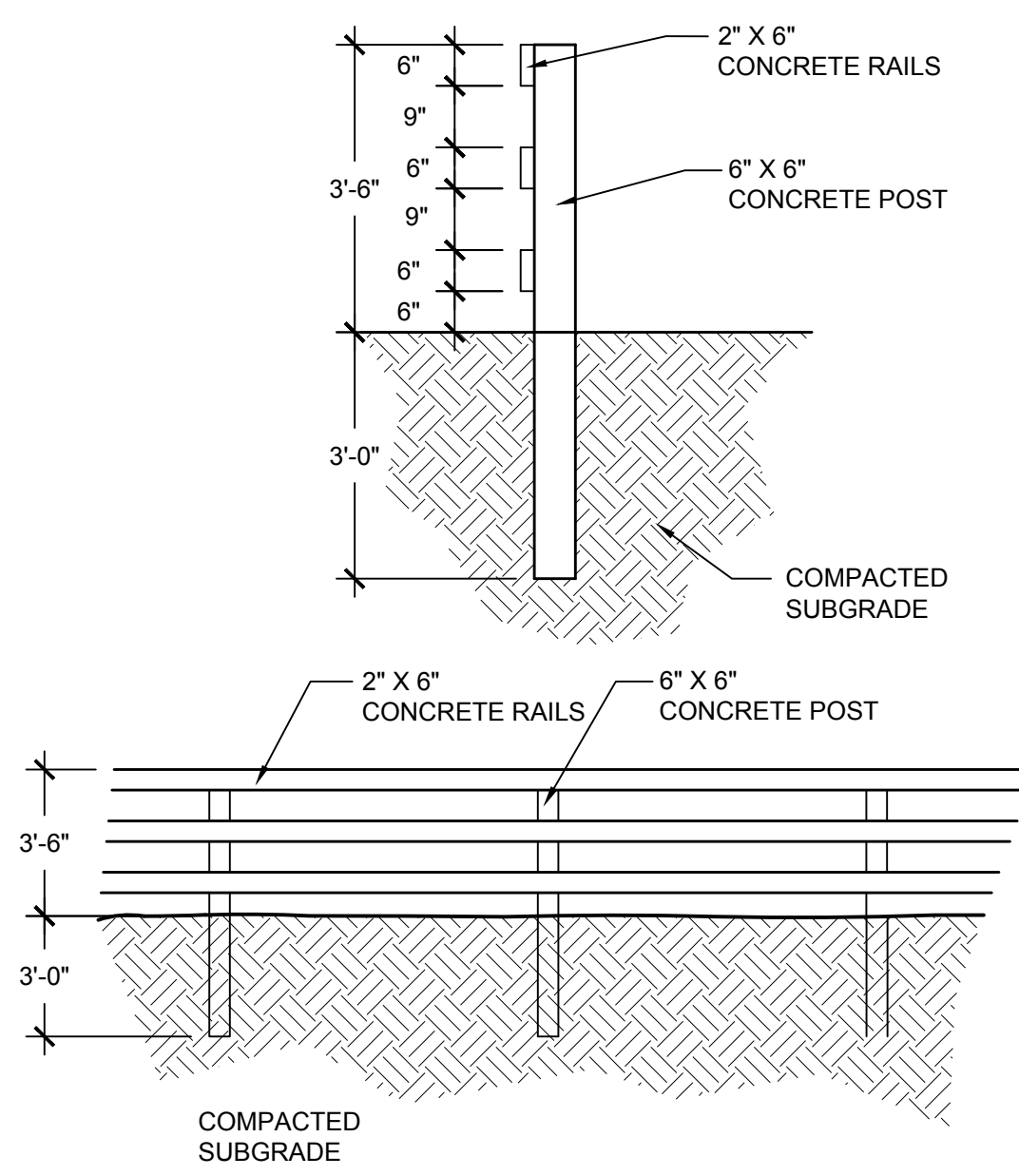
ADA ACCESSIBLE ROUTE / CSFD TURNING RADIUS



B S-2 MODULAR BLOCK RETAINING WALL NTS

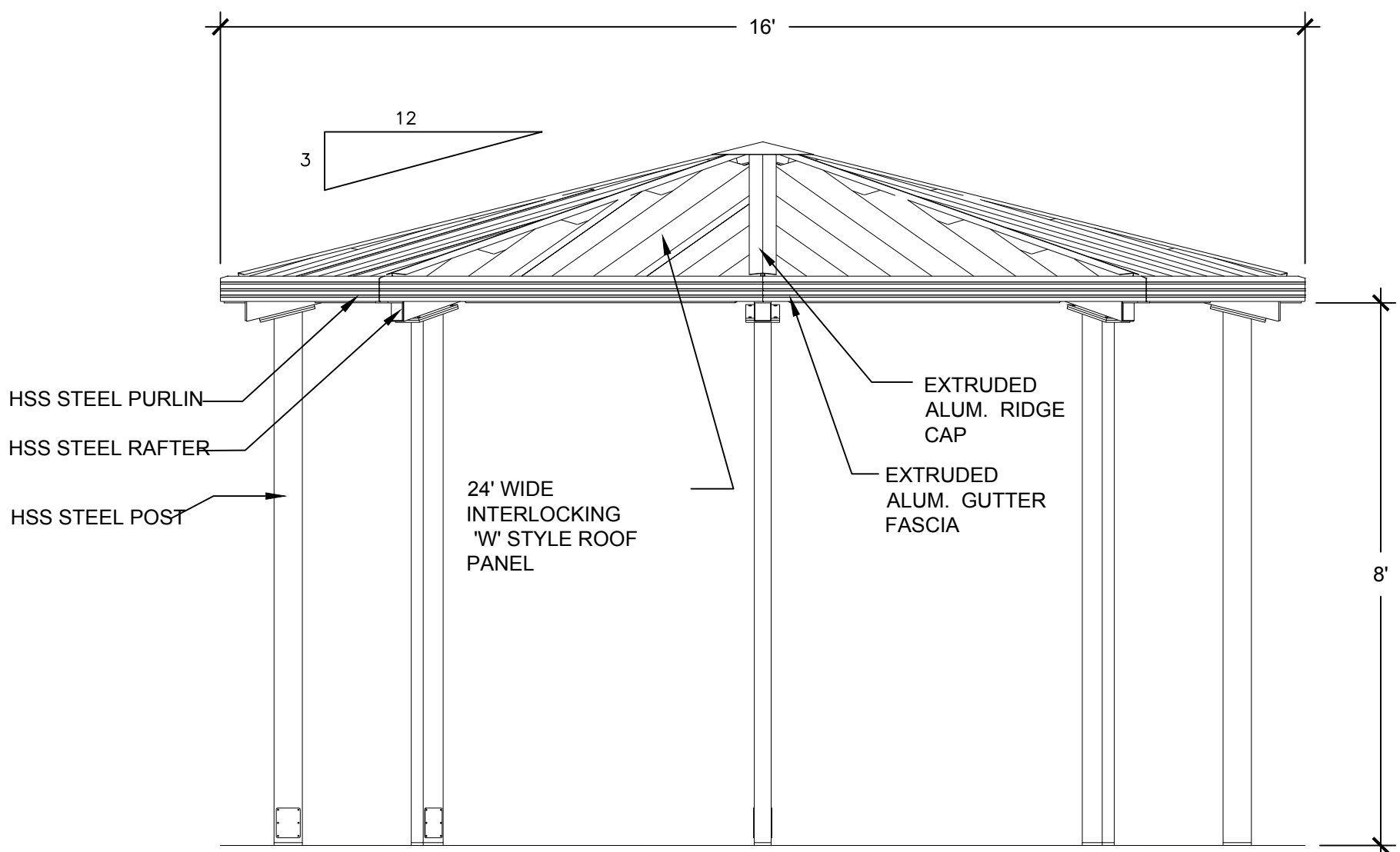


C S-2 6' HIGH VINYL FENCE NTS



NOTES:
1. COLOR OF RAILS & POST TO BE DETERMINED BY DEVELOPER

D S-2 3 RAIL CONCRETE FENCE NTS



E S-2 GAZEBO NTS

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719.598.5192

CONSULTANT:
Land Patterns, Inc.
Landscape Architecture & Planning
2150 S. WILLOW AVE.
SUITE 100
COLORADO SPRINGS, CO 80904
719.598.5192

SHEET NAME
SITE DETAILS
PROJECT NAME
SORPRESA RESIDENTIAL COMMUNITY
6435 SORPRESA LANE
COLORADO SPRINGS, CO 80904

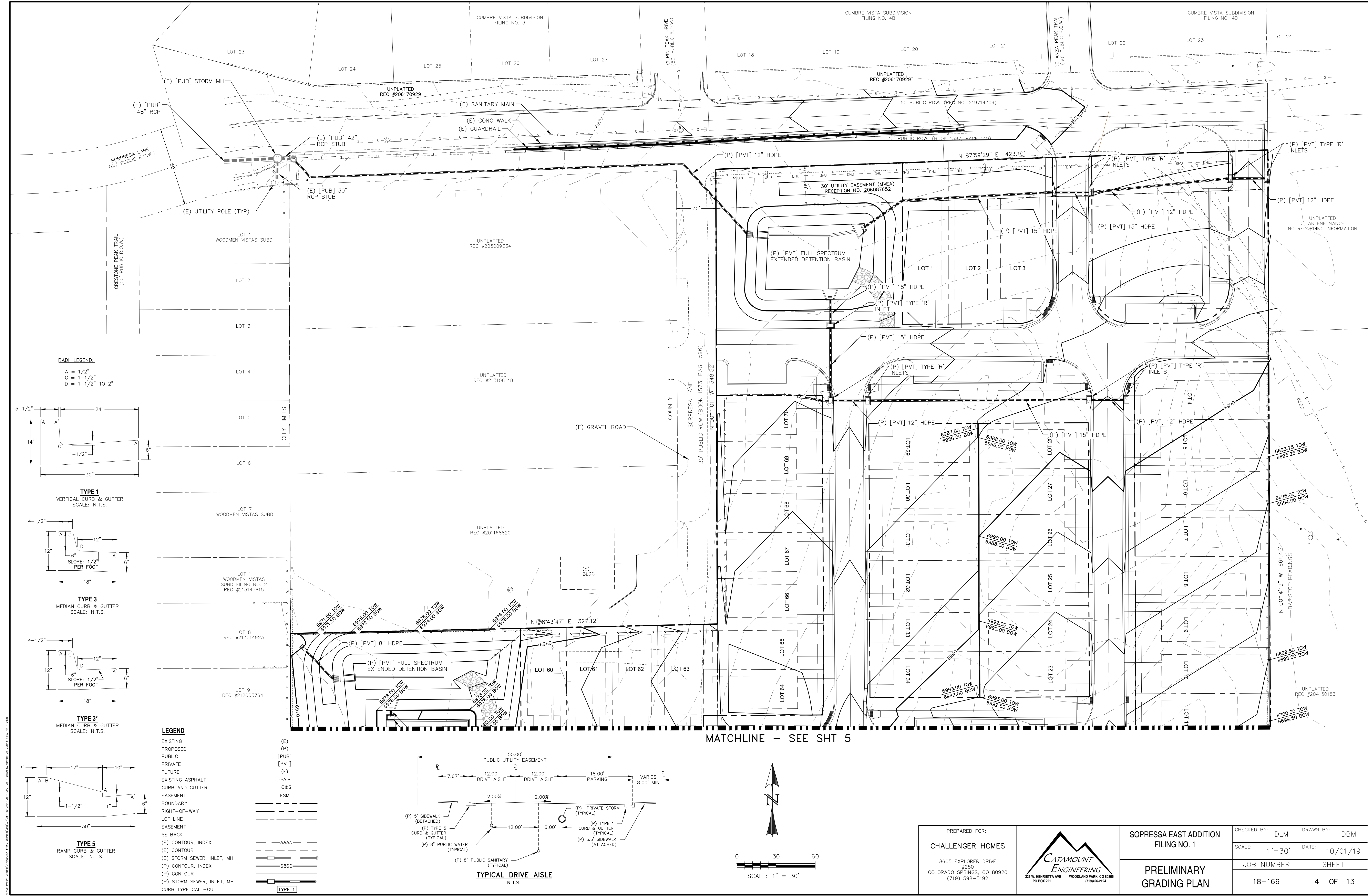
BY	DATE	REVISIONS

DRAWN BY: DTM

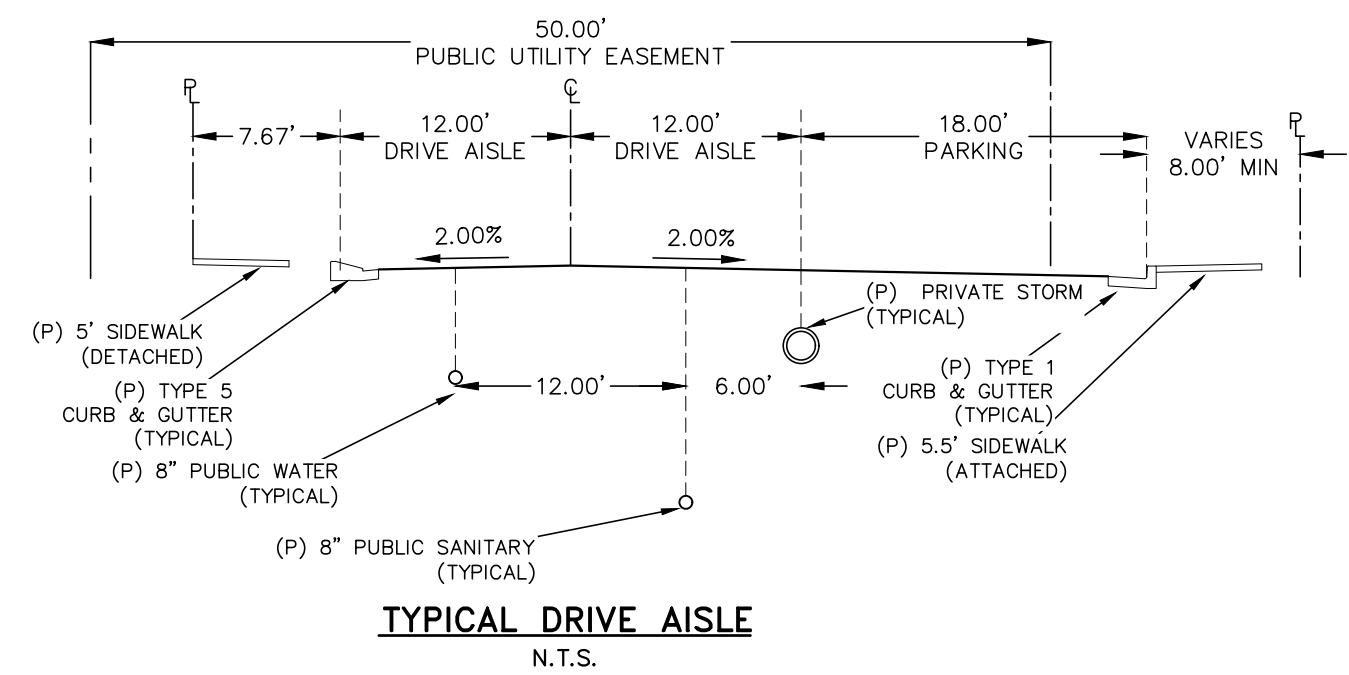
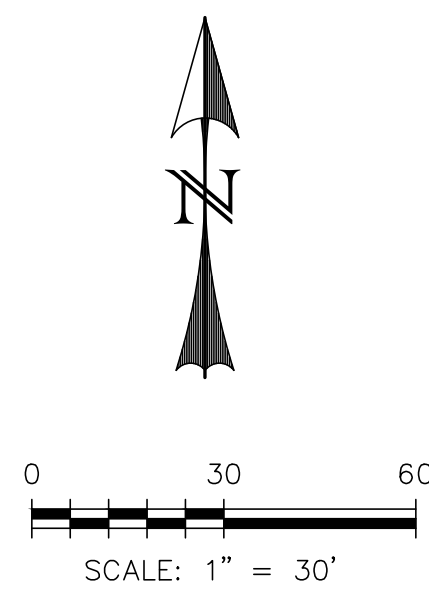
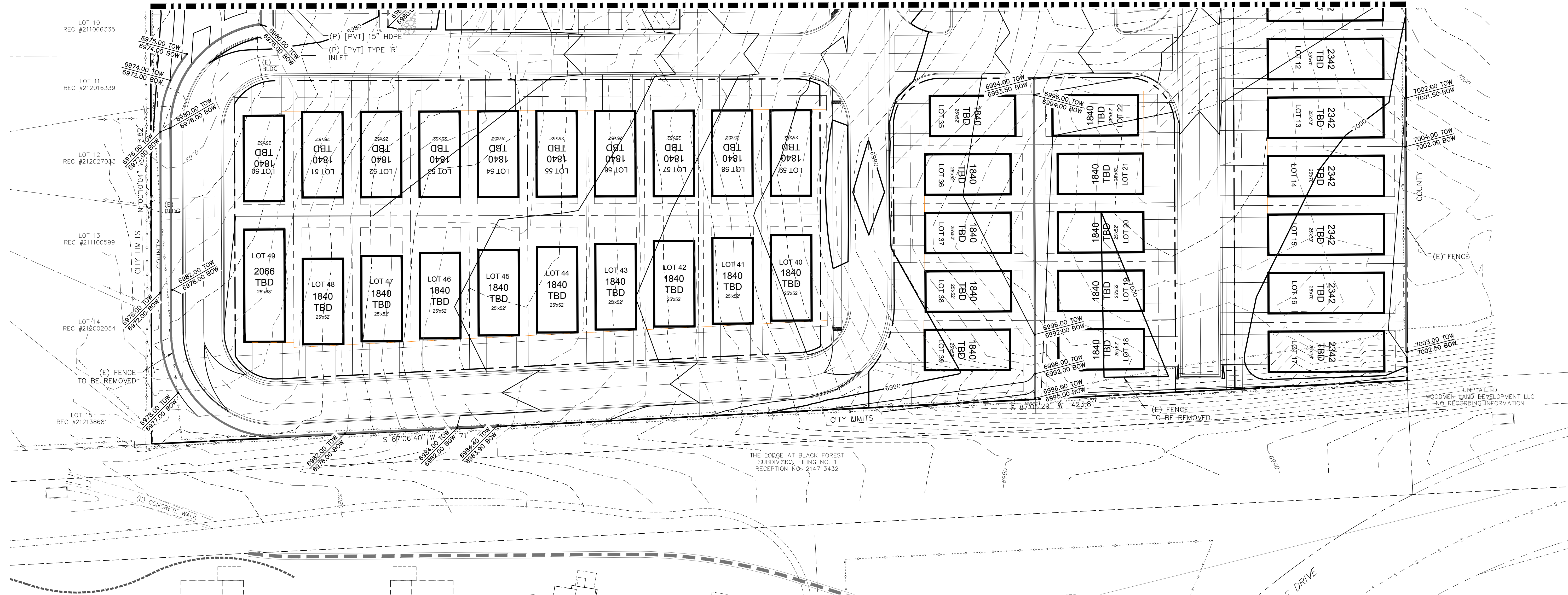
DATE: 10/07/2019

STAMPS/ENDORSEMENTS

SHEET NUMBER
S-2
3 OF 13 SHEETS
CITY FILE NUMBER:
AR-JX 18-XXXX

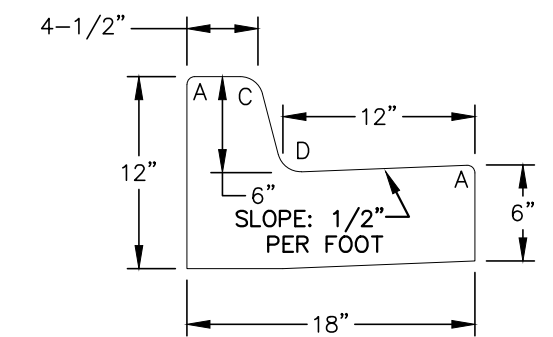
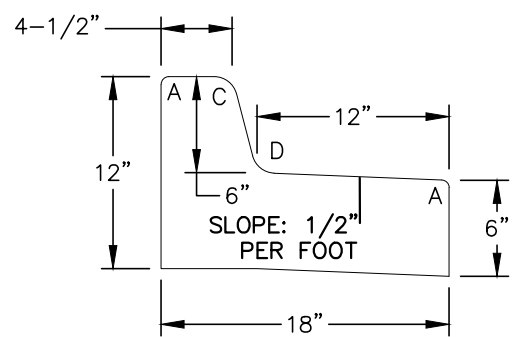
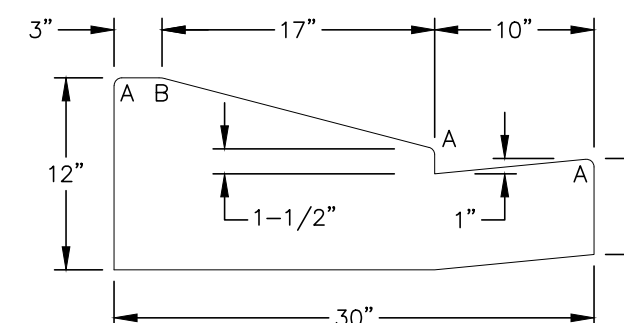
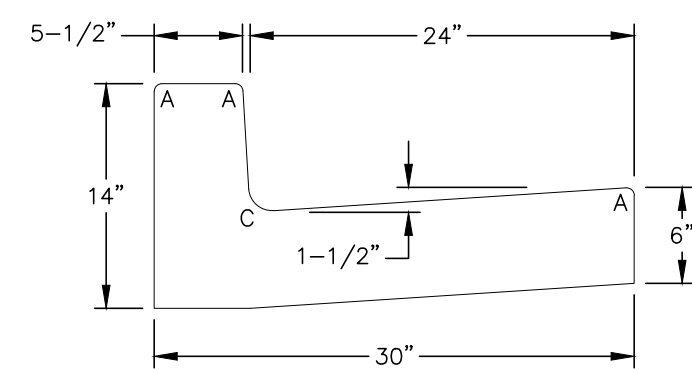


MATCHLINE - SEE SHT 4



LEGEND

- EXISTING
 - PROPOSED
 - PUBLIC
 - PRIVATE
 - FUTURE
 - EXISTING ASPHALT
 - CURB AND GUTTER
 - EASEMENT
 - BOUNDARY
 - RIGHT-OF-WAY
 - LOT LINE
 - EASEMENT
 - SETBACK
 - (E) CONTOUR, INDEX
 - (E) CONTOUR
 - (E) STORM SEWER, INLET, MH
 - (P) CONTOUR, INDEX
 - (P) CONTOUR
 - (P) STORM SEWER, INLET, MH
 - CURB TYPE CALL-OUT
- (E)
(P)
[PUB]
[PVT]
(F)
~A~
C&G
ESMT
- TYPE 1



RADII LEGEND:

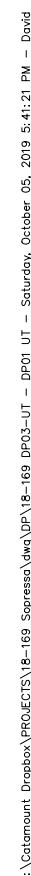
- A = 1/2"
- C = 1-1/2"
- D = 1-1/2" TO 2"

PREPARED FOR:
CHALLENGER HOMES
8605 EXPLORER DRIVE
#250
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(719) 598-5192

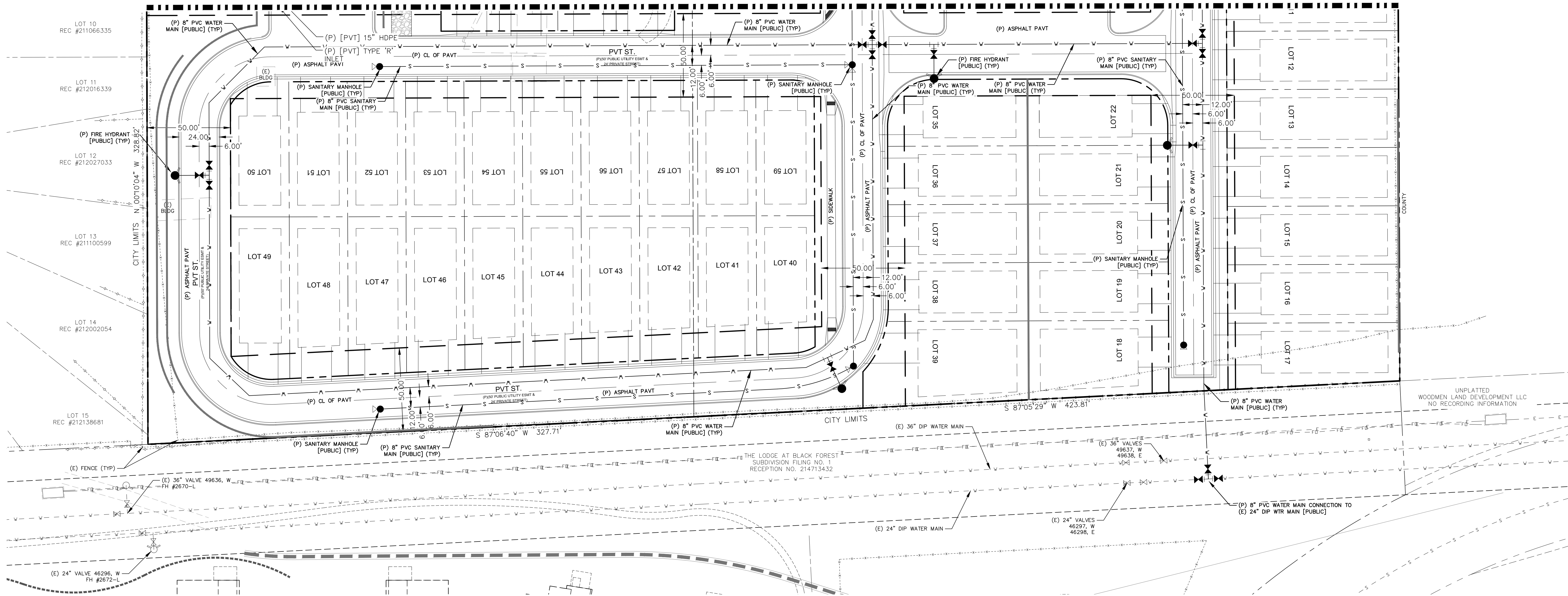


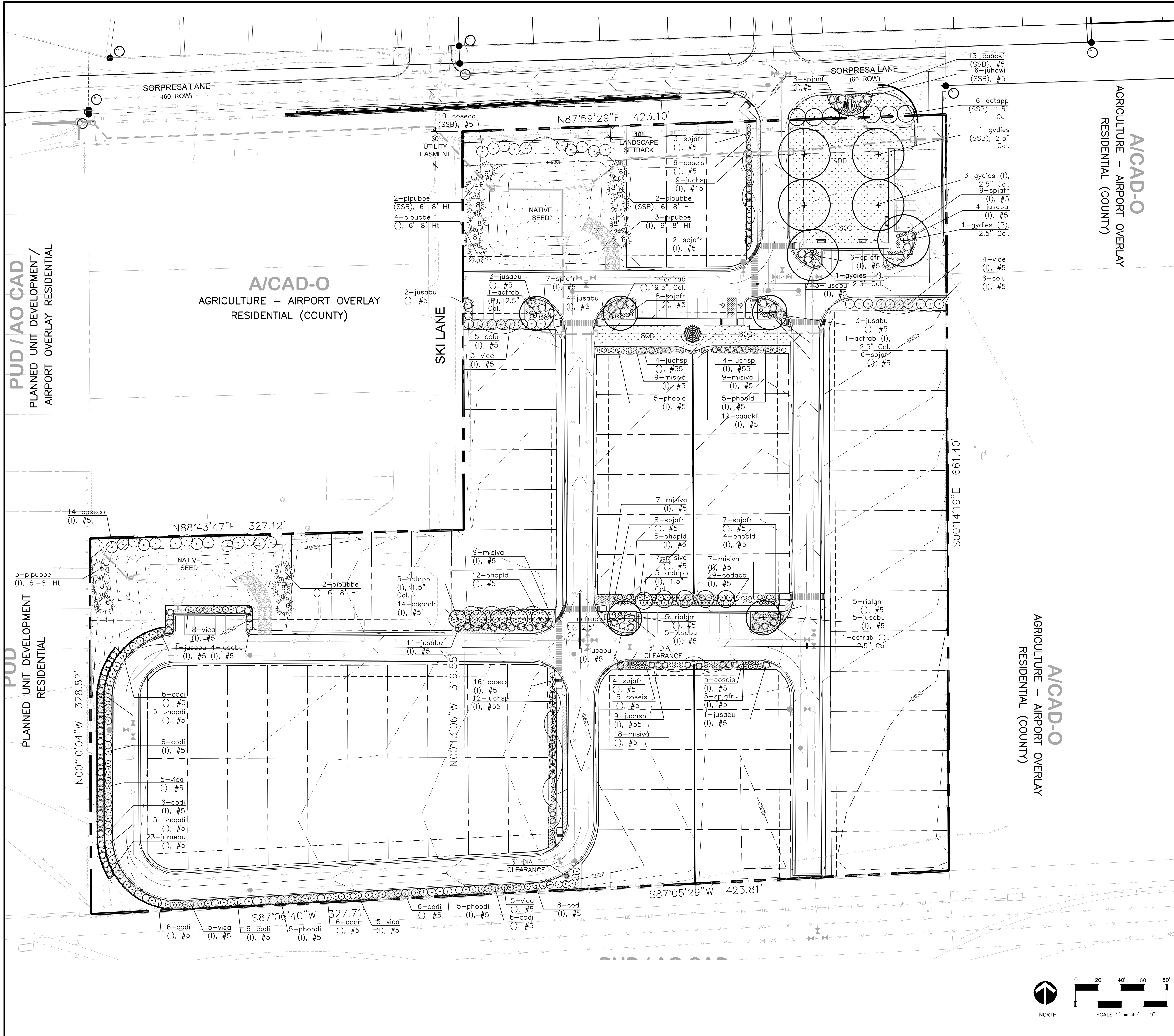
SOPRESSA EAST ADDITION
FILING NO. 1
PRELIMINARY
GRADING PLAN

CHECKED BY: DLM	DRAWN BY: DBM
SCALE: 1"=30'	DATE: 10/01/19
JOB NUMBER	SHEET
18-169	5 OF 13

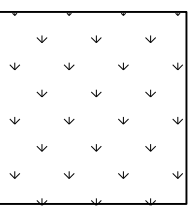


MATCHLINE – SEE SHT 6

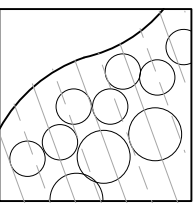




GROUND PLANE LEGEND

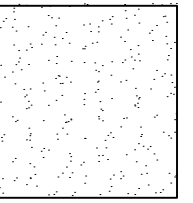


SOD: INDICATES IRRIGATED SOD AREAS.
14,031 S.F.



SHRUB BEDS: INDICATES SHRUB BEDS WITH ROCK MULCH. SHRUBS IN BEDS ARE TO HAVE AN 18" DIAMETER (OR 1 1/2 X ROOT BALL) WOOD MULCH RING AT THE BASE OF THE PLANT. TREES IN BEDS ARE TO HAVE A 3-4' DIAMETER (OR 2 X ROOT BALL) WOOD MULCH RING AT THE BASE OF THE TREE. SEE SHEET LS-4&5 FOR DETAILS AND SPECIFICATIONS OF WOOD & ROCK MULCH MATERIALS.

20,844 S.F.



NATIVE SEED AREAS: INDICATES NATIVE SEED AREAS. IRRIGATED FOR ESTABLISHMENT PURPOSES ONLY.
34,070 S.F.

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SHEET NAME
FINAL LANDSCAPE PLAN
PROJECT NAME
SORPRESA RESIDENTIAL COMMUNITY
6435 SORPRESA LANE
COLORADO SPRINGS, CO 80904

SUBMITTALS / REVISIONS	DATE	BY	TYPE

DRAWN BY: DTM

DATE: 10-07-19

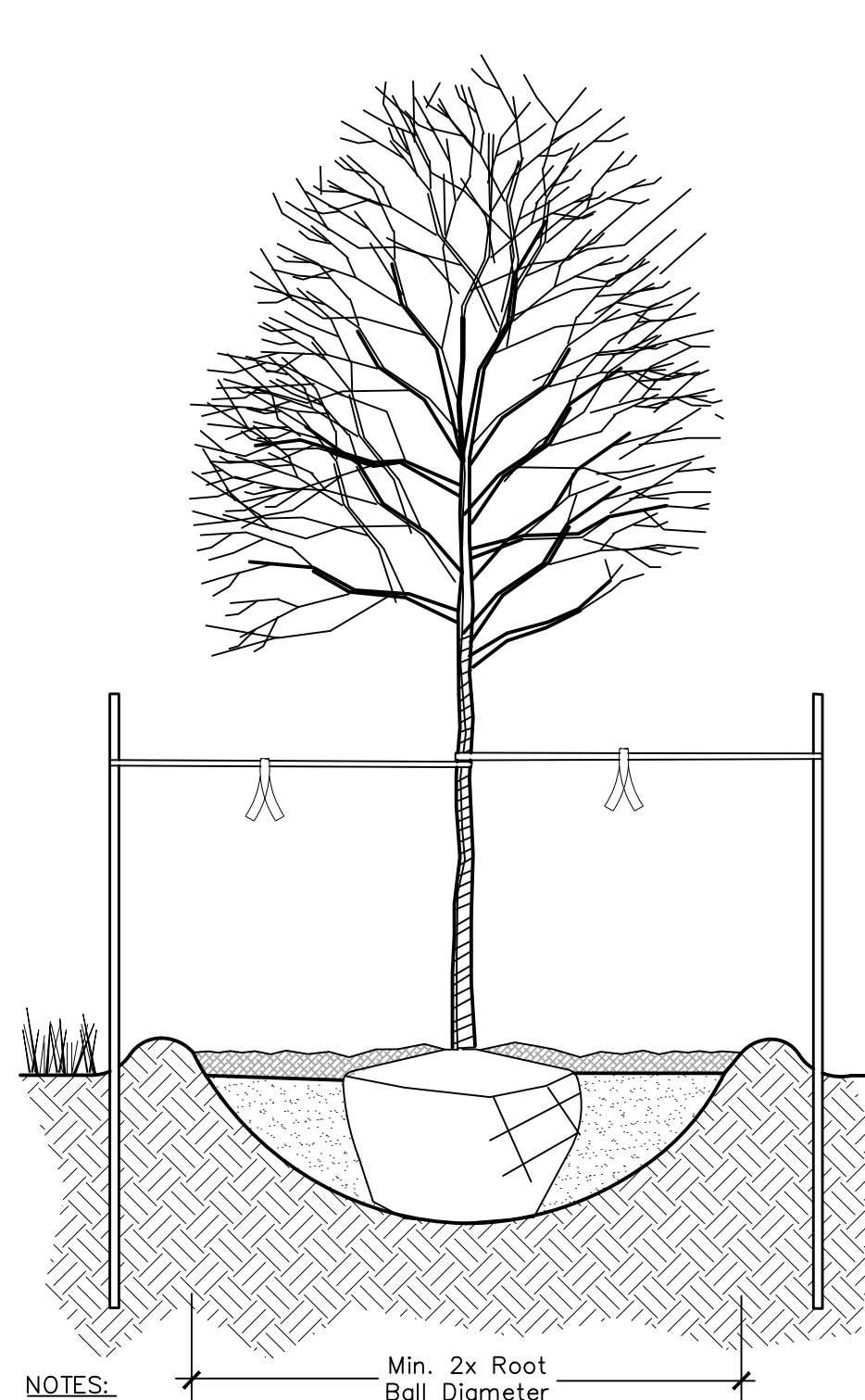
STAMPS/ENDORSEMENTS

SHEET NUMBER

L-1

8 OF 13 SHEETS

CITY FILE NUMBER:
AR-XX 18-XXXX



NOTES:

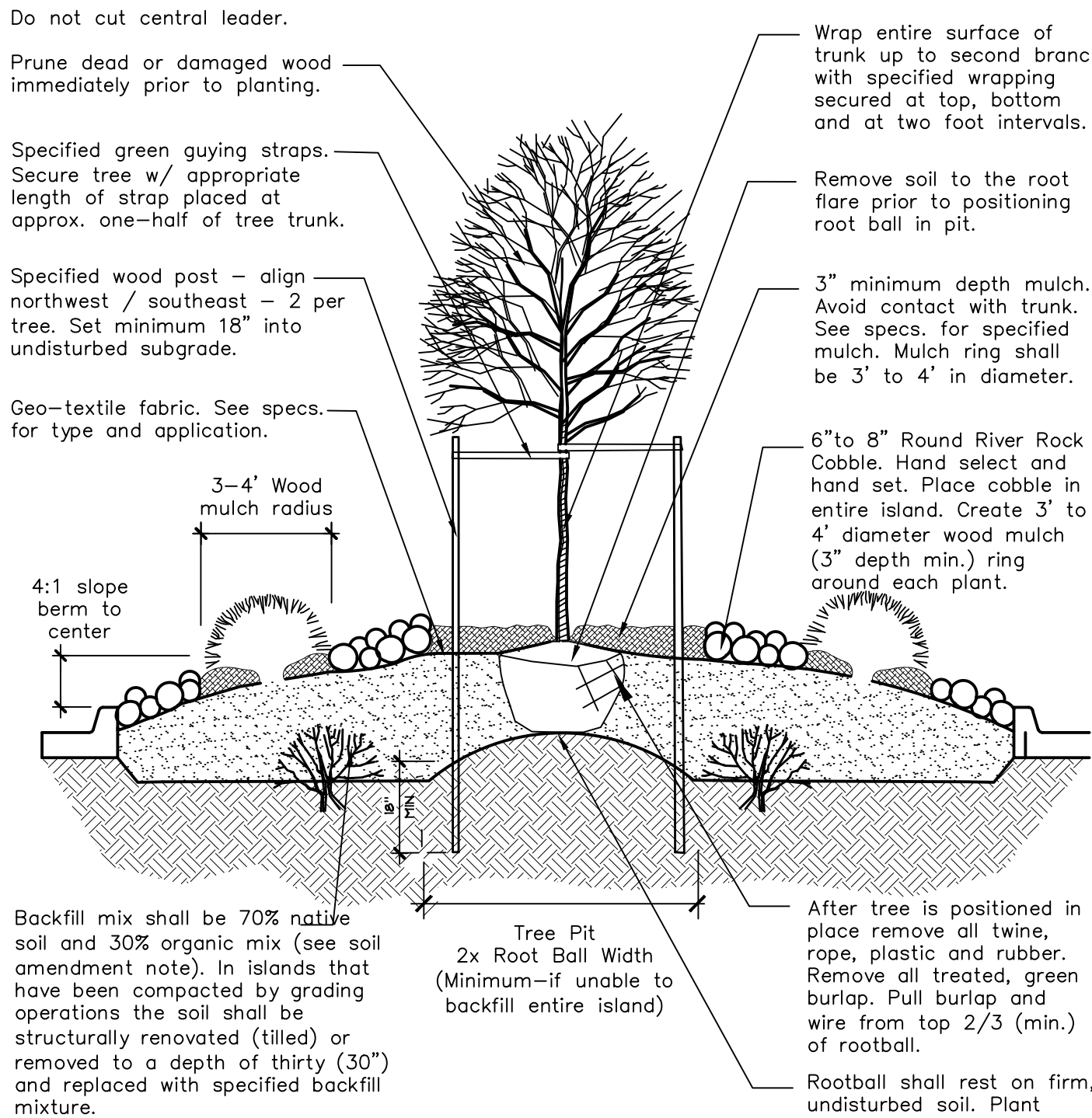
1. Dig pit so that the top of the root flare is level with surrounding grade. The root flare should determine the depth of the of the pit, not the top of the rootball.
2. Before delivery to the site assure nursery has marked the North side of all trees. At time of installation rotate tree so the mark is facing North.
3. Prune dead, broken or crossed branches and branches with weak or narrow crotches. Do not remove the terminal buds or branches that extend to the edge of the crown.
4. Structural Pruning should
5. Do not fertilize for at least one growing season.
6. Keep plants moist and shaded until planted.

A

DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

LS-5



NOTES:

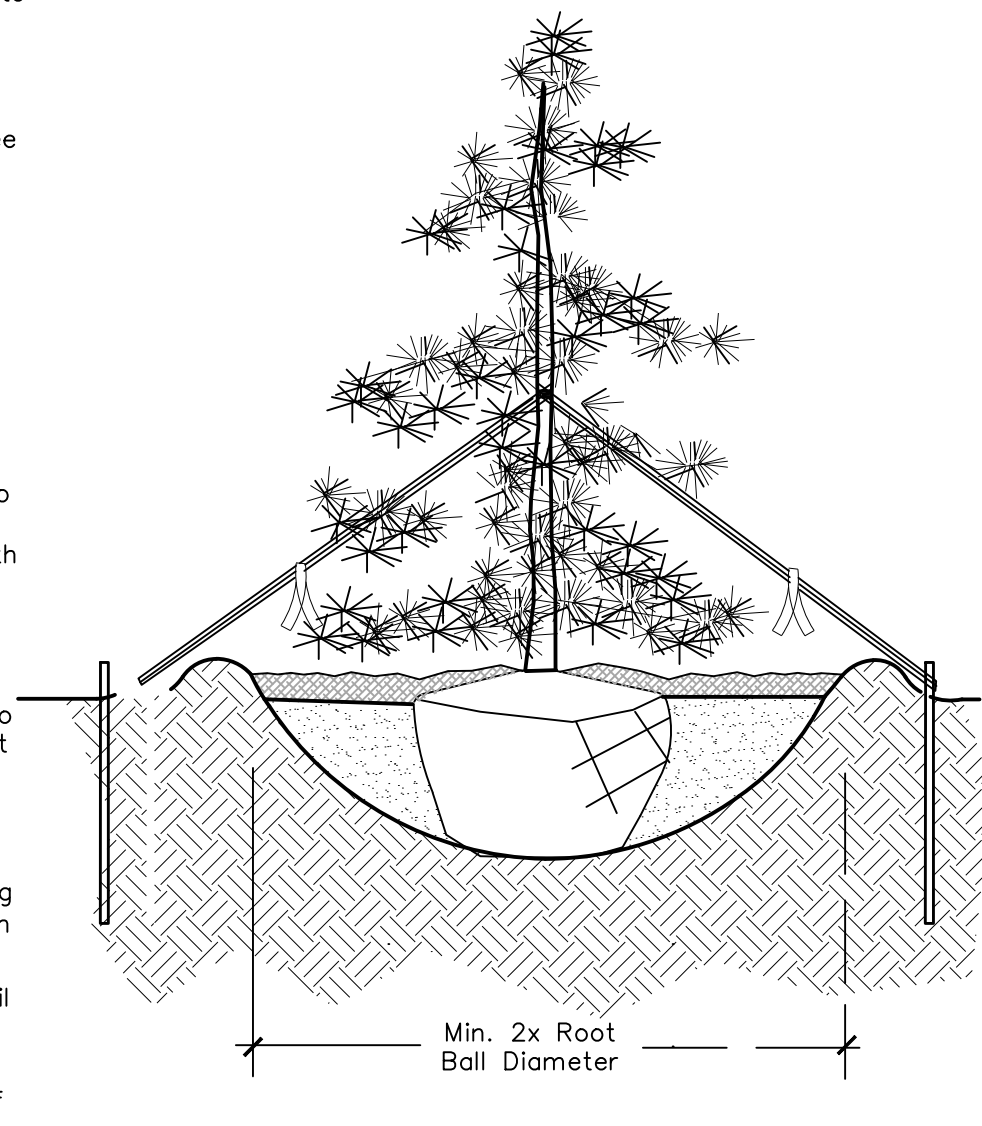
1. Dig pit so that the top of the root flare is level with surrounding grade. The root flare should determine the depth of the of the pit, not the top of the rootball.
2. Prune dead, broken or crossed branches and branches with weak or narrow crotches. Do not remove lower limbs and sprouts for at least two growing seasons.
3. Do not fertilize for at least one growing season.

B

PLANTING FOR PARKING LOT ISLANDS & SHRUB BEDS w/ COBBLE & WOOD MULCH RINGS

NTS

LS-5



NOTES:

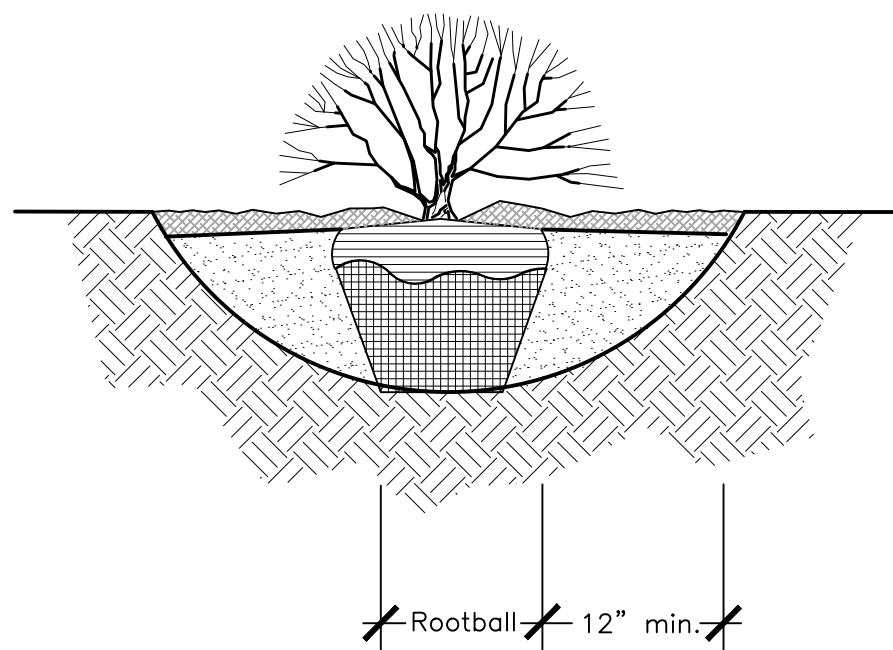
1. Dig pit so that the top of the root flare is level with surrounding grade. The root flare should determine the depth of the of the pit, not the top of the rootball.
2. Before delivery to the site assure nursery has marked the North side of all trees. At time of installation rotate tree so the mark is facing North.
3. Prune dead, broken or crossed branches and branches with weak or narrow crotches. Do not remove the terminal buds or branches that extend to the edge of the crown.
4. Structural Pruning should
5. Do not fertilize for at least one growing season.
6. Keep plants moist and shaded until planted.

C

EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE

LS-5



NOTES:

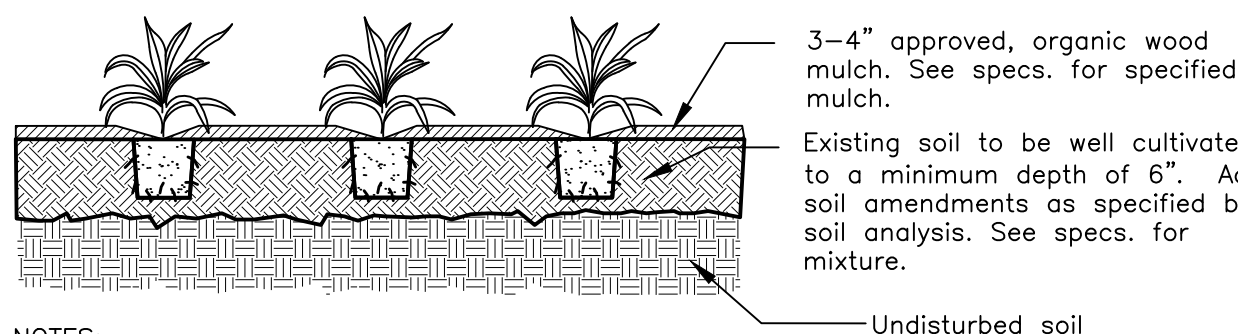
1. Prune only dead or broken branches and weak or narrow crotches.
2. Keep plants moist and shaded until planted.
3. Do not fertilize for at least one growing season.
4. Amended backfill shall be 1/2 compost and 1/2 Native and or imported topsoil.
5. All shrubs in rock areas to receive shredded mulch rings,
6. Deep water all plants at time of planting
7. On slopes plant rootball at grade and provide saucer rim on down hill side. Water in at planting.

D

SHRUB PLANTING DETAIL

NOT TO SCALE

LS-5



NOTES:

1. Keep plants moist and shaded until planting.
2. Plant ground covers and perennials level and at grade.
3. Prune all dead or broken parts prior to planting.
4. Amended backfill shall be 1/2 compost and 1/2 native and/or imported topsoil.
5. all perennials planted in rock mulch areas to have organic mulch rings around base of the plant.

E

PERENNIAL/ GROUND COVER PLANTING

NOT TO SCALE

LS-5

Do not remove or cut the leader.

Prune dead or damaged wood prior to planting (see note #3 below).

Guying material: Nylon straps with grommets below midpoint of tree. Tighten #10 guy wire by twisting. Protect branches from touching wire. Allow a slight sag for sway. Provide flagging tape with minimum 6" dangling (see specs for guying material and color).

Remove soil to the root flare prior to positioning root ball in pit. Plant root flare at soil grade.

3-4" minimum depth organic wood mulch. Avoid contact with trunk. See specs. for specified mulch. Mulch ring shall be 72" in diameter if located in turf area.

6" high earth saucer beyond edge of root ball when tree is located in dryland, native and downhill sides on slopes. Saucers are not required in irrigated turf areas.

Stake trees 6' in height or smaller with two post on the leeward and windward sides. Stake trees 6' high and over with 3 metal angle iron placed 120' apart. Set stakes 18" minimum into undisturbed subgrade. Remove stakes and guy wires within 12-18 months of planting.

Scarify sides of planting Pit. Backfill mixture shall be 1/2 native soil and 1/2 organic mix (see landscape notes and specs for soil mix).

Positioned tree in place and remove all twine, rope, plastic and rubber. Remove all treated green burlap and wire basket from rootball.

Rootball shall rest on firm, undisturbed soil.

NOTES:

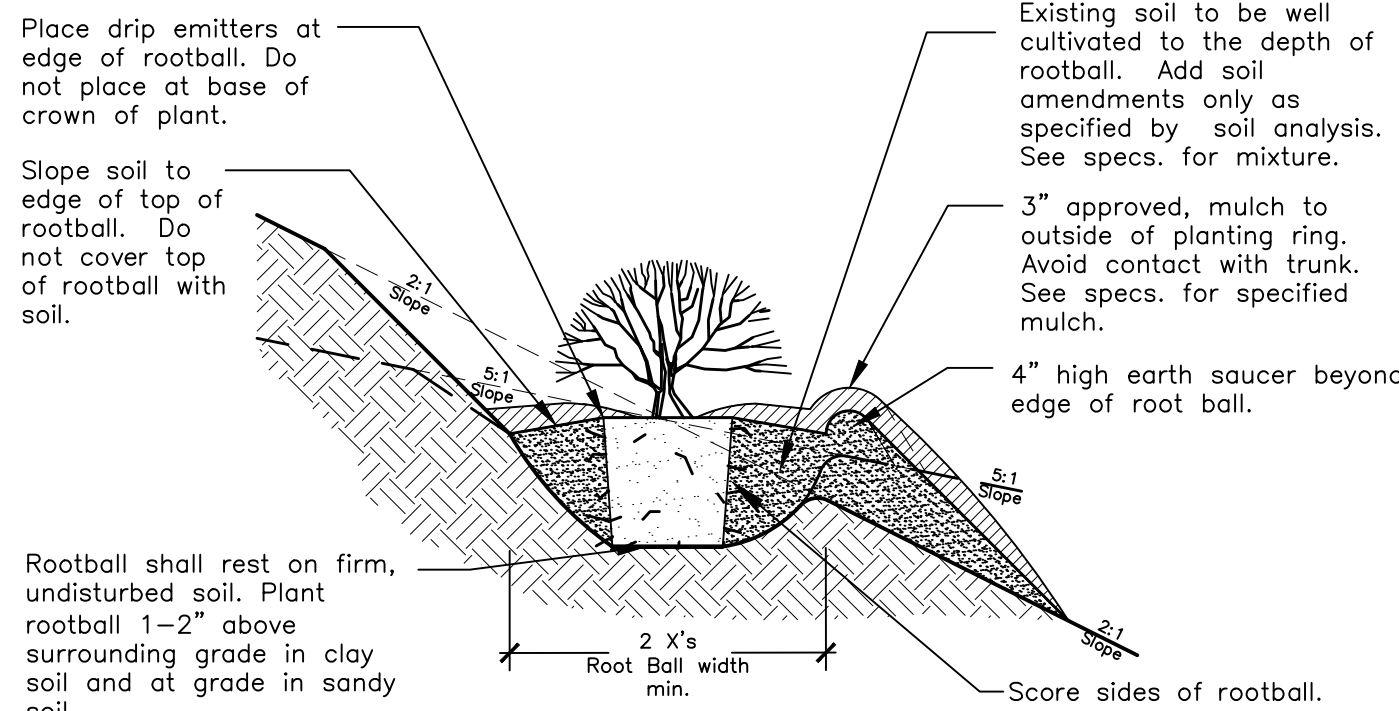
1. Mark the north side of the tree in the nursery, and rotate tree to face north at the site possible.
2. Each tree must be planted such that the trunk flare is visible at the top of the root ball. Trees where the trunk flare is not visible shall be rejected. Do not cover the top of the root ball with soil.
3. Prune dead, broken or crossed branches and branches with weak or narrow crotches. Do not remove lower limbs and sprouts for at least two growing seasons.
4. Stake only when necessary. Stake trees 2" cal. and smaller with metal post on prevailing wind side.
5. Do not wrap trunk unless required on exposed sites for species with thin bark. Use electrical tape, not duct tape. Do not use twine. Wrap in November and remove in spring.
6. Do not fertilize for at least one growing season.
7. Keep plants moist and shaded until planted.

F

TREE PLANTING ON SLOPE

NTS

LS-5



NOTE:

1. Keep plants moist and shaded until planted.
2. For pot bound container only: make 4-5 vertical cuts in rootball 1/2" deep. Plant immediately.
3. For rootbind at the bottom of ball: split rootball vertically all the way through bottom to halfway to top. Spread the two halves over a mound of soil in the planting hole.
4. For burlapped plants: Remove all burlap if possible without breaking the rootball or remove a minimum of 1/2 of the burlap from the top portion. Remove all treated burlap.
5. On slopes, plant rootball at grade and provide saucer rim on downhill side.
6. Water in at planting.
7. Corrective pruning (dead or damaged wood) to be completed after planting.
8. Do not fertilize for at least one growing season.

G

SHRUB PLANTINGS ON SLOPES

NTS

LS-5

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LANDSCAPE PLANT SCHEDULE

Abbr.	Qty.	Botanical Name	Common Name	App. B Key	Mature Width	Planting Size	Notes
TREES							
acfab	5	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	S	30'-40'	2.5" * Cal.	
actapp	16	'Acer tataricum 'Pattern Perfect'	Pattern Perfect Tatarian Maple	235AD	15'-20'	1.5" Cal.	
crcrin	6	Gymnocladus dioicus 'Espresso'	Seedless Kentucky Coffeetree	34AS	40'-50'	2.5" Cal.	
juchsp	38	Juniperus chinensis 'Spartan'	Spartan Juniper	2568DA	4'-6'	#15	
pipbbe	8	'Picea pungens 'Baby Blue Eyes'	Baby Blue Eyes Spruce	678S	10'-15'	6' ht.	
pipbbe	9	'Picea pungens 'Baby Blue Eyes'	Baby Blue Eyes Spruce	678S	10'-15'	8' ht.	
Percent Signature Trees: (60% minimum - Policy 311.3k)				Signature Trees : 77 Total No. of Trees: 82 = 94% Signature Trees			
SHRUBS							
codacb	43	Cotoneaster dammeri 'Coral Beauty'	Coral Beauty Cotoneaster	44568S	4'-6'	#5	
codi	56	Cotoneaster divaricatus	Spreading Cotoneaster	2345S	6'-8'	#5	
colu	11	Cotoneaster lucidus	Peking Cotoneaster	2345D	6'-10'	#5	
coseco	24	Cornus Serica coloradense	Colorado Redtwig Dogwood	457S	8'-12'	#5	
cosels	35	Cornus Serica 'Isanti'	Isanti Dogwood	457S	4'-6'	#5	
juhowi	6	Juniperus horizontalis 'Wiltoni'	Wilton Carpet Juniper	2568A	6'-8'	#5	
jumeau	23	Juniperus x media 'Pfitzeriana Aurea'	Gold Tip Pfitzer Juniper	DA	6'-8'	#5	
jusabr	19	Juniperus sabinia 'Broadmoor'	Broadmoor Juniper	568A	5'-8'	#5	
jusabu	31	Juniperus sabinia 'Buffalo'	Buffalo Juniper	568A	6'-8'	#5	
phoodi	20	Physocarpus opulifolius 'Diablo'	Diablo Ninebark	568SA	6'-8'	#5	
phoodi	31	Physocarpus opulifolius 'Little Devil'	Little Devil Ninebark	568SA	3'-4'	#5	
ridgim	10	Ribes alpinum 'Green Mound'	Green Mound Currant	24567DA	2'-3'	#5	
spjafr	40	Spiraea japonica 'Freobelli'	Freobell Spiraea	SA	4'-5'	#5	
spjanf	32	Spiraea japonica 'Neon Flash'	Neon Flash Spiraea	SA	4'-5'	#5	
vica	28	Viburnum carlesii	Koreanspice Viburnum	A	4'-6'	#5	
vide	7	Viburnum dentatum	Arrowwood Viburnum	A	6'-8'	#5	
Percent Signature Shrubs: (60% minimum - Policy 311.3k)				Signature Shrubs : 282 Total No. of Shrubs: 416 = 68% Signature Shrubs			
GRASSES							
coackf	32	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	A (L)	18" -24"	#1	
misipu	91	Miscanthus sinensis purpurascens	Purple Maiden Grass	DA	2'-3'	#1	
misiva	59	'Miscanthus sinensis 'Variegatus'	Variegated Maiden Grass	DA	2'-3'	#1	
PERENNIALS							
hestor	70	Hemerocallis 'Stella de Oro'	Dwarf Glad Daylily	D	12"-18"	#1	

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COLORADO SPRINGS, CO 80909

PROJECT NAME

SORPRESA RESIDENTIAL COMMUNITY

6435 SORPRESA LANE
COLORADO SPRINGS, CO 80904

PROJECT NAME

BY

DATE

DATE

DATE

DATE

DATE

DATE

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DATE

DATE

DATE

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DATE

DATE

DATE

CHALLENGER
HOMES

CONSULTANT:

Land Patterns, Inc.

Landscapes Architecture & Planning

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Tel: 303.733.8800
Fax: 303.733.8801
www.landpatterns.com

SHEET NAME
ARCHITECTURAL ELEVATIONS - UNIT 1690

PROJECT NAME
SORPRESA RESIDENTIAL COMMUNITY

6435 SORPRESA LANE
COLORADO SPRINGS, CO 80904

SUBMITTALS / REVISIONS		
DATE	TYPE	BY

DRAWN BY:
DTM

DATE: 10 / 07 / 2019

STAMPS/ENDORSEMENT

SHEET NUMBER

A-1

11 OF 13 SHEETS

CITY FILE NUMBER:
AR-XX 19- XXXXX

PACKAGE #11
MAIN BODY: CARRIAGE DOOR
2ND BODY: WINDSOR GREIGE
TRIM: CREAMY
ACCENT: PORPOISE





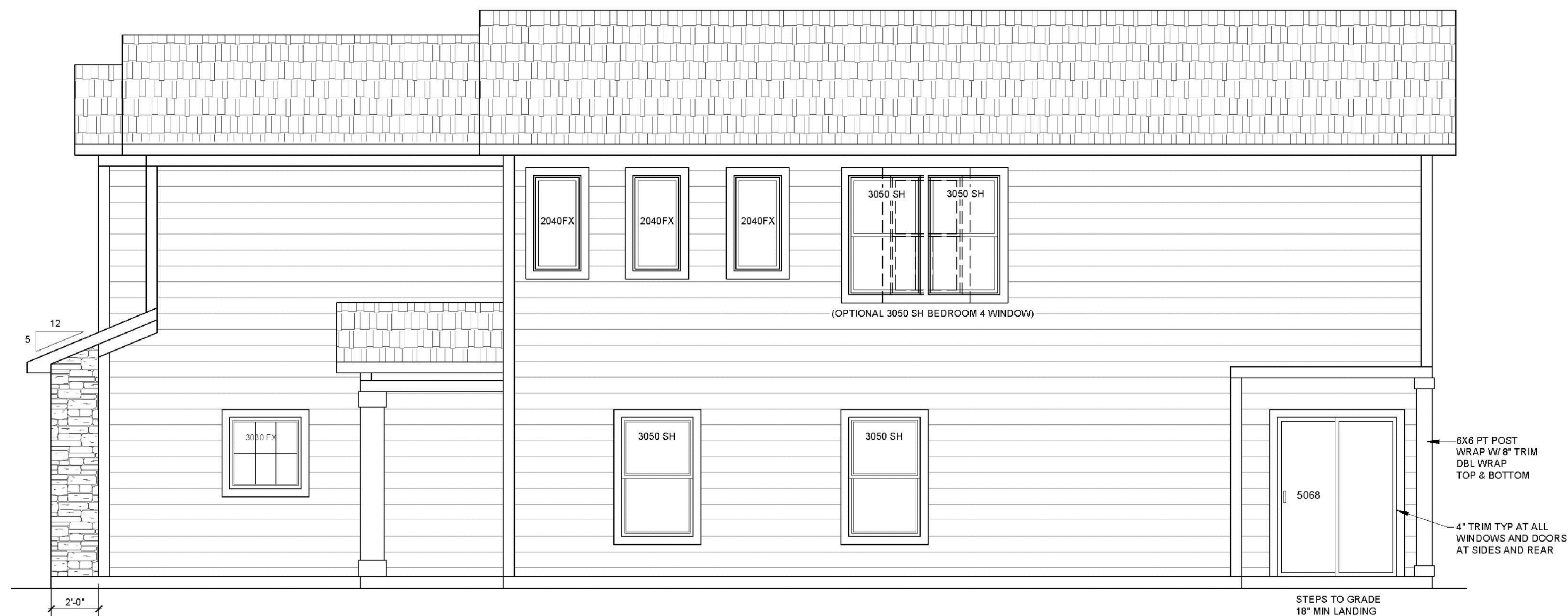
PACKAGE #9
MAIN BODY: GAUNTLET GRAY
2ND BODY: PUSSYWILLOW
TRIM: EIDER WHITE
ACCENT: TRICORN BLACK

CHALLENGER HOMES

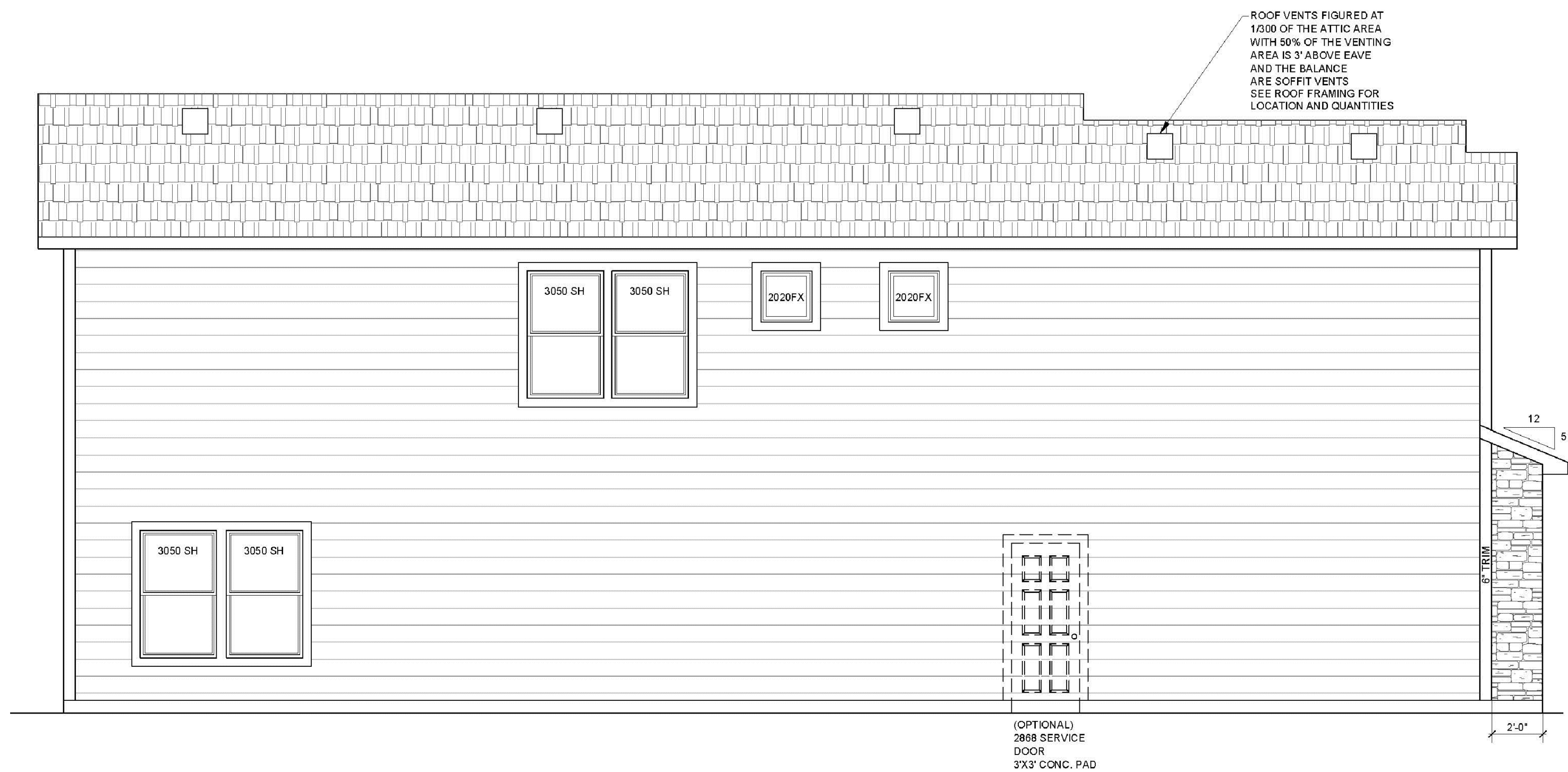
<i>Land Patterns, Inc.</i>		Landscape Architecture & Planning	
PO BOX 5050 COLORADO SPRINGS CO 80906	DESIGN PLANNING CONSULTATION	710 578 8080	lapi@lapi.com data@lapi.com

[illegible]

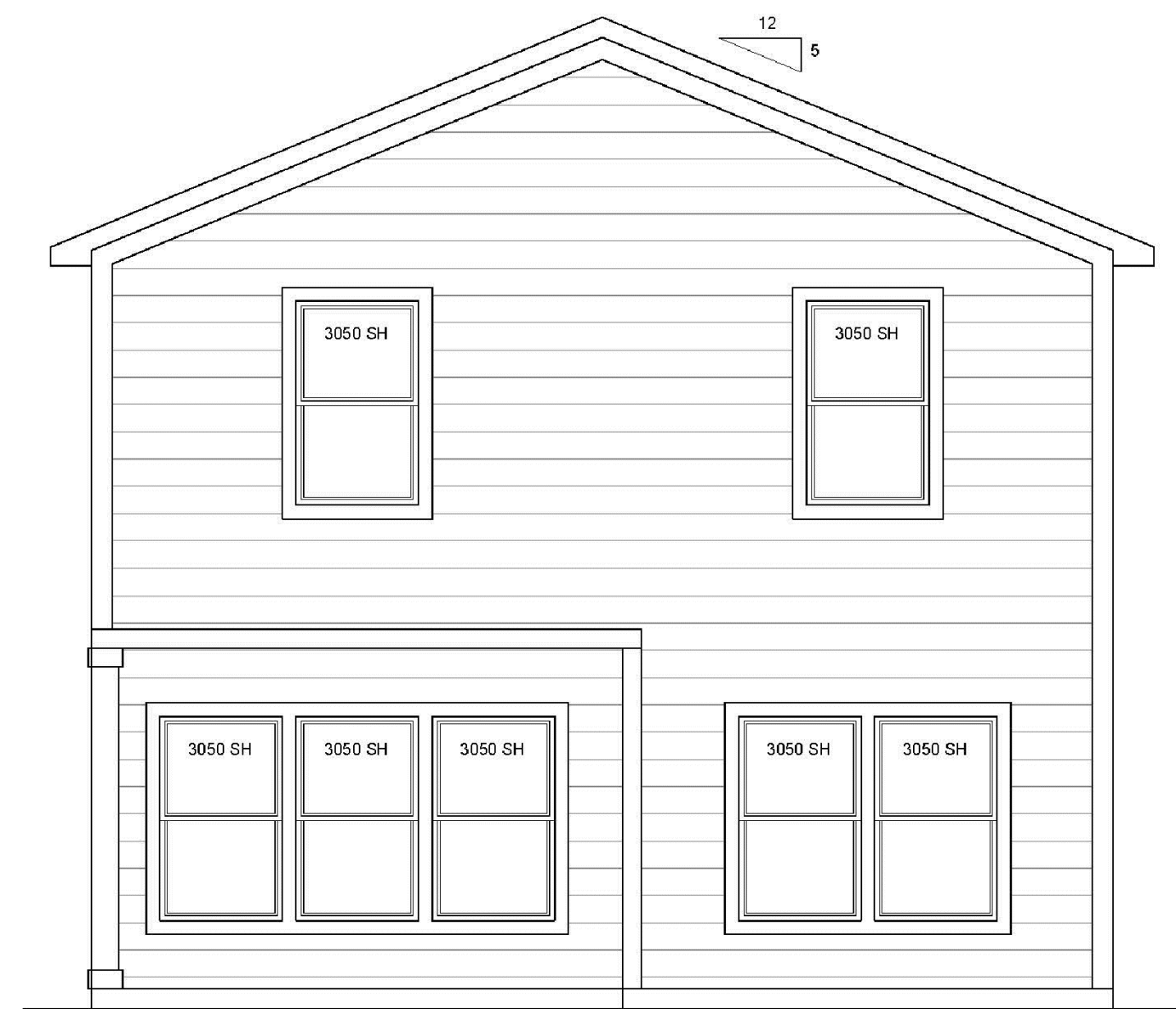
TY FILE NUMBER:
AR-XX 19- XXXXX



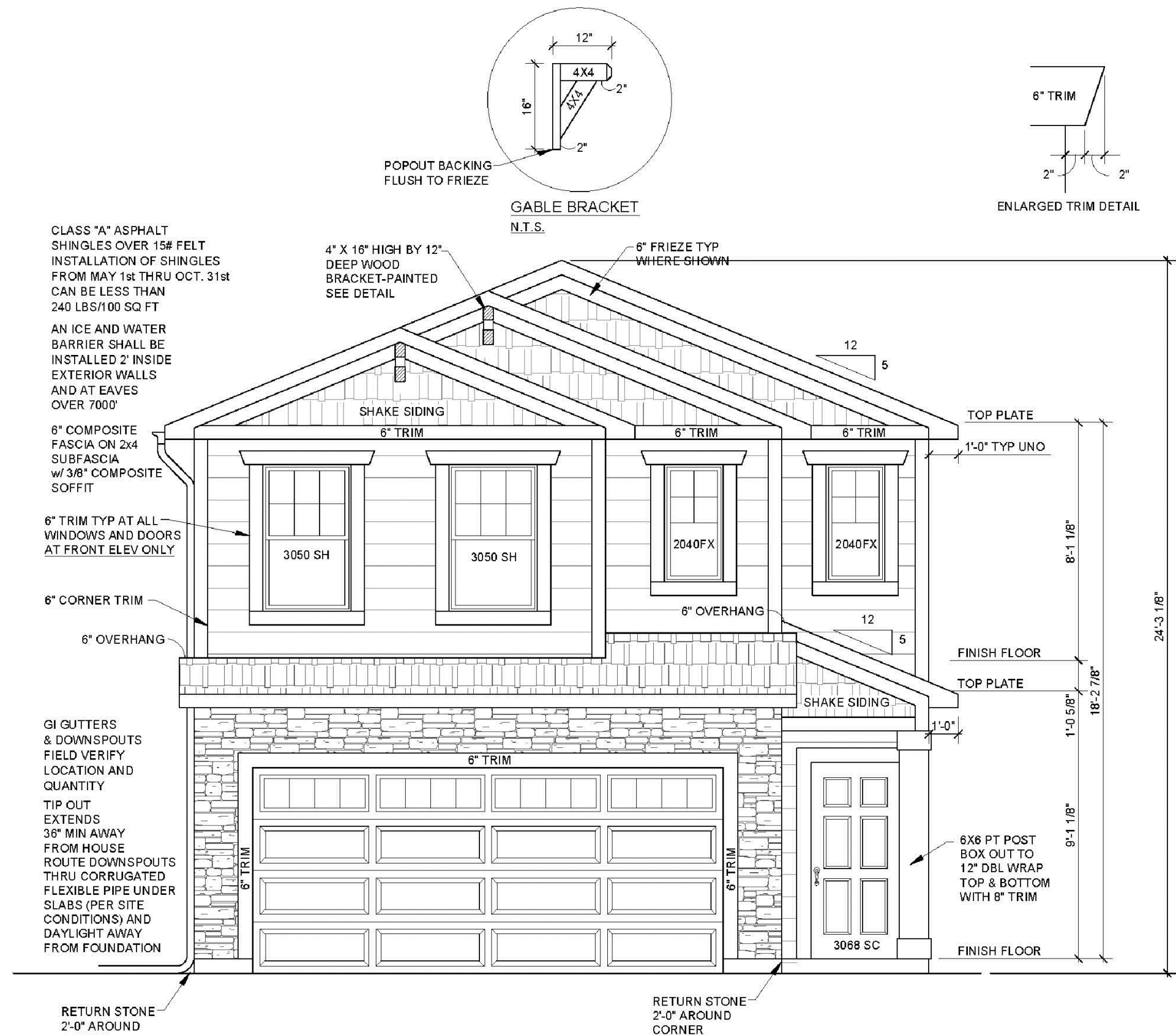
SIDE ELEVATION
1/4"=1'-0"



GARAGE SIDE ELEVATION
1/4"=1'-0"



REAR ELEVATION
1/4"=1'-0"



2066-FRONT ELEVATION - CRAFTSMAN
1/4"=1'-0"

CRAFTSMAN PAINT PACKAGES:

PACKAGE #3
MAIN BODY: QUIVER TAN
2ND BODY: FAVORITE TAN
TRIM: CHATEAU BROWN
ACCENT: CAJUN RED

PACKAGE #7
MAIN BODY: ZEUS
2ND BODY: UNIVERSAL KHAKI
TRIM: PANDA WHITE
ACCENT: SEALSKIN

PACKAGE #10
MAIN BODY: SLATE TILE
2ND BODY: INTELLECTUAL GRAY
TRIM: SHOJI WHITE
ACCENT: RUSTIC RED

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CHALLENGER
HOMES
8808 EXPLORED DRIVE, SUITE 250
COLORADO SPRINGS, CO 80920
719.598.5192

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SHEET NAME
ARCHITECTURAL ELEVATIONS - UNIT 2066
PROJECT NAME
SORPRESA RESIDENTIAL COMMUNITY
6435 SORPRESA LANE
COLORADO SPRINGS, CO 80904

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SHEET NUMBER
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13 OF 13 SHEETS
CITY FILE NUMBER:
AR-XX 18-XXXXX