

CONSTRUCTION DRAWINGS

8035 MERIDIAN PARK DRIVE

SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M.

TOWN OF PEYTON, COUNTY OF EL PASO, STATE OF COLORADO

DUNKIN' BENT GRASS

BENCHMARK

PROJECT BENCHMARK IS AN EL PASO COUNTY CONTROL POINT LOCATED ON THE SOUTHWEST CORNER OF THE PROJECT SITE JUST EAST OF MERIDIAN PARK DRIVE.

BENCHMARK IS 1-1/2" ALUMINUM SURVEYORS CAP AT N90°00'00" W225.20'. THE ELEVATION IS 6927.78 US SURVEY FEET BASED ON THE NAVD 88 DATUM.

BASIS OF BEARINGS

A PORTION OF THE SOUTH LINE OF THE NORTHEAST QUARTER SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN EL PASO COUNTY, COLORADO BEING MONUMENTED AT THE WEST END BY THE CENTER QUARTER CORNER OF SAID SECTION 1 BY A 2 1/2" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKING PLS 28651 AND AT THE EAST END, AT THE NORTHWESTERLY CORNER OF LOT 1 FALCON RANCHETTES RECORDED IN PLAT BOOK V-2 AT PAGE 15, RECORDS OF EL PASO COUNTY, COLORADO, BY A YELLOW PLASTIC SURVEYORS CAP STAMPED "PLS 2372" AND IS ASSUMED TO BEAR S89°49'43". A DISTANCE OF 2,285.20 FEET.

LEGAL DESCRIPTION

PARCEL A:
LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO 2A, COUNTY OF EL PASO, STATE OF COLORADO (RECEPTION NO. 214713554).

PARCEL B:

THOSE EASEMENT RIGHT CREATED BY RECIPROCAL ACCESS EASEMENT AND TEMPORARY CONSTRUCTION AND MAINTENANCE EASEMENT AGREEMENT RECORDED JUNE 04, 2013 UNDER RECEPTION NO. 213072561 AND FIRST AMENDMENT TO RECIPROCAL ACCESS EASEMENT AND TEMPORARY CONSTRUCTION AND MAINTENANCE EASEMENT AGREEMENT RECORDED JULY 07, 2013 UNDER RECEPTION NO. 213098588.

CONSTRUCTION TIMELINE

APPROXIMATE CONSTRUCTION START DATE: SEPTEMBER 2023

PROJECT DESCRIPTION

THE PROPOSED PROJECT INCLUDES THE DEVELOPMENT OF A NEW FAST FOOD RESTAURANT BUILDING, DRIVE-THRU, AND PARKING LOT. PROPOSED WORK INCLUDES DEMOLITION, GRADING, CONCRETE AND ASPHALT INSTALLATION, SANITARY SEWER INSTALLATION, WATER LATERAL INSTALLATION, FINAL GRADING, FINAL STABILIZATION, AND REMOVAL OF TEMPORARY CONTROL MEASURES.

PROPERTY INFORMATION

PROJECT ZONING: COMMERCIAL SERVICES (CS)
TAX SCHEDULE NUMBER: 5301104002

ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

SHEET INDEX:

1	TITLE SHEET
2	WOODMEN METROPOLITAN DISTRICT NOTES
3	EXISTING GRADING AND DEMOLITION PLAN
4	PROPOSED SITE PLAN
5	GRADING AND DRAINAGE PLAN
6	GRADING AND EROSION CONTROL DETAILS
7	GRADING AND EROSION CONTROL DETAILS
8	UTILITY SERVICE PLAN
9	SITE DETAILS
10	UTILITY DETAILS

FIRE AUTHORITY APPROVAL

THE NUMBER OF FIRE HYDRANTS AND HYDRANT LOCATIONS SHOWN ON THIS WATER INSTALLATION PLAN ARE CORRECT AND ADEQUATE TO SATISFY THE FIRE PROTECTION REQUIREMENTS AS SPECIFIED BY THE FIRE DISTRICT SERVING THE PROPERTY NOTED ON THE PLANS.

FIRE PROTECTION DISTRICT _____

SIGNED _____ DATE _____
FIRE PROTECTION DISTRICT _____

WOODMEN HILLS METROPOLITAN DISTRICT APPROVALS

THE WOODMEN HILLS METROPOLITAN DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

WATER DESIGN APPROVAL

DATE: _____ BY: _____
PROJECT NO. _____

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT, THE STANDARDS AS DEFINED IN THE "RULES AND REGULATIONS FOR INSTALLATION OF WATER MAINS AND SERVICES" SHALL RULE.

WASTEWATER DESIGN APPROVAL

DATE: _____ BY: _____
PROJECT NO. _____

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE "RULES AND REGULATIONS FOR INSTALLATION OF WASTEWATER MAINS AND SERVICES" SHALL RULE. APPROVALS EXPIRE 180 DAYS FROM DESIGN APPROVAL.

ZONING COMPARISON TABLE		
TYPE	REQUIRED	PROVIDED
USE	COMMERCIAL SERVICES (CS)	COMMERCIAL SERVICES (CS)
LOT SIZE	63,480 SF	63,480 SF
BUILDING SETBACK	25 FT	17 FT
MINIMUM PARKING	20 SPACES	28 SPACES

SITE UTILIZATION TABLE		
COVERAGE	EXISTING	PROPOSED
TOTAL LOT SIZE	63,480 SF	63,480 SF
BUILDING	0 SF	1,998 SF
PAVEMENT	0 SF	14,625 SF
% IMPERVIOUS	0%	26.2%
% OPEN SPACE / LANDSCAPING	100%	73.8%

Condition of Approval:

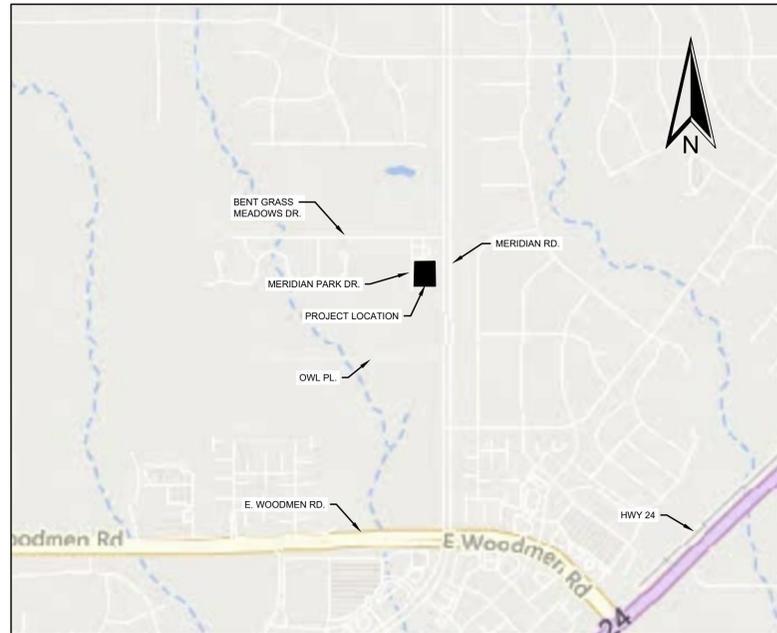
An updated construction drawing set with signature approval from the following agencies shall be submitted/uploaded to EDARP before a construction permit/notice to proceed is issued:
-Fire Protection District
-Woodmen Hills/Bent Grass Metropolitan District
-Water District Approval
-Wastewater Design Approval

LEGEND

PROPOSED	EXISTING

ABBREVIATIONS

AC	ASPHALT CONCRETE	ME	MATCH EXISTING
CS	COMMERCIAL SERVICES	MAX	MAXIMUM
DWG	DRAWING	MIN	MINIMUM
(E)	EXISTING	(N)	NEW
E	EAST	N	NORTH
EG	EXISTING GRADE	PSI	POUNDS PER SQUARE INCH
FH	FIRE HYDRANT	PVC	POLYVINYL CHLORIDE
FL	FLOW LINE	RCP	REINFORCED CONCRETE PIPE
FG	FINISHED GRADE	ROW	RIGHT OF WAY
FS	FINISHED SURFACE	SF	SQUARE FEET
FT	FEET	STD	STANDARD
HP	HIGHT POINT	TC	TOP OF CURB
INV	INVERT	TYP	TYPICAL
LIP	LIP OF GUTTER		



VICINITY MAP

NOT TO SCALE

PROJECT TEAM

PROPERTY OWNER CD MERIDIAN & BENT GRASS LLC 106 S. KYRENE RD. CHANDLER, AZ 85226 480-313-2724 BRIAN@DOUBLETREEVENTURES.COM ATTN: BRIAN ZUREK	CIVIL ENGINEER / APPLICANT M&S CIVIL CONSULTANTS, INC. 212 N. WAHSATCH AVE., STE. 305 COLORADO SPRINGS, CO 80903 719-440-9596 VERN@MSCIVIL.COM ATTN: VERN P. TAYLOR, P.L.S.	ARCHITECT ETHOS ARCHITECTURE GROUP 8025 W 25TH PL. LAKEWOOD, CO 80214 303-815-0161 JOHN@ETHOS-ARCH-GROUP.COM ATTN: JOHN SPONSELLER, NCARB
SURVEYOR M&S CIVIL CONSULTANTS, INC. 212 N. WAHSATCH AVE., STE. 305 COLORADO SPRINGS, CO 80903 719-440-9596 VERN@MSCIVIL.COM ATTN: VERN P. TAYLOR, P.L.S.	LANDSCAPE ARCHITECT STACKLOT 5639 SOUTH CURTICE ST. LITTLETON, CO 80120 303-883-2735 JUSTINHAY@STACKLOT.COM ATTN: JUSTIN HAY	PHOTOMETRIC DESIGN RG ENGINEERING CONSULTANTS 8811 HAMPDEN AVE., STE. 208 DENVER, CO 80231 303-355-5534 SOPHIA@RGECINC.COM ATTN: SOPHIA GISIN

FIRE FLOW DATA (UPDATE):

CODE USED FOR ANALYSIS: 2018 IFC WITH 2019 AMENDMENTS
OCCUPANCY GROUP(S): B
CONSTRUCTION TYPE(S): V-B
FIRE FLOW CALCULATION AREA: 2,000 SF

THIS BUILDING IS NOT PROTECTED WITH AN AUTOMATIC SPRINKLER SYSTEM.

PER IFC TABLE B105.1(2):
TOTAL REQUIRED FIRE FLOW = 1,500 GPM @ 20 PSI RESIDUAL PRESSURE
DURATION = 2 HOURS

PER IFC TABLE C102.1:
MINIMUM NUMBER OF HYDRANTS = 1 HYDRANT
AVERAGE SPACING BETWEEN HYDRANTS = 500 FEET
MAXIMUM DISTANCE FROM STREET FRONTAGE = 250 FEET

OWNER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

OWNER SIGNATURE _____ DATE: 09-05-23

ENGINEER'S STATEMENT:

THE GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS COMPLETE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

ENGINEER OF RECORD SIGNATURE _____ DATE: 09-05-23

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED. IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

APPROVED: _____ DATE: 07/09/2024
JOSHUA PALMER, P.E.
INTERIM COUNTY ENGINEER

CITY FILE NO. VR2316

LOT 1A-BENT GRASS EAST COMMERCIAL FIL. NO. 2A

TITLE SHEET	
PROJECT NO. 70-110	DATE: 06/27/2023
DESIGNED BY: VAS	HORIZONTAL: N/A
DRAWN BY: TAU	VERTICAL: 1"=5'
CHECKED BY: VAS	SHEET 1 OF 10
TS01	

212 N. WAHSATCH AVE., STE. 305
COLORADO SPRINGS, CO 80903
PHONE: 719.955.5465



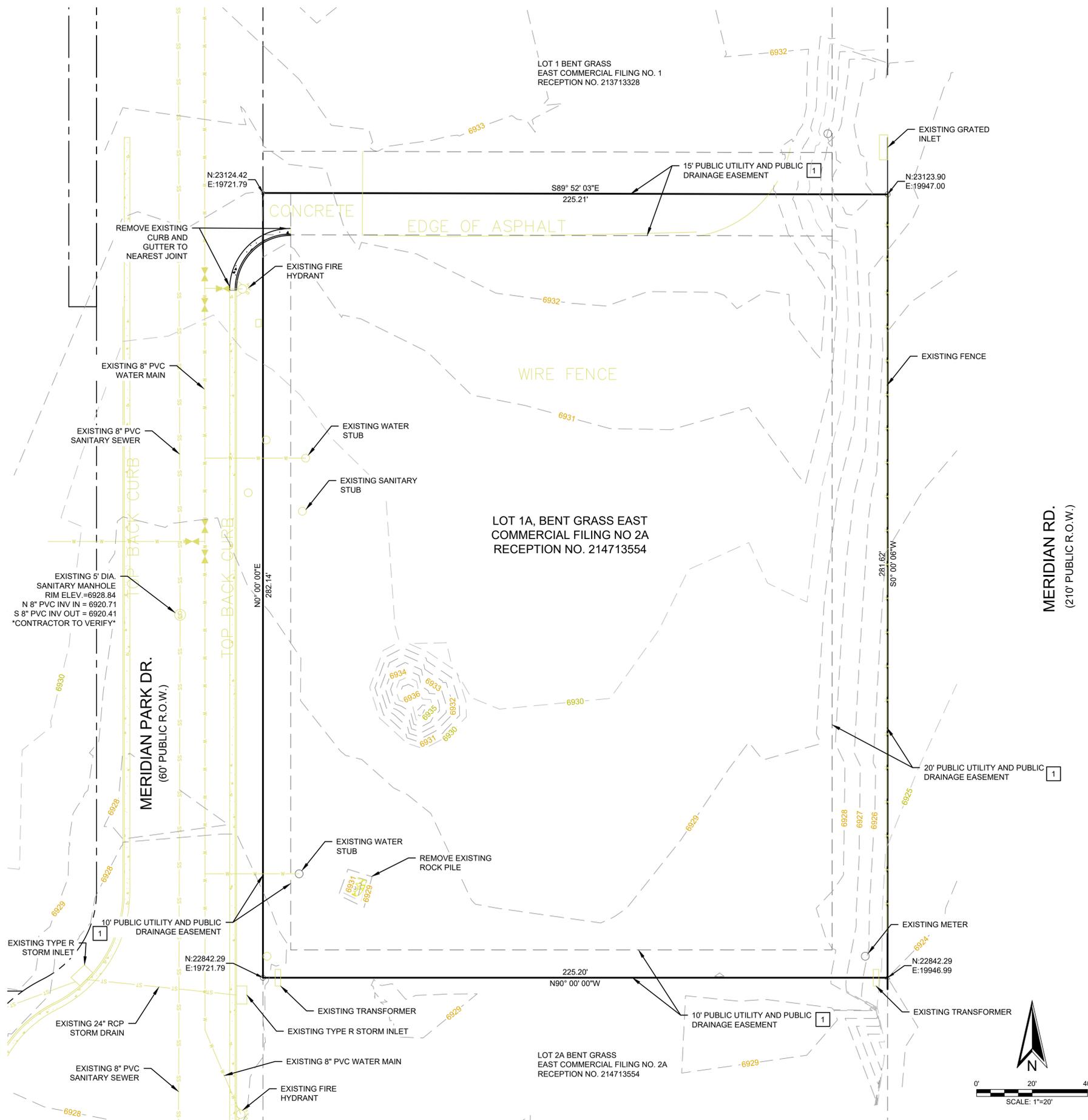
FOR AND ON BEHALF OF M&S CIVIL CONSULTANTS, INC.

VIRGIL A. SANCHEZ, COLORADO, P.E. NO. 37160

NO.	DATE	BY	DESCRIPTION

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARE OF THESE PLANS.

CAUTION



LEGEND EXISTING

- — — — — RIGHT-OF-WAY
- — — — — PROPERTY LINE
- — — — — ELECTRICAL LINE
- — — — — TELEPHONE LINE
- — — — — GAS LINE
- — — — — WATER LINE
- — — — — SEWER LINE
- — — — — STORM DRAIN
- ⊙ SEWER MANHOLE
- ⊙ STORM MANHOLE
- ⊙ ELECTRICAL POLE
- ⊙ ELECTRICAL BOX
- ⊙ ELECTRICAL METER
- ⊙ COMMUNITY ANTENNA TELEVISION
- ⊙ SIGN POST

NOTES

1. TOPOGRAPHIC SURVEY PERFORMED BY CLASSIC CONSULTING ON DECEMBER 10, 2021
2. OPEN TRENCH SHORING, DEWATERING, & TRAFFIC CONTROL SHALL BE PROVIDED BY CONTRACTOR
3. SERVICE OUTAGES SHALL BE COORDINATED WITH AND APPROVED BY THE COUNTY OF EL PASO IF REQUIRED PRIOR TO START OF WORK
4. ALL EXISTING UTILITIES SHALL BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED.
5. CONTRACTOR TO POT-HOLE AND FIELD VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES IN AREAS OF WORK PRIOR TO DEMOLITION AND CONSTRUCTION.
6. DEMOLITION, REMOVAL, OR RELOCATION OF EXISTING UTILITIES SHALL BE COORDINATED WITH THE UTILITY PROVIDER PRIOR TO THE START OF CONSTRUCTION.
7. FOR ALL DEMOLITION OF EXISTING CONCRETE, SAWCUT EXISTING CONCRETE AT NEAREST JOINT.

EASEMENT DATA		
EASEMENT	USE	RECEPTION NO.
1	DRAINAGE	214713554

212 N. WABATCH AVE., STE 305
 COLORADO SPRINGS, CO 80903
 PHONE: 719.555.5465

CIVIL CONSULTANTS, INC.

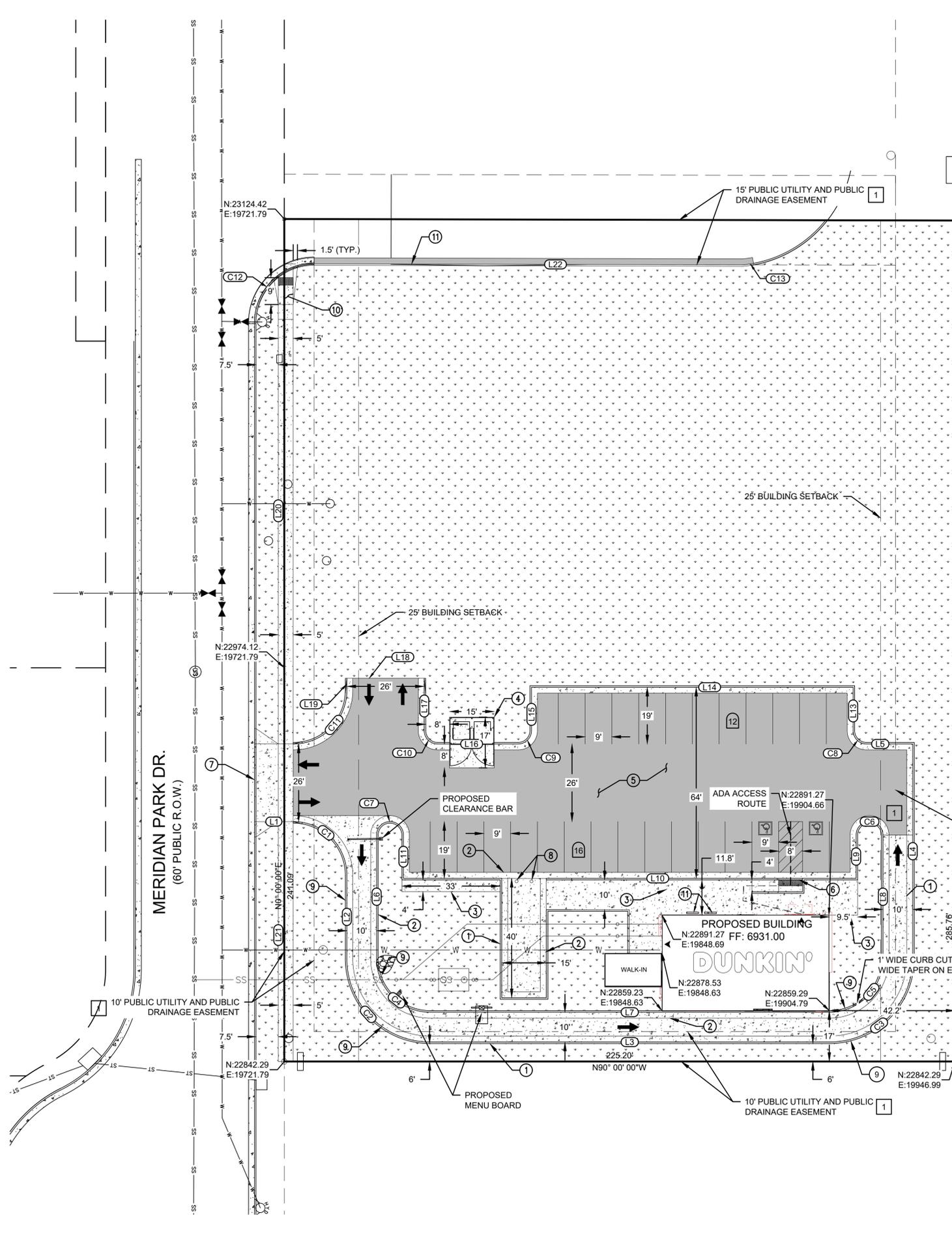
FOR AND ON BEHALF OF VAS CIVIL CONSULTANTS, INC.

VIRGIL A. SANCHEZ, COLORADO, P.E. NO. 37160

NO.	DATE	BY	DESCRIPTION	APPR'D. BY	DATE

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CAUTION



LEGEND

EXISTING	PROPOSED
RIGHT-OF-WAY	PARKING / WALKWAY STRIPING
PROPERTY LINE	AC PAVEMENT
ELECTRICAL LINE	SIDEWALK
TELEPHONE LINE	LANDSCAPING
GAS LINE	CURB AND GUTTER
WATER LINE	ADA ACCESSIBLE PATHWAY
SEWER LINE	SEWER LATERAL
STORM DRAIN	WATER LATERAL
SEWER MANHOLE	GAS SERVICE LATERAL
STORM MANHOLE	ELECTRICAL SERVICE LATERAL
ELECTRICAL POLE	COMMUNICATIONS SERVICE LATERAL
ELECTRICAL BOX	BUILDING SETBACK
ELECTRICAL METER	PROPOSED EASEMENT
COMMUNITY ANTENNA TELEVISION	
SIGN POST	

LINE TABLE

LINE #	LENGTH	DIRECTION
L1	12.00	S90° 00' 00.00"E
L2	27.83	S0° 00' 00.00"W
L3	134.00	N90° 00' 00.00"E
L4	71.83	N0° 00' 00.00"E
L5	15.50	N89° 59' 59.98"W
L6	41.33	S0° 00' 00.00"W
L7	134.00	N90° 00' 00.00"E
L8	41.33	N0° 00' 00.00"E
L9	14.50	S0° 00' 00.00"W
L10	152.00	N90° 00' 00.00"W
L11	14.50	N0° 00' 00.00"E

LINE TABLE

LINE #	LENGTH	DIRECTION
L13	14.50	N0° 00' 00.00"W
L14	108.00	S89° 59' 59.94"W
L15	14.50	S0° 00' 00.06"E
L16	27.00	S89° 59' 59.80"W
L17	17.50	N0° 00' 05.91"W
L18	26.00	N89° 59' 54.09"W
L19	4.00	S0° 00' 05.91"W
L20	147.15	N0° 00' 00.00"W
L21	80.33	S0° 00' 00.00"E

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA
C1	28.78	18.01	91.55
C2	43.98	28.00	90.00
C3	43.98	28.00	90.00
C4	28.27	18.00	90.00
C5	28.27	18.00	90.00
C6	14.14	4.50	180.00
C7	14.14	4.50	180.00
C8	7.07	4.50	90.00
C9	7.07	4.50	90.00
C10	7.07	4.50	90.00
C11	28.27	18.00	90.00
C12	31.46	20.00	90.13
C13	3.59	40.22	5.11

CONSTRUCTION NOTES

- INSTALL (N) 30" CURB & GUTTER ECP TYPE A (CATCH) PER COUNTY OF EL PASO STD PLAN SD_2-20 (SEE SHEET 7).
- INSTALL (N) 30" CURB & GUTTER ECP TYPE A (SPILL) PER COUNTY OF EL PASO STD PLAN SD_2-20 (SEE SHEET 7).
- INSTALL (N) CONC. SIDEWALK PER DETAIL (SEE SHEET 7).
- INSTALL (N) DUMPSTER ENCLOSURE PER ARCHITECTURAL PLANS.
- INSTALL (N) AC PAVEMENT.
- INSTALL (N) CURB RAMP PER COUNTY OF EL PASO STD PLAN SD_2-50 (SEE SHEET 7).
- INSTALL (N) CONC. DRIVEWAY PER COUNTY OF EL PASO STD. DETAIL SD_2-25 (SEE SHEET 7).
- INSTALL (N) REMOVABLE BOLLARD PER DETAIL (SEE SHEET 7).
- INSTALL (N) 34" CURB & GUTTER ECP TYPE D PER COUNTY OF EL PASO STD PLAN SD_2-20 (SEE SHEET 7).
- INSTALL (N) ADA PEDESTRIAN RAMP PER EL PASO COUNTY SDD_2-41. (SEE SHEET 7).
- INSTALL (N) BIKE RACK PER ARCHITECTURAL PLANS.

NOTES

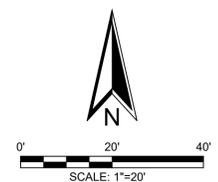
1. ALL CURB, GUTTER, PEDESTRIAN RAMPS, SIDEWALKS AND DRIVEWAYS POSING A SAFETY HAZARD, EXHIBITING EXCESSIVE DETERIORATION, DAMAGED, OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARDS ALONG THE PUBLIC RIGHT-OF-WAY ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (CO). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW DIVISION (EDRD) INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE EDRD INSPECTOR CAN BE REACHED AT 719-385-5977.

PARKING NOTES

PER COUNTY OF EL PASO LAND DEVELOPMENT CODE TABLE 6-2
 USE TYPE: FAST FOOD, FAMILY, HIGH TURNOVER
 BUILDING AREA: 1,998 SF
 TOTAL PARKING STALLS REQUIRED: 20
 TOTAL PARKING STALLS PROVIDED: 28
 # OF PARKING STALLS X

EASEMENT DATA

EASEMENT	USE	RECEPTION No.
1	DRAINAGE	214713554



LOT 1A-BENT GRASS EAST COMMERCIAL FIL. NO. 2A

PROPOSED SITE PLAN

PROJECT NO. 70-110

SCALE: HORIZONTAL: 1"=20' VERTICAL: 1"=5'

DATE: 06/27/2023

SHEET 4 OF 10

GEC02

217 N. WASHATCH AVE., STE. 305
 COLORADO SPRINGS, CO 80903
 PHONE: 719.955.5485

CIVIL CONSULTANTS, INC.

FOR AND ON BEHALF OF MRS. CIVIL CONSULTANTS, INC.

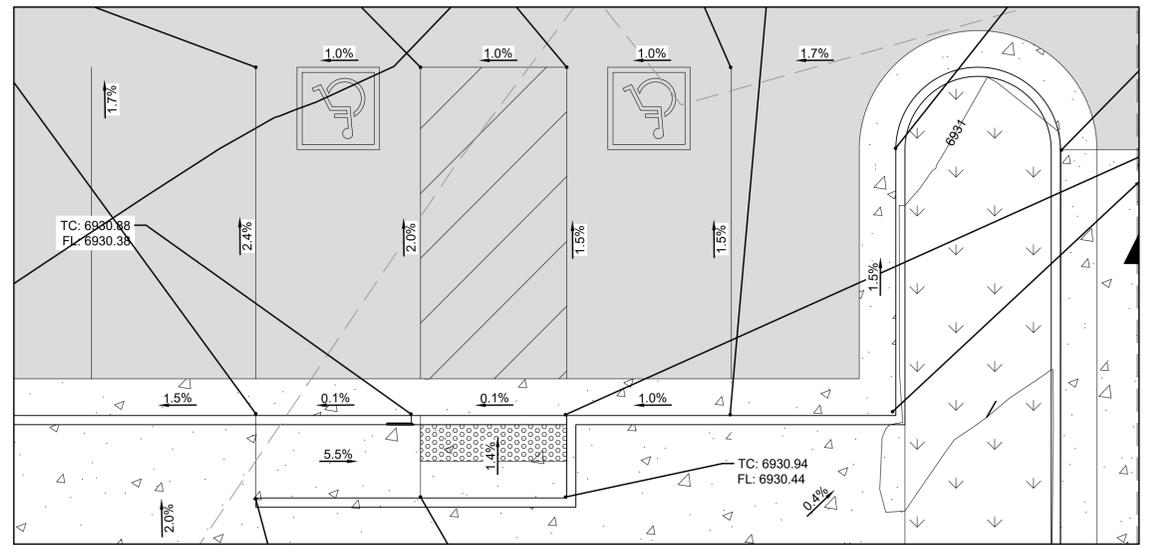
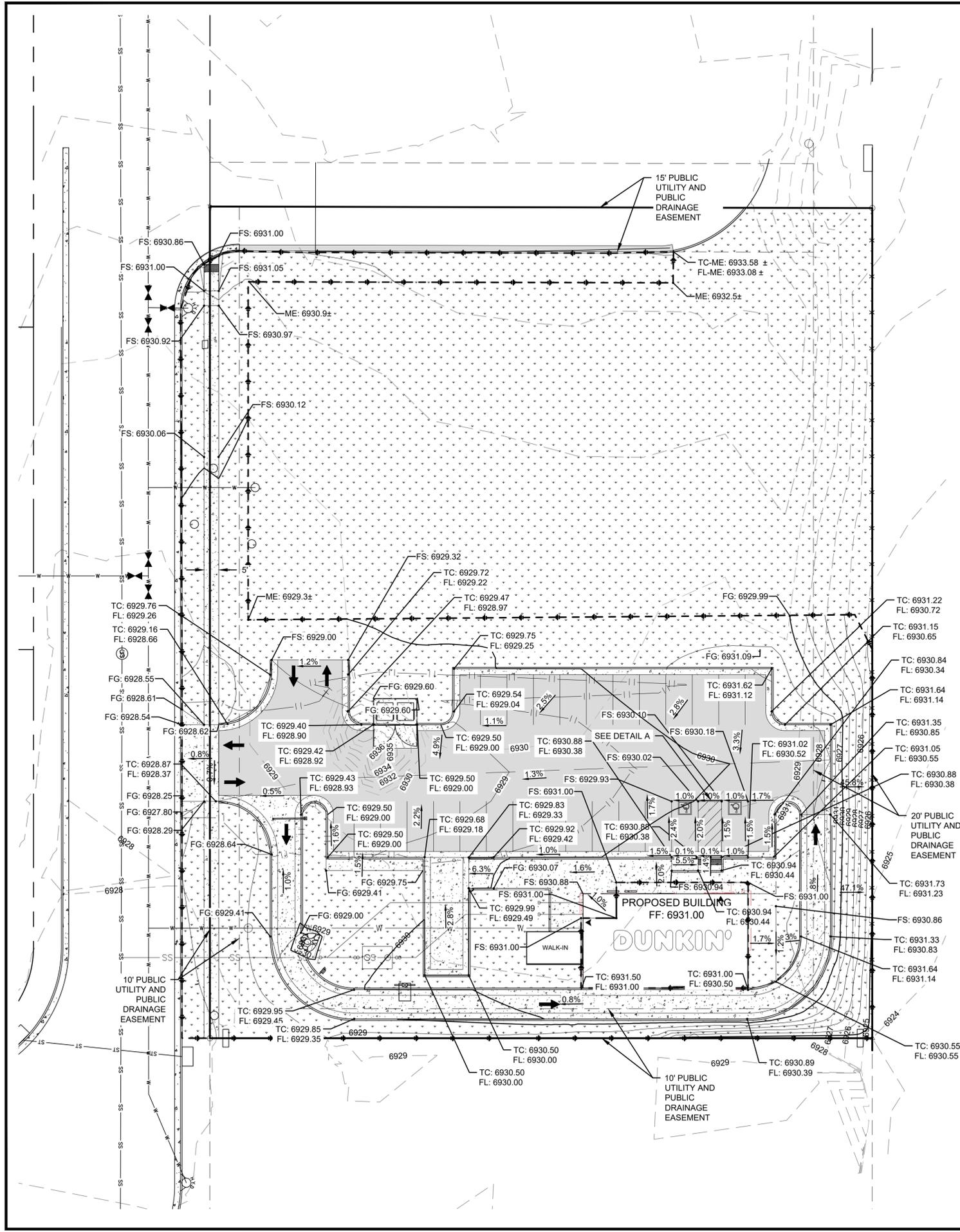
REVISIONS:

NO.	DATE	BY	DESCRIPTION	APPROV. BY	DATE

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

CAUTION

File: C:\7010A-Bent Grass Replot-Dunkin-Donuts\Grading\GEC03.dwg Plotstamp: 2/22/2024 2:51 PM

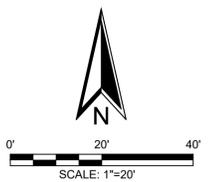


LEGEND

EXISTING	PROPOSED
--- RIGHT-OF-WAY	[Hatched Box] PARKING / WALKWAY STRIPING
--- PROPERTY LINE	[Solid Grey Box] AC PAVEMENT
--- ELECTRICAL LINE	[Dotted Box] SIDEWALK
--- TELEPHONE LINE	[Downward Arrows Box] LANDSCAPING
--- GAS LINE	--- CURB AND GUTTER
--- WATER LINE	--- ADA ACCESSIBLE PATHWAY
--- SEWER LINE	--- SS --- SEWER LATERAL
--- ST --- ST --- STORM DRAIN	--- WATER LATERAL
--- 6930 --- EXISTING MAJOR CONTOUR	--- G --- GAS SERVICE LATERAL
--- 6929 --- EXISTING MINOR CONTOUR	--- E --- ELECTRIC SERVICE
--- SEWER MANHOLE	--- T --- TELECOMMUNICATION SERVICE
--- STORM MANHOLE	--- --- GRADE BREAK
--- ELECTRICAL POLE	--- --- GRADING LIMITS
--- ELECTRICAL BOX	--- 6930 --- MAJOR CONTOUR
--- ELECTRICAL METER	--- 6929 --- MINOR CONTOUR
--- COMMUNITY ANTENNA TELEVISION	
--- SIGN POST	

NOTES

1. GRADING PLANS ARE PRELIMINARY AND ARE NOT FOR CONSTRUCTION.



PROJECT NO. 70-110
 SCALE: HORIZONTAL: 1"=20' VERTICAL: 1"=5'
 DATE: 06/27/2023
 SHEET 5 OF 10
 GEC03

GRADING AND DRAINAGE PLAN

LOT 1A-BENT GRASS EAST COMMERCIAL FIL. NO. 2A

212 N. WAHATCH AVE., STE. 305
 COLORADO SPRINGS, CO 80903
 PHONE: 719.555.5485

CIVIL CONSULTANTS, INC.

FOR AND ON BEHALF OF MRS. CIVIL CONSULTANTS, INC.

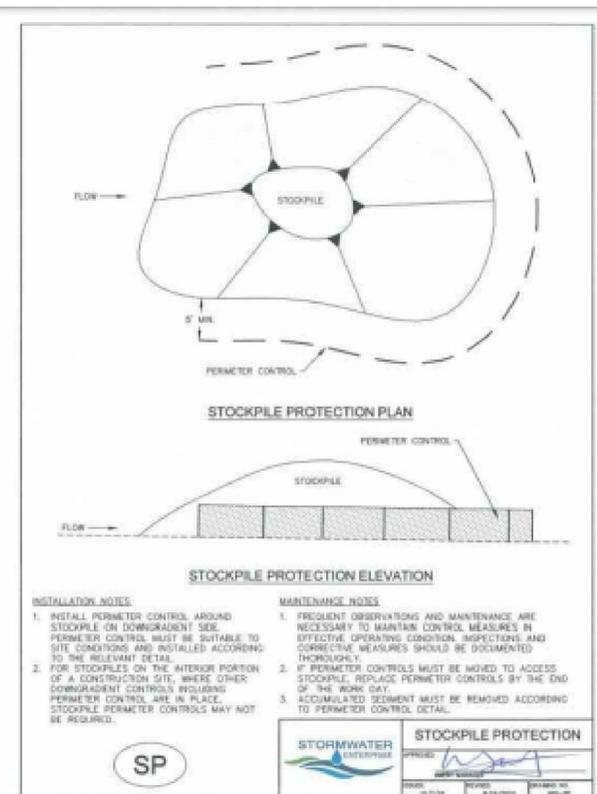
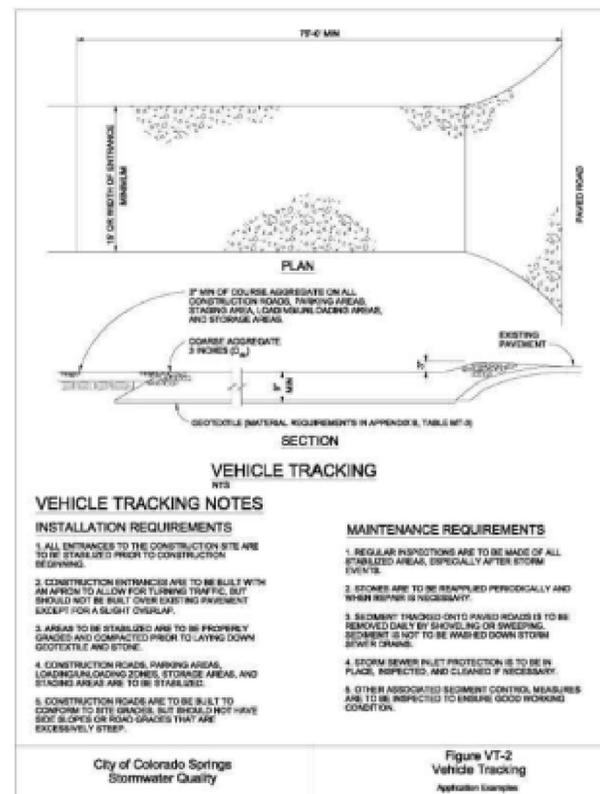
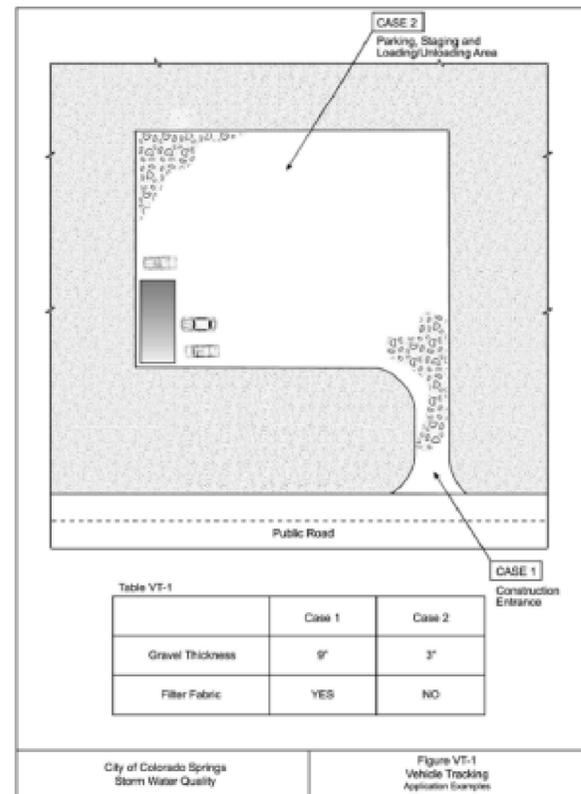
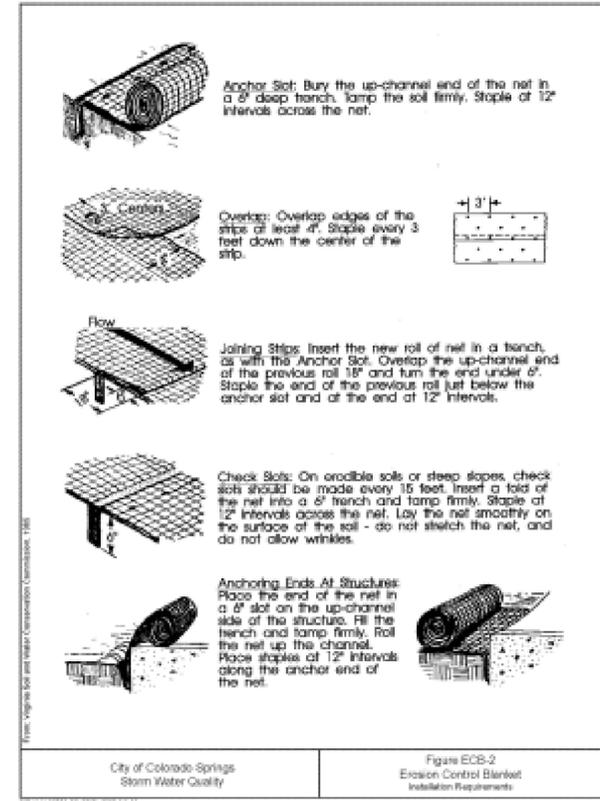
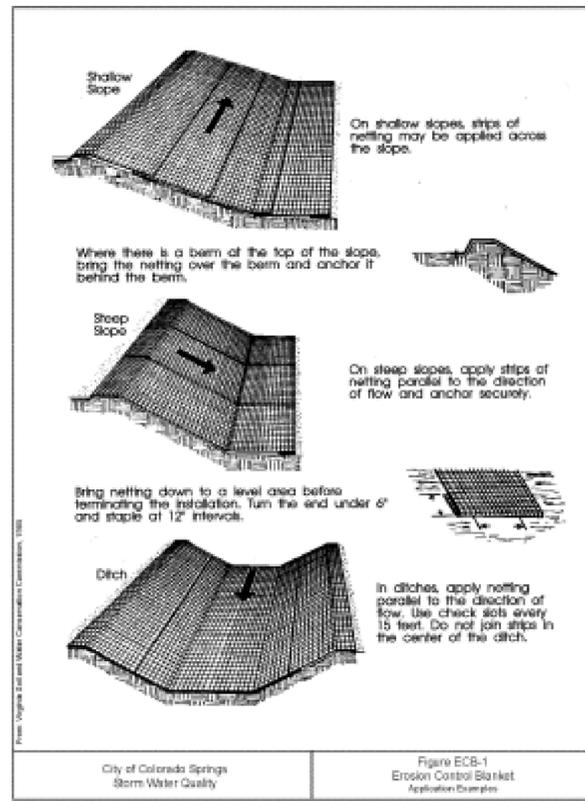
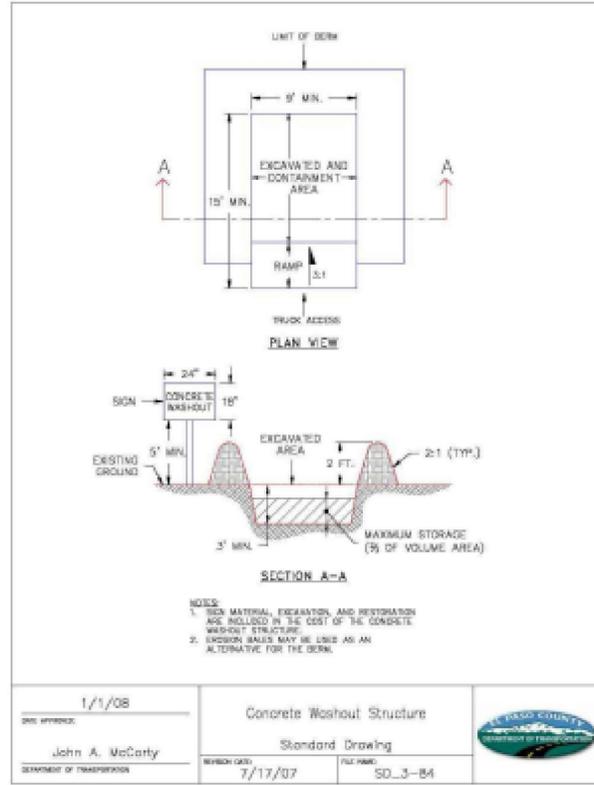
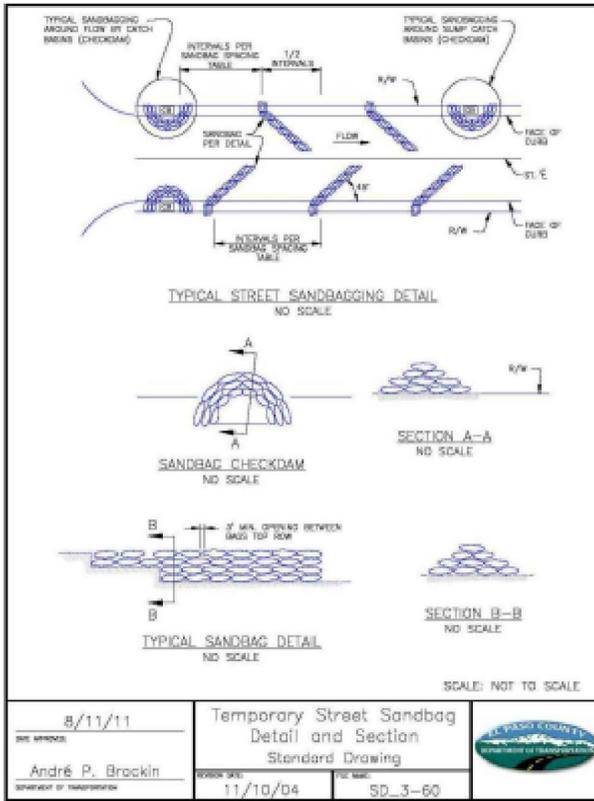
VIRGIL A. SANCHEZ, COLORADO, P.E. NO. 371160

NO.	DATE	BY	DESCRIPTION

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CAUTION

CITY FILE NO. PPR2227



LOT 1A-BENT GRASS EAST COMMERCIAL FIL. NO. 2A

212 N. WABATCH AVE, STE 305
COLORADO SPRINGS CO 80903
PHONE: 719.555.5485

CIVIL CONSULTANTS, INC.

FOR AND ON BEHALF OF MRS. CIVIL CONSULTANTS, INC.

PROFESSIONAL REGISTERED ENGINEER
NO. 37160
09-05-23

REVISIONS:
NO. DATE BY DESCRIPTION

DATE: 06/27/2023
SCALE: HORIZONTAL: N/A
VERTICAL: N/A
DESIGNED BY: VAS
DRAWN BY: TAU
CHECKED BY: VAS

SHEET 6 OF 10
GEC04

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CAUTION

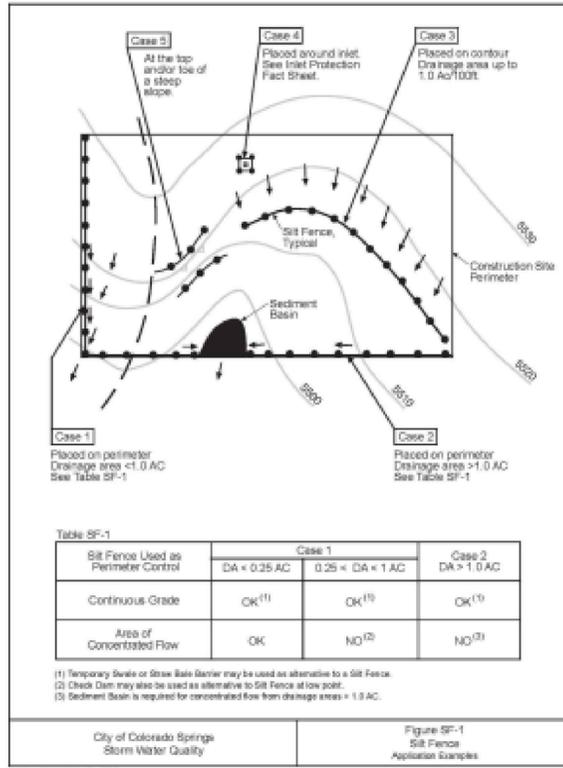


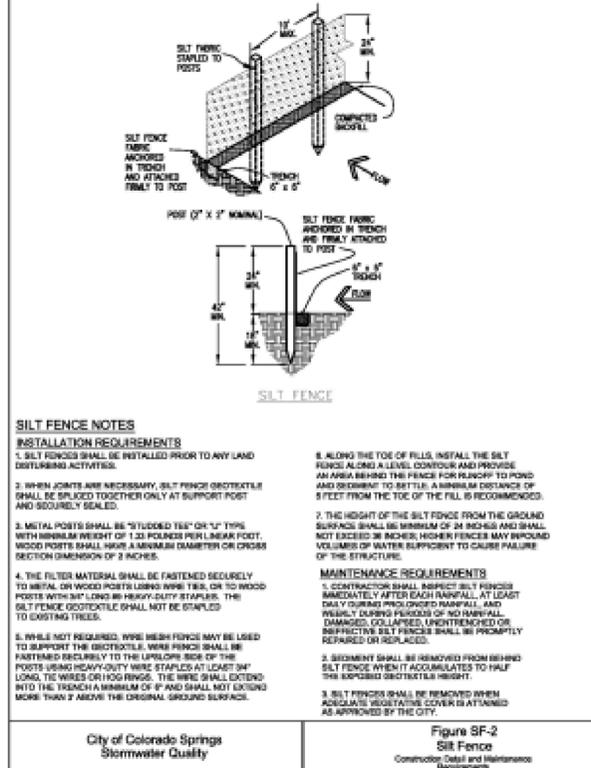
Table SF-1

Silt Fence Used as	Case 1		
	DA = 0.25 AC	0.25 < DA < 1 AC	Case 2 DA > 1.0 AC
Continuous Grade	OK ⁽¹⁾	OK ⁽¹⁾	OK ⁽¹⁾
Area of Concentrated Flow	OK	NO ⁽²⁾	NO ⁽³⁾

- (1) Temporary Swale or Straw Bale Barrier may be used as alternative to a Silt Fence.
- (2) Check Dam may also be used as alternative to Silt Fence at low point.
- (3) Sediment Basin is required for concentrated flow from drainage areas > 1.0 AC.

City of Colorado Springs
Stormwater Quality

Figure SF-1
Silt Fence
Application Examples



SILT FENCE NOTES

INSTALLATION REQUIREMENTS

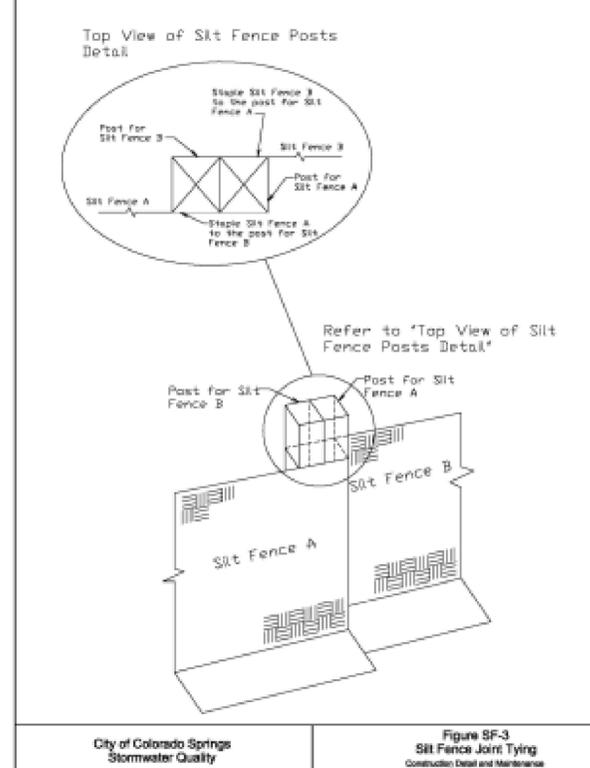
1. SILT FENCES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
2. WHEN JOINTS ARE NECESSARY, SILT FENCE GEOTEXTILE SHALL BE SPUN TOGETHER ONLY AT SUPPORT POST AND SECURELY SEALED.
3. METAL POSTS SHALL BE "STUCCOED" 1/2" OR 3/4" THICK WITH MINIMUM WEIGHT OF 1.25 POUNDS PER LINEAR FOOT. WOOD POSTS SHALL HAVE A MINIMUM DIAMETER OR CROSS SECTION DIMENSION OF 2 INCHES.
4. THE FILTER MATERIAL SHALL BE FASTENED SECURELY TO METAL OR WOOD POSTS USING WIRE TIE, OR TO WOOD POSTS WITH 3/4" LONG 80 HENRY-DUTY STAPLES. THE SILT FENCE GEOTEXTILE SHALL NOT BE STAPLED TO EXISTING TREES.
5. WHERE NOT REQUIRED, WIRE MESH FENCE MAY BE USED TO SUPPORT THE GEOTEXTILE. WIRE FENCE SHALL BE FASTENED SECURELY TO THE UPLOPE SIDE OF THE POSTS USING HIGH-DENSITY WIRE STAPLES AT LEAST 3/4" LONG. THE WIRE OR FENCE RINGS, THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 1" AND SHALL NOT EXTEND MORE THAN 2" ABOVE THE ORIGINAL GROUND SURFACE.
6. ALONG THE TOE OF FILLS, INSTALL THE SILT FENCE ALONG A LEVEL CONTOUR AND PROVIDE AN AREA BEHIND THE FENCE FOR RUNOFF TO POND AND SEDIMENT TO SETTLE. A MINIMUM DISTANCE OF 5 FEET FROM THE TOE OF THE FILL IS RECOMMENDED.
7. THE HEIGHT OF THE SILT FENCE FROM THE GROUND SURFACE SHALL BE MINIMUM OF 24 INCHES AND SHALL NOT EXCEED 36 INCHES. HIGHER FENCES MAY INCREASE VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE.

MAINTENANCE REQUIREMENTS

1. CONTRACTOR SHALL INSPECT SILT FENCES IMMEDIATELY AFTER EACH RAINFALL. AT LEAST DAILY DURING PERIODS OF RAINFALL AND WEEKLY DURING PERIODS OF NO RAINFALL. DAMAGED, COLLAPSED, UNINTENDED OR DEFECTIVE SILT FENCES SHALL BE PROMPTLY REPAIRED OR REPLACED.
2. SEDIMENT SHALL BE REMOVED FROM BEHIND SILT FENCE WHEN IT ACCUMULATES TO HALF THE EXPOSED GEOTEXTILE HEIGHT.
3. SILT FENCES SHALL BE REMOVED WHEN REGULAR VEGETATIVE COVER IS ATTAINED AS APPROVED BY THE CITY.

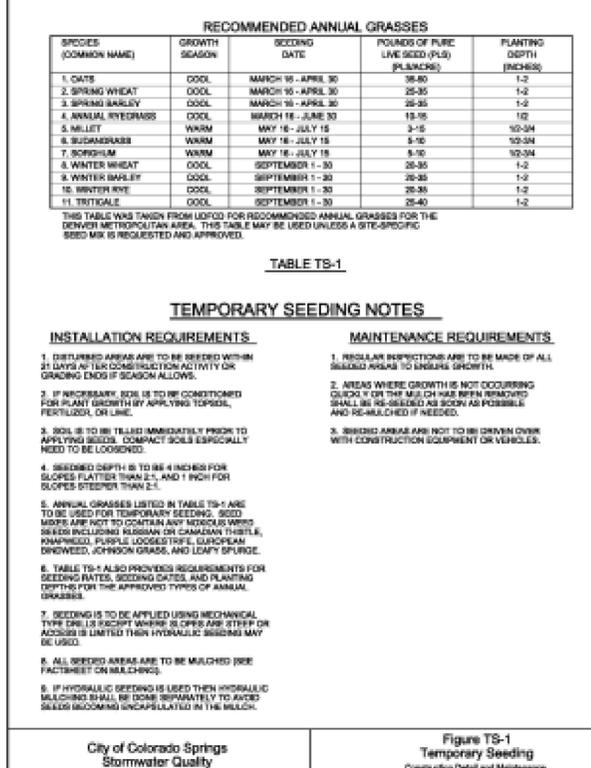
City of Colorado Springs
Stormwater Quality

Figure SF-2
Silt Fence
Construction Detail and Maintenance
Requirements



City of Colorado Springs
Stormwater Quality

Figure SF-3
Silt Fence Joint Tying
Construction Detail and Maintenance
Requirements



City of Colorado Springs
Stormwater Quality

Figure TS-1
Temporary Seeding
Construction Detail and Maintenance
Requirements

LOT 1A-BENT GRASS EAST COMMERCIAL FIL. NO. 2A

SITE DETAILS

SCALE: HORIZONTAL: DATE: 06/27/2023
 HORIZONTAL: N/A
 VERTICAL: N/A

PROJECT NO. 70-110
 DESIGNED BY: VAS
 DRAWN BY: TAU
 CHECKED BY: VAS

272 N. WABASH AVE, STE 305
 COLORADO SPRINGS, CO 80903
 PHONE: 719.555.5485

CIVIL CONSULTANTS, INC.

FOR AND ON BEHALF OF VAS CIVIL CONSULTANTS, INC.

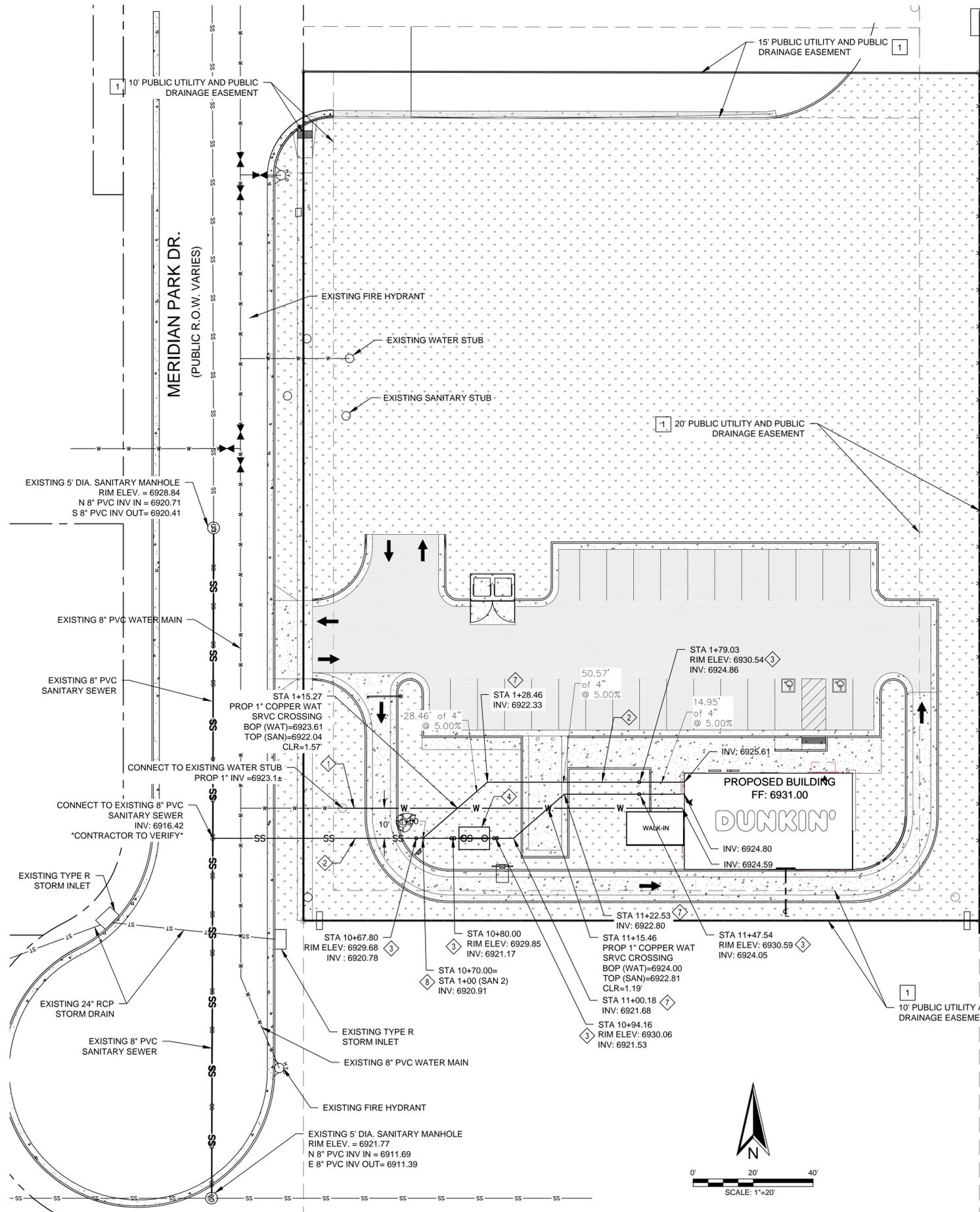
VIRGIL A. SANCHEZ, COLORADO, P.E. NO. 37160

REGISTERED PROFESSIONAL ENGINEER
 37160
 09-05-23

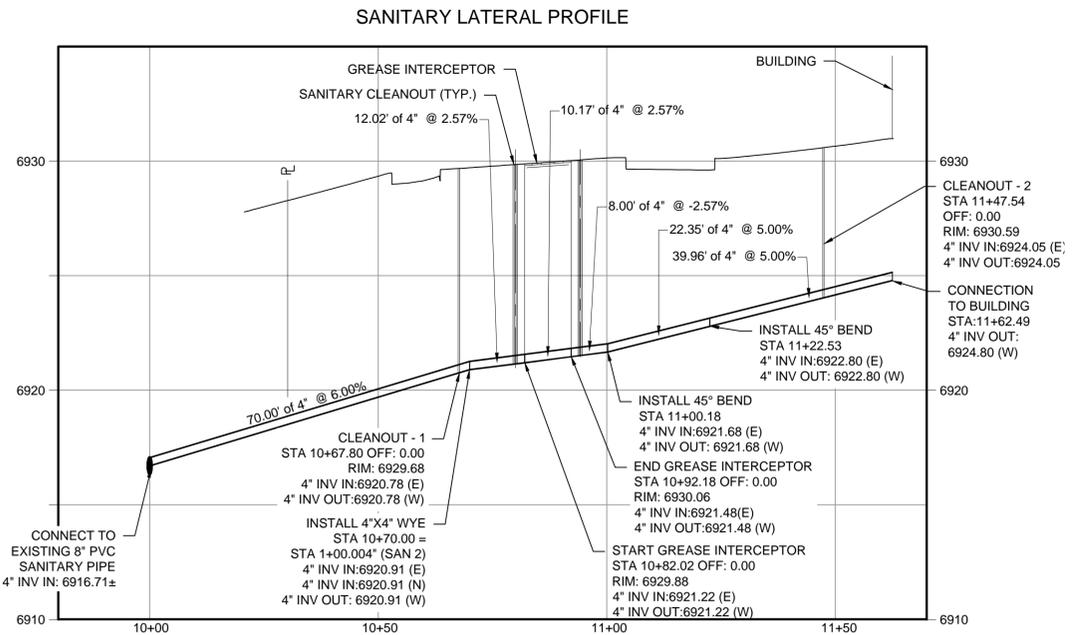
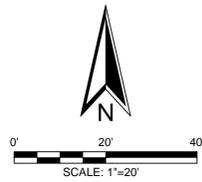
NO. DATE: BY: DESCRIPTION: APPROV. BY: DATE:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARE OF THESE PLANS.

CAUTION



MERIDIAN RD.
(210' PUBLIC R.O.W.)



LEGEND

EXISTING	PROPOSED		
--- R---	--- R---	▨	PARKING / WALKWAY STRIPING
--- P---	--- P---	▨	AC PAVEMENT
--- E---	--- E---	▨	SIDEWALK
--- T---	--- T---	▨	LANDSCAPING
--- G---	--- G---	▨	CURB AND GUTTER
--- W---	--- W---	▨	ADA ACCESSIBLE PATHWAY
--- SS---	--- SS---	▨	SEWER LATERAL
--- ST---	--- ST---	▨	WATER LATERAL
--- 6930 ---	--- 6930 ---	▨	GAS SERVICE LATERAL
--- 6929 ---	--- 6929 ---	▨	ELECTRIC SERVICE
⊙	⊙	▨	TELECOMMUNICATION SERVICE
⊙	⊙	▨	GRADE BREAK
⊙	⊙	▨	GRADING LIMITS
⊙	⊙	▨	MAJOR CONTOUR
⊙	⊙	▨	MINOR CONTOUR
⊙	⊙	▨	SEWER MANHOLE
⊙	⊙	▨	STORM MANHOLE
⊙	⊙	▨	ELECTRICAL POLE
⊙	⊙	▨	ELECTRICAL BOX
⊙	⊙	▨	ELECTRIC METER
⊙	⊙	▨	COMMUNITY ANTENNA TELEVISION
⊙	⊙	▨	SIGN POST

- UTILITY NOTES**
- INSTALL (N) 1-INCH TYPE-K COPPER WATER SERVICE PER WOODMEN HILLS METROPOLITAN DISTRICT W-36 (SEE SHEET 9).
 - INSTALL (N) 4" PVC SANITARY SEWER SERVICE PER WOODMEN HILLS METROPOLITAN DISCRIT DETAIL W-14 (SEE SHEET 9).
 - INSTALL (N) SEWER CLEANOUT PER WOODMEN HILLS METROPOLITAN DISTRICT WW-3 (SEE SHEET 9).
 - INSTALL (N) GREASE INTERCEPTOR PER WOODMEN HILLS METROPOLITAN DISTRICT DETAIL WW-12 (SEE SHEET 9).
 - INSTALL (N) UTILITY TRENCH PER WOODMEN HILLS METROPOLITAN DISCRIT DETAIL W-14 (SEE SHEET 9).
 - CONNECT TO EXISTING SANITARY MAIN.
 - INSTALL 45° BEND
 - INSTALL 4"X4" WYE

- UTILITIES NOTES**
- ALL PROPOSED EASEMENT MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 - THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 - ALL UTILITIES BASED ON APPROVED PLANS FOR BENT GRASS EAST COMMERCIAL DEVELOPMENTS. CONTRACTOR TO CONFIRM AND VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION.

EASEMENT DATA

EASEMENT	USE	RECEPTION No.
⊙	DRAINAGE	214713554

CITY FILE NO. PPR2227

LOT 1A-BENT GRASS EAST COMMERCIAL FIL. NO. 2A

UTILITY SERVICE PLAN

DATE: 06/27/2023

SCALE: HORIZONTAL: 1"=20' VERTICAL: 1"=5'

DESIGNED BY: VAS DRAWN BY: TAU CHECKED BY: VAS

PROJECT NO. 70-110 SHEET 8 OF 10 UT01

212 N. WASHCATCH AVE., STE 305
COLORADO SPRINGS, CO 80903
PHONE: 719.555.5465

CIVIL CONSULTANTS, INC.

FOR AND ON BEHALF OF MRS. CIVIL CONSULTANTS, INC.

VIRGIL A. SANCHEZ, COLORADO, P.E. NO. 37160

REGISTERED PROFESSIONAL ENGINEER
37160
02-21-24

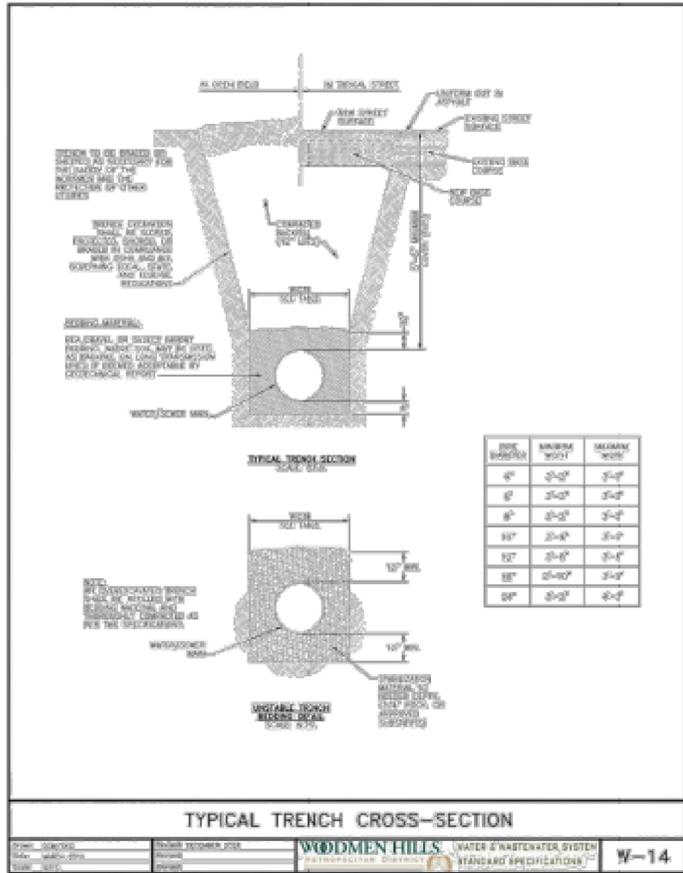
REVISIONS:

NO.	DATE	BY	DESCRIPTION

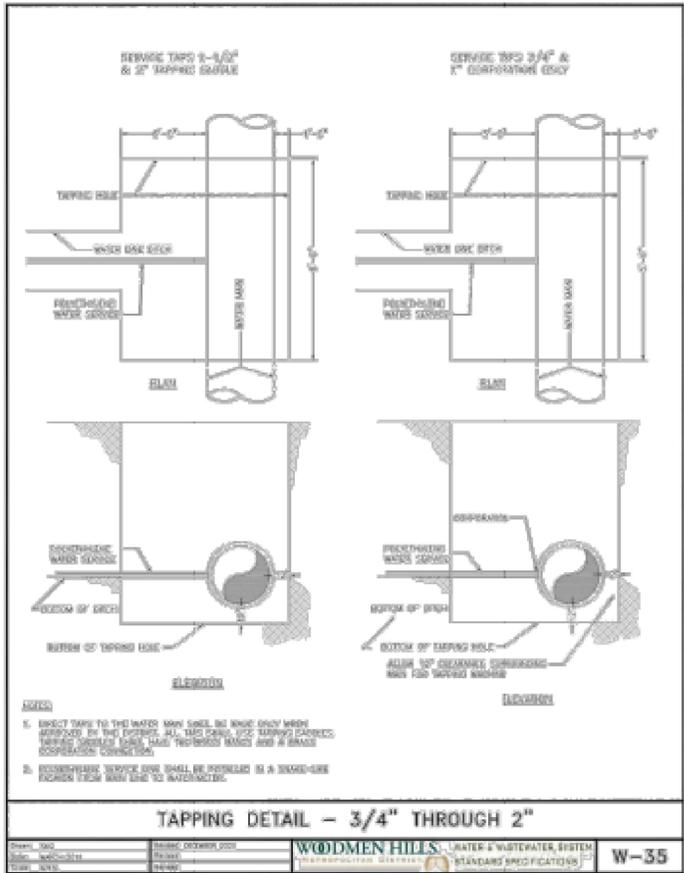
APPROVED BY: _____ DATE: _____

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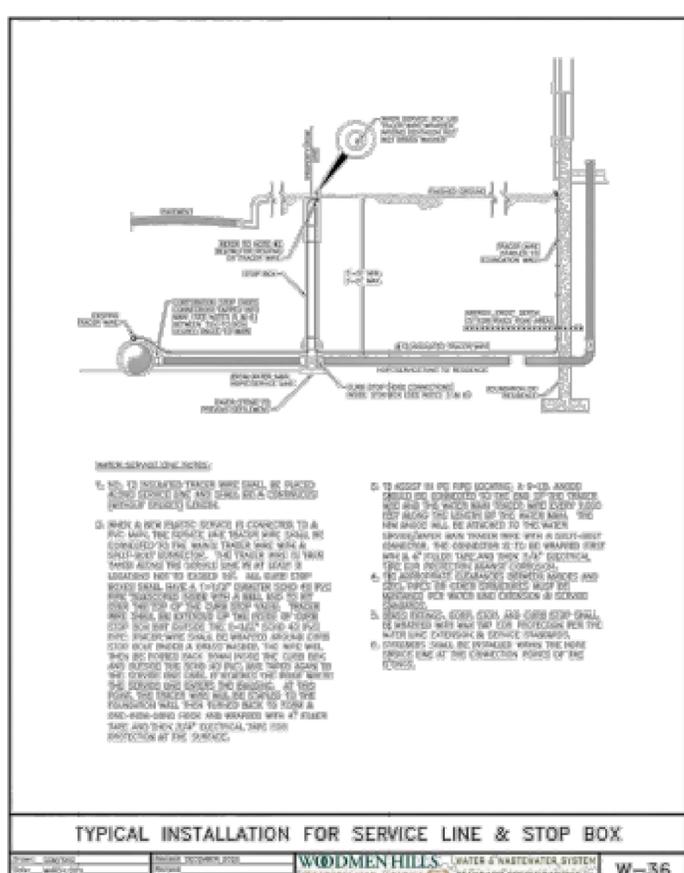
CAUTION



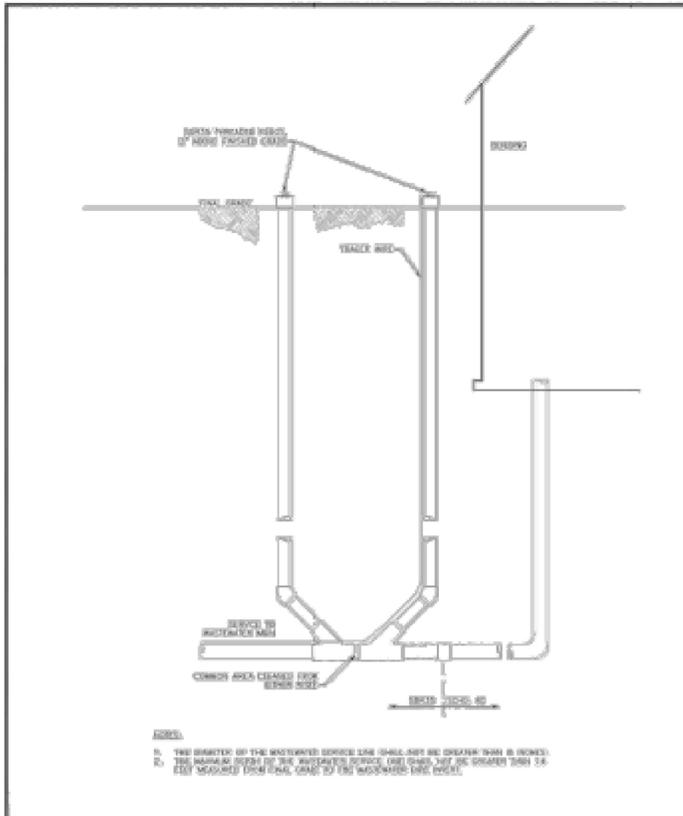
TYPICAL TRENCH CROSS-SECTION
 DATE: 06/27/2023
 DRAWN BY: [Name]
 CHECKED BY: [Name]
WOODMEN HILLS WATER & WASTEWATER SYSTEM
 STANDARD SPECIFICATIONS
W-14



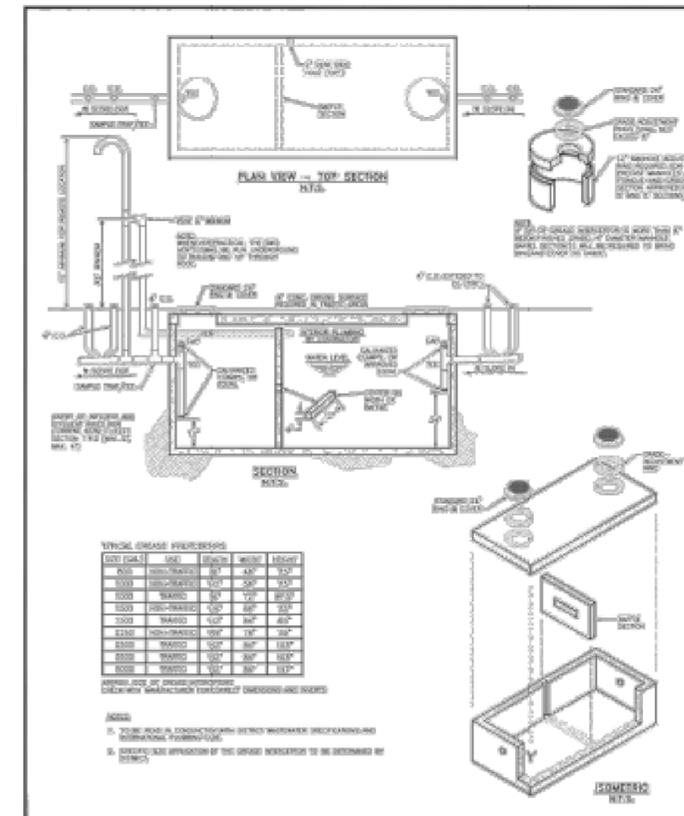
TAPPING DETAIL - 3/4" THROUGH 2"
 DATE: 06/27/2023
 DRAWN BY: [Name]
 CHECKED BY: [Name]
WOODMEN HILLS WATER & WASTEWATER SYSTEM
 STANDARD SPECIFICATIONS
W-35



TYPICAL INSTALLATION FOR SERVICE LINE & STOP BOX
 DATE: 06/27/2023
 DRAWN BY: [Name]
 CHECKED BY: [Name]
WOODMEN HILLS WATER & WASTEWATER SYSTEM
 STANDARD SPECIFICATIONS
W-36



RESIDENTIAL SEWER TWO-WAY CLEANOUT
 DATE: 06/27/2023
 DRAWN BY: [Name]
 CHECKED BY: [Name]
WOODMEN HILLS WATER & WASTEWATER SYSTEM
 STANDARD SPECIFICATIONS
WW-3



GREASE INTERCEPTOR
 DATE: 06/27/2023
 DRAWN BY: [Name]
 CHECKED BY: [Name]
WOODMEN HILLS WATER & WASTEWATER SYSTEM
 STANDARD SPECIFICATIONS
WW-12

LOT 1A-BENT GRASS EAST COMMERCIAL FIL. NO. 2A

2720 N. WABATCH AVE., STE 305
 COLORADO SPRINGS, CO 80903
 PHONE: 719.555.5485

CIVIL CONSULTANTS, INC.

FOR AND ON BEHALF OF MRS. CIVIL CONSULTANTS, INC.

PROFESSIONAL REGISTERED ENGINEER
 VIRGIL A. SANCHEZ, COLORADO, P.E. NO. 37160
 09-05-23

REVISIONS: NO. DATE BY DESCRIPTION

APPROVED BY: [Signature]

DATE: [Date]

SCALE: HORIZONTAL: N/A VERTICAL: N/A

DESIGNED BY: VAS
 DRAWN BY: TAU
 CHECKED BY: VAS

PROJECT NO. 70-110
 DATE: 06/27/2023
 SHEET 10 OF 10
UT03

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CAUTION