

EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) EL PASO COUNTY APPLICATION AND PERMIT

PCD Filing Number : PPR-21-75

APPLICANT INFORMATION

PERMIT NUMBER

Owner Information	
Owner	Widefield Water and Sanitation District
Name (person of responsibility)	Rob Bannister
Company/Agency	Widefield Water and Sanitation District
Position of Applicant	District Engineer
Address (physical address, not PO Box)	8495 Fontaine Blvd
City	Colorado Springs
State	CO
Zip Code	80925
Mailing address, if different from above	
Telephone	719-390-7111
FAX number	719-390-1409
Email Address	rob@wwsdonline.com
Cellular Phone number	
Contractor/Operator Information	
Name (person of responsibility)	TBD
Company	
Address (physical address, not PO Box)	
City	
State	
Zip Code	
Mailing address, if different from above	
Telephone	
FAX number	
Email Address	
Cellular Phone number	
Erosion Control Supervisor (ECS)*	
ECS Phone number*	
ECS Cellular Phone number*	

*Required for all applicants. May be provided at later date pending securing a contract when applicable.

PROJECT INFORMATION

Project Information	
Project Name	Rolling Hills Booster Pump Station
Legal Description	Enclosed
Address (or nearest major cross streets)	11208 Grayling Drive
Acreage (total and disturbed)	Total: 0.707 acres (Easement) Disturbed: 0.60 acres
Schedule	Start of Construction: Summer 2022 Completion of Construction: Spring 2023 Final Stabilization: Spring/Summer 2023
Project Purpose	The purpose of the project is to upgrade the existing booster pump station to support new development within the existing Widefield Water and Sanitation District's service area boundaries.
Description of Project	Construction of a new booster station including all excavation, concrete work, appurtenances, backfill, and site work related to building construction and operation.
Tax Schedule Number	5500000440

FOR OFFICE USE ONLY

The following signature from the ECM Administrator signifies the approval of this ESQCP. All work shall be performed in accordance with the permit, the El Paso County Engineering Criteria Manual (ECM) Standards, City of Colorado Springs Drainage Criteria Manual, Volume 2 (DCM2) as adopted by El Paso County Addendum, approved plans, and any attached conditions. The approved plans are an enforceable part of the ESQCP. Construction activity, except for the installation of initial construction BMPs is not permitted until issuance of a Construction permit and Notice to Proceed.

Signature of ECM Administrator: _____

APPROVED
Engineering Department
07/05/2022 5:04:21 PM
dsdnijkamp
EPC Planning & Community
Development Department

Date _____

1.1 REQUIRED SUBMISSIONS

In addition to this completed and signed application, the following items must be submitted to obtain an ESQCP:

- Permit fees
- Stormwater Management Plan (SWMP) meeting the requirements of DCM2 and ECM either as part of the plan set or as a separate document;
- Cost estimates of construction and maintenance of construction and permanent stormwater control measures (Cost estimates shall be provided on a unit cost basis for all stormwater BMPs);
- Financial surety in an amount agreeable to the ECM Administrator based on the cost estimates of the stormwater quality protection measures provided. The financial surety shall be provided in the form of a Letter of Credit, Surety with a Bonding Company, or other forms acceptable to El Paso County;
- Operation and Maintenance Plan for any proposed permanent stormwater control measures; and
- Signed Private Detention Basin/Stormwater Quality Best Management Practice Maintenance Agreement and Easement, if any permanent stormwater control measures are to be located on site.

1.2 RESPONSIBILITY FOR DAMAGE

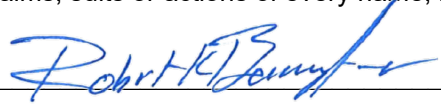
The County and its officers and employees, including but not limited to the ECM Administrator, shall not be answerable or accountable in any manner, for injury to or death of any person, including but not limited to a permit holder, persons employed by the permit holder, persons acting in behalf of the permit holder, or for damage to property resulting from any activities undertaken by a permit holder or under the direction of a permit holder. The permit holder shall be responsible for any liability imposed by law and for injuries to or death of any person, including but not limited to the permit holder, persons employed by the permit holder, persons acting in behalf of the permit holder, or damage to property arising out of work or other activity permitted and done by the permit holder under a permit, or arising out of the failure on the permit holder's part to perform the obligations under any permit in respect to maintenance or any other obligations, or resulting from defects or obstructions, or from any cause whatsoever during the progress of the work, or other activity, or at any subsequent time work or other activity is being performed under the obligations provided by and contemplated by the permit.

To the extent allowed by law, the permit holder shall indemnify, save, and hold harmless the County and its officers and employees, including but not limited to the BOCC and ECM Administrator, from all claims, suits or actions of every name, kind and description brought for or on account of injuries to or death of any person, including but not limited to the permit holder, persons employed by the permit holder, persons acting in behalf of the permit holder and the public, or damage to property resulting from the performance of work or other activity under the permit, or arising out of the failure on the permit holder's part to perform his obligations under any permit in respect to maintenance or any other obligations, or resulting from defects or obstructions, or from any cause whatsoever during the progress of the work, or other activity or at any subsequent time work or other activity is being performed under the obligations provided by and contemplated by the permit, except as otherwise provided by state law. The permit holder waives any and all rights to any type of expressed or implied indemnity against the County, its officers or employees.

1.3 APPLICATION CERTIFICATION

We, as the Applicants or the representative of the Applicants, hereby certify that this application is correct and complete as per the requirements presented in this application and the El Paso County Engineering Criteria Manual and Drainage Criteria Manual, Volume 2 and El Paso County Addendum.

We, as the Applicants or the representatives of the Applicants, have read and will comply with all of the requirements of the specified Stormwater Management Plan and any other documents specifying stormwater best management practices to be used on the site including permit conditions that may be required by the ECM Administrator. We understand that the stormwater control measures are to be maintained on the site and revised as necessary to protect stormwater quality as the project progresses. We further understand that a Construction Permit must be obtained and all necessary stormwater quality control measures are to be installed in accordance with the SWMP, the El Paso County Engineering Criteria Manual, Drainage Criteria Manual, Volume 2 and El Paso County Addendum before land disturbance begins and that failure to comply will result in a Stop Work Order and may result in other penalties as allowed by law. We further understand and agree to indemnify, save, and hold harmless the County and its officers and employees, including but not limited to the BOCC and ECM Administrator, from all claims, suits or actions of every name, kind and description as outlined in Section 1.2 Responsibility for Damage.



Signature of Owner or Representative

Date: 5/23/2022

Robert Bannister

Print Name of Owner or Representative

Signature of Operator or Representative

Date: _____

Print Name of Operator or Representative

Permit Fee \$ _____
Surcharge \$ _____
Financial Surety \$ _____

Total \$ _____

Type of Surety _____



20 Boulder Crescent, STE 110
 Colorado Springs, CO 80903
 Mail to: PO Box 1360
 Colorado Springs, CO 80901
 719.955.5485

**PERMANENT EASEMENT AGREEMENT
 PROPOSED PUMP HOUSE**

A PARCEL OF LAND IN THE SOUTH HALF (S 1/2) OF SECTION 13, TOWNSHIP 15 SOUTH, RANGE 65 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE EAST LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 13, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M. EL PASO COUNTY, COLORADO. THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER (SW1/4) BEING MONUMENTED WITH A 3-1/4" ALUMINUM CAP STAMPED "LS 16109", FROM WHICH THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER (SW1/4) BEING MONUMENTED WITH A 3-1/4" ALUMINUM CAP STAMPED "LS 23044", BEARS N00°22'02" W, A DISTANCE OF 2,627.10 FEET.

COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER (SW1/4), SECTION 13; THENCE S21°04'11"E, A DISTANCE OF 749.41 FEET TO THE TRUE POINT OF BEGINNING OF THIS LEGAL DESCRIPTION;
 THENCE N38°16'47"E, A DISTANCE OF 140.00 FEET;
 THENCE S52°07'15"E, A DISTANCE OF 220.01 FEET TO THE NORTHWESTERLY LINE OF THAT CERTAIN 100 FOOT WIDE EASEMENT DESCRIBED IN BOOK 2665 AT PAGE 715 IN THE RECORDS OF EL PASO COUNTY, COLORADO;
 THENCE S38°16'47"W, ALONG THE NORTHWESTERLY LINE THEREOF, 140.00 FEET;
 THENCE N52°07'15"W, A DISTANCE OF 220.01 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS A CALCULATED AREA OF 30,800 S.F. (0.707 ACRES MORE OR LESS).

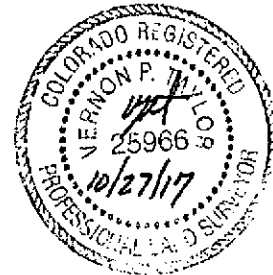
PREPARED BY:

Vernon P. Taylor

VERNON P. TAYLOR, COLORADO P.L.S. NO. 25966
 FOR AND ON BEHALF OF M&S CIVIL CONSULTANTS, INC
 20 BOULDER CRESCENT, SUITE 110
 COLORADO SPRINGS, CO 80903

10/27/17

DATE



LEGAL DESCRIPTION SKETCH

PERMANENT EASEMENT AGREEMENT

PROPOSED PUMP HOUSE

FOUND. REBAR W/
3 1/4" ALUM. CAP
"PLS 23044" "2005"
C1/4 COR. SEC. 13

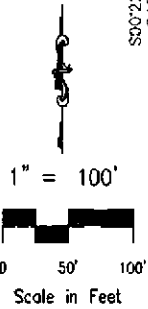
REC NO. 204201653

REC NO. 204201653

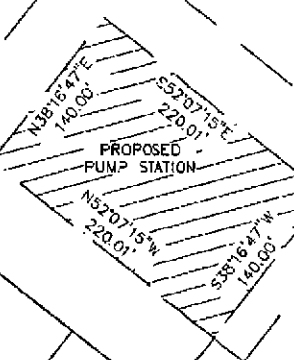
S104°1'E 749.41'

OWNER: LORSON LLC, NOMINEE FOR
MURRAY FOUNTAIN, LLC

S00°22'02"E 2627.10'
BASIS OF BEARING
NORTH-SOUTH CENTERLINE SEC.13



TO THE SOUTHEAST CORNER OF
THE SOUTHWEST QUARTER OF
SECTION 13, T15S, R65W OF THE
SIXTH PRINCIPAL MERIDIAN



THIS LEGAL DESCRIPTION SKETCH IS INTENDED FOR
LEGAL DESCRIPTION CLARIFICATION ONLY. IT IS NOT A
MONUMENTED LAND SURVEY PLAT NOR IMPROVEMENT
LOCATION SURVEY PLAT.



5500 S. HIGHLAND AVE. SUITE 110
CO. OF ARIZONA, PHOENIX, AZ 85034
PHONE: 602.998.8888