



MEGGAN HERINGTON, AICP, EXECUTIVE DIRECTOR

September 10, 2025

RE: 7600 Wayfarer Drive – Special Use for tower height and increased accessory equipment area

File: AL2518

Parcel(s): 5528211001

This is to inform you that the above-referenced request for approval of a Special Use application for a tower height of 65 feet and an accessory equipment area of 550 square feet located at 7600 Wayfarer Drive was **approved** by the Planning and Community Development Director on September 10, 2025. It is the determination and finding of the Planning and Community Development Department (PCD) Director that the application meets the review criteria for approval of a Special Use included in Section 5.3.2 of the El Paso County Land Development Code (as amended).

This approval is subject to the following condition and notations:

CONDITION OF APPROVAL

Approval is limited to the tower height of 65 feet and an accessory equipment area of 550 square feet, as discussed and depicted in the applicant's letter of intent and site plan drawings.

NOTATIONS

1. Special Use approval includes conditions of approval and the accompanying site plan. No substantial expansion, enlargement, intensification, or modification shall be allowed except upon reevaluation and public hearing as specified in the El Paso County Land Development Code.
2. The Board of County Commissioners may consider revocation and/or suspension if zoning regulations and/or Special Use conditions/standards are being violated, preceded by notice and public hearing.

3. If the Special Use is discontinued or abandoned for two (2) years or longer, the Special Use shall be deemed abandoned and of no further force and effect.

Pursuant to Colorado Rule of Civil Procedure 106, this decision may be appealed to the El Paso County District Court within 28 days of the date of the decision. Should you have any questions, please contact Lacey Dean at (719) 520-7943 or laceydean2@elpasoco.com.

Sincerely,



Meggan Herington, AICP, Executive Director

El Paso County Planning and Community Development Department

File: AL2518



Letter of Intent

Land Owner:

Security Fire District
POC: Derek Chambers, Battalion Chief
7600 Wayfarer Drive
Colorado Springs, CO 80925
(719) 392-7121
dchambers@securityfiredept.org

Applicant:

Tower Co
Jennifer Jack, Director of Site Development
5000 Valleystone Dr.
Cary, NC 27519
(502) 552-9220
jjack@towerco.com

Consultants: (Civil, Permitting)

Power of Design Group, LLC
Derrick Rath
11490 Bluegrass Pkwy.
Louisville, KY 40299
(502) 276-2780
drath@podgrp.com

The Special Use Permit Application Packet requires a Letter of Intent which includes what is being requested and why (“Project Overview”); how the request meets the definitions of requested use as outlined in Chapter 1 of the LDC; how the request meets Sections 5.3.2 (specifically the review criteria) of the LDC; and how the request meets the standards for the specific use as outlined in Section 5.2.19 (Commercial Mobile Radio Service Facility (CMRS) Facilities).

Project Overview

TowerCo VI, LLC (“Applicant”) respectfully submits this application for special use permit approval to install a Commercial Mobile Radio Service Facility (the “Facility”) at 7610 Wayfarer Drive, Colorado Springs CO 80925 (Parcel #:5528211001) in the County of El Paso. The property is located in the CS CAD-0 Zoning District on a parcel owned by Security Fire District Station No. 4 (“Owner”), where the maximum height limit is forty-five feet (45’). TowerCo has secured a lease with the Owner and is proposing the construction of a sixty-foot (60’) three (3) sided stealth structure with a five-foot (5’) lightning arrestor and therefore is seeking special use approval in accordance with Section 5.2.19(B)(6)(d) of the Land Development Code (“LDC”) which states that “a freestanding CMRS facility, including antennae, shall not exceed the maximum structure height limit in the zoning district unless specifically authorized as part of the special use.” Additionally, TowerCo is requesting special use approval in accordance with Section 5.2.19(B)(5) where the area for accessory equipment is limited to 400 sf. TowerCo proposes a lease area of two thousand two hundred seventy-five square feet (2275sf) for the structure and attendant equipment. We require a total of approximately 550sf of equipment area for T-Mobile and all future carriers. The accessory equipment area for T-Mobile requires 160sf for T-Mobile’s platform and a future generator. The remaining 390sf of equipment area is reserved for future carriers accessory equipment to co-locate on the Facility.

The enclosed information demonstrates TowerCo’s efforts to comply with all applicable requirements outlined in the El Paso LDC and Special Use Permit Application for the development of the CMRS facility while carefully selecting a location that minimizes any perceived negative impact to current property use or the surrounding community.

Chapter 1 - §1.15 Definition of Requested Use

TowerCo is proposing an unmanned telecommunications facility as defined at 47 U.S.C. Section 332 (c)(7)(C) that will provide personal wireless services for residents, businesses and emergency responders from licensed carriers located at the facility. This proposal meets the definition of the requested use of a **CMRS (Commercial Mobile Radio Service) Facility** as defined in Chapter 1 of the LDC. Further, the proposed facility consists of a sixty foot (60’), three (3) sided stealth tower with a five-foot (5’) lightning rod. This CMRS facility is an alternative design of the CMRS freestanding facility, and this design will conceal the presence of antennae and is consistent with the definition of a **CMRS Facility, Stealth**.

Chapter 5 – Use Specific Standards

§5.2.19 Commercial Mobile Radio Service (CMRS) Facility

The proposed CMRS meets the purposes set forth in §5.2.19(A)(1). El Paso County ratified the CMRS provisions in order to facilitate the provision of wireless telecommunications services throughout El Paso County, allow the location of the CMRS subject to specified standards while encouraging co-location on the facilities and to prevent unreasonable discrimination among providers.

Below are the applicable General Standards outlined in §5.219(B) and TowerCo’s responses:

(1) **Co-Location.** Co-location of CMRS facilities is encouraged when feasible to minimize the number of CMRS facility sites. To further the goal of co-location: An applicant for a new freestanding CMRS facility shall demonstrate that a good faith effort has been made to co-locate on existing CMRS facilities. The applicant shall demonstrate that due to physical constraints, or economic or technological infeasibility, no such location or co-location is available. The applicant shall also demonstrate that contact has been made with the owners of all suitable structures within the search area of the proposed site and was denied permission to locate its CMRS facility on those structures.

TowerCo Response:

Selecting a location for a wireless telecommunications facility needed to improve service and provide reliable coverage depends on many factors, such as: topography, zoning regulations, existing structures, co-location opportunities, available utilities, site access, and a willing landlord. Wireless communication utilizes a line-of-sight technology that requires facilities to be in a relatively close proximity to the wireless handsets to be served. Each proposed site is unique and must be investigated and evaluated on its own merits.

That said, our site acquisition specialists searched the area surrounding the fire station and found that there were nine (9) parcels (including the fire station) that might work for T-Mobile coverage. Below is a synopsis of each location suitable for placement of the wireless facility and why the fire station was preferred while the others were ruled out.

- 1) Security Fire Department Station #4 new tower: Lat Long: 38.721358° -104.678852° This fire dept is the current candidate that T-Mobile wanted us to pursue. This property is one of the rare “CS: Commercial Service” zoned properties in the area which is favorable for a tower and a height increase is allowable pursuant to the Special Use Permit Process.
- 2) Colorado State Land Board new tower: Lat Long: 38.738008° -104.681919°. This is a raw land site that is owned by the State of Colorado. Currently, T-Mobile and UCI2 are developing a temporary tower at this site. The Colorado State Land Board intends to develop this property in 5 years and could not confirm a location for a new tower that wouldn't potentially require relocation. While this location might have worked from a technological perspective, the economic and temporal uncertainty made it infeasible for placement of a tower.
- 3) Widefield Development new tower: Lat Long: 38.722076° -104.679887°. While this location is feasible from a technological perspective, a lease was not pursued due to the superiority of the fire station location for a new structure.
- 4) Horizon Tower (existing): Lat Long: 38.740908° -104.693655°. This is a boarding school property that currently has a tower on it owned by Horizon Tower. T-Mobile's RF engineers reviewed this tower for co-location and found that it was not feasible to satisfy the significant gap in coverage.
- 5) HPHR Properties LLC new tower: Parcel 5500000401. 38.734899° -104.668542°: This property has a very low elevation and is not technologically feasible to build a new tower. Even with a proposed height of 90', the location would not satisfy the significant gap in coverage.
- 6) El Paso County-owned Parcel new tower: Parcel 5521407024. 38.724206° -104.673037°. This parcel has very unfavorable terrain for a tower and is substantially lower in elevation than other candidates in the area. There are no flat areas on this parcel for placement of a tower, and substantial erosion control would be needed at this location. Further, this parcel is zoned RS-6000: Residential Suburban and towers are not allowed on RS-6000 zoned property per the El Paso County LDC.

- 7) Jenkins Carolyn owned Parcel new tower: Parcel 5528000028. 38.720536° -104.681475°. While this location is comparable to the fire station property, the parcel is located within the City of Fountain which limits towers to 35' with no special use procedure to increase the height limitation. The parcel was unavailable for leasing as well.

The proposed CMRS will be designed and constructed to allow for co-location of a minimum of (2) users to thwart efforts for additional towers in the area.

(2) Compliance with FCC Standards

TowerCo Response: Please accept this Letter of Intent as a certification that the CMRS facility will comply with all current FCC Regulations prohibiting localized interference with reception of television and radio broadcasts; the CMRS facility will comply with current FCC standards for cumulative field measurements of radio frequency power densities and electromagnetic fields as further described in the Certification of Compliance, dated 7/1/2025 and completed by Neeraj Beri, T-Mobile RF Engineer.

(3) Abandonment and Expiration

TowerCo Response: If the CMRS facility ceases operation for any reason for a period of one year TowerCo will remove the CMRS facility within six months of the expiration and understands that any permit or approval authorizing the CMRS facility shall be considered expired.

(4) **Application Approval or Denial.** In considering an application for a CMRS facility, the County shall base its decision as to the approval or denial of the application on whether the proposed CMRS facility meets the design standards set forth in this Section and any approval criteria associated with the applicable application or review process.

TowerCo Response: Understood and acknowledged

(5) **Accessory Equipment for a CMRS Facility.** All accessory equipment for a CMRS Facility shall be 100% screened from view. All equipment shelters shall be located within the lease area for the CMRS facility. No equipment storage shelter shall exceed 15 feet in height. Equipment storage shelters shall be grouped as closely together as practical, so as to minimize impact on adjoining properties. The total area of all accessory equipment, including equipment storage shelters, shall not exceed 400 square feet per CMRS facility.

TowerCo Response: As noted above, TowerCo is requesting to build a Facility for multiple carriers. The lease area for both the tower and the equipment is 2275sf, with 550sf reserved for accessory equipment used by the carriers. TowerCo respectfully requests the additional space of 150sf (i.e. 400sf + 150sf) for the seamless co-location of future carriers and to avoid additional hearings for the increase when the carrier wishes to place its equipment.

(6) Standards for Freestanding CMRS Facilities.

(a) **Tower/Structure Removal Agreement.** Prior to commencing construction of a new freestanding CMRS facility or any alteration of an existing freestanding CMRS facility, a Tower/Structure Removal Agreement shall be signed by the owner of the property and filed for recording with the Clerk and Recorder.

TowerCo Response: Understood and acknowledged. TowerCo has signed the CMRS Facility Removal Agreement form provided by El Paso County.

(b) **Financial Assurance Required.** Prior to commencing construction of a new freestanding CMRS facility or any alteration of an existing freestanding CMRS facility, the owner of a freestanding CMRS facility shall be required to provide the County with adequate financial assurance to cover removal of the facility if abandoned. The form of financial assurance shall be approved by the PCD Director. New financial assurance will be required prior approval of alteration of an existing freestanding CMRS facility and when the ownership of the lease or facility changes hands.

TowerCo Response: Understood and acknowledged. TowerCo has signed the CMRS Facility Removal Agreement form provided by El Paso County and will provide security in the form of a Bond or other documentation as required by El Paso County.

(c) **Minimum Setbacks for Freestanding CMRS Facilities.**

(i) Located Within 250 Feet of Residential Zoning District. A freestanding CMRS facility located within 250 feet of any property zoned for residential use shall be set back from any residential property line one foot of distance for every foot of facility height (as measured from grade elevation), plus an additional 10 feet.

(ii) Located Over 250 Feet from Residential Zoning District. A freestanding CMRS facility located greater than 250 feet from property zoned for residential use shall meet the minimum setback requirements for structures and structures of the underlying zoning district and located in a manner to contain any freefall or icefall on the same property.

TowerCo Response: Understood and acknowledged.

(d) **Maximum Height for Freestanding CMRS Facilities.** A freestanding CMRS facility, including antennae, shall not exceed the maximum structure height limit in the zoning district unless otherwise specifically authorized as a part of the special use or variance of use approval.

TowerCo Response: The maximum height in the CS Zoning District is 45'. TowerCo is filing the Special Use Permit application for review and approval of a 60' stealth structure in the CS Zoning District.

(e) **Administrative Special Use or Variance of Use Amendment.**

TowerCo Response: This paragraph of the Use Standards is not applicable as it pertains to modifications of an existing site. However, TowerCo acknowledges and understands this provision will apply to any modification requests to the proposed facility.

(f) **Design Standards for Freestanding CMRS Facilities.**

TowerCo Response: This paragraph of the Use Standards is not applicable as it pertains to freestanding, non-stealth CMRS Facilities and TowerCo is proposing a 3-sided stealth structure.

(g) **Photo Simulations Required.**

TowerCo Response: This paragraph of the Use Standards is not applicable as it pertains to freestanding, non-stealth CMRS Facilities and TowerCo is proposing a 3-sided stealth structure.

(7) **Stealth CMRS Facility Design Standards.** A stealth CMRS facility shall meet the same design standards and maximum height allowance of a freestanding CMRS facility.

TowerCo Response: Understood and Acknowledged. The maximum height in the CS Zoning District is 45'. TowerCo is filing the Special Use Permit application for review and approval of a 60' stealth structure in the CS Zoning District.

Chapter 5 – Section 5.3 Standards for Review, Approval and Administration of Uses
§5.3.2 Special Use

(C) Criteria. In approving a special use, the following criteria may be considered:

- The special use is generally consistent with the applicable Master Plan;

TowerCo Response: El Paso County’s Master Plan projects a growth rate of nearly one million people by 2050 and has created the master plan to accommodate for that growth in specific areas of the County. The county aspires to maintain the special character, uniqueness and environmental and natural amenities of the region. The inclusion of a stealth CMRS in El Paso County is consistent with the goals of the Master Plan, specifically in the Suburban Residential placetype. The Suburban Residential placetype consists primarily of residential areas with supporting commercial uses at key places in the area. A CMRS is one of those supporting commercial uses. The CMRS is consistent with the character of the Suburban Residential placetype in that it is a complementary and not a dominant development type. The CMRS is a vital asset to the growing community of Suburban Residential neighborhoods and is most certainly an essential service not only for the growing demands of broadband, downloading, and making calls but also to ensure there are emergency services for the commercial entities, the parks and open spaces, the bike and walking trails, the multi and single family homes, and any and all institutions supported by the Suburban Residential placetype. The existence of a CMRS facility is a minimal change to the general character of the Suburban Residential placetype but it offers a massive benefit to the area, and since it is a stealth structure, it will be designed to blend into the general character of the Suburban Residential placetype. The area surrounding the CMRS will be landscaped in accordance with the standards set forth in the Master Plan, and because of its stealth nature, it will be essentially “hidden from public view” within the setbacks and buffer areas established by the El Paso County code. A CMRS will encourage growth, provide coverage to the existing and upcoming neighborhoods and business and will not impact the visual, environmental or natural amenities within the County. In fact, it will help the County attract more people and encourage economic growth by providing a key infrastructure element.

- The special use will be in harmony with the character of the neighborhood, and will generally be compatible with the existing and allowable land uses in the surrounding area;

TowerCo Response: The proposed CMRS is a stealth structure which blends into the character of the neighborhood surrounding Wayfarer Drive. It will enhance the area by providing necessary means of communications and will be designed for multiple users. CMRS facilities are allowed in the CS Zoning District and a key component of the County’s master plan.

- The impact of the special use does not overburden or exceed the capacity of public facilities and services, or, in the alternative, the special use application demonstrates that it will provide adequate public facilities in a timely and efficient manner;

TowerCo Response: The special use will neither overburden or exceed the capacity of public facilities and services. The increased height of 15' will provide necessary cell coverage to the area and will effectively lessen the need for additional towers in the area. The additional square footage for the future carriers' equipment is necessary to ensure seamless co-location.

- The special use will not create unmitigated traffic congestion or traffic hazards in the surrounding area, and has adequate, legal access;

TowerCo Response: The CMRS facility is an unmanned facility 24/7. The only traffic to the site is during routine maintenance checks and during emergencies. The access to the site is safe and reliable and consistent with the local building and fire codes.

- The special use will comply with all applicable local, state, and federal laws and regulations regarding air, water, light, or noise pollution;

TowerCo Response: The Special Use will comply with all local, state federal laws. Air, water, light and noise pollution are not by-products of a CMRS facility. Future generators will only run during routine checks and in an emergency and meets the noise requirements of the LDC.

- The special use will not otherwise be detrimental to the public health, safety and welfare of the present or future residents of El Paso County; and/or

TowerCo Response: The CMRS facility complies with all health and safety guidelines as outlined by the FCC and local laws. The presence of a CMRS facility will increase the likelihood of a quicker response time to any potential or specific emergencies in the area.

- The special use conforms or will conform to all other applicable County rules, regulations or ordinances.

TowerCo Response: The special use will conform to all county rules, regulations and ordinances.

Relevant Federal Law and Legal Principles

The Telecommunications Act of 1996 ("TCA"), *47 U.S.C. § 332(c)(7)(B)(i)(II)*, governs federal, state, and local control over the siting of wireless communications facilities. Congress enacted the Telecommunications Act to facilitate expansion of cell phone service across the United States and encourage competition between cell phone service providers. To achieve this purpose, the TCA places certain limitations on the traditional power of state and local authorities to regulate the placement of personal wireless service facilities. *47 U.S.C. § 332(c)(7)*. The TCA prohibits state and local governments from regulating "the placement, construction, and modification of personal wireless service facilities" so as to "prohibit or have the effect of prohibiting the provision of personal wireless services." *47 U.S.C. § 332(c)(7)(B)(i)(II)*.

In the Declaratory Ruling, the FCC clarified the standard of review for determining whether a municipal action has prohibited or effectively prohibited a carrier from providing personal wireless services or telecommunications services. "[A]n effective prohibition [of service] occurs where a state or local legal requirement 'materially inhibits' a provider's ability to engage in any of a variety of activities related to its provision of a covered service." *Declaratory Ruling at ¶ 37*. This is referred to as the "materially inhibit" standard. The FCC explained that "a state or local legal requirement could materially inhibit service in numerous ways – not only by rendering a service provider unable to provide an existing service in a new geographic area or by restricting the entry of a new provider in providing service in a particular area, but also by materially inhibiting the introduction of new services or the improvement of existing services." *Id.* A local government

materially inhibits a provider “not only when filling a coverage gap but also when densifying a wireless network, introducing new services or otherwise improving service capabilities.” *Id.*

To simplify, Courts have identified an “effective prohibition” when 1) a wireless carrier demonstrates a “significant gap” in wireless service coverage; [In declaratory Ruling at ¶ 37 the FCC clarified that “significant gap” includes “new wireless builds ... designed to add network capacity and take advantage of new technologies...”] and 2) the proposed facility would provide the “least intrusive means,” in relation to the land use values embodied in local regulations, to provide the service coverage necessary to fill that gap.

When this 2-prong test is met, the municipality must approve the wireless facility; and the burden shifts to the municipality to prove that a less intrusive alternative exists to meet the significant gap in coverage, and it is “less intrusive” than the proposed facility.

The request for a variance made under the TCA should be granted because the Applicants have shown that there is a substantial gap in coverage (see Exhibits F and G regarding the coverage gap). A variance under the TCA can be found when there is evidence of a substantial coverage gap and that the proposed facility would substantially address that coverage gap. See, e.g., *Galbi v. Sachs*, 19 MISC 389, 32 LCR 192, 204; 2024 WL 1917157, 2024 Mass LCR Lexis 56 (2024)(gap in coverage and no feasible alternative site requires variance under TCA).

Health & Safety

According to the Telecommunications Act of 1996, local governments cannot regulate the placement of telecommunications facilities based on health concerns related to radiofrequency (RF) emissions if the facility complies with FCC radiation exposure guidelines, essentially preempting local zoning laws that would deny a facility solely due to perceived health risks from RF emissions. Local governments must rely on the FCC's established safety limits for RF radiation when evaluating the health impact of a telecommunications facility.

The proposed application conforms with El Paso County’s LDC and is compliant with the RF emissions requirements and standards established by the FCC.



TowerCo

SITE NAME:

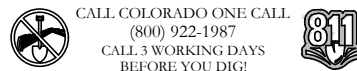
WIDEFIELD

TOWERCO SITE ID: CO0130

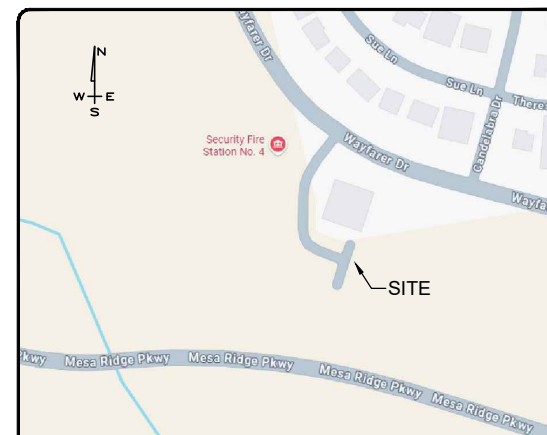
T-MOBILE WIRELESS SITE NAME: WIDEFIELD - SECURITY FIRE #4

T-MOBILE WIRELESS SITE NUMBER: DN01985A

PROPOSED RAW LAND 60'-0" STEALTH TOWER WITH A 5' LIGHTNING ARRESTOR & INSTALLATION OF AN 10'-0" x 10'-0" EQUIPMENT PLATFORM W/ ICE BRIDGE CANOPY



SHEET INDEX	
T-1	TITLE SHEET & PROJECT INFORMATION
SURVEY: LS-1	SITE SURVEY (BY OTHERS)
GRADING: GD-1 GD-2 GD-3	GRADING, DRAINAGE & EROSION CONTROL PLAN SURFACE & DRAINAGE DETAILS EROSION CONTROL DETAILS
CIVIL: C-1 C-2 C-3 C-3.1 C-3.2 C-4 C-5 C-5.1	OVERALL SITE PLAN ENLARGED SITE PLAN TOWER ELEVATION TOWER ELEVATION ALTERNATE VIEWS TOWER ELEVATION ALTERNATE VIEWS ANTENNA LAYOUT FENCE ELEVATION SIGNAGE DETAILS
LANDSCAPE: LP-1	LANDSCAPING PLAN



VICINITY MAP NOT TO SCALE

PREPARED BY:

POWER OF DESIGN
11490 BLUEGRASS PARKWAY
LOUISVILLE, KY 40299
502-437-5252

PREPARED FOR:

PREPARED FOR:

PRELIMINARY:
NOT FOR
CONSTRUCTION

ZONING DRAWINGS		
REV.	DATE	DESCRIPTION
A	03/14/25	PRELIM ISSUE
B	05/08/25	JDX COMMENTS
C	07/01/25	JDX COMMENTS
D	08/28/25	JDX COMMENTS

SITE NAME:
WIDEFIELD

SITE INFORMATION:
7610 WAYFARER DRIVE
COLORADO SPRINGS, CO 80925
EL PASO COUNTY

T-MOBILE SITE NAME:
WIDEFIELD - SECURITY FIRE #4

T-MOBILE SITE ID:
DN01985A

POD PROJECT NUMBER: 25-178243
DRAWN BY: GH
CHECKED BY: MEP
DATE: 08/28/25

SHEET TITLE:
TITLE SHEET
& PROJECT
INFORMATION

SHEET NUMBER:
T-1

PROJECT INFORMATION	
TOWER CO SITE NAME:	WIDEFIELD
TOWER CO SITE NUMBER:	CO0130
E911 ADDRESS:	7610 WAYFARER DRIVE COLORADO SPRINGS, CO 80925
COUNTY:	EL PASO
STRUCTURE TYPE:	60'-0" STEALTH TOWER
TAX SCHEDULE NUMBER:	5528211001
LATITUDE:	38°43'16.9"
LONGITUDE:	104°40'43.9"
CONSTRUCTION TYPE:	II-B
USE GROUP:	U
ZONING CLASSIFICATION:	CS CAD-O
EXISTING LAND USE:	FIRE STATION
PROPOSED LAND USE:	FIRE STATION & CELL TOWER
APPLICANT:	TOWERCO 5000 VALLEYSTONE DRIVE SUITE 200 CARY, NORTH CAROLINA 27519 JENNIFER JACK JJACK@TOWERCO.COM PHONE: (502) 552-9220
PROPERTY OWNER:	SECURITY FIRE DISTRICT 7600 WAYFARER DRIVE COLORADO SPRINGS, CO 80925 DEREK CHAMBERS BATTALION CHIEF PHONE: (719)392-7121 DCHAMBERS@SECURITYFIREDEPT.ORG

NON-EMERGENCY FIRE SERVICES
SECURITY FIRE PROTECTION DISTRICT 7600 WAYFARER DR. COLORADO SPRINGS, CO 80925 PHONE: (719) 392-7121

NON-EMERGENCY POLICE SERVICES
EL PASO COUNTY SHERIFF'S OFFICE 27 EAST VERMIJO AVENUE COLORADO SPRINGS, CO 80903 PHONE: (719) 520-7100

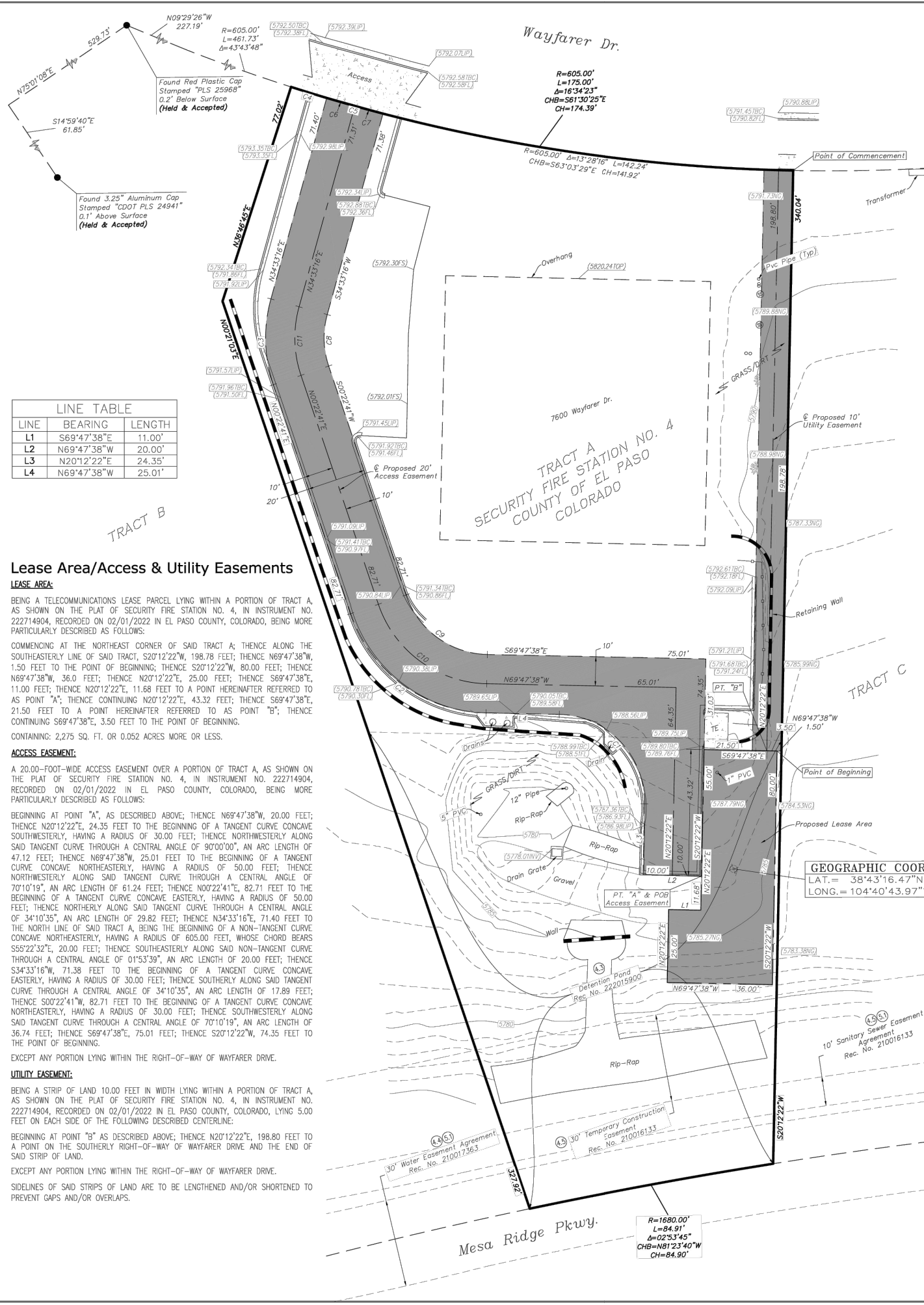
POWER COMPANY
MOUNTAIN VIEW ELECTRIC ASSOCIATION, INC 11140 E WOODMEN RD. FALCON, CO 80831 PHONE: (800) 388-9881

PLAN PREPARER
POWER OF DESIGN GROUP, LLC 11490 BLUEGRASS PKWY LOUISVILLE, KY 40299 PHONE: (502) 437-5252 MARK PATTERSON, P.E. PHONE: (502) 533-4045

SPECIAL NOTES
<p>HANDICAPPED REQUIREMENTS:</p> <ul style="list-style-type: none"> FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION HANDICAPPED ACCESS REQUIREMENTS NOT REQUIRED. <p>PLUMBING REQUIREMENTS:</p> <ul style="list-style-type: none"> FACILITY HAS NO PLUMBING OR REFRIGERANTS. <p>FAA AND FCC REQUIREMENTS:</p> <ul style="list-style-type: none"> THIS FACILITY SHALL MEET ALL FAA AND FCC REQUIREMENTS. <p>CONSTRUCTION REQUIREMENTS:</p> <ul style="list-style-type: none"> ALL WORK MUST CONFORM TO VERIZON WIRELESS CONSTRUCTION INSTALLATION STANDARDS & ALL APPLICABLE CODES AND ORDINANCES.

EL PASO COUNTY PLANNING & ZONING APPROVAL _____ DATE _____

BUILDING CODES AND STANDARDS
<p>CONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION FOR THE LOCATION.</p> <p>CONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:</p> <ul style="list-style-type: none"> AMERICAN CONCRETE INSTITUTE 318 AMERICAN INSTITUTE OF STEEL CONSTRUCTION MANUAL OF STEEL CONSTRUCTION TELECOMMUNICATIONS INDUSTRY ASSOCIATION TIA-222 STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWER AND SUPPORTING STRUCTURES TIA-601 COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS IEEE-81, IEEE 1100, IEEE C62.41 ANSI T1.311, FOR TELECOM - DC POWER SYSTEMS - TELECOM ENVIRONMENTAL PROTECTION 2021 IBC W/ AMENDMENTS 2021 IMC 2015 ICC 2018 IPC 2021 IFGC 2021 IECC 2023 NEC W/ AMENDMENTS <p>FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN.</p>



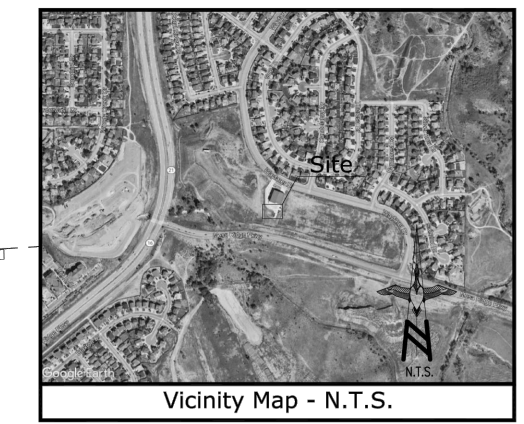
LINE	BEARING	LENGTH
L1	S69°47'38"E	11.00'
L2	N69°47'38"W	20.00'
L3	N20°12'22"E	24.35'
L4	N69°47'38"W	25.01'

Lease Area/Access & Utility Easements

LEASE AREA:
 BEING A TELECOMMUNICATIONS LEASE PARCEL LYING WITHIN A PORTION OF TRACT A, AS SHOWN ON THE PLAT OF SECURITY FIRE STATION NO. 4, IN INSTRUMENT NO. 222714904, RECORDED ON 02/01/2022 IN EL PASO COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTHEAST CORNER OF SAID TRACT A; THENCE ALONG THE SOUTHEASTERLY LINE OF SAID TRACT, S20°12'22"W, 198.78 FEET; THENCE N69°47'38"W, 1.50 FEET TO THE POINT OF BEGINNING; THENCE S20°12'22"W, 80.00 FEET; THENCE N69°47'38"W, 36.0 FEET; THENCE N20°12'22"E, 25.00 FEET; THENCE S69°47'38"E, 11.00 FEET; THENCE N20°12'22"E, 11.68 FEET TO A POINT HERINAFTER REFERRED TO AS POINT "A"; THENCE CONTINUING N20°12'22"E, 43.32 FEET; THENCE S69°47'38"E, 21.50 FEET TO A POINT HERINAFTER REFERRED TO AS POINT "B"; THENCE CONTINUING S69°47'38"E, 3.50 FEET TO THE POINT OF BEGINNING.
 CONTAINING: 2,275 SQ. FT. OR 0.052 ACRES MORE OR LESS.

ACCESS EASEMENT:
 A 20.00-FOOT-WIDE ACCESS EASEMENT OVER A PORTION OF TRACT A, AS SHOWN ON THE PLAT OF SECURITY FIRE STATION NO. 4, IN INSTRUMENT NO. 222714904, RECORDED ON 02/01/2022 IN EL PASO COUNTY, COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT POINT "A", AS DESCRIBED ABOVE; THENCE N69°47'38"W, 20.00 FEET; THENCE N20°12'22"E, 24.35 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 30.00 FEET; THENCE NORTHWESTERLY ALONG SAID TANGENT CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC LENGTH OF 47.12 FEET; THENCE N69°47'38"W, 25.01 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 50.00 FEET; THENCE NORTHWESTERLY ALONG SAID TANGENT CURVE THROUGH A CENTRAL ANGLE OF 70°10'19", AN ARC LENGTH OF 61.24 FEET; THENCE N20°22'41"E, 82.71 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE EASTERLY, HAVING A RADIUS OF 50.00 FEET; THENCE NORTHERLY ALONG SAID TANGENT CURVE THROUGH A CENTRAL ANGLE OF 34°10'35", AN ARC LENGTH OF 29.82 FEET; THENCE N34°33'16"E, 71.40 FEET TO THE NORTH LINE OF SAID TRACT A, BEING THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 605.00 FEET, WHOSE CHORD BEARS S55°22'32"E, 20.00 FEET; THENCE SOUTHEASTERLY ALONG SAID NON-TANGENT CURVE THROUGH A CENTRAL ANGLE OF 01°53'39", AN ARC LENGTH OF 20.00 FEET; THENCE S34°33'16"W, 71.38 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE EASTERLY, HAVING A RADIUS OF 30.00 FEET; THENCE SOUTHERLY ALONG SAID TANGENT CURVE THROUGH A CENTRAL ANGLE OF 34°10'35", AN ARC LENGTH OF 17.89 FEET; THENCE S00°22'41"W, 82.71 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 30.00 FEET; THENCE SOUTHWESTERLY ALONG SAID TANGENT CURVE THROUGH A CENTRAL ANGLE OF 70°10'19", AN ARC LENGTH OF 36.74 FEET; THENCE S69°47'38"E, 75.01 FEET; THENCE S20°12'22"W, 74.35 FEET TO THE POINT OF BEGINNING.
 EXCEPT ANY PORTION LYING WITHIN THE RIGHT-OF-WAY OF WAYFARER DRIVE.

UTILITY EASEMENT:
 BEING A STRIP OF LAND 10.00 FEET IN WIDTH LYING WITHIN A PORTION OF TRACT A, AS SHOWN ON THE PLAT OF SECURITY FIRE STATION NO. 4, IN INSTRUMENT NO. 222714904, RECORDED ON 02/01/2022 IN EL PASO COUNTY, COLORADO, LYING 5.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:
 BEGINNING AT POINT "B" AS DESCRIBED ABOVE; THENCE N20°12'22"E, 198.80 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF WAYFARER DRIVE AND THE END OF SAID STRIP OF LAND.
 EXCEPT ANY PORTION LYING WITHIN THE RIGHT-OF-WAY OF WAYFARER DRIVE.
 SIDELINES OF SAID STRIPS OF LAND ARE TO BE LENGTHENED AND/OR SHORTENED TO PREVENT GAPS AND/OR OVERLAPS.



LINE LEGEND

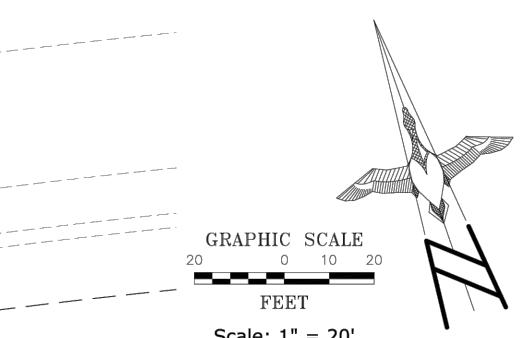
- SUBJECT PARCEL BOUNDARY LINES
- SECTION LINES
- ADJOINING PARCEL BOUNDARY LINES
- EASEMENT LINES
- RIGHT OF WAY LINES
- FLOOD PLAIN LINES
- BARBED WIRE FENCE
- CHAINLINK FENCE
- UNDERGROUND ELECTRIC LINES
- UNDERGROUND GAS LINES
- OVERHEAD ELECTRIC LINES
- UNDERGROUND SANITARY SEWER LINES
- UNDERGROUND TELEPHONE LINES
- UNDERGROUND WATER LINES

CURVE TABLE

CURVE	RADIUS	DELTA	LENGTH	CH BEARING	CHORD
C1	30.00'	90°00'00"	47.12'	N24°47'38"W	42.43'
C2	50.00'	70°10'19"	61.24'	N34°42'28"W	57.48'
C3	50.00'	34°10'35"	29.82'	N17°27'59"E	29.38'
C4	605.00'	01°12'29"	12.76'	S53°49'28"E	12.76'
C5	605.00'	01°53'39"	20.00'	S55°22'32"E	20.00'
C6	605.00'	00°56'50"	10.00'	S54°54'07"E	10.00'
C7	605.00'	00°56'49"	10.00'	S55°50'57"E	10.00'
C8	30.00'	34°10'35"	17.89'	S17°27'59"W	17.63'
C9	30.00'	70°10'19"	36.74'	S34°42'28"E	34.49'
C10	40.00'	70°10'19"	48.99'	N34°42'28"W	45.98'
C11	40.00'	34°10'35"	23.86'	N17°27'59"E	23.51'

Legend

- CONCRETE PAVEMENT
- CONFEROUS TREE
- DIAMETER
- DECIDUOUS TREE
- EDGE OF ASPHALT
- FINISHED FLOOR
- FINISH SURFACE
- FIRE HYDRANT
- FLOW LINE
- FOUND MONUMENT AS NOTED
- FOUND SECTION MONUMENT
- GEOGRAPHIC LOCATION
- GAS METER
- IRRIGATION CONTROL VALVE
- NATURAL GROUND
- PARKING BOLLARD
- POINT OF BEGINNING
- POINT OF COMMENCEMENT
- OVERHEAD ELECTRIC LINE
- POWER POLE
- PROPERTY LINE
- RIGHT OF WAY
- SEWER MANHOLE
- SIGN POST
- STREET LIGHT STANDARD
- TELEPHONE PEDESTAL
- TYPICAL
- WATER METER
- WATER VALVE



Underground Utility Note:
 BURIED UTILITIES AND/OR PIPELINES SHOWN HEREON ARE PER VISIBLE AND APPARENT SURFACE EVIDENCE, OR MARKINGS PROVIDED BY AN INDEPENDENT LOCATING CONTRACTOR. NO GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED, IS MADE AS TO THE ACCURACY COMPLETENESS OR THOROUGHNESS OF SUCH INFORMATION. IF ACCURATE LOCATIONS OF UNDERGROUND UTILITIES OR PIPE LINES ARE REQUIRED, THE UTILITY OR PIPELINE WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING. ALTURA LAND CONSULTANTS, LLC AND THE SURVEYOR OF RECORD SHALL NOT BE HELD LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES OR PIPELINES.

Title Report
 PREPARED BY: U.S. TITLE SOLUTIONS
 ORDER NO.: UST78949
 EFFECTIVE DATE: NOVEMBER 25, 2024

Legal Description
 TRACT A, AS SHOWN ON THE PLAT OF SECURITY FIRE STATION NO. 4, IN INSTRUMENT NO. 222714904, RECORDED ON 02/01/2022 IN EL PASO COUNTY, COLORADO.

Assessor's Parcel No.
 5528211001

Title Schedule B Exceptions
 4.1 AGREEMENT BY SECURITY FIRE DEPARTMENT TO EL PASO COUNTY, AS REPRESENTED BY ITS PLANNING AND COMMUNITY DEVELOPMENT, DATED APRIL 17, 2023, RECORDED MAY 05, 2023, IN INSTRUMENT NO. 223036937. (BLANKET IN NATURE).
 NOTES: LANDSCAPE
 4.2 EASEMENT BY SECURITY FIRE DISTRICT, A QUASI-MUNICIPAL CORPORATION A/K/A SECURITY FIRE PROTECTION DISTRICT, A GOVERNMENTAL SUBDIVISION TO MOUNTAIN VIEW ELECTRIC ASSOCIATION, INC., A COLORADO CORPORATION, DATED JULY 13, 2022, RECORDED JULY 22, 2022, IN INSTRUMENT NO. 222099120. (NOT A PLOTTABLE ITEM).
 NOTES: ELECTRICAL ENERGY

4.3 EASEMENT BY EL PASO COUNTY BY AND THROUGH THE BOARD OF COUNTY COMMISSIONERS OF EL PASO COUNTY, COLORADO TO SECURITY FIRE PROTECTION DISTRICT, DATED JANUARY 06, 2022, RECORDED FEBRUARY 01, 2022, IN INSTRUMENT NO. 222015900. (PLOTTED HEREON).
 NOTES: STORMWATER RUNOFF

4.4 AGREEMENT BY GLEN INVESTMENT GROUP NO. II AND GLEN INVESTMENT GROUP NO. IX, COLORADO LAND OWNERS TO WIDEFIELD WATER AND SANITATION DISTRICT, A QUASI-MUNICIPAL DISTRICT AND POLITICAL SUBDIVISION OF THE STATE OF COLORADO, DATED SEPTEMBER 27, 2006, RECORDED FEBRUARY 24, 2010, IN INSTRUMENT NO. 210017363. (PLOTTED HEREON).
 NOTES: UNDERGROUND WATER IMPROVEMENTS

4.5 AGREEMENT BY GLEN INVESTMENT GROUP NO. II, LLC, A COLORADO LIMITED LIABILITY COMPANY TO WIDEFIELD WATER AND SANITATION DISTRICT, A QUASI-MUNICIPAL CORPORATION AND POLITICAL SUBDIVISION OF THE STATE OF COLORADO, DATED JANUARY 13, 2010, RECORDED FEBRUARY 22, 2010, IN INSTRUMENT NO. 210016133. (PLOTTED HEREON).
 NOTES: SANITARY SEWER

4.6 AGREEMENT BY JHW INVESTMENT COMPANY TO WIDEFIELD WATER AND SANITATION DISTRICT, DATED APRIL 29, 1997, RECORDED MAY 01, 1997, IN INSTRUMENT NO. 97048696. (DOES NOT AFFECT SUBJECT PROPERTY).
 NOTES: FOR REFERENCE - PIPE LINES

4.7 AGREEMENT BY JHW INVESTMENT COMPANY TO WIDEFIELD WATER AND SANITATION DISTRICT, DATED APRIL 29, 1997, RECORDED MAY 01, 1997, IN INSTRUMENT NO. 97048695. (DOES NOT AFFECT SUBJECT PROPERTY).
 NOTES: FOR REFERENCE - WATER PIPE LINES

4.8 SECURITY FIRE STATION NO. 4 RECORDED FEBRUARY 01, 2022, IN INSTRUMENT NO. 222714904. (PLOTTED HEREON).

5.2 AGREEMENT BETWEEN WIDEFIELD WATER AND SANITATION DISTRICT, A QUASI-MUNICIPAL DISTRICT AND POLITICAL SUBDIVISION OF THE STATE OF COLORADO AND JHW INVESTMENT COMPANY, DATED FEBRUARY 24, 1997, RECORDED MAY 06, 1997, IN INSTRUMENT NO. 97051183. (BLANKET IN NATURE).

5.3 PEACEFUL VALLEY ESTATES SUB F#2 RECORDED AUGUST 29, 1995, IN BOOK H-5, PAGE 72. (DOES NOT AFFECT SUBJECT PROPERTY).

Geographic Coordinates as Shown
 1983 DATUM: LATITUDE 38°43'16.47"N LONGITUDE 104°40'43.97"W

Date of Survey
 DECEMBER 12, 2024

Basis of Bearings
 THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (NAD83).
 CLASSIFICATION MINIMUM GEOMETRIC ACCURACY STANDARD
 THIRD 5.0 cm + 1: 10,000

Bench Mark
 NGS CONTROL POINT "CS 201", ELEVATION = 5674.7 FEET (NAVD 88)

Certificate of Survey
 THIS IS TO CERTIFY THAT THIS TOPOGRAPHIC MAP AND IMPROVEMENTS SHOWN ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



JESUS A. LUGO, PLS 38081

THIS DOES NOT REPRESENT A MONUMENTED SURVEY. REFERENCE IS MADE TO A COMMITMENT FOR TITLE INSURANCE, NUMBER UST78949, ISSUED BY U.S. TITLE SOLUTIONS, AND HAVING AN EFFECTIVE DATE OF NOVEMBER 25, 2024. THIS SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. THE LESSOR'S LEGAL DESCRIPTION AND RECORD BOUNDARY ARE SHOWN HEREON FOR REFERENCE ONLY.
 THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE LESSOR'S PROPERTY.



PROJECT INFORMATION:
WIDEFIELD CO0130
 7600 WAYFARER DR.
 COLORADO SPRINGS, CO.
 COUNTY OF EL PASO

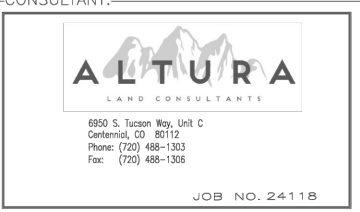
CURRENT ISSUE DATE:
 1/27/25

ISSUED FOR:
 DESIGN

REV.: DATE: ISSUED FOR: BY:

REV.	DATE	ISSUED FOR	BY
0	12/18/24	SUBMITTAL	JT
1	12/20/24	ADDED TOPO & LEASE AREA	JT
2	1/27/25	RELOCATED UTILITY EASEMENT	JT

PLANS PREPARED FOR:

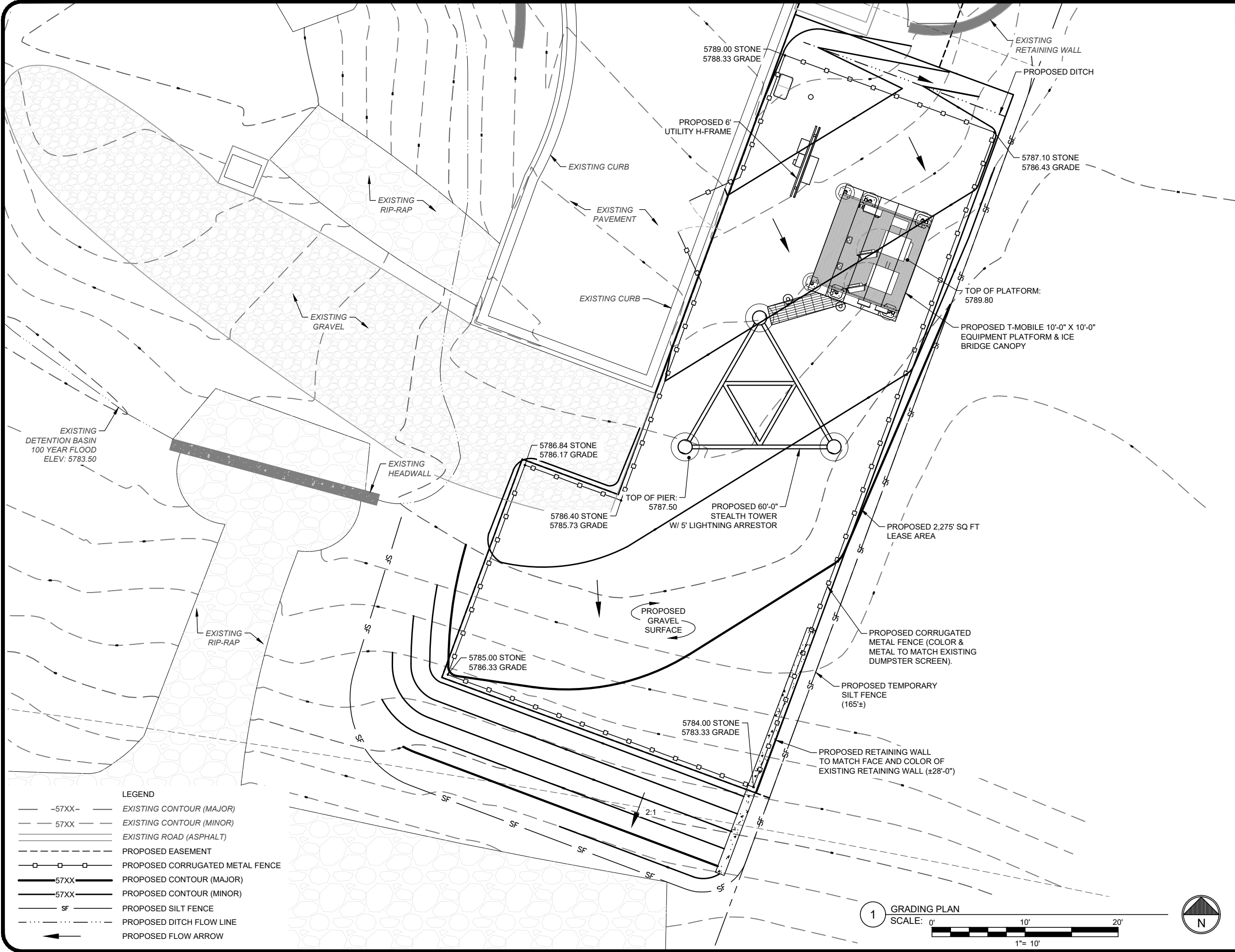


DRAWN BY: JT CHK.: JAL APV.: JAL

LICENSURE:

SHEET TITLE:
TOPOGRAPHIC SURVEY

SHEET NUMBER: LS1 REVISION: 2
 SHEET 1 OF 1 SHEETS 24118



PREPARED BY:

 POWER OF DESIGN
 11490 BLUEGRASS PARKWAY
 LOUISVILLE, KY 40299
 502-437-5252

PREPARED FOR:


PREPARED FOR:


**PRELIMINARY:
 NOT FOR
 CONSTRUCTION**

ZONING DRAWINGS

REV.	DATE	DESCRIPTION
A	03/14/25	PRELIM ISSUE
B	05/08/25	JDX COMMENTS
C	07/01/25	JDX COMMENTS
D	08/28/25	JDX COMMENTS

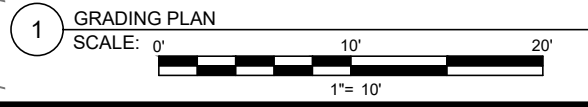
SITE NAME:
 WIDEFIELD
 SITE INFORMATION:
 7610 WAYFARER DRIVE
 COLORADO SPRINGS, CO 80925
 EL PASO COUNTY
 T-MOBILE SITE NAME:
 WIDEFIELD - SECURITY FIRE #4
 T-MOBILE SITE ID:
 DN01985A

POD PROJECT NUMBER: 25-178243
 DRAWN BY: GH
 CHECKED BY: MEP
 DATE: 08/28/25

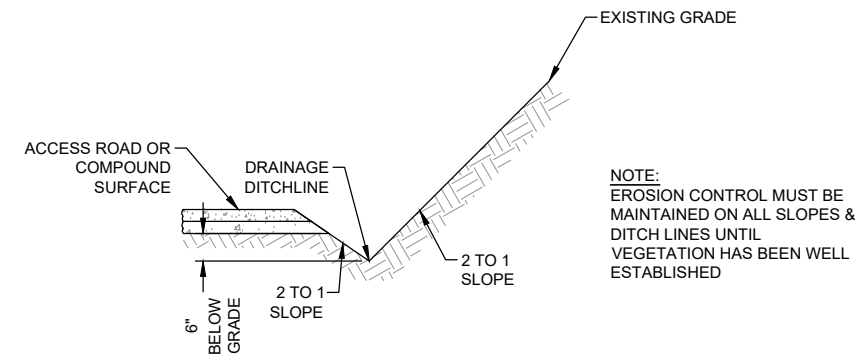
SHEET TITLE:
**GRADING, DRAINAGE &
 EROSION CONTROL
 PLAN**

SHEET NUMBER:
GD-1

- LEGEND**
- 57XX- EXISTING CONTOUR (MAJOR)
 - 57XX EXISTING CONTOUR (MINOR)
 - EXISTING ROAD (ASPHALT)
 - PROPOSED EASEMENT
 - PROPOSED CORRUGATED METAL FENCE
 - 57XX PROPOSED CONTOUR (MAJOR)
 - 57XX PROPOSED CONTOUR (MINOR)
 - SF PROPOSED SILT FENCE
 - PROPOSED DITCH FLOW LINE
 - PROPOSED FLOW ARROW



**PRELIMINARY:
NOT FOR
CONSTRUCTION**



1 DRAINAGE DITCHLINE DETAIL (SWALE)
SCALE: NOT TO SCALE

NOTES:

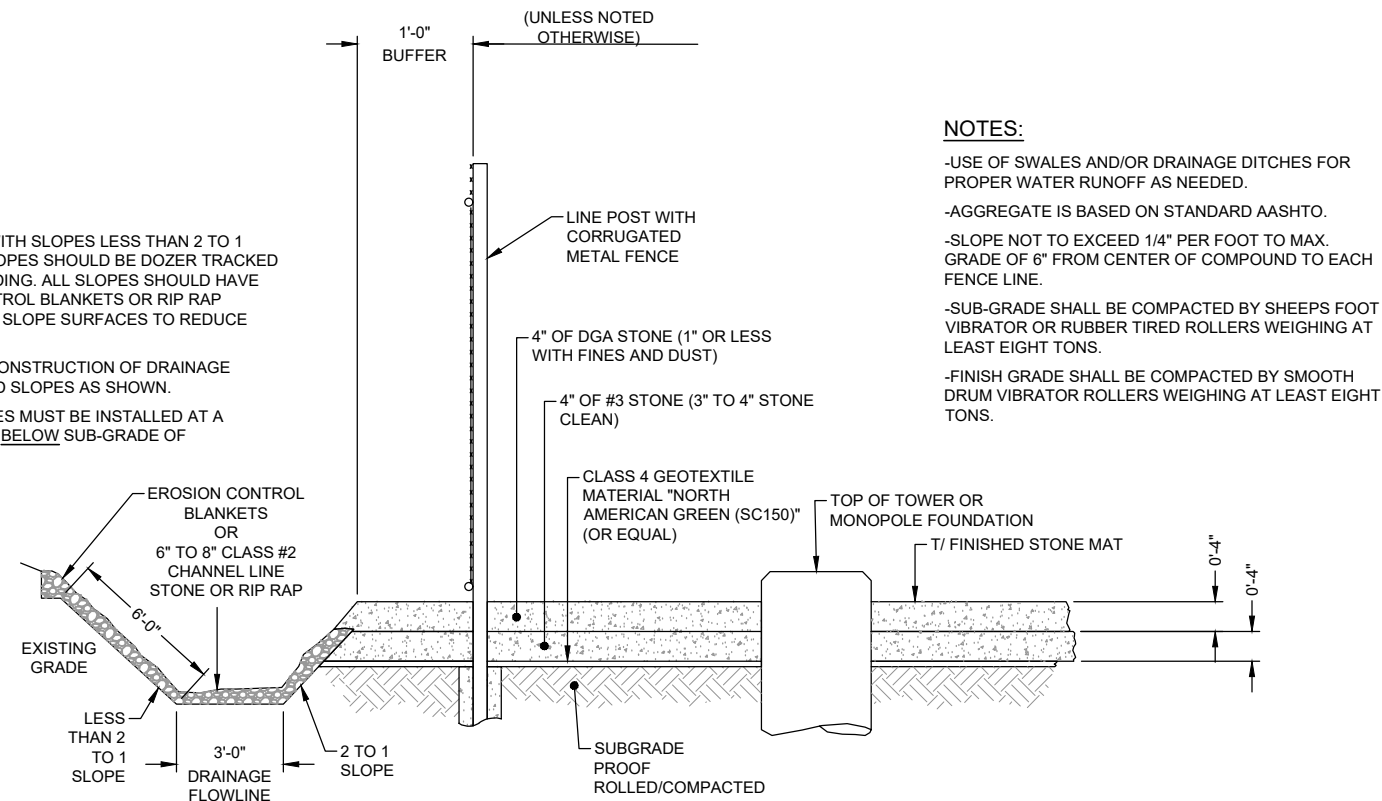
1. WHEN FACED WITH SLOPES LESS THAN 2 TO 1 SLOPES, ALL SLOPES SHOULD BE DOZER TRACKED PRIOR TO SEEDING. ALL SLOPES SHOULD HAVE EROSION CONTROL BLANKETS OR RIP RAP EMBEDDED ON SLOPE SURFACES TO REDUCE EROSION.
2. ALL FLOWLINES MUST BE INSTALLED BELOW SUB-GRADE OF COMPOUND. (AT MINIMUM OF 6" BELOW)

NOTE:

-WHEN FACE WITH SLOPES LESS THAN 2 TO 1 SLOPE, ALL SLOPES SHOULD BE DOZER TRACKED PRIOR TO SEEDING. ALL SLOPES SHOULD HAVE EROSION CONTROL BLANKETS OR RIP RAP EMBEDDED ON SLOPE SURFACES TO REDUCE EROSION.

EXAMPLE OF CONSTRUCTION OF DRAINAGE DITCH LINE AND SLOPES AS SHOWN.

-ALL FLOW LINES MUST BE INSTALLED AT A MINIMUM OF 6" BELOW SUB-GRADE OF COMPOUND.



NOTES:

- USE OF SWALES AND/OR DRAINAGE DITCHES FOR PROPER WATER RUNOFF AS NEEDED.
- AGGREGATE IS BASED ON STANDARD AASHTO.
- SLOPE NOT TO EXCEED 1/4" PER FOOT TO MAX. GRADE OF 6" FROM CENTER OF COMPOUND TO EACH FENCE LINE.
- SUB-GRADE SHALL BE COMPACTED BY SHEEPS FOOT VIBRATOR OR RUBBER TIERED ROLLERS WEIGHING AT LEAST EIGHT TONS.
- FINISH GRADE SHALL BE COMPACTED BY SMOOTH DRUM VIBRATOR ROLLERS WEIGHING AT LEAST EIGHT TONS.

2 SITE COMPOUND AREA SURFACING DETAIL
SCALE: NOT TO SCALE

ZONING DRAWINGS

REV.	DATE	DESCRIPTION
A	03/14/25	PRELIM ISSUE
B	05/08/25	JDX COMMENTS
C	07/01/25	JDX COMMENTS
D	08/28/25	JDX COMMENTS

SITE NAME:
WIDFIELD

SITE INFORMATION:
7610 WAYFARER DRIVE
COLORADO SPRINGS, CO 80925
EL PASO COUNTY

T-MOBILE SITE NAME:
WIDFIELD - SECURITY FIRE #4

T-MOBILE SITE ID:
DN01985A

POD PROJECT NUMBER: 25-178243
 DRAWN BY: GH
 CHECKED BY: MEP
 DATE: 08/28/25

SHEET TITLE:
**SURFACE &
 DRAINAGE
 DETAILS**

SHEET NUMBER:

GD-2

**PRELIMINARY:
 NOT FOR
 CONSTRUCTION**

ZONING DRAWINGS

REV.	DATE	DESCRIPTION
A	03/14/25	PRELIM ISSUE
B	05/08/25	JDX COMMENTS
C	07/01/25	JDX COMMENTS
D	08/28/25	JDX COMMENTS

SITE NAME:
WIDEFIELD
 SITE INFORMATION:
 7610 WAYFARER DRIVE
 COLORADO SPRINGS, CO 80925
 EL PASO COUNTY

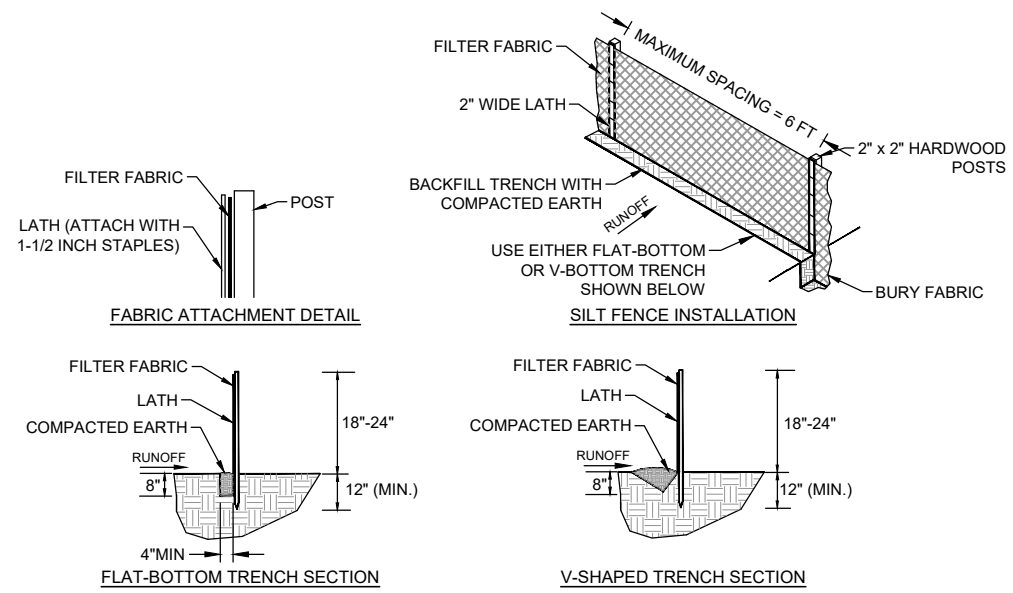
T-MOBILE SITE NAME:
WIDEFIELD - SECURITY FIRE #4

T-MOBILE SITE ID:
DN01985A

POD PROJECT NUMBER: 25-178243
 DRAWN BY: GH
 CHECKED BY: MEP
 DATE: 08/28/25

SHEET TITLE:
**EROSION
 CONTROL
 DETAILS**

SHEET NUMBER:
GD-3

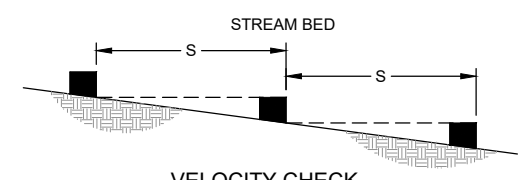


1 FILTER FABRIC SILT FENCE DETAIL
 SCALE: NOT TO SCALE

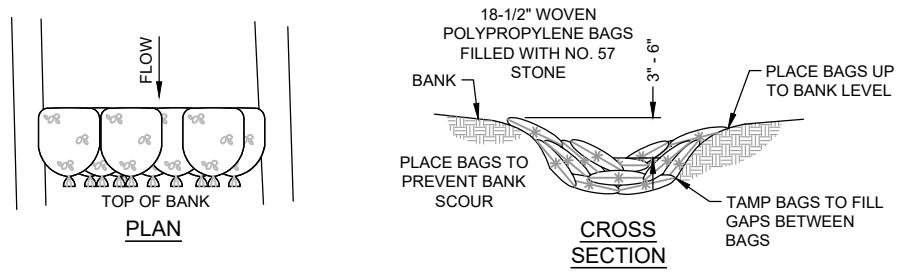
NOTES:

- SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. (9" MAX. RECOMMENDED STORAGE HEIGHT).
- REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

3 NOT USED
 SCALE: NOT TO SCALE



NOTE:
 SPACE SERIES OF VELOCITY CHECKS ALL ON STREAM REACH. USE SPACING "S" SUCH THAT THE CREST DOWNSTREAM CHECKS ARE THE SAME ELEVATION AS THE TOE OF UPSTREAM CHECKS



2 STONE BAG* SILT / VELOCITY CHECK DETAIL
 SCALE: NOT TO SCALE

*NOTE:
 STRAW BALES MAY BE USED IN LIEU OF STONE BAGS AS APPROVED BY CITY ENGINEER

EROSION MAINTENANCE AND CLEAN-OUT

MAINTENANCE AND CLEAN-OUT SHALL BE PERFORMED BY THE SITE CONTRACTOR UNDER THE FOLLOWING GUIDELINES:

- ROUTINE CHECKS OF THE EROSION CONTROL DEVICES SHALL BE PERFORMED AT A MINIMUM OF 7 DAYS OR AFTER EVERY ONE INCH OF RAINFALL.
- ANY FAILURES OF EROSION CONTROL DEVICES SHOULD IMMEDIATELY BE ADDRESSED AND THE APPROPRIATE STEPS TAKEN TO REPAIR THE FAILURE.
- THE CONTRACTOR SHALL MAINTAIN AN ACCURATE LOG OF THE EROSION SITE CONDITIONS.
- THE CONTRACTOR IS TO REMOVE ANY DIRT OR MUD ON THE PUBLIC STREETS.
- SILT FENCING SHALL REMAIN IN PLACE DURING ALL CONSTRUCTION ACTIVITIES AND MUST BE CLEANED OUT IF MORE THAN 1/3 FULL.
- REMOVE THE FENCE AFTER ITS CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED. REMOVE THE FENCE AND SEDIMENT DEPOSITS, BRING THE DISTURBED AREA TO GRADE, AND STABILIZE IT USING THE APPROPRIATE PERMANENT STABILIZATION METHOD.

EROSION PREVENTION & SEDIMENT CONTROL NOTES

TO PREVENT EROSION, ALL SILT CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE FOR THE SITE. ANY MODIFICATIONS TO SILT CONTROLS SHOWN ON THE APPROVED PLANS AS A RESULT OF ACTUAL FIELD CONDITIONS OR CONSTRUCTION PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES PER THE EPA'S "STORM WATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES" MANUAL (LATEST EDITION).

ANY SUCH MODIFICATIONS SHALL BE THE RESPONSIBILITY OF THE OWNER AND SHALL BE INSTALLED AS DIRECTED BY THE ENGINEER.

ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY.

SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES AND CATCH BASINS. STOCKPILES SHALL BE SEEDED, MULCHED AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.

WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 DAYS AFTER THE ACTIVITY HAS CEASED.

SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE OR CATCH BASIN.

**PRELIMINARY:
 NOT FOR
 CONSTRUCTION**

ZONING DRAWINGS

REV.	DATE	DESCRIPTION
A	03/14/25	PRELIM ISSUE
B	05/08/25	JDX COMMENTS
C	07/01/25	JDX COMMENTS
D	08/28/25	JDX COMMENTS

SITE NAME:
 WIDEFIELD
SITE INFORMATION:
 7610 WAYFARER DRIVE
 COLORADO SPRINGS, CO 80925
 EL PASO COUNTY
T-MOBILE SITE NAME:
 WIDEFIELD - SECURITY FIRE #4
T-MOBILE SITE ID:
 DN01985A

POD PROJECT NUMBER: 25-178243
DRAWN BY: GH
CHECKED BY: MEP
DATE: 08/28/25

SHEET TITLE:

OVERALL SITE PLAN

SHEET NUMBER:

C-1

SITE DATA

COVERAGE DATA:
 BUILDING (FIRE STATION): 8,100 S.F. (15%)
 PAVEMENT (PARKING/WALK): 16,307 S.F. (31%)
 GRAVEL (TOWER COMPOUND/BASIN ACCESS): 3,530 S.F. (7%)
 LANDSCAPING / POND: 24,793 S.F. (47%)

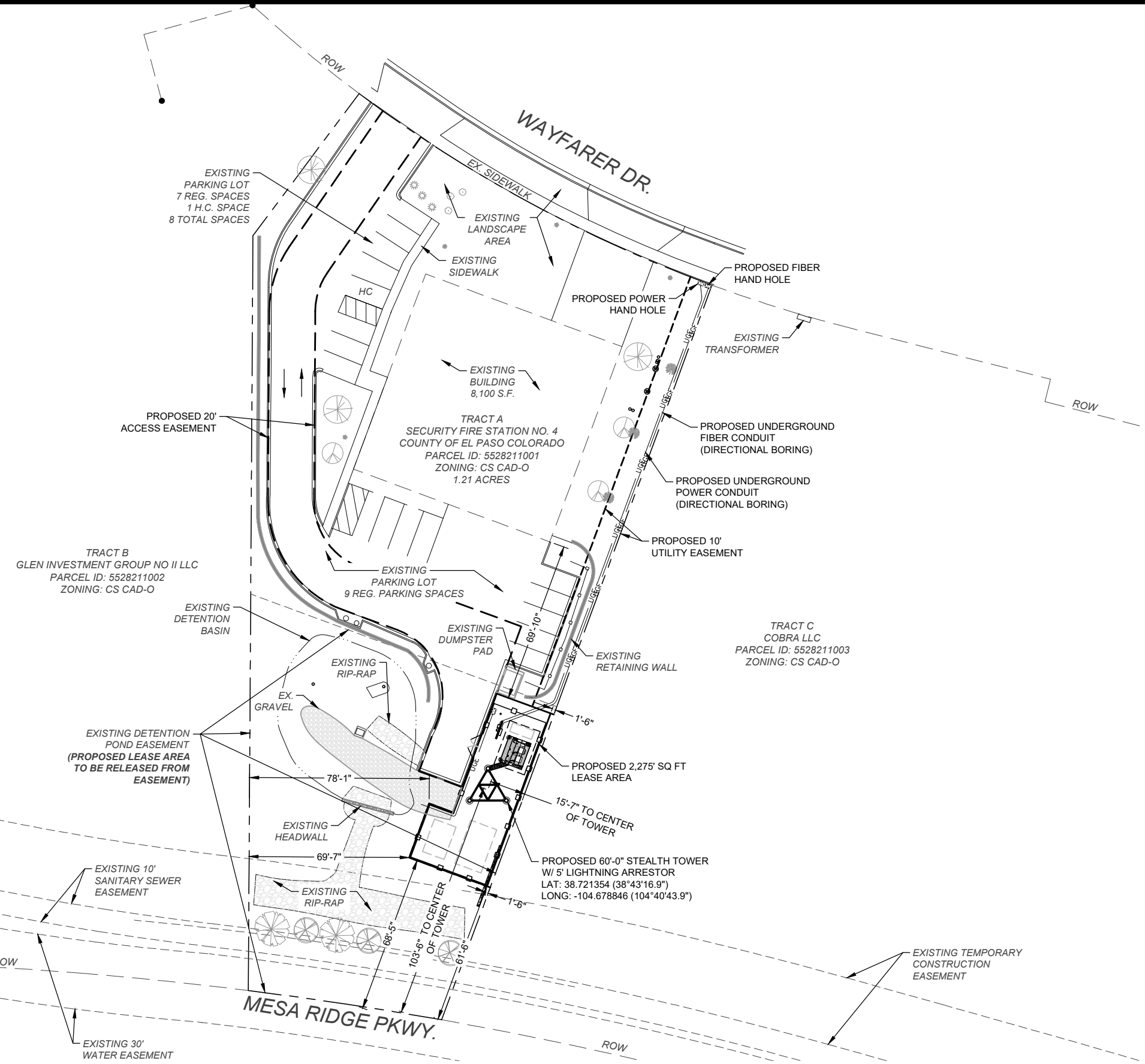
TOTAL AREA: 52,730 S.F.

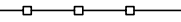

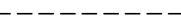
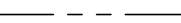



PARKING SCHEDULE:
 REQUIRED:
 4 SPACES PER SHIFT W 1 SHIFT OVERLAP = 8

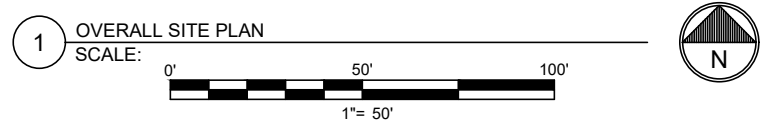
PROVIDED:
 NORMAL SPACES: 15
 VAN ACCESSIBLE ADA SPACE: 1

TOTAL SPACES PROVIDED: =16 SPACES

BUILDING HEIGHT:
 45' MAX.



- LEGEND**
-  PROPOSED CORRUGATED METAL FENCE
 -  PROPOSED LEASE AREA
 -  PROPOSED EASEMENT
 -  EXISTING SUBJECT PROPERTY LINE
 -  EXISTING METAL FENCE
 -  EXISTING ROAD (ASPHALT)
 -  EXISTING ROAD (GRAVEL)



**PRELIMINARY:
 NOT FOR
 CONSTRUCTION**

ZONING DRAWINGS

REV.	DATE	DESCRIPTION
A	03/14/25	PRELIM ISSUE
B	05/08/25	JDX COMMENTS
C	07/01/25	JDX COMMENTS
D	08/28/25	JDX COMMENTS

SITE NAME:
 WIDEFIELD

SITE INFORMATION:
 7610 WAYFARER DRIVE
 COLORADO SPRINGS, CO 80925
 EL PASO COUNTY

T-MOBILE SITE NAME:
 WIDEFIELD - SECURITY FIRE #4

T-MOBILE SITE ID:
 DN01985A

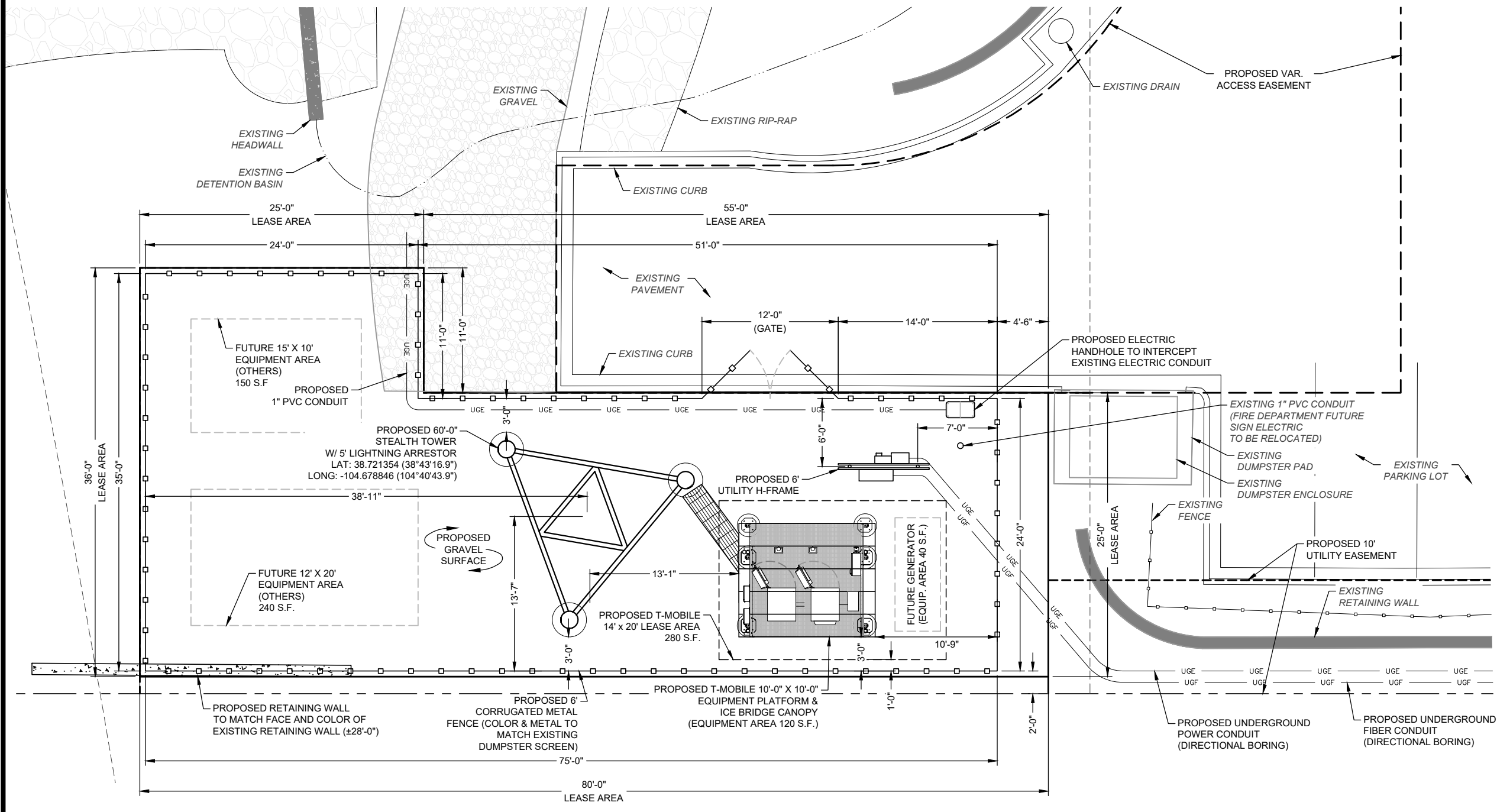
POD PROJECT NUMBER: 25-178243
 DRAWN BY: GH
 CHECKED BY: MEP
 DATE: 08/28/25




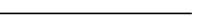
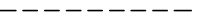
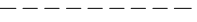
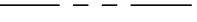

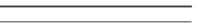

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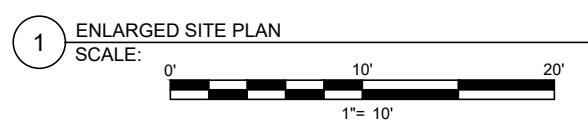
ENLARGED SITE PLAN

SHEET NUMBER:

C-2



- LEGEND**
-  PROPOSED CORRUGATED METAL FENCE
 -  UGE PROPOSED UNDERGROUND ELECTRIC
 -  UGF PROPOSED UNDERGROUND FIBER
 -  PROPOSED LEASE AREA
 -  PROPOSED EASEMENT
 -  EXISTING EASEMENT
 -  EXISTING SUBJECT PROPERTY LINE
 -  EXISTING METAL FENCE
 -  EXISTING ROAD (ASPHALT)
 -  EXISTING ROAD (GRAVEL)



TOWER NOTES:

1. THE NEW TOWER, FOUNDATION, ANTENNA MOUNTS, AND ANTENNAS WERE DESIGNED BY OTHERS.
2. THE TOWER ELEVATION SHOWN IS FOR REFERENCE ONLY.
3. TOWER AND FOUNDATION DESIGN WAS NOT PROVIDED TO POWER OF DESIGN GROUP, LLC.
4. SEE TOWER MANUFACTURER'S DRAWINGS FOR TOWER AND FOUNDATION DETAILS & SPECIFICATIONS.
5. MANUFACTURER'S DRAWINGS SUPERCEDE A&E DRAWINGS.
6. CARRIER LOADING SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY AND MAY NOT REPRESENT ACTUAL FINAL LOADING. PLEASE REFER TO THE LATEST RFDS OR APPLICATION FOR CONFIRMATION.
7. ONLY ONE SECTOR SHOWN FOR CLARITY.

GENERAL NOTES:

1. ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT: THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY, THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE AND/OR COUNTY IN WHICH IT IS TO BE PERFORMED.
2. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.
4. ALL DIMENSIONS SHALL BE VERIFIED WITH THE PLANS (LATEST REVISION) PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE OWNER IMMEDIATELY IF DISCREPANCIES ARE DISCOVERED.
5. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE (1) YEAR FROM THE DATE OF ACCEPTANCE.

TOTAL TOWER HEIGHT
ELEV. = 65'-0" AGL

HEIGHT OF STRUCTURE
ELEV. = 60'-0" AGL

PROPOSED 5'
LIGHTNING ARRESTOR

PROPOSED ANTENNA CENTERLINE
ELEV. = 55'-0" AGL

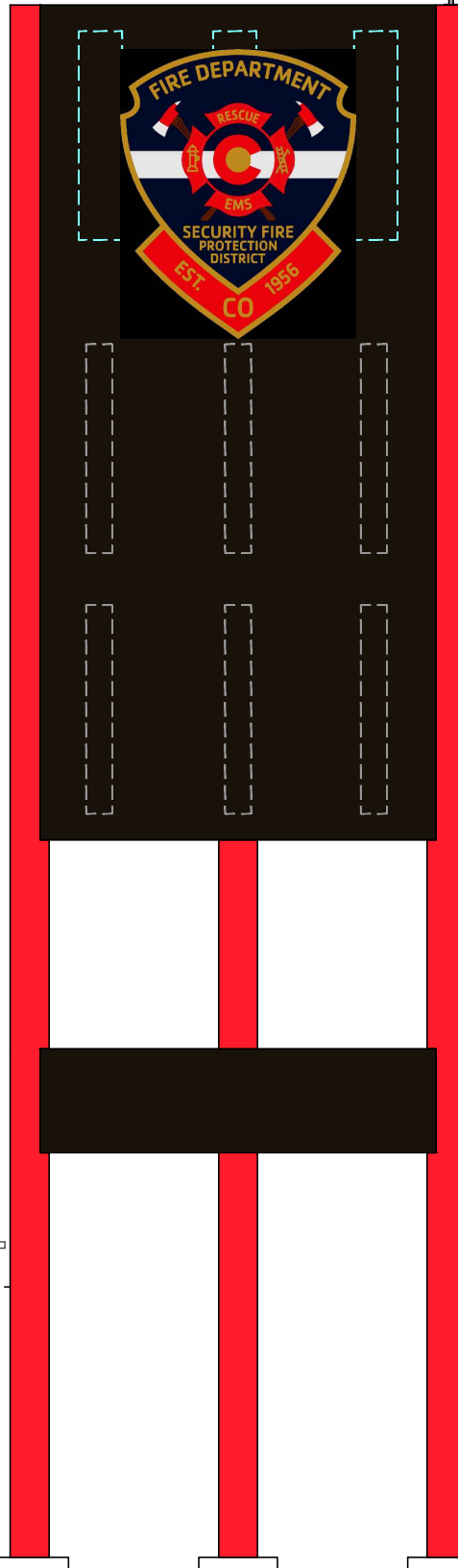
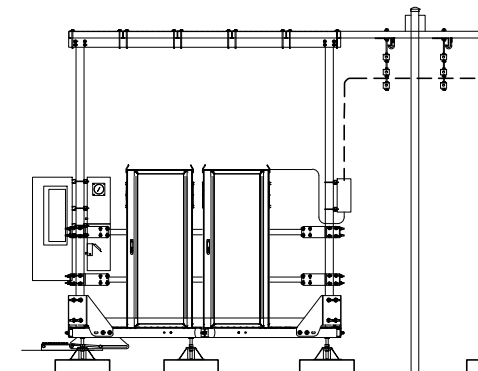
RESERVED FOR FUTURE CO-LOCATION
ELEV. = 43'-0" AGL

RESERVED FOR FUTURE CO-LOCATION
ELEV. = 33'-0" AGL

PROPOSED 60'-0"
STEALTH TOWER

PROPOSED EQUIPMENT HEIGHT
ELEV. = 12'-7" AGL
EQUIPMENT SHALL NOT EXCEED
15' AGL

GROUND ELEVATION
ELEV. = 5,788' ASML



1 PROPOSED TOWER ELEVATION
SCALE: NOT TO SCALE

PREPARED BY:

 POWER OF DESIGN
 11490 BLUEGRASS PARKWAY
 LOUISVILLE, KY 40299
 502-437-5252

PREPARED FOR:


PREPARED FOR:


**PRELIMINARY:
NOT FOR
CONSTRUCTION**

ZONING DRAWINGS

REV.	DATE	DESCRIPTION
A	03/14/25	PRELIM ISSUE
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COLORADO SPRINGS, CO 80925
EL PASO COUNTY

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WIDEFIELD - SECURITY FIRE #4

T-MOBILE SITE ID:
DN01985A

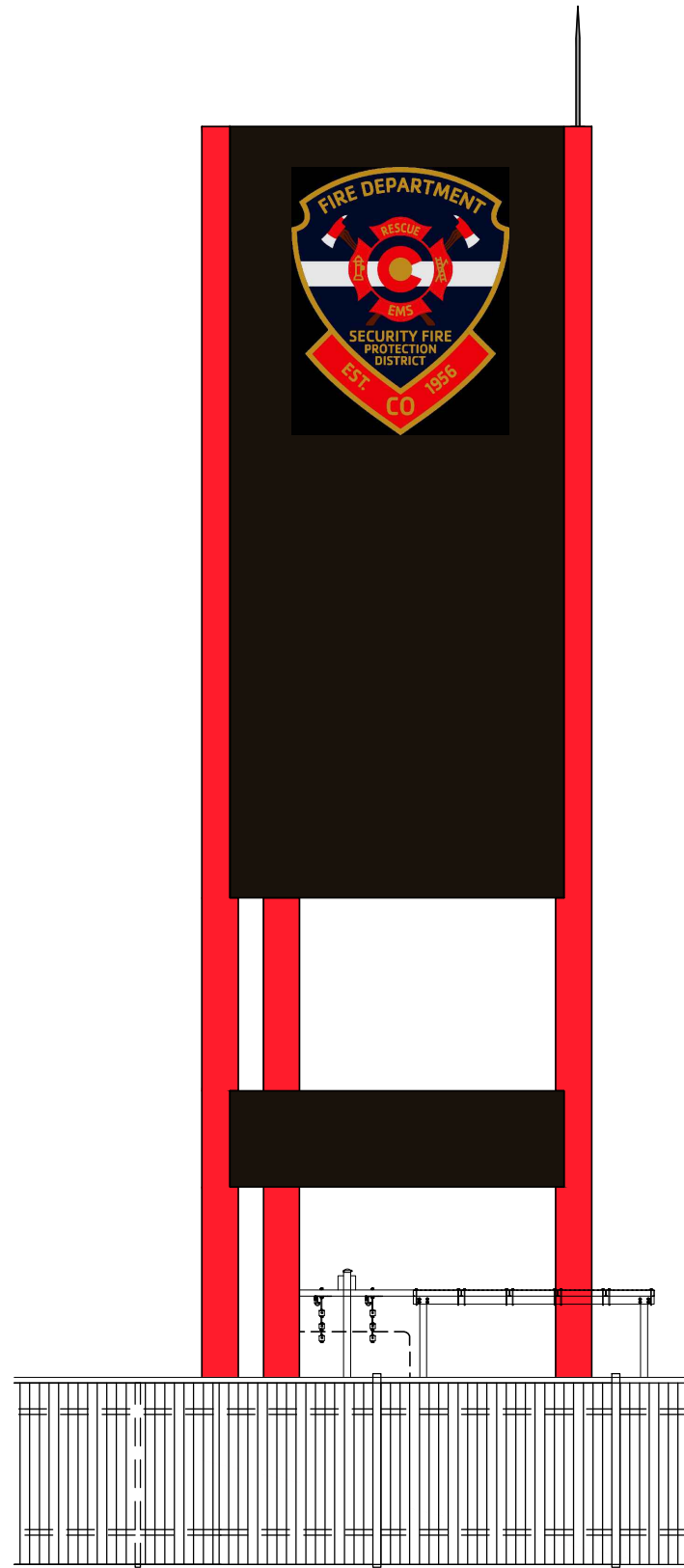
POD PROJECT NUMBER: 25-178243
 DRAWN BY: GH
 CHECKED BY: MEP
 DATE: 08/28/25

SHEET TITLE:
TOWER ELEVATION

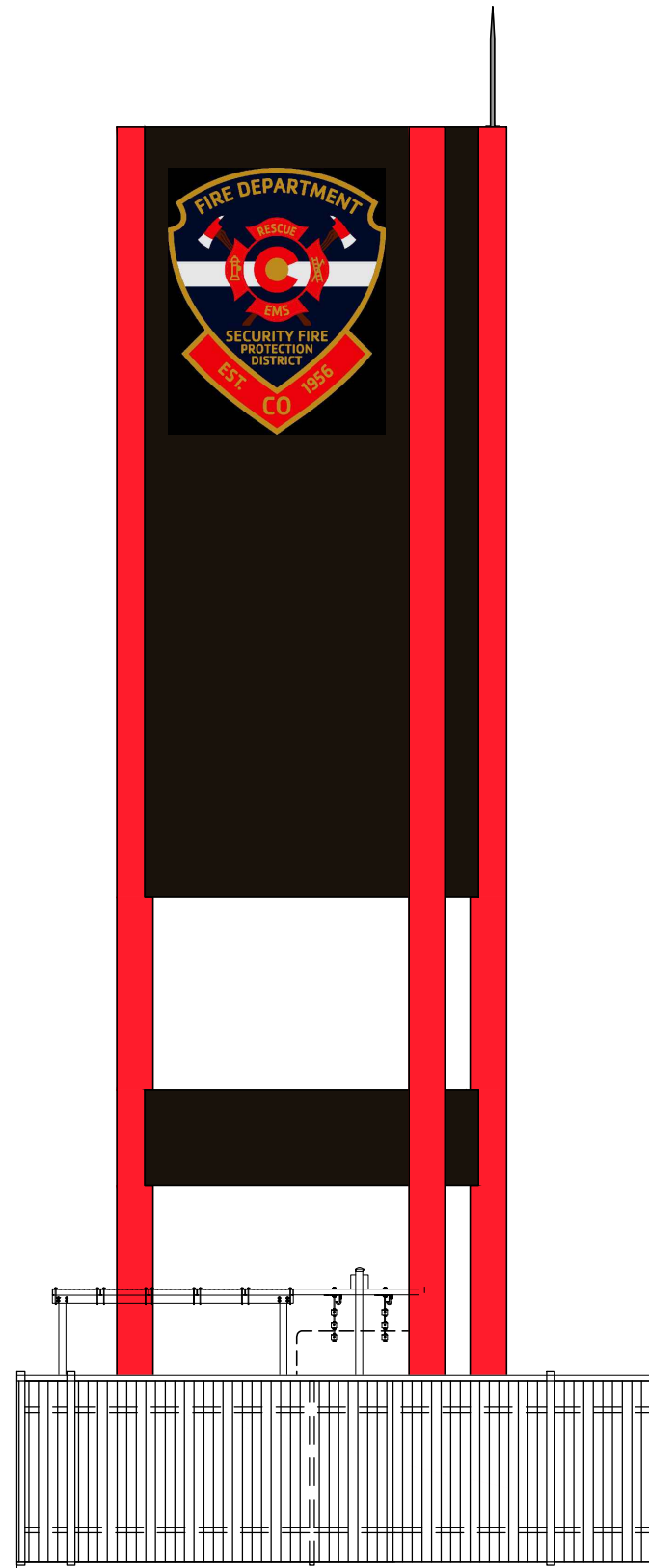
SHEET NUMBER:
C-3

TOWER NOTE:

1. CARRIER LOADING SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY AND MAY NOT REPRESENT ACTUAL FINAL LOADING. PLEASE REFER TO THE LATEST RFDS OR APPLICATION FOR CONFIRMATION.



1 PROPOSED TOWER ELEVATION - NORTH
SCALE: NOT TO SCALE



2 PROPOSED TOWER ELEVATION - SOUTH
SCALE: NOT TO SCALE

PREPARED BY:



PREPARED FOR:



PREPARED FOR:



PRELIMINARY:
NOT FOR
CONSTRUCTION

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DATE: 08/28/25

SHEET TITLE:

TOWER ELEVATION

SHEET NUMBER:

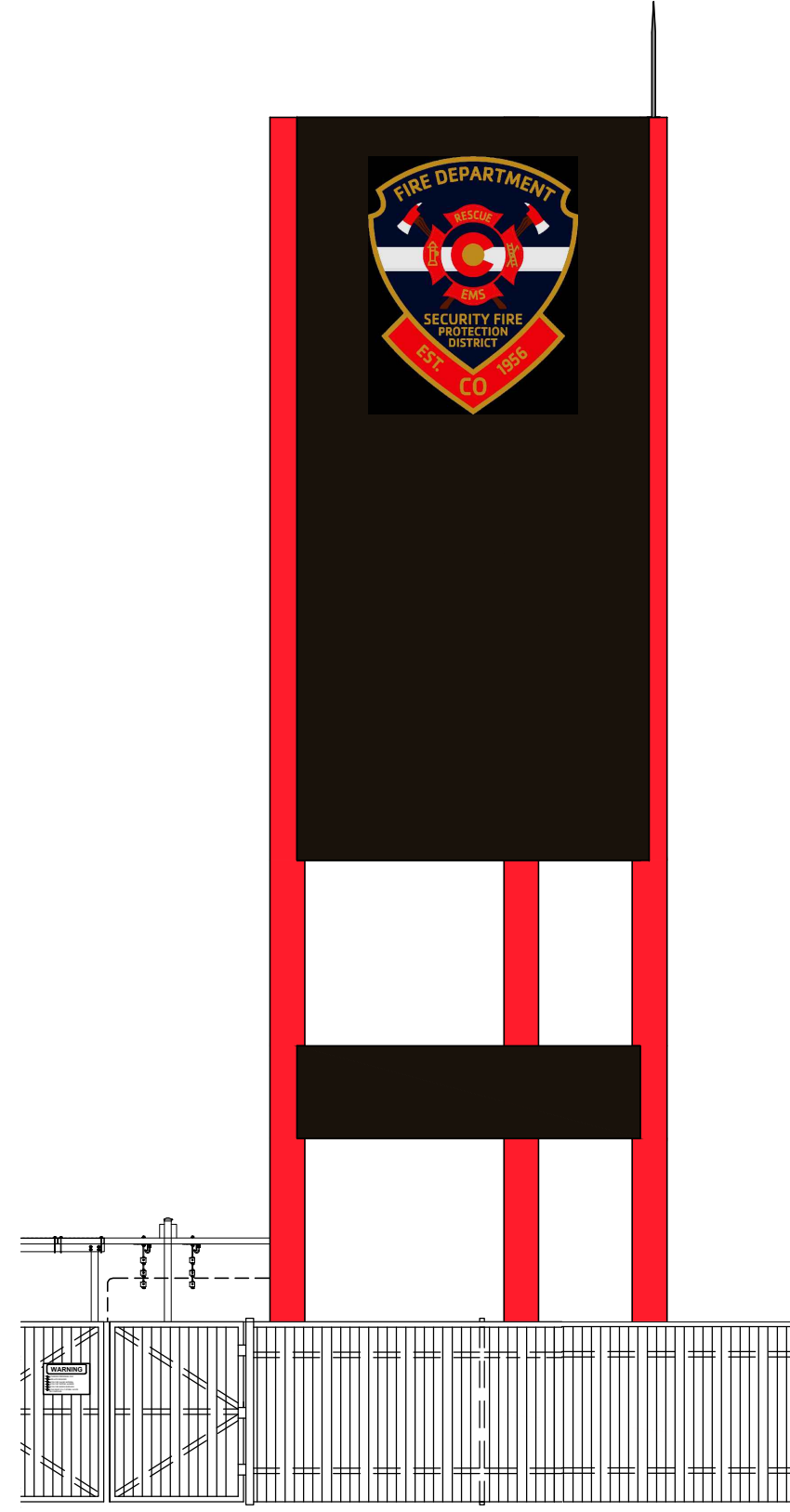
C-3.1

TOWER NOTE:

1. CARRIER LOADING SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY AND MAY NOT REPRESENT ACTUAL FINAL LOADING. PLEASE REFER TO THE LATEST RFDS OR APPLICATION FOR CONFIRMATION.



3 PROPOSED TOWER ELEVATION - WEST
SCALE: NOT TO SCALE



4 PROPOSED TOWER ELEVATION - EAST
SCALE: NOT TO SCALE

PREPARED BY:



PREPARED FOR:



PREPARED FOR:



PRELIMINARY:
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CONSTRUCTION

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CHECKED BY: MEP
DATE: 08/28/25

SHEET TITLE:

TOWER ELEVATION

SHEET NUMBER:

C-3.2

PREPARED BY:

 POWER OF DESIGN
 11490 BLUEGRASS PARKWAY
 LOUISVILLE, KY 40299
 502-437-5252

PREPARED FOR:


PREPARED FOR:


**PRELIMINARY:
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 CONSTRUCTION**

ZONING DRAWINGS

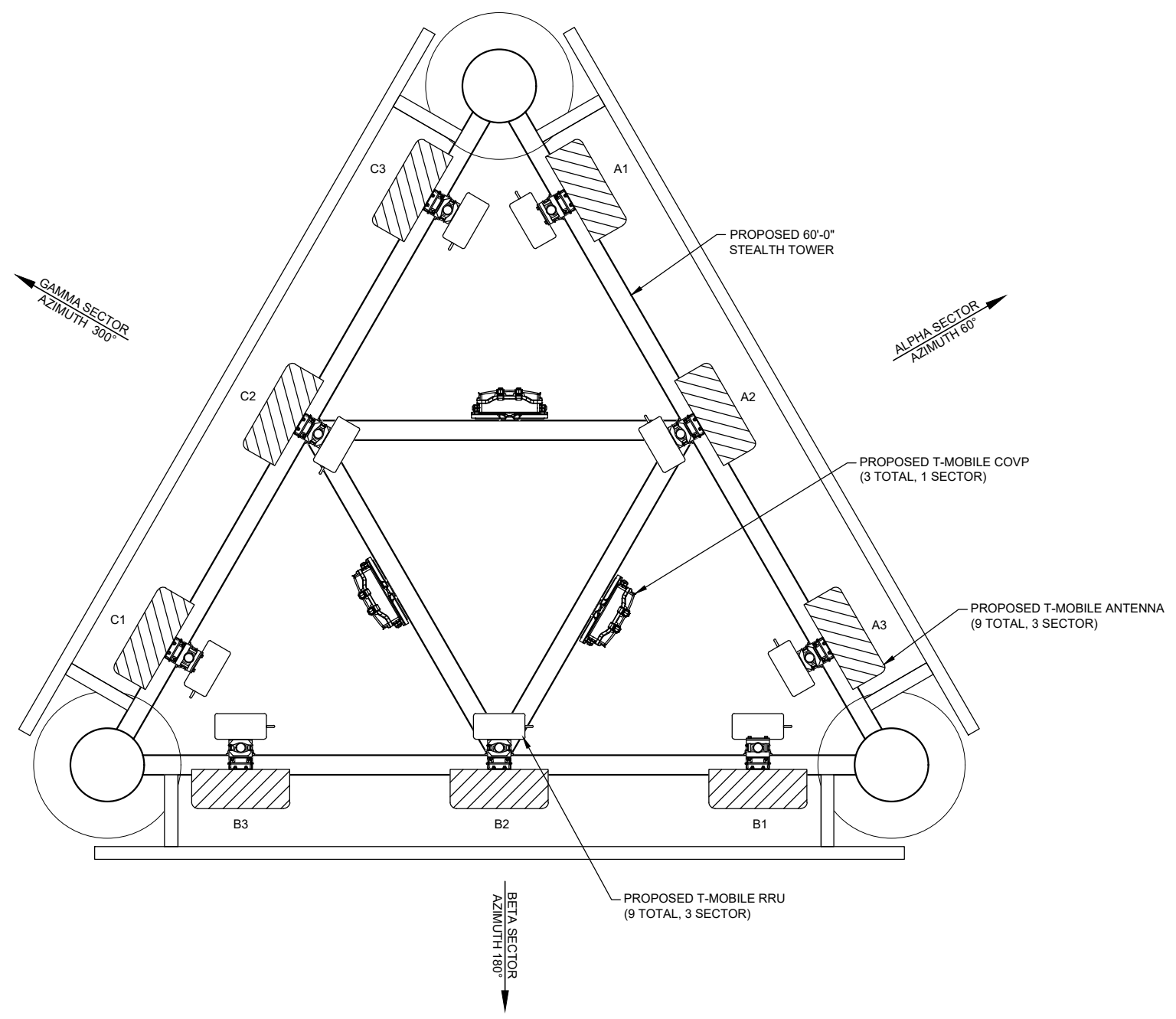
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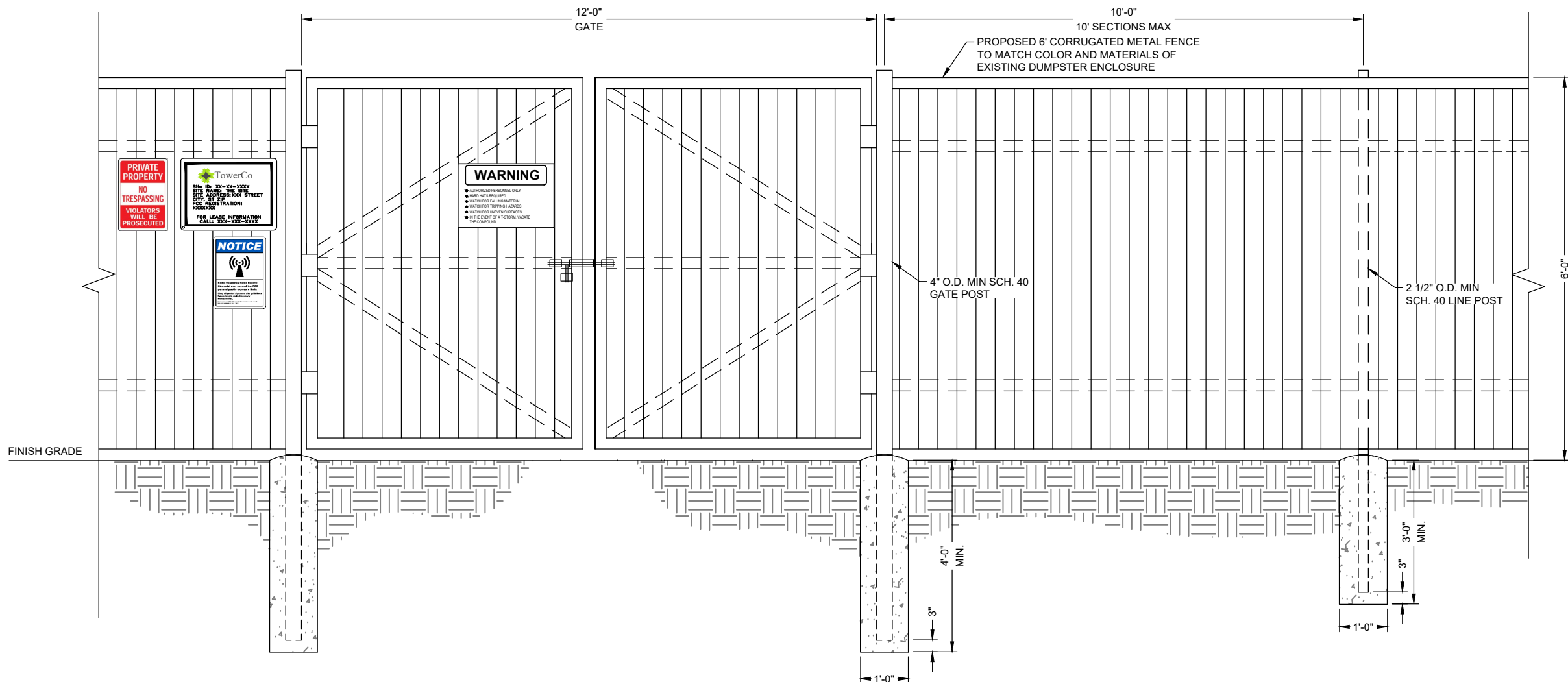
SHEET TITLE:
ANTENNA LAYOUT

SHEET NUMBER:
C-4

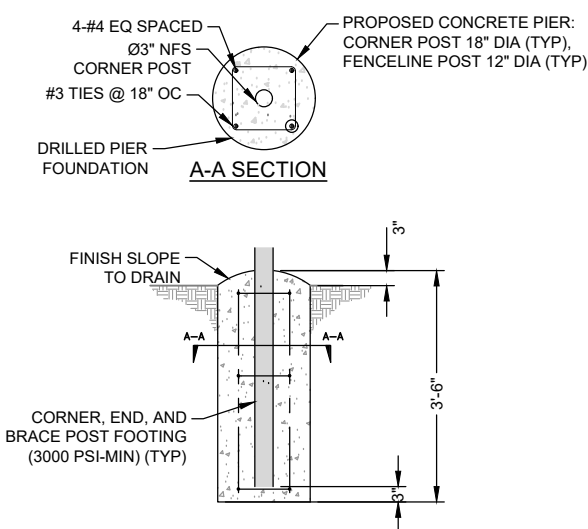


1 ANTENNA LAYOUT
 SCALE: NOT TO SCALE





1 FENCE ELEVATION DETAIL
SCALE: NOT TO SCALE



2 FENCE POST DETAIL
SCALE: NOT TO SCALE

PREPARED BY:

 POWER OF DESIGN
 11490 BLUEGRASS PARKWAY
 LOUISVILLE, KY 40299
 502-437-5252

PREPARED FOR:


PREPARED FOR:


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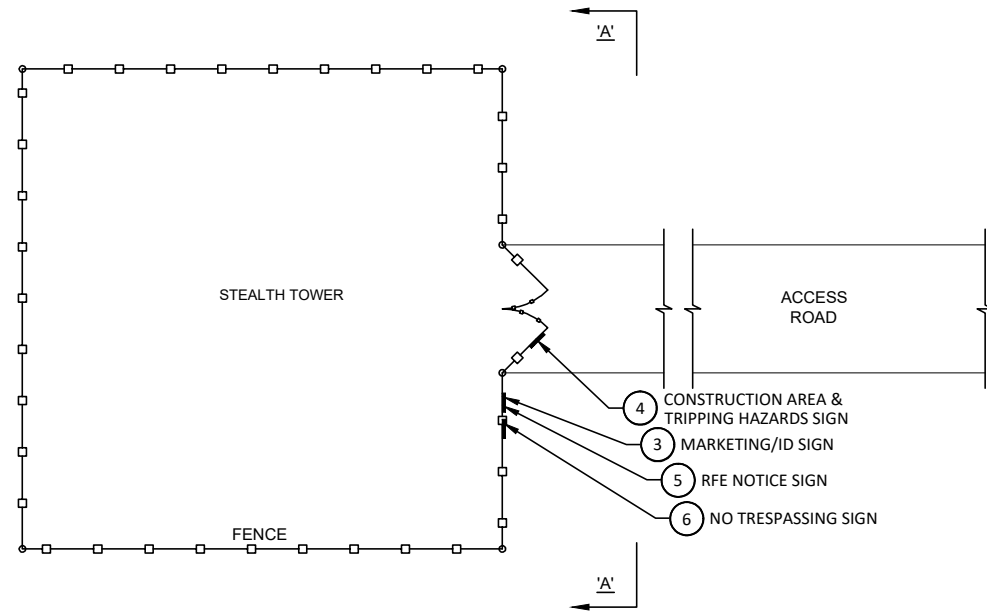
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SHEET TITLE:
 FENCE DETAILS

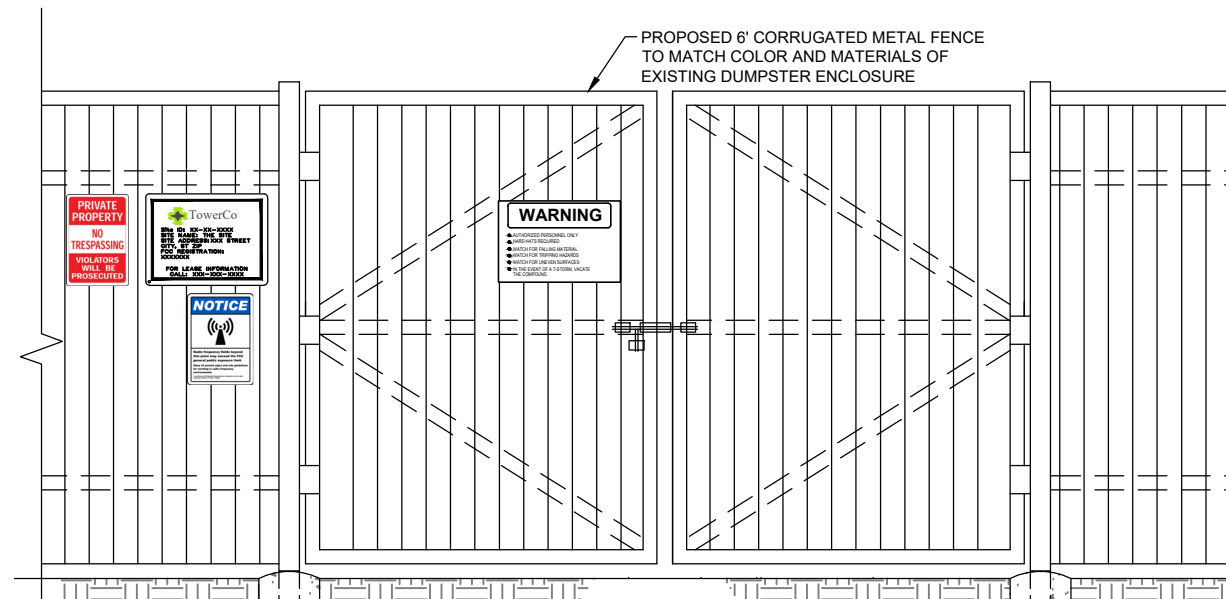
SHEET NUMBER:
 C-5

INSTALLER NOTE:

ALL SIGNS SHALL BE SECURED TO THE COMPOUND FENCE LEFT OR RIGHT OR THE MAIN ACCESS GATE AND ON THE SITE OF THE SITE FACING THE ENTRANCE DRIVE. ALL SIGNS SHALL BE SECURED TO THE FENCE AT A HEIGHT SUITABLE FOR EASE OF VIEWING AND REASONABLY LEVEL. ALL SIGNS SHALL BE SECURED TO THE FENCE WITH STEEL HOG RINGS OR METAL TIES, NYLON OR PLASTIC ZIP TIES ARE NOT ALLOWED. SITE IDENTIFICATION SIGNAGE SHALL BE PLACED AT THE ROAD GATE IF NEEDED.



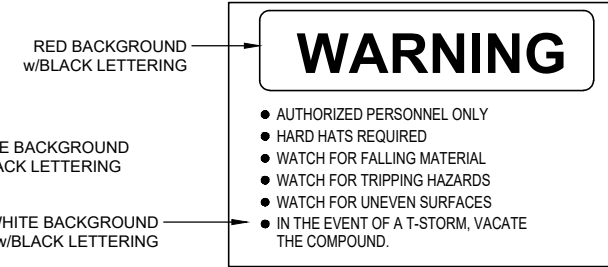
1 TYPICAL SITE FENCE SIGNAGE PLAN
SCALE: NOT TO SCALE



2 ELEVATION "A-A"
SCALE: NOT TO SCALE



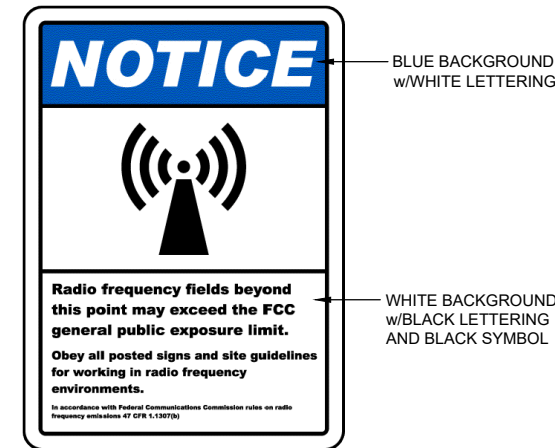
3 MARKETING/ID SIGN
SCALE: NOT TO SCALE



4 CONSTRUCTION AREA & TRIPPING HAZARDS SIGN
SCALE: NOT TO SCALE



5 8"x12" NO TRESPASSING SIGN
SCALE: NOT TO SCALE



6 12"x18" RFE NOTICE SIGN
SCALE: NOT TO SCALE

PREPARED BY:

 POWER OF DESIGN
 11490 BLUEGRASS PARKWAY
 LOUISVILLE, KY 40299
 502-437-5252

PREPARED FOR:

PREPARED FOR:

PRELIMINARY:
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CONSTRUCTION

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SHEET TITLE:

SIGNAGE DETAILS

SHEET NUMBER:

C-5.1

GENERAL NOTES

1. ALL PLANTS MUST BE HEALTHY, FREE OF PESTS AND DISEASES.
2. STANDARDS SET FORTH IN 'AMERICAN STANDARDS FOR NURSERY STOCK' REPRESENT GUIDELINE SPECIFICATIONS ONLY AND CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR ALL PLANT MATERIAL.
3. THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF FINAL ACCEPTANCE BY THE OWNER. THE LANDSCAPE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD (AS PER DIRECTION OF THE OWNER).
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) AREAS AND LAWNS UNTIL THE WORK AREAS ARE ACCEPTED IN TOTAL.
5. ALL DISTURBED AREAS AND ISLANDS SHALL BE SEEDED OR SODDED PER DIRECTION OF THE OWNER.
6. ALL UNHEALTHY OR DEAD PLANT MATERIAL SHALL BE REPLACED WITHIN ONE YEAR, OR BY THE NEXT PLANTING PERIOD, WHICHEVER COMES FIRST, WHILE OTHER DEFECTIVE PLANT MATERIAL SHALL BE REPLACED OR REPAIRED WITHIN THREE MONTHS.
7. ALL PLANTING BEDS SHALL BE COVERED IN A 3" THICK LAYER OF BARK MULCH.

EXISTING TREES

CODE	QTY	BOTANICAL NAME	COMMON NAME
GEL OCC	3	Celtis occidentalis	Common Hackberry
CRA VAR	3	Crataegus crus-galli inermis TM	Thornless Cockspur Hawthorn
JUN SCO	3	Juniperus scopulorum	Rocky Mountain Juniper
PIN EDU	3	Pinus cembroides edulis	Pinyan Pine
PIN PON	2	Pinus ponderosa	Ponderosa Pine

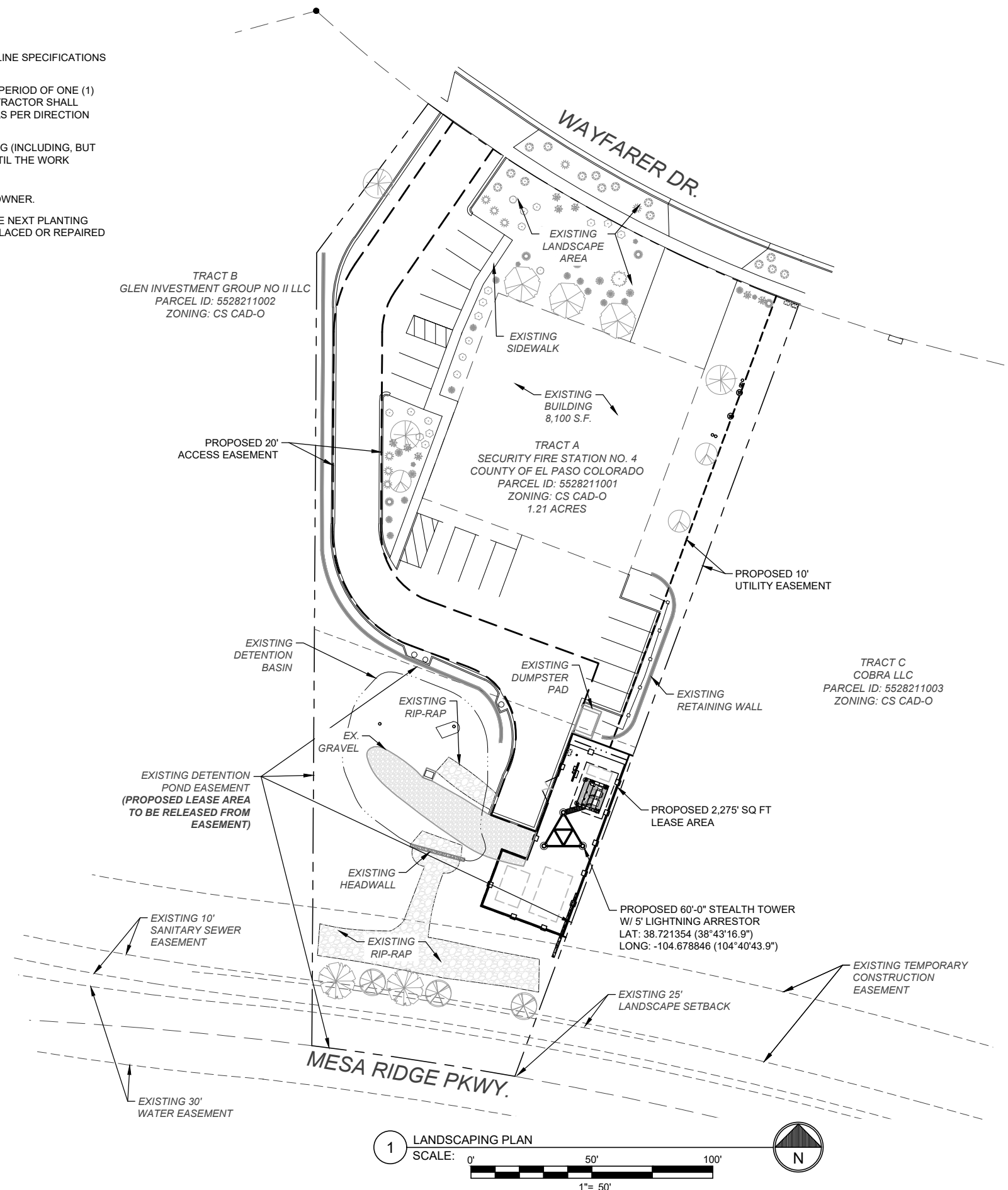
EXISTING SHRUBS

CODE	QTY	BOTANICAL NAME	COMMON NAME
CAR DAR	8	Caryopteris x clandonensis 'Dark Knight'	Dark Knight Blue Mist Shrub
CER LED	2	Cercocarpus ledifolius	Curl-Leaf Mountain Mahogany
CHA MIL	9	Chamaebatiaria millefolium	Fernbush
CHR GTR	11	Chrysothamnus nauseosus graveolens	Tall Green Rabbitbrush
CYT SP2	5	Cytisus purgans 'Spanish Gold'	Spanish Gold Broom
FAL PAR	5	Fallugia paradoxa	Apache Plume
FOR NEM	2	Forestiera neomexicana	New Mexico Privet
JUN BUF	15	Juniperus sabina 'Buffalo'	Buffalo Juniper
PERAT2	9	Perovskia atriplicifolia	Russian Sage
PIN CO2	5	Pinus mugo 'Compacta'	Dwarf Mugo Pine
RHU GRO	12	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac

NOTE: ALL LANDSCAPING SHOWN ON THIS PLAN IS EXISTING AND SHALL NOT BE DISTURBED DURING CONSTRUCTION

LEGEND

	PROPOSED CORRUGATED METAL FENCE
	PROPOSED LEASE AREA
	PROPOSED EASEMENT
	EXISTING SUBJECT PROPERTY LINE
	EXISTING METAL FENCE
	EXISTING ROAD (ASPHALT)
	EXISTING ROAD (GRAVEL)



PREPARED BY:
POD
 POWER OF DESIGN
 11490 BLUEGRASS PARKWAY
 LOUISVILLE, KY 40299
 502-437-5252

PREPARED FOR:
TowerCo

PREPARED FOR:
T-Mobile

**PRELIMINARY:
 NOT FOR
 CONSTRUCTION**

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SHEET TITLE:
 LANDSCAPING
 PLAN

SHEET NUMBER:
 LP-1