

CONSTRUCTION DRAWINGS

8035 MERIDIAN PARK DRIVE

SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M.

TOWN OF PEYTON, COUNTY OF EL PASO, STATE OF COLORADO

DUNKIN' BENT GRASS

BENCHMARK

PROJECT BENCHMARK IS AN EL PASO COUNTY CONTROL POINT LOCATED ON THE SOUTHWEST CORNER OF THE PROJECT SITE JUST EAST OF MERIDIAN PARK DRIVE.

BENCHMARK IS 1-1/2" ALUMINUM SURVEYORS CAP AT N90°00'00" W225.20'. THE ELEVATION IS 6927.78 US SURVEY FEET BASED ON THE NAVD 88 DATUM.

BASIS OF BEARINGS

A PORTION OF THE SOUTH LINE OF THE NORTHEAST QUARTER SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN EL PASO COUNTY, COLORADO BEING MONUMENTED AT THE WEST END BY THE CENTER QUARTER CORNER OF SAID SECTION 1 BY A 2 1/2" ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKING PLS 28651 AND AT THE EAST END, AT THE NORTHWESTERLY CORNER OF LOT 1 FALCON RANCHETTES RECORDED IN PLAT BOOK V-2 AT PAGE 15, RECORDS OF EL PASO COUNTY, COLORADO, BY A YELLOW PLASTIC SURVEYORS CAP STAMPED "PLS 2372" AND IS ASSUMED TO BEAR S89°49'43". A DISTANCE OF 2,285.20 FEET.

LEGAL DESCRIPTION

PARCEL A:
LOT 1A, BENT GRASS EAST COMMERCIAL FILING NO 2A, COUNTY OF EL PASO, STATE OF COLORADO (RECEPTION NO. 214713554).

PARCEL B:

THOSE EASEMENT RIGHT CREATED BY RECIPROCAL ACCESS EASEMENT AND TEMPORARY CONSTRUCTION AND MAINTENANCE EASEMENT AGREEMENT RECORDED JUNE 04, 2013 UNDER RECEPTION NO. 213072561 AND FIRST AMENDMENT TO RECIPROCAL ACCESS EASEMENT AND TEMPORARY CONSTRUCTION AND MAINTENANCE EASEMENT AGREEMENT RECORDED JULY 07, 2013 UNDER RECEPTION NO. 213098588.

CONSTRUCTION TIMELINE

APPROXIMATE CONSTRUCTION START DATE: SEPTEMBER 2023

PROJECT DESCRIPTION

THE PROPOSED PROJECT INCLUDES THE DEVELOPMENT OF A NEW FAST FOOD RESTAURANT BUILDING, DRIVE-THRU, AND PARKING LOT. PROPOSED WORK INCLUDES DEMOLITION, GRADING, CONCRETE AND ASPHALT INSTALLATION, SANITARY SEWER INSTALLATION, WATER LATERAL INSTALLATION, FINAL GRADING, FINAL STABILIZATION, AND REMOVAL OF TEMPORARY CONTROL MEASURES.

PROPERTY INFORMATION

PROJECT ZONING: COMMERCIAL SERVICES (CS)
TAX SCHEDULE NUMBER: 5301104002

ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

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FIRE AUTHORITY APPROVAL

THE NUMBER OF FIRE HYDRANTS AND HYDRANT LOCATIONS SHOWN ON THIS WATER INSTALLATION PLAN ARE CORRECT AND ADEQUATE TO SATISFY THE FIRE PROTECTION REQUIREMENTS AS SPECIFIED BY THE FIRE DISTRICT SERVING THE PROPERTY NOTED ON THE PLANS.

FIRE PROTECTION DISTRICT _____

SIGNED _____ DATE _____
FIRE PROTECTION DISTRICT _____

WOODMEN HILLS METROPOLITAN DISTRICT APPROVALS

THE WOODMEN HILLS METROPOLITAN DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

WATER DESIGN APPROVAL

DATE: _____ BY: _____
PROJECT NO. _____

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT, THE STANDARDS AS DEFINED IN THE "RULES AND REGULATIONS FOR INSTALLATION OF WATER MAINS AND SERVICES" SHALL RULE.

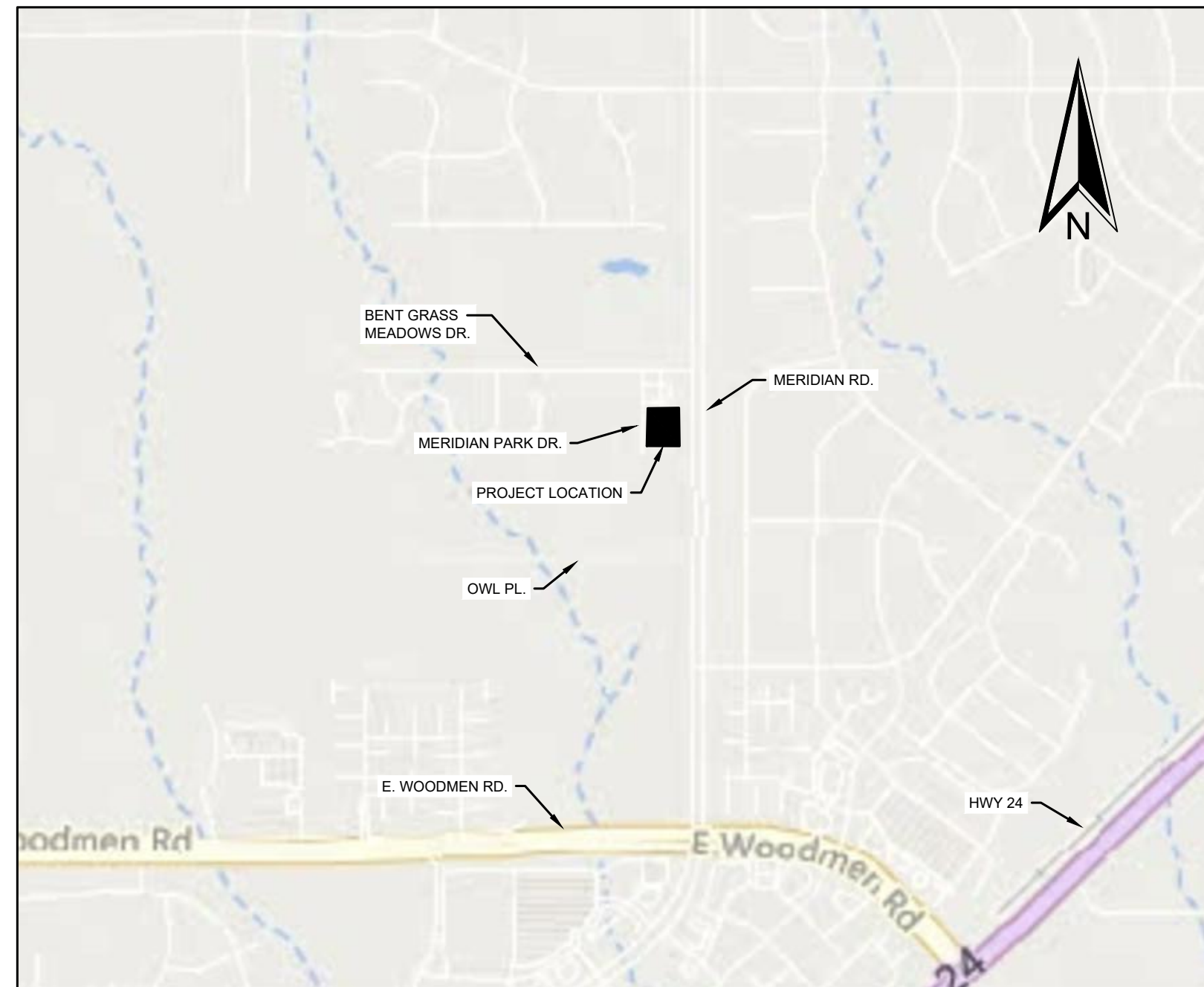
WASTEWATER DESIGN APPROVAL

DATE: _____ BY: _____
PROJECT NO. _____

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE "RULES AND REGULATIONS FOR INSTALLATION OF WASTEWATER MAINS AND SERVICES" SHALL RULE. APPROVALS EXPIRE 180 DAYS FROM DESIGN APPROVAL.

ZONING COMPARISON TABLE		
TYPE	REQUIRED	PROVIDED
USE	COMMERCIAL SERVICES (CS)	COMMERCIAL SERVICES (CS)
LOT SIZE	63,480 SF	63,480 SF
BUILDING SETBACK	25 FT	17 FT
MINIMUM PARKING	20 SPACES	28 SPACES

SITE UTILIZATION TABLE		
COVERAGE	EXISTING	PROPOSED
TOTAL LOT SIZE	63,480 SF	63,480 SF
BUILDING	0 SF	1,998 SF
PAVEMENT	0 SF	14,625 SF
% IMPERVIOUS	0%	26.2%
% OPEN SPACE / LANDSCAPING	100%	73.8%



VICINITY MAP

NOT TO SCALE

PROJECT TEAM

PROPERTY OWNER CD MERIDIAN & BENT GRASS LLC 106 S. KYRENE RD. CHANDLER, AZ 85226 480-313-2724 BRIAN@DOUBLETREEVENTURES.COM ATTN: BRIAN ZUREK	CIVIL ENGINEER / APPLICANT M&S CIVIL CONSULTANTS, INC. 212 N. WAHSATCH AVE., STE. 305 COLORADO SPRINGS, CO 80903 719-440-9596 VERN@MSCIVIL.COM ATTN: VERN P. TAYLOR, P.L.S.	ARCHITECT ETHOS ARCHITECTURE GROUP 8025 W 25TH PL. LAKEWOOD, CO 80214 303-815-0161 JOHN@ETHOS-ARCH-GROUP.COM ATTN: JOHN SPONSELLER, NCARB
SURVEYOR M&S CIVIL CONSULTANTS, INC. 212 N. WAHSATCH AVE., STE. 305 COLORADO SPRINGS, CO 80903 719-440-9596 VERN@MSCIVIL.COM ATTN: VERN P. TAYLOR, P.L.S.	LANDSCAPE ARCHITECT STACKLOT 5639 SOUTH CURTICE ST. LITTLETON, CO 80120 303-883-2735 JUSTINHAY@STACKLOT.COM ATTN: JUSTIN HAY	PHOTOMETRIC DESIGN RG ENGINEERING CONSULTANTS 8811 HAMPDEN AVE., STE. 208 DENVER, CO 80231 303-355-5534 SOPHIA@RGECINC.COM ATTN: SOPHIA GISIN

FIRE FLOW DATA (UPDATE):

CODE USED FOR ANALYSIS: 2018 IFC WITH 2019 AMENDMENTS
OCCUPANCY GROUP(S): B
CONSTRUCTION TYPE(S): V-B
FIRE FLOW CALCULATION AREA: 2,000 SF

THIS BUILDING IS NOT PROTECTED WITH AN AUTOMATIC SPRINKLER SYSTEM.

PER IFC TABLE B105.1(2):
TOTAL REQUIRED FIRE FLOW = 1,500 GPM @ 20 PSI RESIDUAL PRESSURE
DURATION = 2 HOURS

PER IFC TABLE C102.1:
MINIMUM NUMBER OF HYDRANTS = 1 HYDRANT
AVERAGE SPACING BETWEEN HYDRANTS = 500 FEET
MAXIMUM DISTANCE FROM STREET FRONTAGE = 250 FEET

PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR _____ DATE _____

LEGEND

PROPOSED	EXISTING

ABBREVIATIONS

AC	ASPHALT CONCRETE	ME	MATCH EXISTING
CS	COMMERCIAL SERVICES	MAX	MAXIMUM
DWG	DRAWING	MIN	MINIMUM
(E)	EXISTING	(N)	NEW
E	EAST	N	NORTH
EG	EXISTING GRADE	PSI	POUNDS PER SQUARE INCH
FH	FIRE HYDRANT	PVC	POLYVINYL CHLORIDE
FL	FLOW LINE	RCP	REINFORCED CONCRETE PIPE
FG	FINISHED GRADE	ROW	RIGHT OF WAY
FS	FINISHED SURFACE	SF	SQUARE FEET
FT	FEET	STD	STANDARD
HP	HIGHT POINT	TC	TOP OF CURB
INV	INVERT	TYP	TYPICAL
LIP	LIP OF GUTTER		

OWNER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

OWNER SIGNATURE _____ DATE 09-05-23

ENGINEER'S STATEMENT:

THE GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS COMPLETE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

ENGINEER OF RECORD SIGNATURE _____ DATE 09-05-23

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT. FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED. IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

JOSHUA PALMER, P.E. _____ DATE _____
INTERIM COUNTY ENGINEER

CITY FILE NO. PPR2227

LOT 1A-BENT GRASS EAST COMMERCIAL FIL. NO. 2A

TITLE SHEET

PROJECT NO. 70-110 SCALE: HORIZONTAL: N/A VERTICAL: 1"=5'

DATE: 06/27/2023 SHEET 1 OF 10 TS01

212 N. WAHSATCH AVE., STE. 305
COLORADO SPRINGS, CO 80903
PHONE: 719.955.5465



FOR AND ON BEHALF OF M&S CIVIL CONSULTANTS, INC.

VIRGIL A. SANCHEZ, COLORADO, P.E. NO. 37160



REV. NO.	DATE	BY	DESCRIPTION

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

CAUTION

WOODMEN HILLS METROPOLITAN DISTRICT NOTES
GENERAL

1. ALL UTILITY CONSTRUCTION TO BE CONDUCTED IN CONFORMANCE WITH THE CURRENT WOODMEN HILLS METROPOLITAN DISTRICT (WHMD, THE DISTRICT) SPECIFICATIONS.
2. ALL PLANS ON THE JOB SITE SHALL BE SIGNED BY THE DISTRICT AND THE DISTRICT'S ENGINEER. ANY REVISION TO THE PLANS SHALL BE SO NOTED WITH THE OLD DRAWING MARKED 'NOT VALID.'
3. ALL STATIONING IS CENTERLINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE DISTRICT. THE DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
5. ALL OVER-LOT GRADING MUST BE COMPLETED TO WITHIN ONE (1) FOOT OF FINAL GRADE PRIOR TO INSTALLATION OF WATER AND WASTEWATER INFRASTRUCTURE.
6. ALL WATER AND SEWER SERVICE LOCATIONS SHALL BE CLEARLY MARKED ON EITHER THE CURB HEAD OR THE FACE OF THE CURB, WITH AN "S" FOR SEWER AND A "W" FOR WATER.
7. DUCTILE IRON PIPES, INCLUDING FITTINGS, VALVES, AND FIRE HYDRANTS, SHALL BE WRAPPED WITH POLYETHYLENE TUBING, DOUBLE BONDED AT EACH JOINT, AND ELECTRICALLY ISOLATED. BONDING AND ANODE CONNECTIONS SHALL BE THOROUGHLY COATED WITH BITUMINOUS COATINGS.
8. ALL DUCTILE IRON PIPE LESS THAN TWELVE INCHES (12") AND FITTINGS SHALL HAVE CATHODIC PROTECTION USING TWO (2) NO. 6 WIRES WITH 17 LB. MAGNESIUM ANODES EVERY 400 FEET AND 9 LB. MAGNESIUM ANODES AT EACH FITTING. ALL DUCTILE IRON PIPE TWELVE INCHES (12") AND GREATER AND FITTINGS SHALL HAVE CATHODIC PROTECTION USING TWO (2) NO. 6 WIRES WITH 17 LB. MAGNESIUM ANODES EVERY 300 FEET AND 9 LB. MAGNESIUM ANODES AT EACH FITTING.
9. ALL PIPE MATERIAL, BACKFILL, AND INSTALLATION SHALL CONFORM TO THE APPLICABLE SPECIFICATIONS OF THE DISTRICT, COLORADO DEPARTMENT OF TRANSPORTATION, EL PASO COUNTY DEPARTMENT OF TRANSPORTATION, COLORADO SPRINGS UTILITIES, AND THE GEOTECHNICAL ENGINEER.
10. COMPACTION TESTS SHALL BE 95% STANDARD PROCTOR AS DETERMINED BY ASTM D698, UNLESS OTHERWISE APPROVED BY THE DISTRICT OR HIGHER STANDARD AS IMPOSED BY ANOTHER AGENCIES HAVING RIGHT-OF-WAY JURISDICTION. THIS SHALL INCLUDE ALL VALVES, FIRE HYDRANT RUNS, WATER & SEWER SERVICE LINES, AND MANHOLES. ALL REPORTS SHALL BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL.
11. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY. THE LOCATION OF ALL UTILITIES SHALL BE FIELD VERIFIED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. THE DISTRICT SHALL BE NOTIFIED OF ANY DEVIATIONS TO THE LINE AND/OR GRADE AS DEPICTED ON THE PLANS. CONTRACTOR SHALL SUBMIT TO THE DISTRICT AND THE ENGINEER OF RECORD A REPORT OF THE FIELD-VERIFIED INFORMATION PRIOR TO THE START OF CONSTRUCTION.
12. ALL BENDS SHALL BE FIELD STAKED PRIOR TO THE START OF CONSTRUCTION.
13. BENDS, DEFLECTION, AND CUT PIPE LENGTHS SHALL BE USED TO HOLD HORIZONTAL ALIGNMENT OF SEWER AND WATER LINES TO NO MORE THAN 0.5' FROM THE DESIGNED ALIGNMENT. CONSTRUCTION STAKES TO BE AT TWENTY-FIVE FEET (25') INTERVALS ALONG CURVES TO ENSURE LOCATION OF PIPELINE CONSTRUCTION.
14. AT ALL LOCATIONS WHERE CAP AND STUB IS NOTED ON DRAWINGS, PROVIDE A PLUG AT THE END OF THE PIPE JOINT NEAREST THE SPECIFIED STATION. PROVIDE A REVERSE ANCHOR AT ALL WATER LINE PLUGS.
15. ALL UNUSED, SALVAGED WATER UTILITY MATERIAL SHALL BE RETURNED TO THE METROPOLITAN DISTRICT AS REQUESTED.
16. AT THE CONTRACTOR'S EXPENSE, ALL UTILITY MAINS SHALL BE SUPPORTED AND PROTECTED SUCH THAT THEY SHALL FUNCTION CONTINUOUSLY DURING CONSTRUCTION OPERATIONS. SHOULD A UTILITY MAIN FAIL AS A RESULT OF THE CONTRACTOR'S OPERATION, IT SHALL BE REPLACED IMMEDIATELY BY THE CONTRACTOR OR BY THE DISTRICT AT FULL COST OF LABOR AND MATERIALS TO THE CONTRACTOR/DEVELOPER.
17. PUMPING OR BYPASS OPERATIONS SHALL BE REVIEWED AND APPROVED BY BOTH THE DISTRICT AND THE DISTRICT ENGINEER PRIOR TO EXECUTION.
18. THE CONTRACTOR SHALL REPLACE OR REPAIR DAMAGE TO ALL SURFACE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO FENCES, LANDSCAPING, CURB AND GUTTER, AND/OR ASPHALT THAT MAY BE CAUSED DURING CONSTRUCTION.
19. ALL CONTRACTORS WORKING ON OR NEAR A WATER OR SEWER FACILITY (TO INCLUDE SERVICE LINES) SHALL HAVE LIABILITY INSURANCE NAMING THE DISTRICT AS AN ADDITIONAL INSURED AND SHALL PROVIDE A CURRENT COPY OF WORKERS COMPENSATION INSURANCE ON FILE WITH THE DISTRICT. NO WORK CAN PROCEED WITHOUT CURRENT CERTIFICATES ON FILE AT THE DISTRICTS' OFFICE.
20. THE CONTRACTOR SHALL NOTIFY THE DISTRICT AND ALL AFFECTED UTILITY COMPANIES ADJACENT TO THE PROPOSED UTILITY CONSTRUCTION A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A WEEKLY CONSTRUCTION MEETING SHALL BE REQUIRED WITH THE CONTRACTOR, DISTRICT ENGINEER AND ALL OTHER PARTIES AS DEEMED NECESSARY BY THE DISTRICT.
21. COMMENCEMENT OF CONSTRUCTION OF WATER/SEWER SYSTEMS WITHIN METROPOLITAN DISTRICT:
 - A) PRIOR TO THE START OF CONSTRUCTION, A PRECONSTRUCTION MEETING IS REQUIRED A MINIMUM OF 48 HOURS IN ADVANCE OF COMMENCEMENT OF WORK. A REPRESENTATIVE OF THE OWNER OR DEVELOPER, A REPRESENTATIVE OF THE CONTRACTOR, AND DESIGN ENGINEER ARE REQUIRED TO ATTEND. CONTACT THE DISTRICT TO SCHEDULE THE PRECONSTRUCTION MEETING. **NO PRECONSTRUCTION MEETING CAN BE SCHEDULED BEFORE FOUR (4) SIGNED/APPROVED PLAN SETS ARE RECEIVED BY THE DISTRICT.**
 - B) THE CONTRACTOR IS REQUIRED TO NOTIFY THE DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 2 WEEKS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY AFFECTED UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION ADJACENT TO THE KNOWN UTILITY LINES.
22. TESTING OF FACILITIES:
 - A) THE CONTRACTOR SHALL NOTIFY THE DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF ANY TESTING.
 - B) ALL SECTIONS OF WATER LINE ARE TO MEET THE FOLLOWING PRESSURE TESTING REQUIREMENTS
 - TEST 100% OF ALL LINES.
 - MUST PASS PRESSURE TEST TO 200 PSI FOR TWO HOURS (UNLESS OTHERWISE APPROVED ON THE PLANS).
 - C) ALL SANITARY SEWER FACILITIES ARE TO MEET THE FOLLOWING TESTING REQUIREMENTS:
 - ALL LINES SHALL BE JET CLEANED PRIOR TO VACUUM OR PRESSURE TESTING.
 - ALL MANHOLES SHALL BE VACUUM TESTED WITH DISTRICT STAFF PRESENT PRIOR TO CCTV INSPECTION.
 - SEWER MAINS TO BE PRESSURE TESTED PRIOR TO CCTV INSPECTION.
 - ALL LINES SHALL BE CCTV INSPECTED AND VIDEO SHALL TO BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL.
23. PRELIMINARY ACCEPTANCE SHALL BE DEFINED AS THE POINT IN TIME THAT THE DISTRICT ACCEPTS THE FACILITY FOR USE. ALL SURFACE IMPROVEMENTS AND RESTORATION SHALL BE COMPLETED WITHIN 30 DAYS OF COMMENCEMENT. SHOULD THE CONTRACTOR FAIL TO COMPLETE ALL SURFACE IMPROVEMENTS AND RESTORATION WITHIN 30 DAYS OF COMMENCEMENT OF SERVICE, THE DISTRICT, AT THEIR DISCRETION, MAY ELECT TO COMPLETE THE IMPROVEMENTS AT THE CONTRACTOR'S COST.

24. FINAL ACCEPTANCE BY THE DISTRICT OF ANY LINE OR SYSTEM SHALL NOT OCCUR UNTIL COMPLETION OF FINAL ASPHALT LAYERS AND/OR FINAL COMPLETION AND/OR RESTORATION OF ALL SURFACE IMPROVEMENTS. THE WARRANTY PERIOD FOR ALL FACILITIES PRIOR TO FINAL ACCEPTANCE SHALL BE **24 MONTHS** COMMENCING AFTER PRELIMINARY ACCEPTANCE.
25. ACCEPTANCE
 - A) THE DISTRICT MAY GIVE PRELIMINARY ACCEPTANCE ONCE ALL OF THE TESTS ON ALL THE LINES HAVE BEEN COMPLETED AND A WALK-THROUGH HAS OCCURRED.
 - B) A SECOND ACCEPTANCE MAY OCCUR ONCE THE FIRST LIFT OF ASPHALT GOES DOWN AND A SECOND WALK-THROUGH OF THE SYSTEM OCCURS. IF ALL FACILITIES ARE CLEAN AND ACCESSIBLE, A FINAL ACCEPTANCE MAY OCCUR (THE DISTRICT MAY REQUIRE CLEANING AND RE-VIDEO OF THE SYSTEM, DEPENDING ON THE SEVERITY OF THE CONTAMINATION).
26. ALL WATER AND SEWER MAINS, INCLUDING SERVICE LINES, SHALL HAVE "AS-BUILT" DRAWINGS PREPARED AND APPROVED PRIOR TO PRELIMINARY ACCEPTANCE BY THE DISTRICT.
27. ALL COMMERCIAL/BUSINESS DEVELOPMENTS SHALL HAVE AN EIGHT INCH (MIN.) WATER MAIN LOOPED THROUGH THE PROPOSED PROPERTY WITH GATE VALVES LOCATED WHERE THE MAIN ENTERS THE PROPERTY LINE. AN EIGHT-INCH SEWER MAIN SHALL BE INSTALLED FOR SERVICE TO COMMERCIAL/BUSINESS DEVELOPMENTS, AND A MANHOLE SHALL BE LOCATED WHERE THE MAIN ENTERS THE PROPERTY. THE END OF THE MAINS SHALL BE MARKED WITH THE APPROPRIATE COLORED CARSONITE MARKER ALONG WITH TRACER WIRE.
28. AFTER REVIEW AND APPROVAL OF PLANS FOR THE EXTENSION OF LINES, FACILITIES, AND/OR SERVICES, CONSTRUCTION MUST HAVE COMMENCED WITHIN 18 MONTHS FOR RESIDENTIAL SUBDIVISIONS AND 12 MONTHS FOR ANY COMMERCIAL INSTALLATIONS.
29. INSPECTION FEES: CALL THE DISTRICT (719-495-2500) FOR FEE SCHEDULE.

GRADING AND EROSION CONTROL NOTES

1. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
2. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
3. A SEPARATE STORMWATER MANAGEMENT PLAN (SMWP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON-SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
4. ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
5. CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
6. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
7. TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
8. FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
9. ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
10. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
11. COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
12. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF-SITE.
13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.
14. DURING DEWATERING OPERATIONS, UNCONTAMINATED GROUNDWATER MAY BE DISCHARGED ON-SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
15. EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
17. WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
18. TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.

19. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
20. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
21. NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ON-SITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
22. BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ON-SITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
23. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
24. OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
25. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
26. PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
27. A WATER SOURCE SHALL BE AVAILABLE ON-SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
28. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY ENTECH ENGINEERING, INC., DATED SEPTEMBER 23, 2022 AND SHALL BE CONSIDERED A PART OF THESE PLANS.
29. AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION, THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:
 COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
 WATER QUALITY CONTROL DIVISION WQCD - PERMITS
 4300 CHERRY CREEK DRIVE SOUTH
 DENVER, CO 80246-1530
 ATTN: PERMITS UNIT


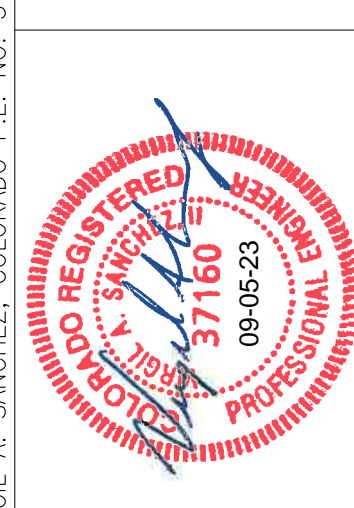
WATER SYSTEM INSTALLATION NOTES

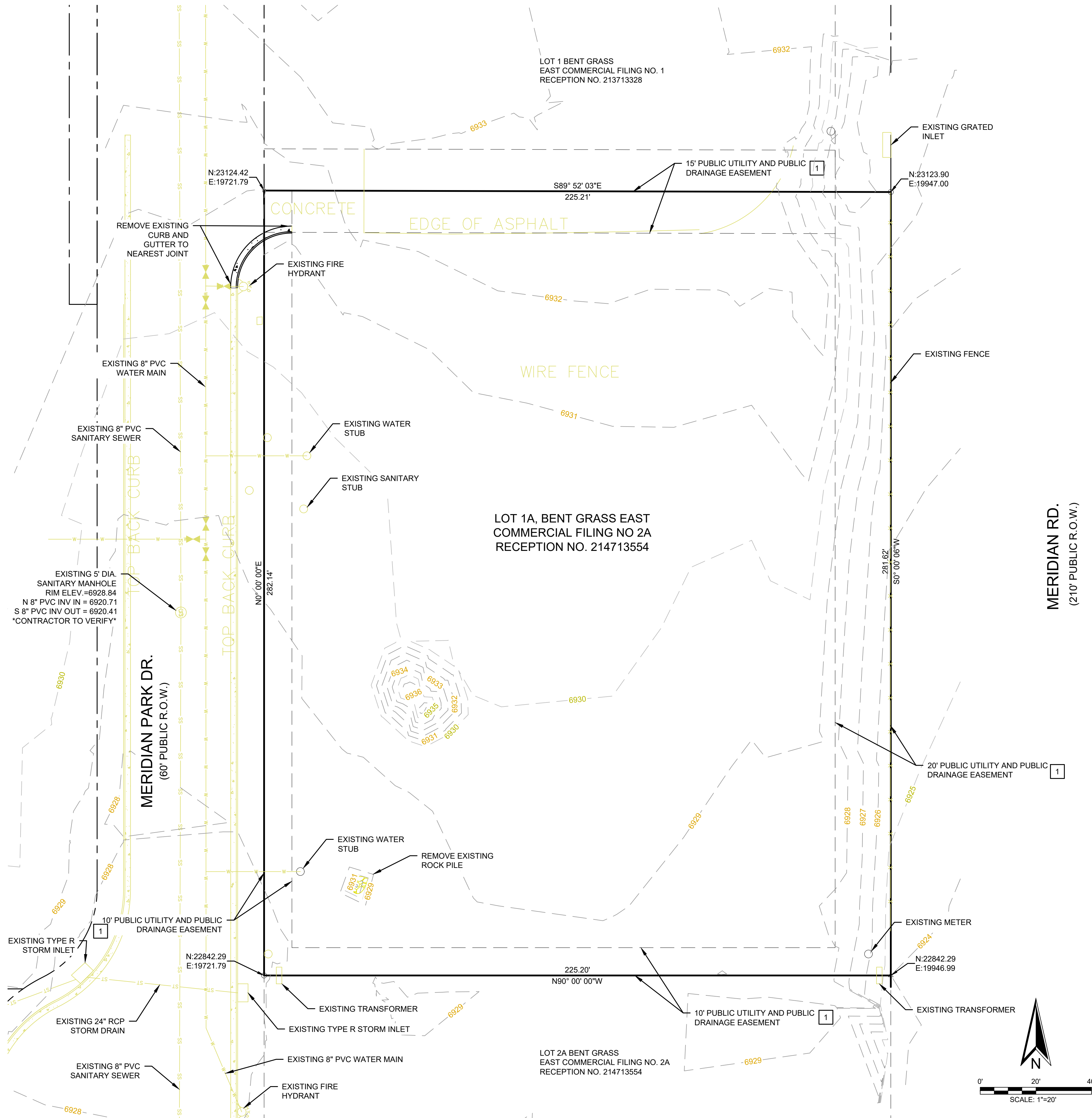
30. ALL WATER AND FORCE MAIN PIPE SHALL BE AWWA C900 PVC, OR APPROVED EQUAL, PRESSURE CLASS 200. ALL WATER AND FORCE MAIN FITTINGS SHALL HAVE MECHANICAL RESTRAINTS AND THRUST BLOCKS. ALL WATER AND FORCE MAIN PIPE SHALL HAVE A MINIMUM COVER DEPTH OF FIVE-AND-ONE-HALF (5.5) FEET.
31. ALL WATER VALVES ASSOCIATED WITH THE POTABLE WATER SYSTEM SHALL BE OPEN CLOCKWISE. ALL VALVES INSTALLED IN LANDSCAPED AREAS AND/OR NOT WITHIN PAVED STREETS SHALL BE MARKED WITH CARSONITE MARKERS. ALL VALVES ASSOCIATED WITH THE RAW WATER SYSTEM SHALL BE OPEN COUNTERCLOCKWISE AND MARKED WITH CARSONITE MARKERS AS APPLICABLE.
32. THE DEVELOPER OR HIS ENGINEER SHALL LOCATE ALL FIRE HYDRANTS AND SERVICE STUB-OUTS FOR FUTURE DEVELOPMENT. ANY REQUIRED REALIGNMENT, HORIZONTAL OR VERTICAL, SHALL BE AT THE EXPENSE OF THE DEVELOPER. FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE APPLICABLE FIRE AUTHORITY.
33. FIRE HYDRANTS SHALL BE OPEN RIGHT WITH 7/8" X 7/8" SQUARE TAPERED ALONG WITH SERVICE CAPS. LUBRICATION TYPE: GREASE. ACCEPTABLE BRAND IS KENNEDY GUARDIAN (K81D, K81A, AND K81AM). EACH FIRE HYDRANT LOCATION SHALL ALSO BE USED AS TEST STATION.
34. ALL MAIN LINES (PVC & DUCTILE IRON) SHALL BE INSTALLED WITH COATED #12 TRACER WIRE WITH TEST STATIONS AT INTERVALS NO GREATER THAN FIVE HUNDRED FEET (500') (VALVE BOXES CAN BE USED AT INTERSECTIONS AND SERVICE STUBS). WOODMEN HILLS METROPOLITAN DISTRICT WATER AND WASTEWATER SYSTEM STANDARD SPECIFICATIONS REVISED: DECEMBER 2011 PAGE 4 APPENDIX C
35. CONTRACTOR SHALL MAKE CONNECTIONS TO EXISTING WATER LINE WITHOUT SHUTDOWN, OR ELSE NOTIFY THE DISTRICT OF ANY SERVICE SHUTDOWNS NECESSARY TO CONNECT TO EXISTING LINES.
36. IRRIGATION SERVICES SHALL HAVE A STOP-AND-WASTE CURB STOP VALVE INSTALLED ALONG WITH TRACER WIRE EXTENDING BACK TO THE MAIN LINE.
37. COMMENCEMENT OF USE OF WATER LINES AND/OR SYSTEMS:
 - A) NO WATER FACILITY SHALL BE PLACED IN SERVICE UNTIL AFTER THE COMPLETION OF ALL PRESSURE TESTING, FLUSHING, BAC T TESTING, AND COMPACTION TESTING, AND AS-BUILT DRAWINGS ARE SUBMITTED AND APPROVED BY THE DISTRICT.
 - B) NO WATER FACILITY SHALL BE PLACED IN SERVICE UNTIL ALL SERVICE LINES ARE COMPLETED AND THE FIRST LIFT OF ASPHALT IS COMPLETED OVER THE LINE. IN THE CASE WHERE NO ASPHALT IS TO BE PLACED OVER THE LINE, SURFACE IMPROVEMENTS SHALL BE COMPLETED PRIOR TO USE OF THE FACILITY.
 - C) ALL EASEMENTS (PLATTED OR DEEDED) ARE DEDICATED, EXECUTED BY THE DISTRICT, AND RECORDED.

WASTEWATER SYSTEM INSTALLATION NOTES

38. SANITARY SEWER LENGTHS ARE MH CENTER - MH CENTER. ALL SANITARY SEWER PIPES SHALL BE SDR 35 PVC OR APPROVED EQUAL. SEWER LINES MAY NOT EXCEED 7% GRADE FOR ANY SIZE WITHOUT PRIOR APPROVAL OF THE DISTRICT. ALL NEWLY CONSTRUCTED RESIDENTIAL SANITARY SEWER TAPS SHALL USE PRE-MANUFACTURED, IN LINE PVC PUSH-ON WYES. SINGLE SADDLE TAP ALLOWED ON EXISTING MAINS. MULTIPLE SADDLE TAPS ON EXISTING MAINS MUST BE APPROVED BY THE DISTRICT ON A CASE BY CASE BASIS
39. ALL SANITARY SEWER MANHOLES SHALL BE WRAPPED WITH RU116 - RUBR-NEK JOINT WRAP, OR APPROVED EQUAL, AND COATED.
40. ALL SEWER LINES MUST BE BEDDED WITH SQUEEGEE OR 3/4" CRUSHED ROCK.
41. COMMENCEMENT OF USE OF SEWER LINES AND/OR SYSTEMS:
 - A) NO SANITARY SEWER FACILITY SHALL BE PLACED IN SERVICE UNTIL THE COMPLETION OF ALL JET CLEANING, PRESSURE TESTING, VACUUM TESTING, CCTV INSPECTION, AND COMPACTION TESTING, AND AS-BUILT DRAWINGS ARE SUBMITTED AND APPROVED BY THE DISTRICT.
 - B) NO SANITARY SEWER FACILITY SHALL BE PLACED IN SERVICE UNTIL ALL SERVICE LINES ARE COMPLETED AND THE FIRST LIFT OF ASPHALT IS COMPLETED OVER THE LINE. IN THE CASE WHERE NO ASPHALT IS TO BE PLACED OVER THE LINE, ANY REQUIRED SURFACE IMPROVEMENTS SHALL BE COMPLETED PRIOR TO USE OF THE FACILITY.
 - C) ALL NECESSARY EASEMENTS (PLATTED OR DEEDED) ARE DEDICATED, EXECUTED BY THE DISTRICT, AND RECORDED. DOWNSTREAM PLUG CAN BE REMOVED ONCE THE FIRST LIFT OF ASPHALT IS DOWN AND THE ABOVE REQUIREMENTS ARE MET.

CITY FILE NO. PPR2227

LOT 1A-BENT GRASS EAST COMMERCIAL FIL. NO. 2A WOODMEN HILLS METROPOLITAN DISTRICT NOTES		DATE: 06/27/2023 SCALE: HORIZONTAL: N/A VERTICAL: 1"=5' DESIGNED BY: VAS DRAWN BY: TAU CHECKED BY: VAS	NT01 SHEET 2 OF 10
212 N. WAHATCH AVE, STE 305 COLORADO SPRINGS CO 80903 PHONE: 719.555.5465			
			
FOR AND ON BEHALF OF VAS CIVIL CONSULTANTS, INC.			
			
REVISIONS: NO. DATE BY DESCRIPTION			
THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPAREER OF THESE PLANS.			
CAUTION			



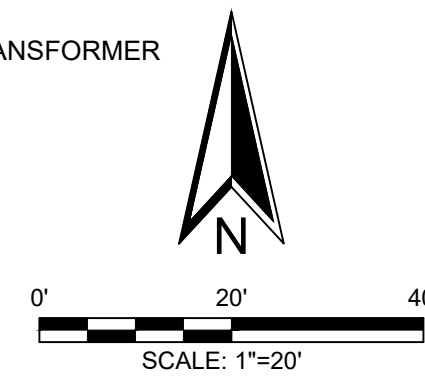
LEGEND EXISTING

- — — — — RIGHT-OF-WAY
- — — — — PROPERTY LINE
- — — — — ELECTRICAL LINE
- — — — — TELEPHONE LINE
- — — — — GAS LINE
- — — — — WATER LINE
- — — — — SEWER LINE
- — — — — STORM DRAIN
- ⊙ SEWER MANHOLE
- ⊙ STORM MANHOLE
- ⊙ ELECTRICAL POLE
- ⊙ ELECTRICAL BOX
- ⊙ ELECTRICAL METER
- ⊙ COMMUNITY ANTENNA TELEVISION
- ⊙ SIGN POST

NOTES

1. TOPOGRAPHIC SURVEY PERFORMED BY CLASSIC CONSULTING ON DECEMBER 10, 2021
2. OPEN TRENCH SHORING, DEWATERING, & TRAFFIC CONTROL SHALL BE PROVIDED BY CONTRACTOR
3. SERVICE OUTAGES SHALL BE COORDINATED WITH AND APPROVED BY THE COUNTY OF EL PASO IF REQUIRED PRIOR TO START OF WORK
4. ALL EXISTING UTILITIES SHALL BE PROTECTED IN PLACE UNLESS OTHERWISE NOTED.
5. CONTRACTOR TO POT-HOLE AND FIELD VERIFY LOCATION AND DEPTH OF EXISTING UTILITIES IN AREAS OF WORK PRIOR TO DEMOLITION AND CONSTRUCTION.
6. DEMOLITION, REMOVAL, OR RELOCATION OF EXISTING UTILITIES SHALL BE COORDINATED WITH THE UTILITY PROVIDER PRIOR TO THE START OF CONSTRUCTION.
7. FOR ALL DEMOLITION OF EXISTING CONCRETE, SAWCUT EXISTING CONCRETE AT NEAREST JOINT.

EASEMENT DATA		
EASEMENT	USE	RECEPTION NO.
1	DRAINAGE	214713554



212 N. WABATCH AVE., STE 305
 COLORADO SPRINGS, CO 80903
 PHONE: 719.555.5465

CIVIL CONSULTANTS, INC.

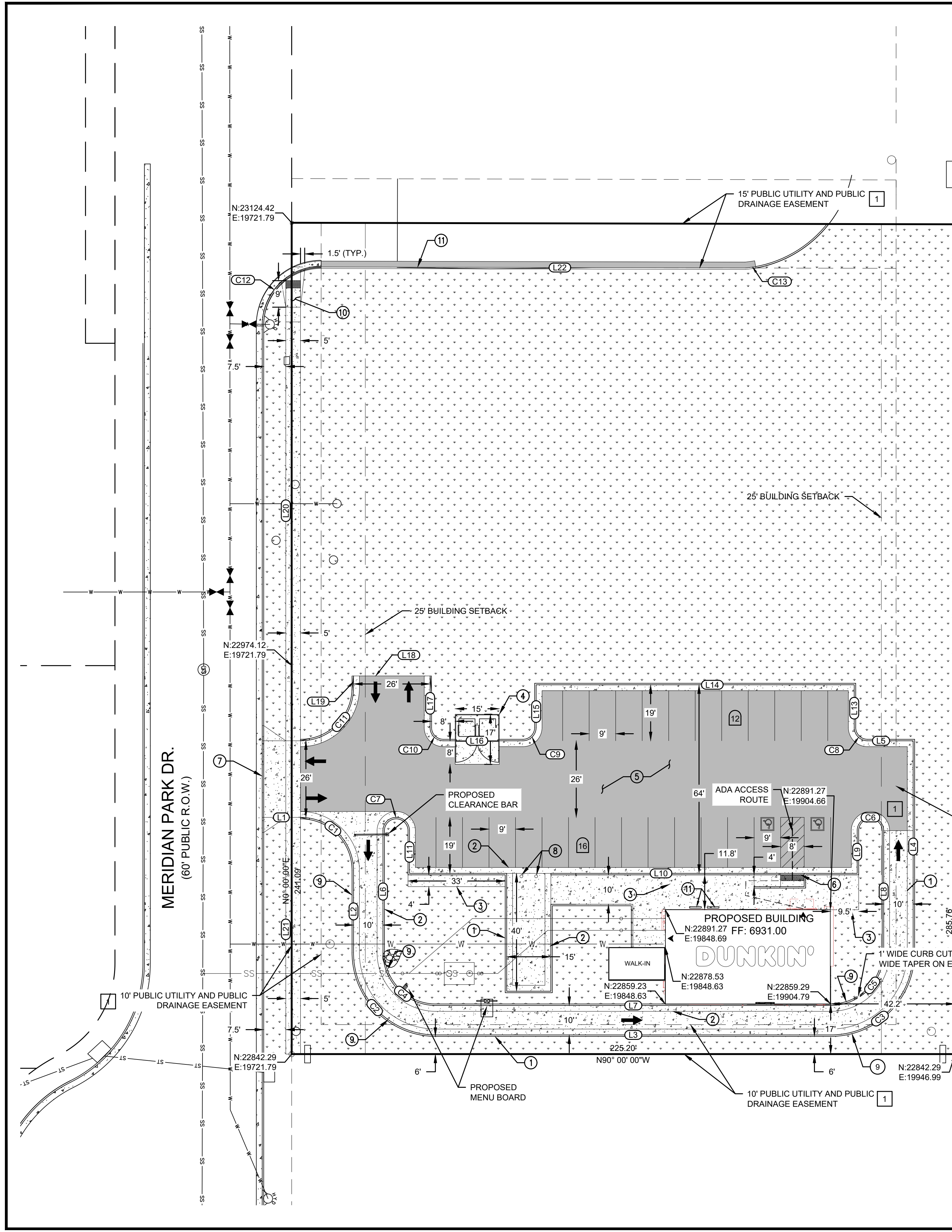
FOR AND ON BEHALF OF VAS CIVIL CONSULTANTS, INC.

VIRGIL A. SANCHEZ, COLORADO, P.E. NO. 37160

NO.	DATE	BY	DESCRIPTION	APPR'D. BY	DATE

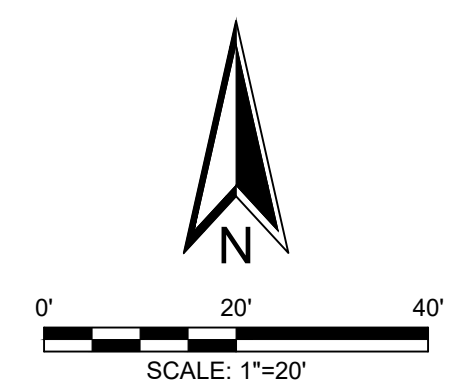
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CAUTION



MERIDIAN RD.
(210' PUBLIC R.O.W.)

MERIDIAN PARK DR.
(60' PUBLIC R.O.W.)



LEGEND

EXISTING		PROPOSED	
	RIGHT-OF-WAY		PARKING / WALKWAY STRIPING
	PROPERTY LINE		AC PAVEMENT
	ELECTRICAL LINE		SIDEWALK
	TELEPHONE LINE		LANDSCAPING
	GAS LINE		CURB AND GUTTER
	WATER LINE		ADA ACCESSIBLE PATHWAY
	SEWER LINE		SEWER LATERAL
	STORM DRAIN		WATER LATERAL
	SEWER MANHOLE		GAS SERVICE LATERAL
	STORM MANHOLE		ELECTRICAL SERVICE LATERAL
	ELECTRICAL POLE		BUILDING SETBACK
	ELECTRICAL BOX		PROPOSED EASEMENT
	ELECTRICAL METER		
	COMMUNITY ANTENNA TELEVISION		
	SIGN POST		

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	12.00	S90° 00' 00.00"E
L2	27.83	S0° 00' 00.00"W
L3	134.00	N90° 00' 00.00"E
L4	71.83	N0° 00' 00.00"E
L5	15.50	N89° 59' 59.98"W
L6	41.33	S0° 00' 00.00"W
L7	134.00	N90° 00' 00.00"E
L8	41.33	N0° 00' 00.00"E
L9	14.50	S0° 00' 00.00"W
L10	152.00	N90° 00' 00.00"W
L11	14.50	N0° 00' 00.00"E

LINE TABLE		
LINE #	LENGTH	DIRECTION
L13	14.50	N0° 00' 00.00"W
L14	108.00	S89° 59' 59.94"W
L15	14.50	S0° 00' 00.06"E
L16	27.00	S89° 59' 59.80"W
L17	17.50	N0° 00' 05.91"W
L18	26.00	N89° 59' 54.09"W
L19	4.00	S0° 00' 05.91"W
L20	147.15	N0° 00' 00.00"W
L21	80.33	S0° 00' 00.00"E

CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	28.78	18.01	91.55
C2	43.98	28.00	90.00
C3	43.98	28.00	90.00
C4	28.27	18.00	90.00
C5	28.27	18.00	90.00
C6	14.14	4.50	180.00
C7	14.14	4.50	180.00
C8	7.07	4.50	90.00
C9	7.07	4.50	90.00
C10	7.07	4.50	90.00
C11	28.27	18.00	90.00
C12	31.46	20.00	90.13
C13	3.59	40.22	5.11

CONSTRUCTION NOTES

- INSTALL (N) 30" CURB & GUTTER ECP TYPE A (CATCH) PER COUNTY OF EL PASO STD PLAN SD_2-20 (SEE SHEET 7).
- INSTALL (N) 30" CURB & GUTTER ECP TYPE A (SPILL) PER COUNTY OF EL PASO STD PLAN SD_2-20 (SEE SHEET 7).
- INSTALL (N) CONC. SIDEWALK PER DETAIL (SEE SHEET 7).
- INSTALL (N) DUMPSTER ENCLOSURE PER ARCHITECTURAL PLANS.
- INSTALL (N) AC PAVEMENT.
- INSTALL (N) CURB RAMP PER COUNTY OF EL PASO STD PLAN SD_2-50 (SEE SHEET 7).
- INSTALL (N) CONC. DRIVEWAY PER COUNTY OF EL PASO STD. DETAIL SD_2-25 (SEE SHEET 7).
- INSTALL (N) REMOVABLE BOLLARD PER DETAIL (SEE SHEET 7).
- INSTALL (N) 34" CURB & GUTTER ECP TYPE D PER COUNTY OF EL PASO STD PLAN SD_2-20 (SEE SHEET 7).
- INSTALL (N) ADA PEDESTRIAN RAMP PER EL PASO COUNTY SDD_2-41. (SEE SHEET 7).
- INSTALL (N) BIKE RACK PER ARCHITECTURAL PLANS.

NOTES

1. ALL CURB, GUTTER, PEDESTRIAN RAMPS, SIDEWALKS AND DRIVEWAYS POSING A SAFETY HAZARD, EXHIBITING EXCESSIVE DETERIORATION, DAMAGED, OR DOES NOT MEET CURRENT CITY ENGINEERING STANDARDS ALONG THE PUBLIC RIGHT-OF-WAY ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY (CO). AN ON-SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW DIVISION (EDRD) INSPECTOR TO DETERMINE WHAT, IF ANY IMPROVEMENTS ARE REQUIRED. THE EDRD INSPECTOR CAN BE REACHED AT 719-385-5977.

PARKING NOTES

PER COUNTY OF EL PASO LAND DEVELOPMENT CODE TABLE 6-2
 USE TYPE: FAST FOOD, FAMILY, HIGH TURNOVER
 BUILDING AREA: 1,998 SF
 TOTAL PARKING STALLS REQUIRED: 20
 TOTAL PARKING STALLS PROVIDED: 28
 # OF PARKING STALLS X

EASEMENT DATA		
EASEMENT	USE	RECEPTION No.
1	DRAINAGE	214713554

CITY FILE NO. PPR2227

PROJECT NO. 70-110
 SCALE: HORIZONTAL: 1"=20'
 VERTICAL: 1"=5'
 DATE: 06/27/2023
 SHEET 4 OF 10
GEC02

PROPOSED SITE PLAN

217 N. WASHATCH AVE., STE 305
 COLORADO SPRINGS, CO 80903
 PHONE: 719.955.5485

CIVIL CONSULTANTS, INC.

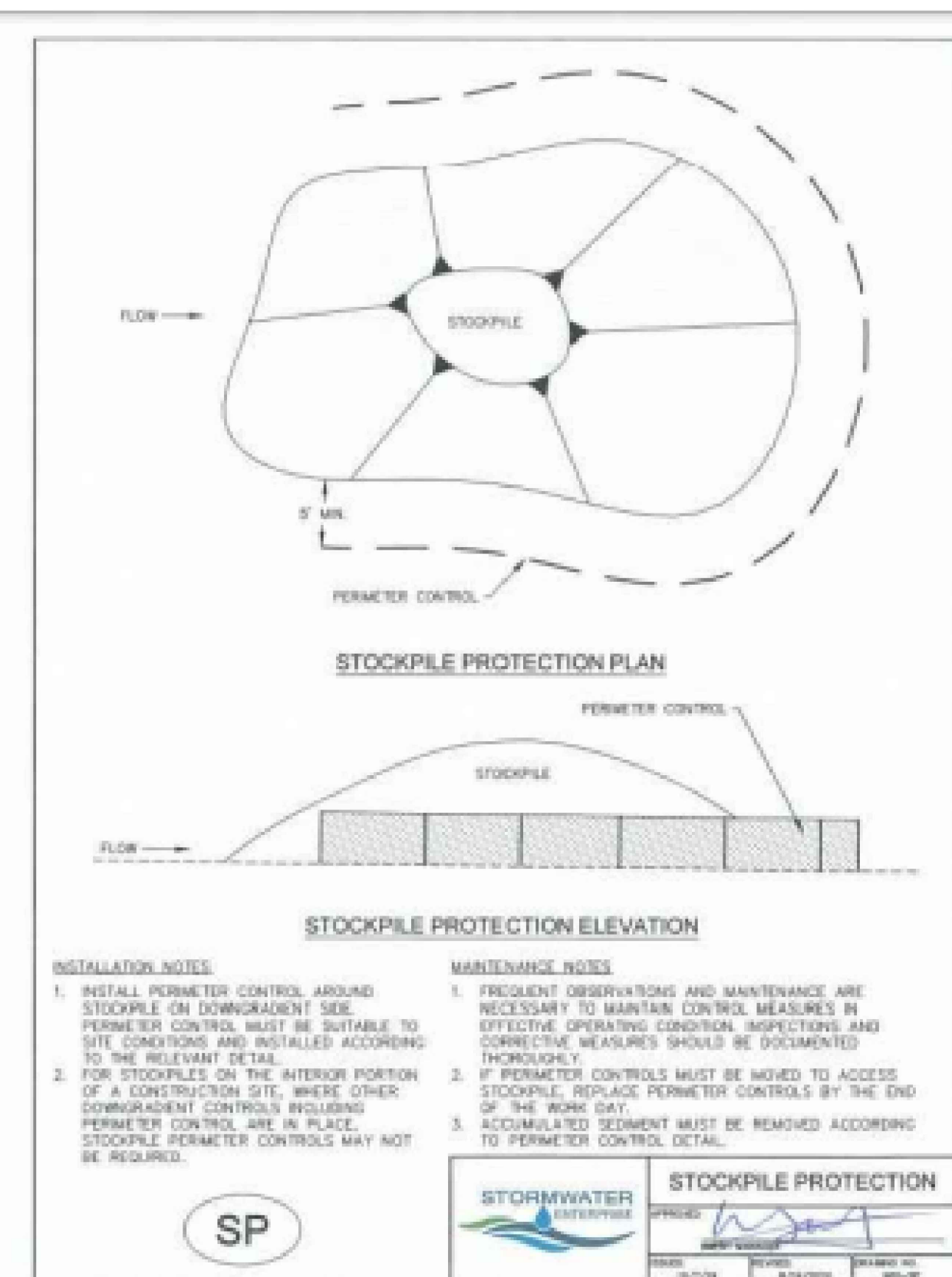
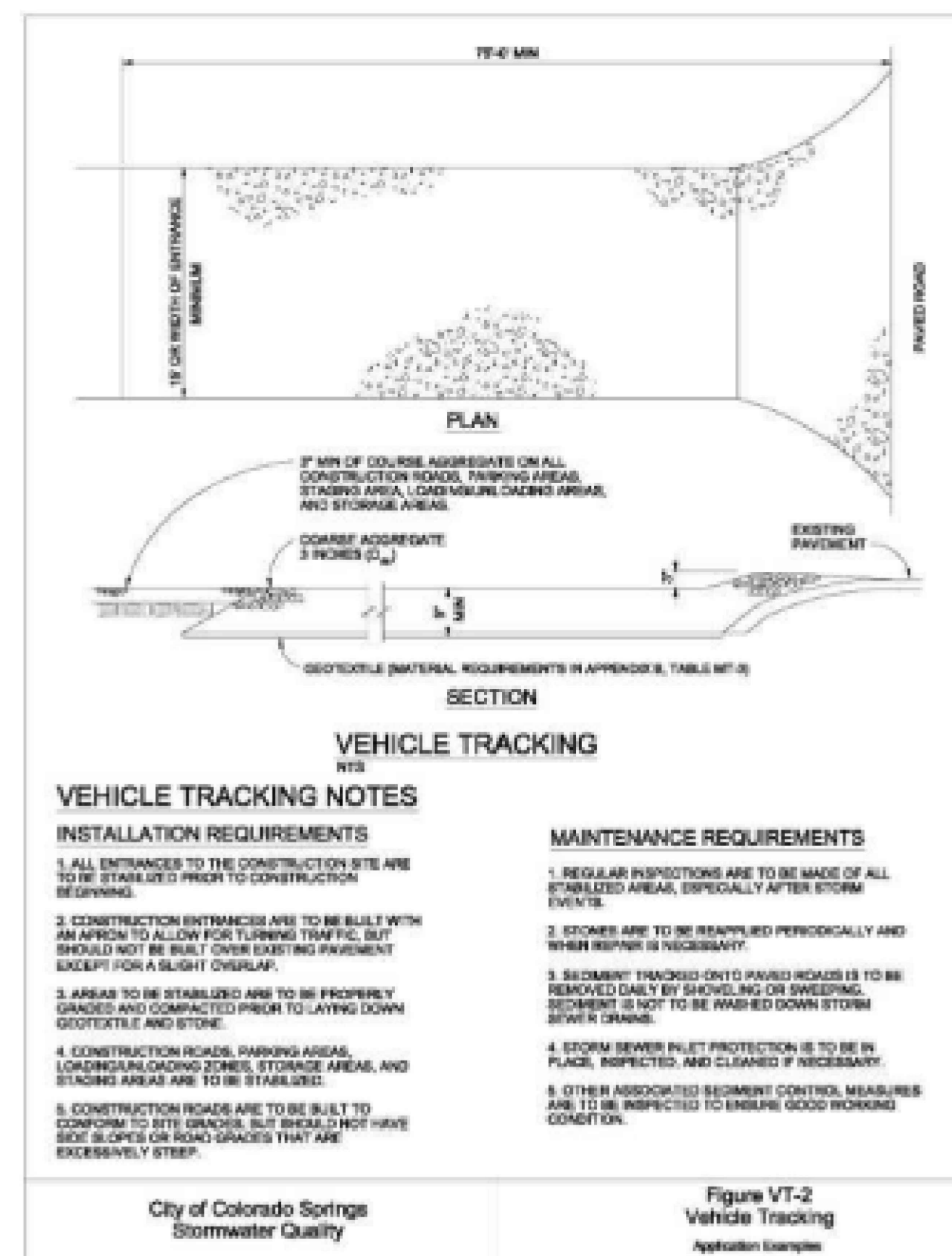
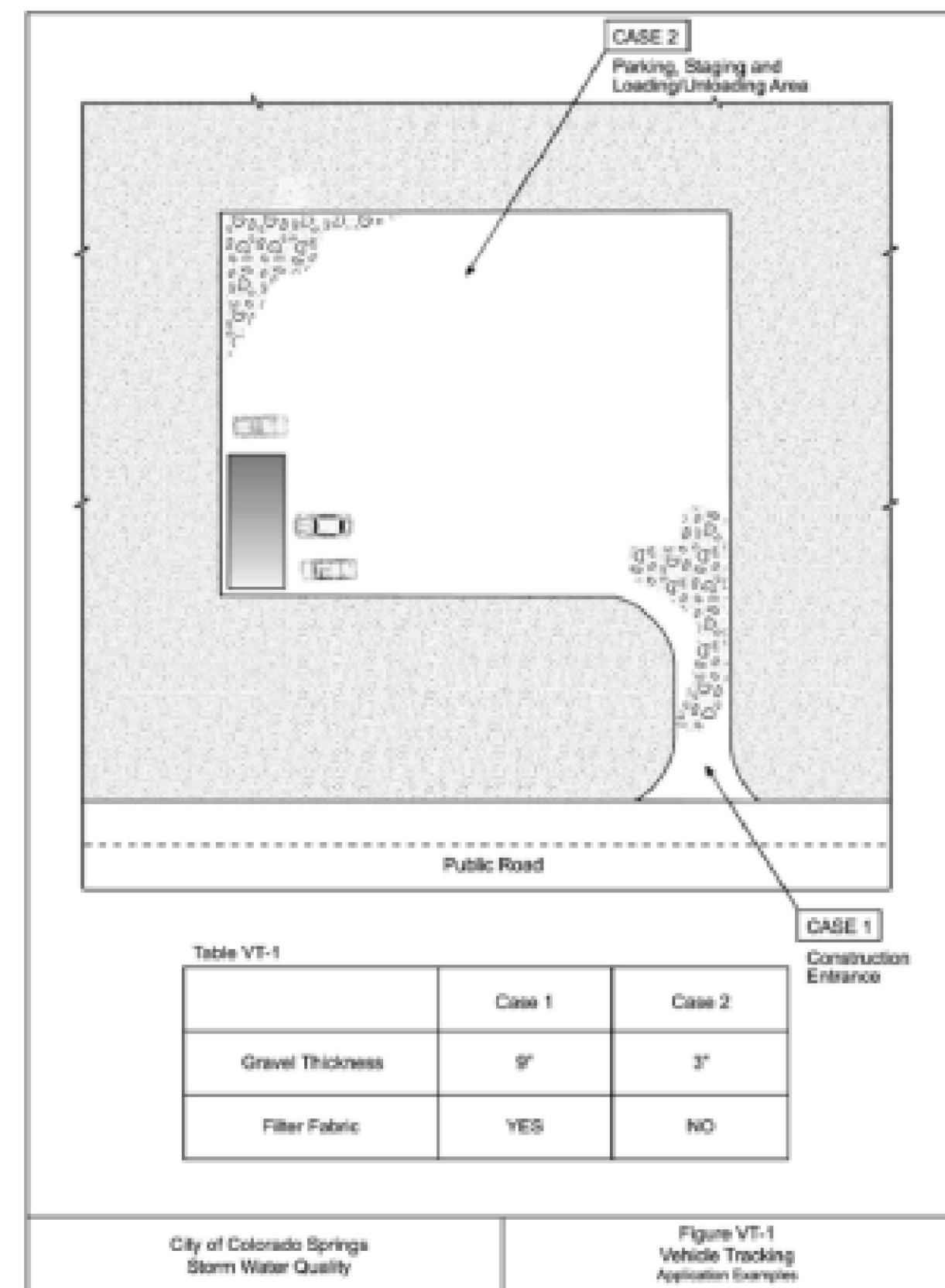
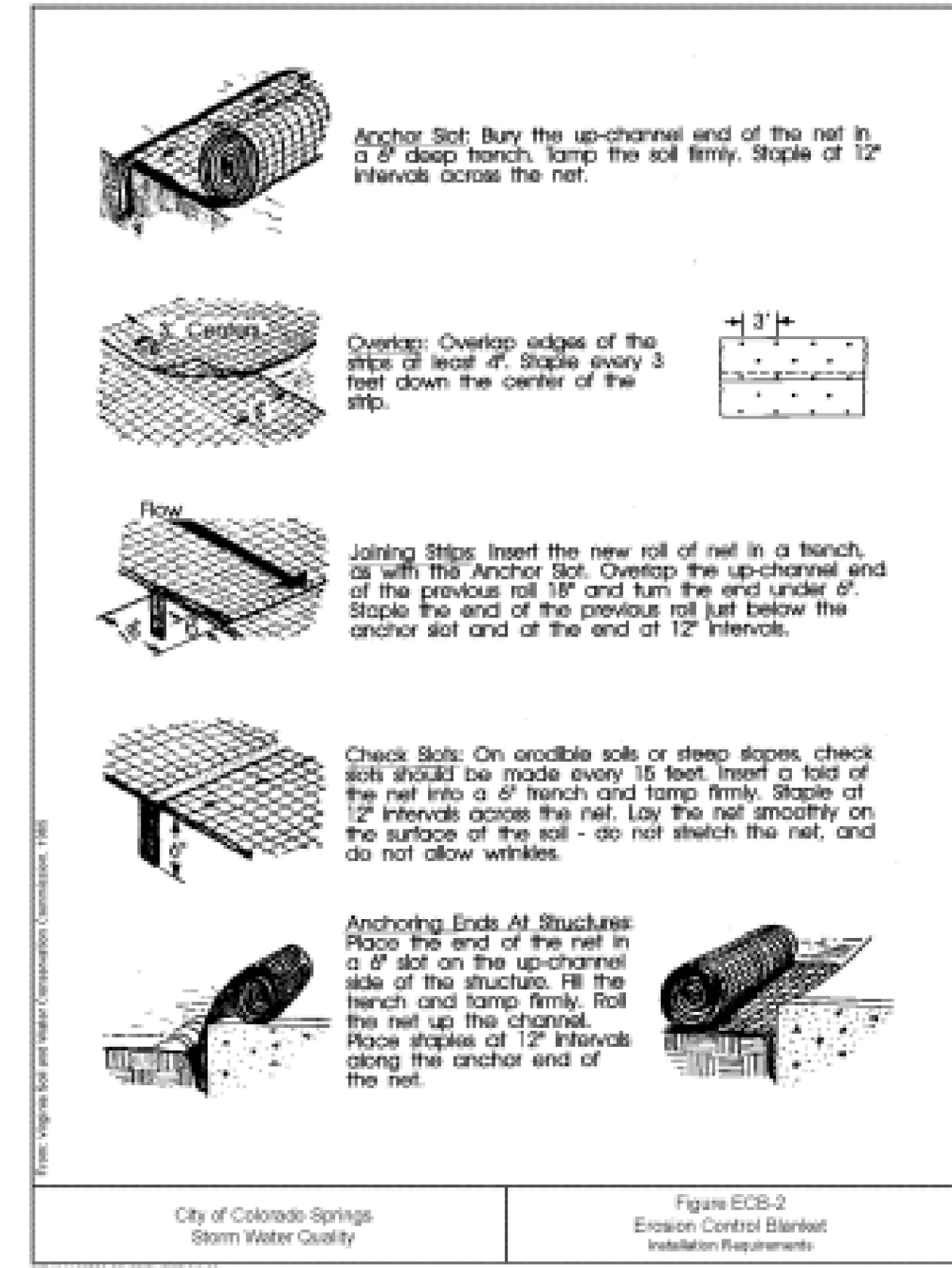
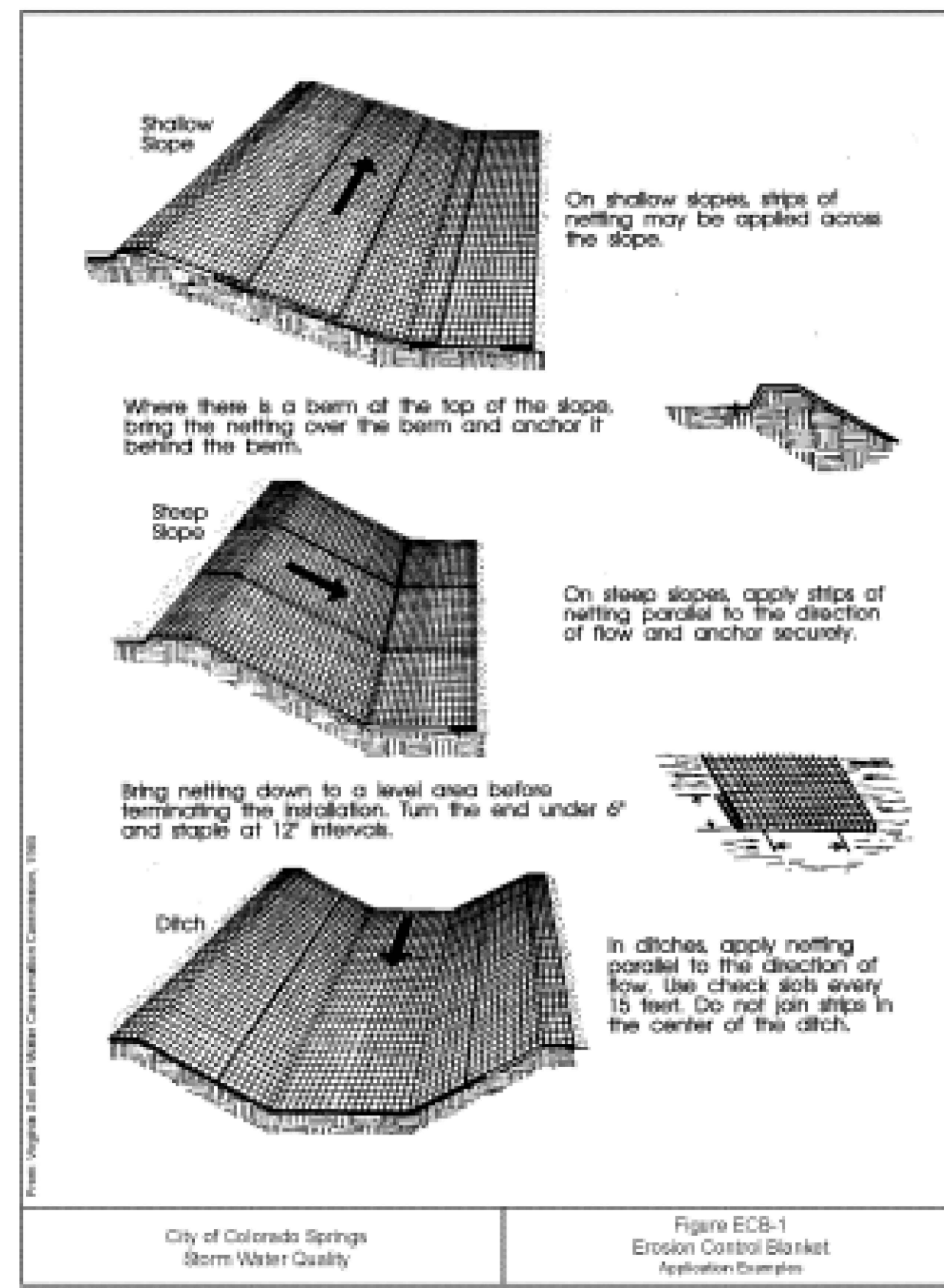
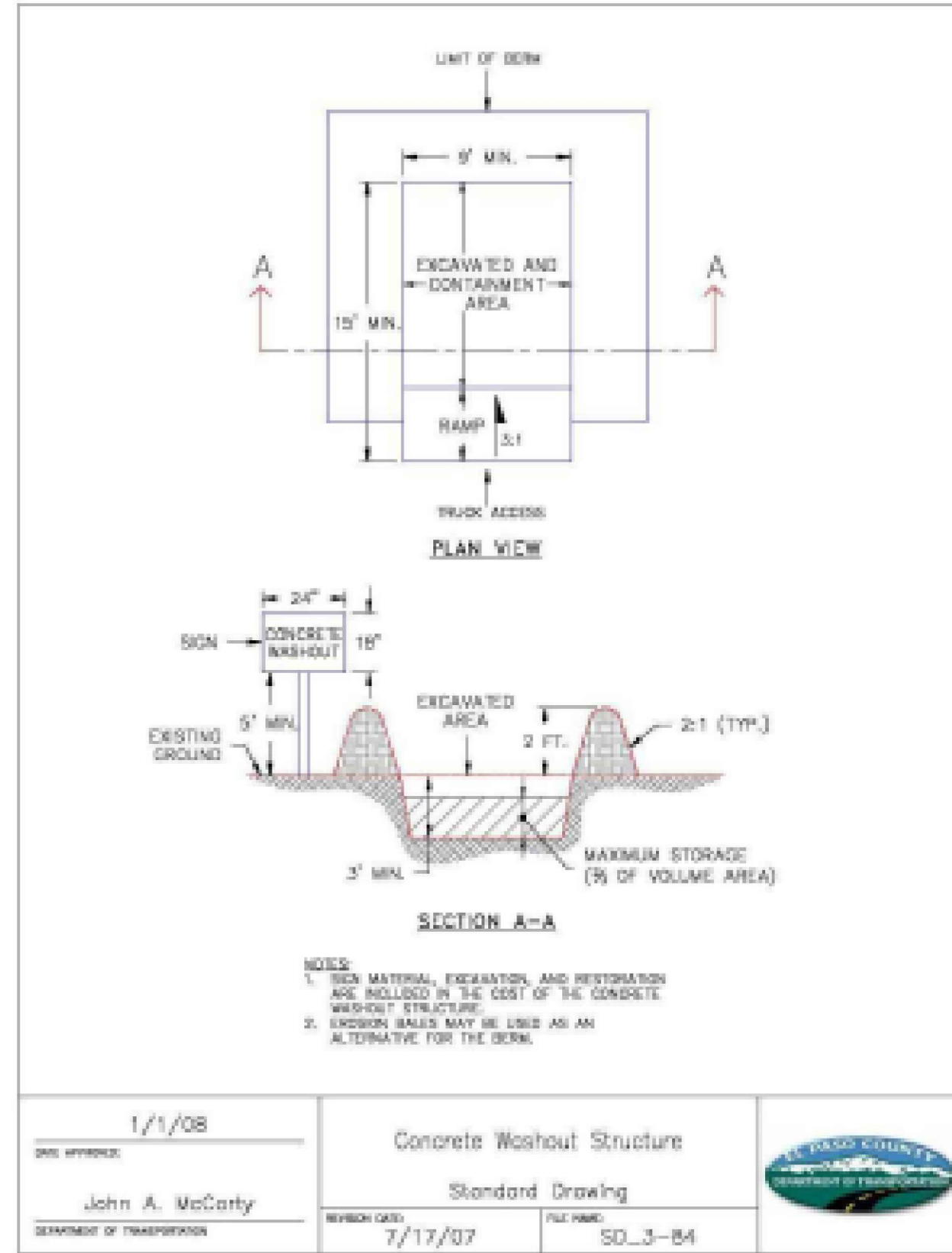
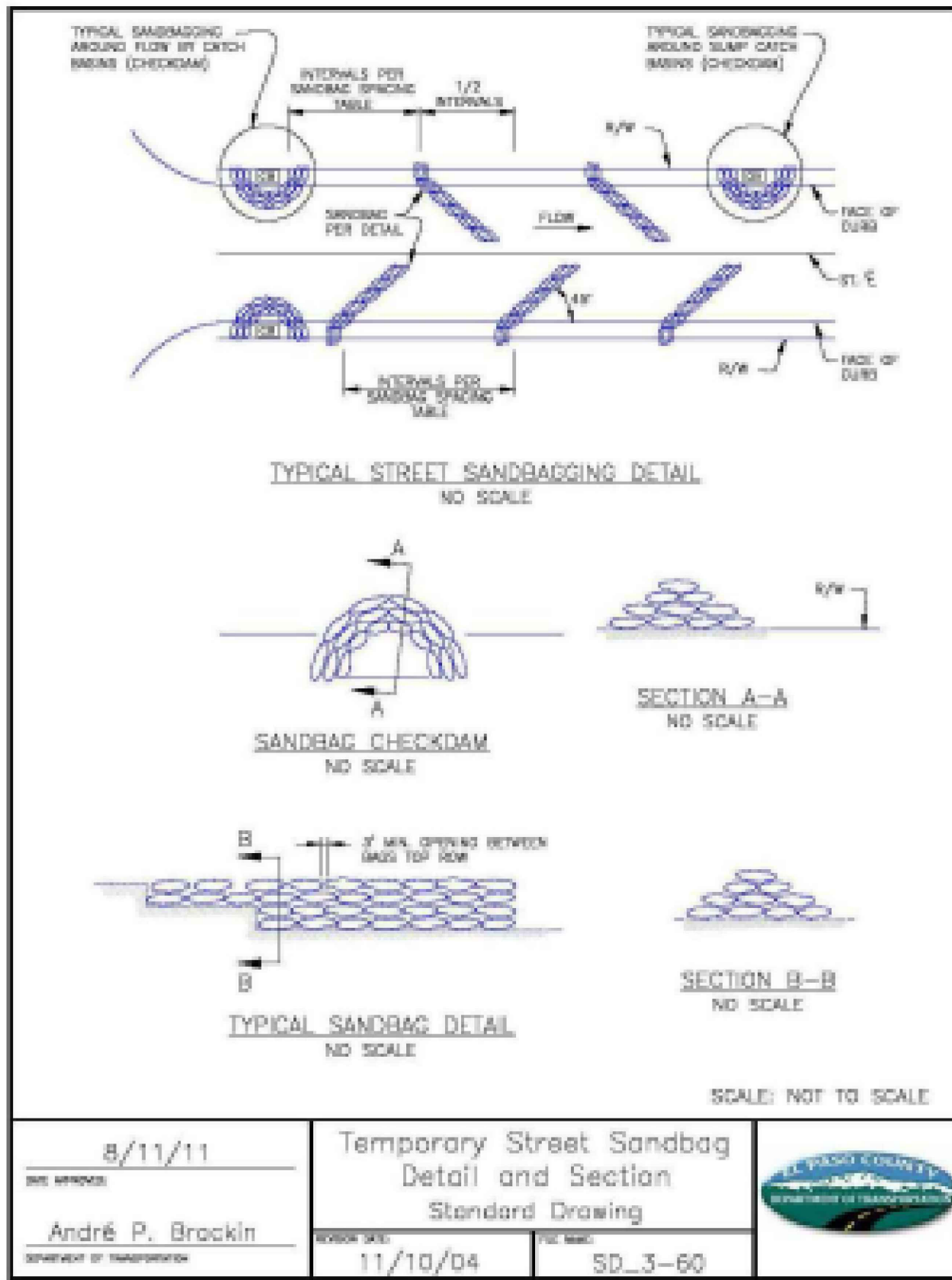
FOR AND ON BEHALF OF MRS. CIVIL CONSULTANTS, INC.

VIRGIL A. SANCHEZ, COLORADO, P.E. NO. 37160

REVISIONS: NO. DATE: BY: DESCRIPTION:

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CAUTION



LOT 1A-BENT GRASS EAST COMMERCIAL FIL. NO. 2A

212 N. WABATCH AVE, STE 305
COLORADO SPRINGS CO 80903
PHONE: 719.555.5485

CIVIL CONSULTANTS, INC.

FOR AND ON BEHALF OF MRS. CIVIL CONSULTANTS, INC.

PROFESSIONAL REGISTERED ENGINEER
NO. 37160
09-05-23

REVISIONS: NO. DATE: BY: DESCRIPTION: APPROV'D. BY: DATE:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARE OF THESE PLANS.

CAUTION

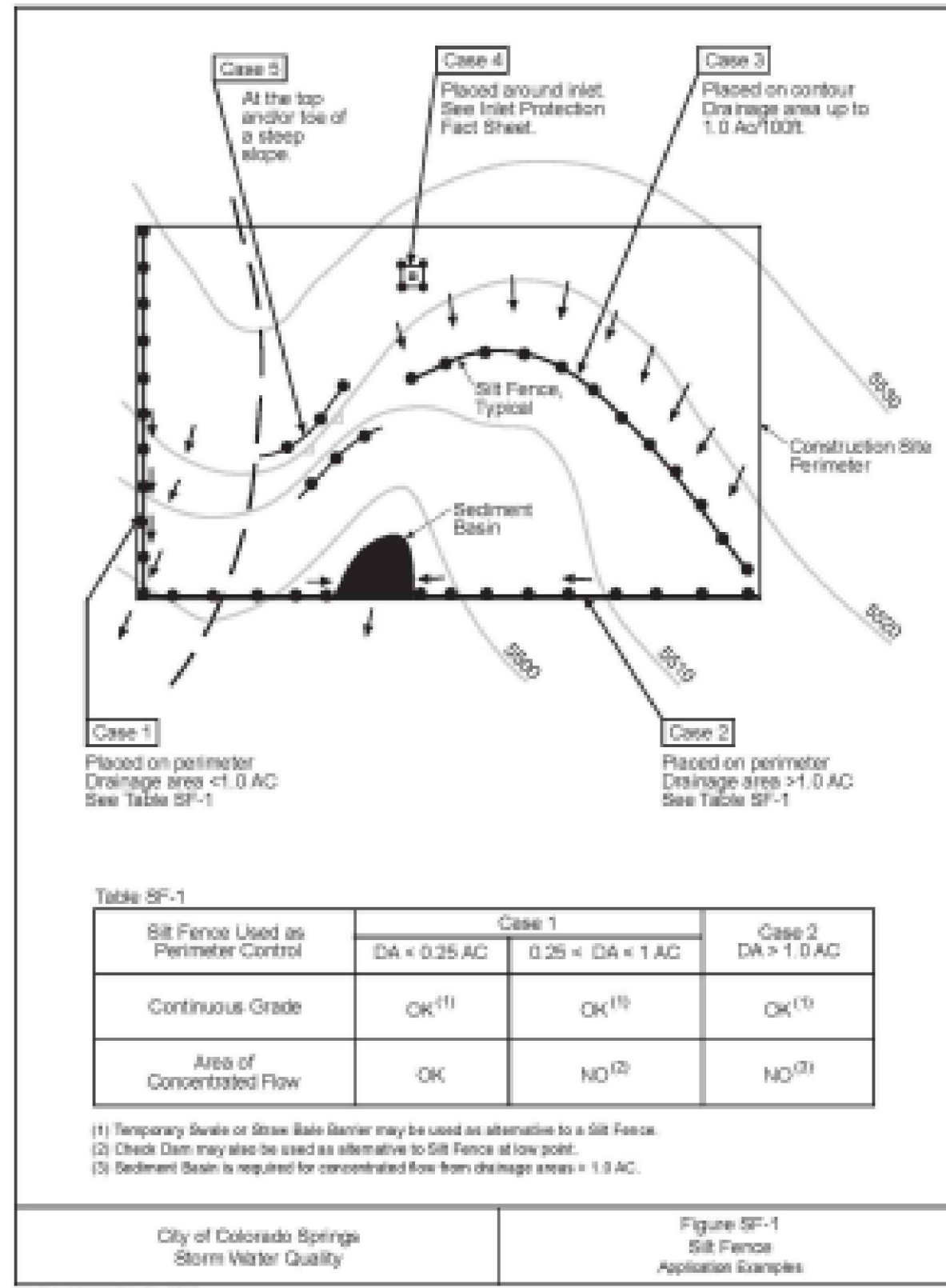


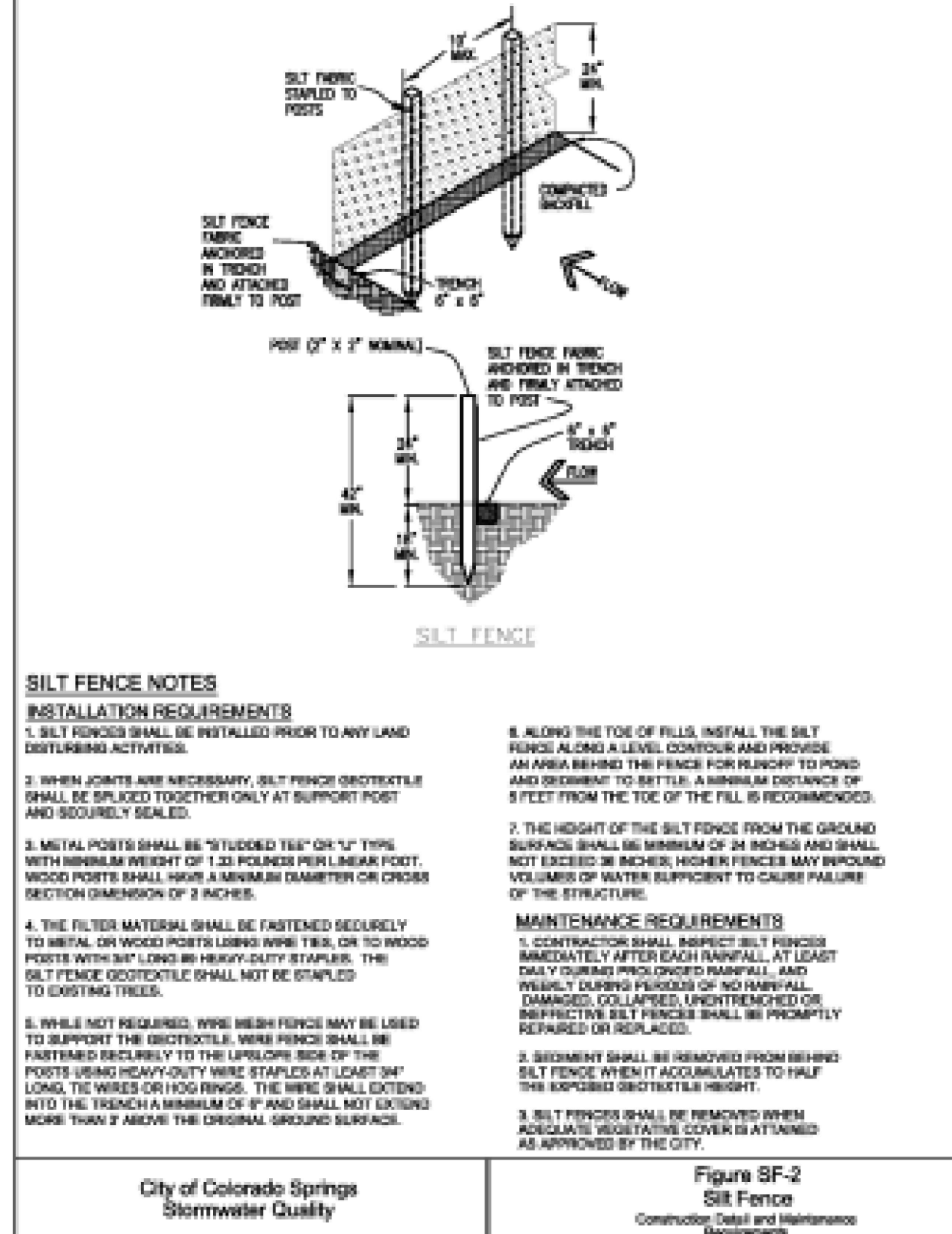
Table SF-1

Silt Fence Used as	Case 1		
	DA = 0.25 AC	0.25 < DA < 1 AC	Case 2 DA > 1.0 AC
Continuous Grade	OK ⁽¹⁾	OK ⁽¹⁾	OK ⁽¹⁾
Area of Concentrated Flow	OK	NO ⁽²⁾	NO ⁽³⁾

- (1) Temporary Silt or Straw Bale Barrier may be used as alternative to a Silt Fence.
- (2) Check Dam may also be used as alternative to Silt Fence at low point.
- (3) Sediment Basin is required for concentrated flow from drainage areas > 1.0 AC.

City of Colorado Springs
Stormwater Quality

Figure SF-1
Silt Fence
Application Examples



SILT FENCE NOTES

INSTALLATION REQUIREMENTS

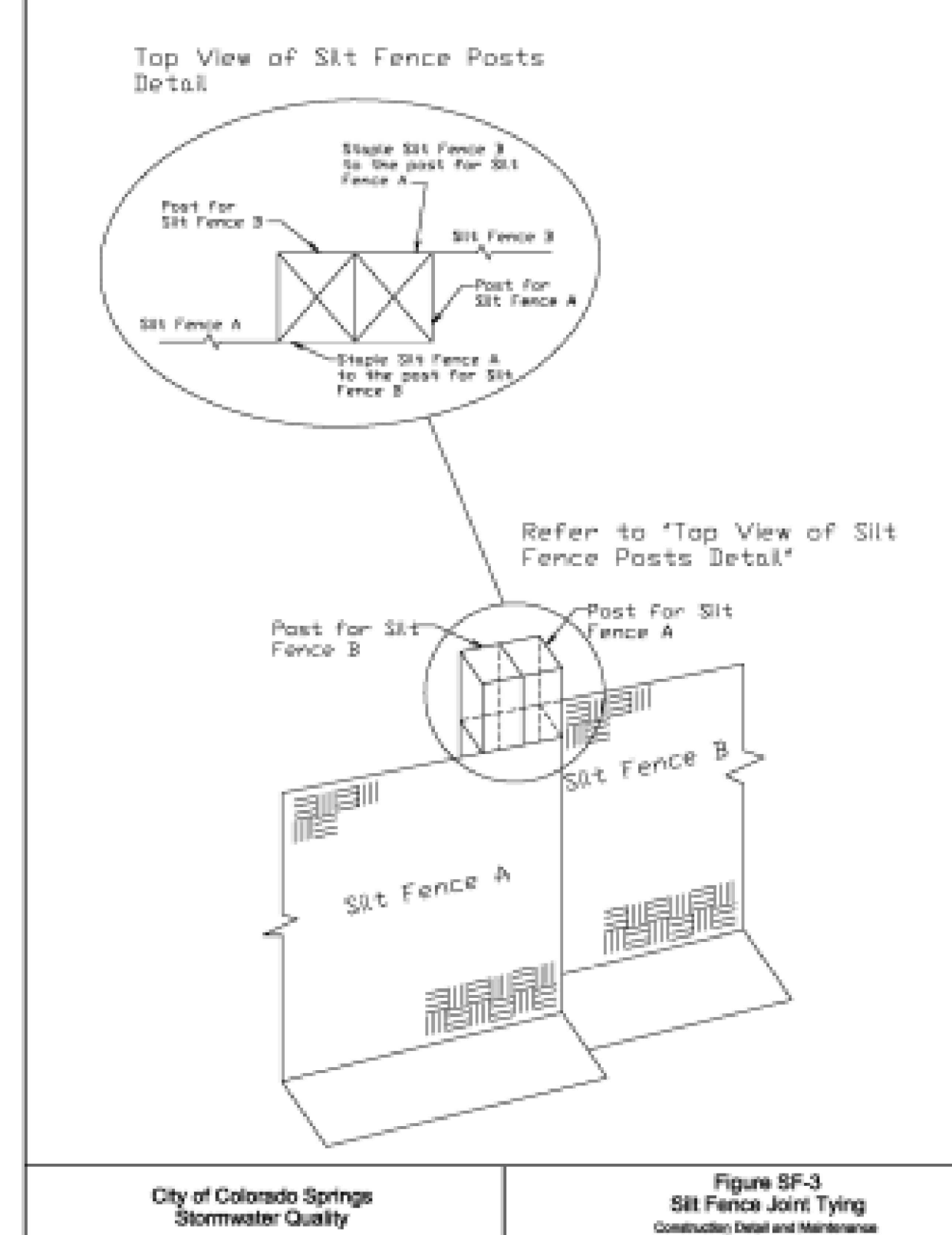
1. SILT FENCES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
2. WHEN JOINTS ARE NECESSARY, SILT FENCE GEOTEXTILE SHALL BE SPUN TOGETHER ONLY AT SUPPORT POST AND SECURELY SEALED.
3. METAL POSTS SHALL BE "STUCCOED" 1/2" OR 3/4" THICK WITH MINIMUM WEIGHT OF 1.25 POUNDS PER LINEAR FOOT. WOOD POSTS SHALL HAVE A MINIMUM DIAMETER OR CROSS SECTION DIMENSION OF 2 INCHES.
4. THE FILTER MATERIAL SHALL BE FASTENED SECURELY TO METAL OR WOOD POSTS USING WIRE TIE, OR TO WOOD POSTS WITH 3/4" LONG 80 HENRY-DUTY STAPLES. THE SILT FENCE GEOTEXTILE SHALL NOT BE STAPLED TO EXISTING TREES.
5. WHERE NOT REQUIRED, WIRE MESH FENCE MAY BE USED TO SUPPORT THE GEOTEXTILE. WIRE FENCE SHALL BE FASTENED SECURELY TO THE UPLOPE SIDE OF THE POSTS USING HIGH-DENSITY WIRE STAPLES AT LEAST 3/4" LONG. THE WIRE OR FENCE RINGS, THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 1" AND SHALL NOT EXTEND MORE THAN 2" ABOVE THE ORIGINAL GROUND SURFACE.
6. ALONG THE TOE OF FILLS, INSTALL THE SILT FENCE ALONG A LEVEL CONTOUR AND PROVIDE AN AREA BEHIND THE FENCE FOR RUNOFF TO POND AND SEDIMENT TO SETTLE. A MINIMUM DISTANCE OF 5 FEET FROM THE TOE OF THE FILL IS RECOMMENDED.
7. THE HEIGHT OF THE SILT FENCE FROM THE GROUND SURFACE SHALL BE MINIMUM OF 24 INCHES AND SHALL NOT EXCEED 36 INCHES. HIGHER FENCES MAY INCREASE VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE.

MAINTENANCE REQUIREMENTS

1. CONTRACTOR SHALL INSPECT SILT FENCES IMMEDIATELY AFTER EACH RAINFALL. AT LEAST DAILY DURING PERIODS OF RAINFALL AND WEEKLY DURING PERIODS OF NO RAINFALL. DAMAGED, COLLAPSED, UNINTENDED OR DEFECTIVE SILT FENCES SHALL BE PROMPTLY REPAIRED OR REPLACED.
2. SEDIMENT SHALL BE REMOVED FROM BEHIND SILT FENCE WHEN IT ACCUMULATES TO HALF THE EXPOSED GEOTEXTILE HEIGHT.
3. SILT FENCES SHALL BE REMOVED WHEN REGULAR VEGETATION COVER IS ATTAINED AS APPROVED BY THE CITY.

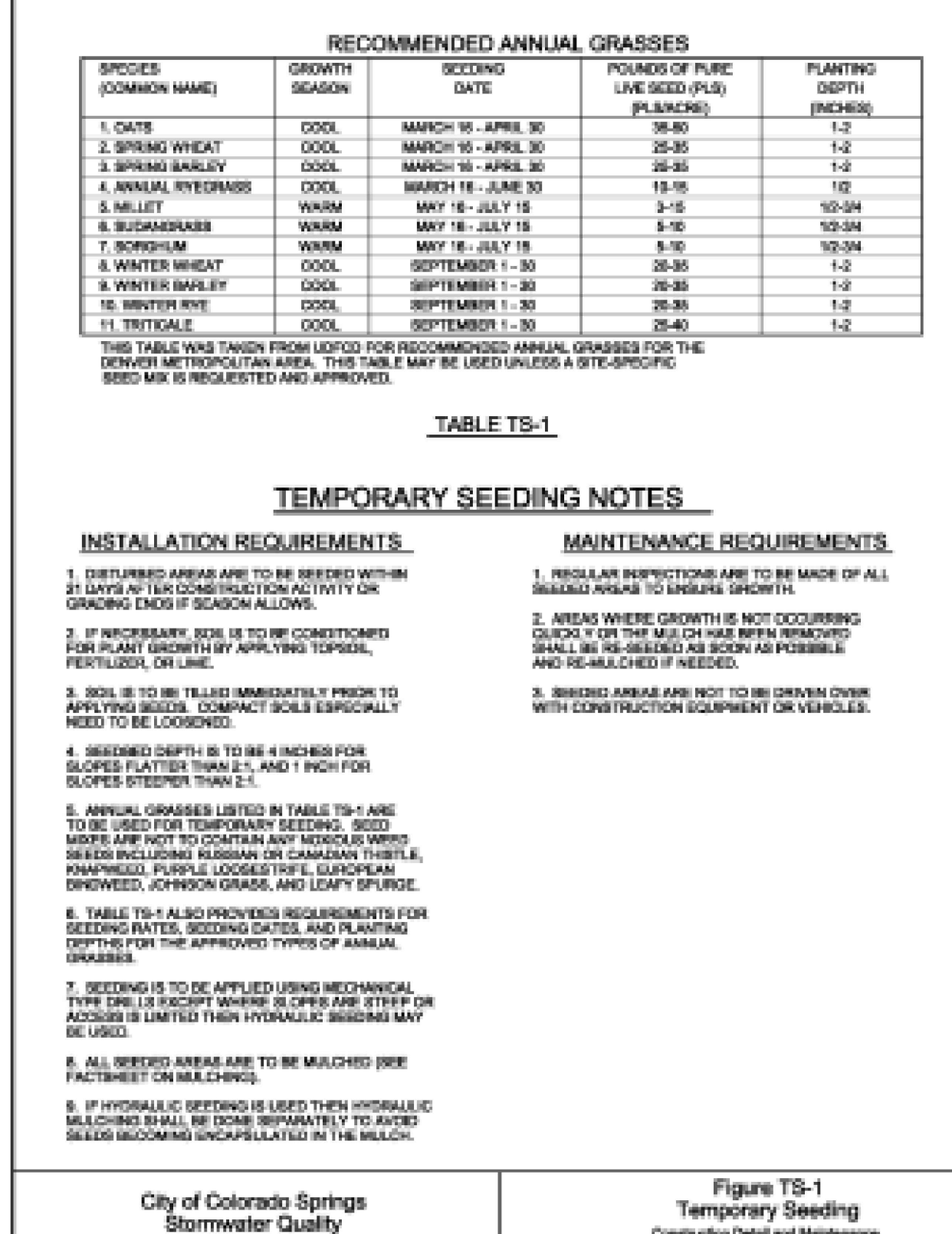
City of Colorado Springs
Stormwater Quality

Figure SF-2
Silt Fence
Construction Detail and Maintenance
Requirements



City of Colorado Springs
Stormwater Quality

Figure SF-3
Silt Fence Joint Tying
Construction Detail and Maintenance
Requirements



City of Colorado Springs
Stormwater Quality

Figure TS-1
Temporary Seeding
Construction Detail and Maintenance
Requirements

LOT 1A-BENT GRASS EAST COMMERCIAL FIL. NO. 2A

SITE DETAILS

SCALE: HORIZONTAL: DATE: 06/27/2023
 HORIZONTAL: N/A
 VERTICAL: N/A

DESIGNED BY: VAS
 DRAWN BY: TAU
 CHECKED BY: VAS

PROJECT NO. 70-110
 SHEET 7 OF 10
 GEC05

212 N. WABASH AVE, STE 305
 COLORADO SPRINGS, CO 80903
 PHONE: 719.555.5465

CIVIL CONSULTANTS, INC.

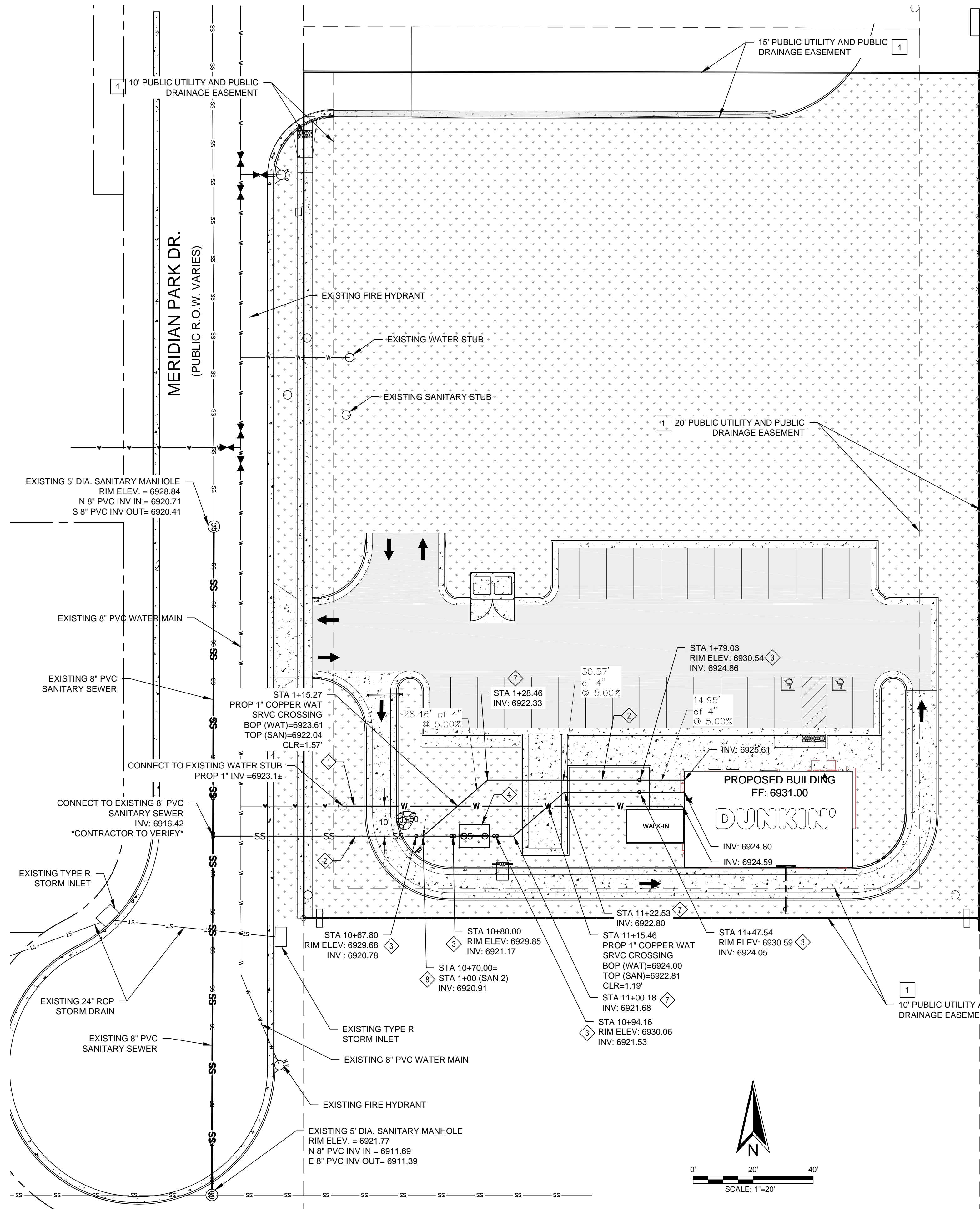
VIRGIL A. SANCHEZ, COLORADO, P.E. NO. 37160

FOR AND ON BEHALF OF VAS CIVIL CONSULTANTS, INC.

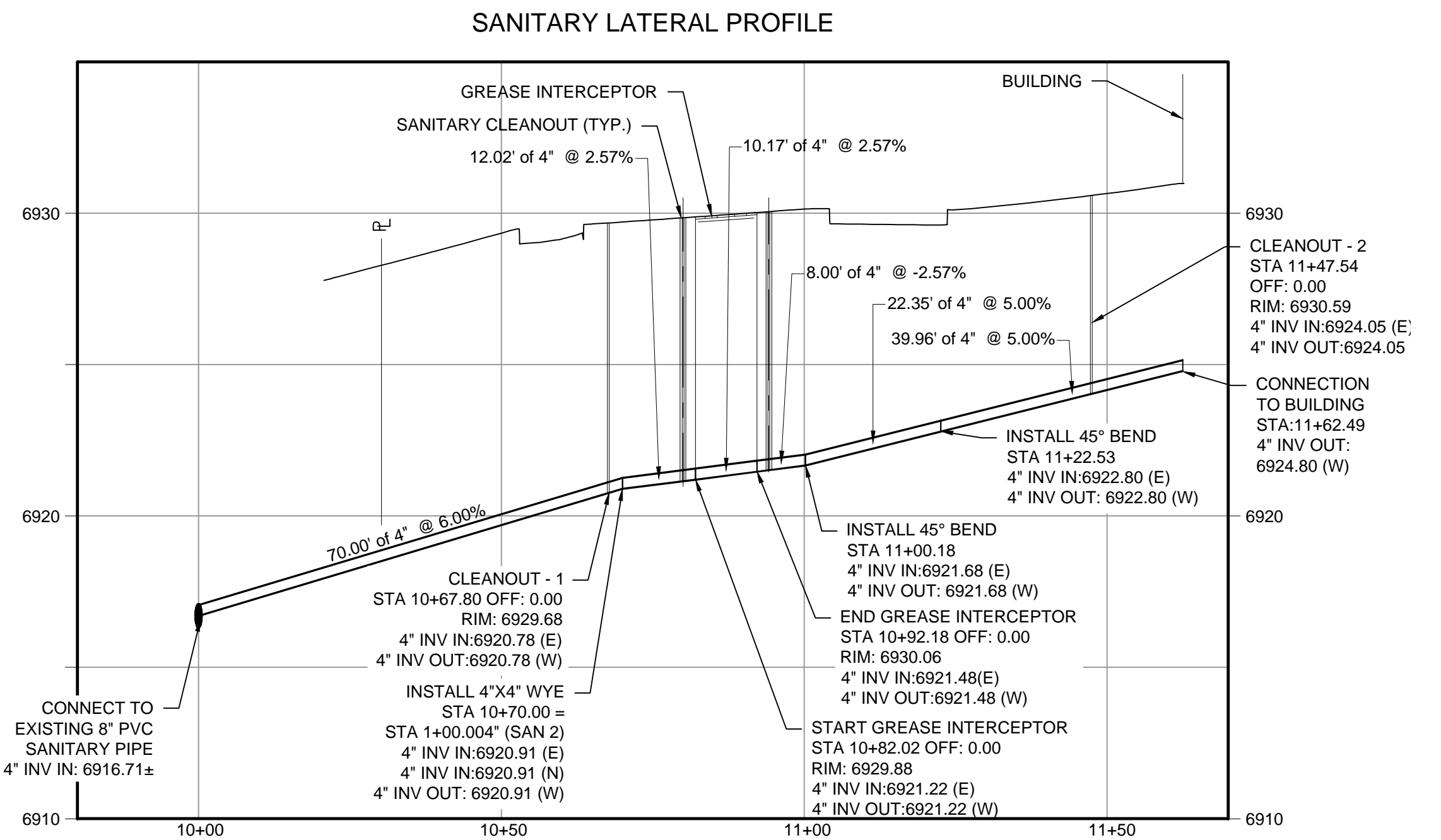
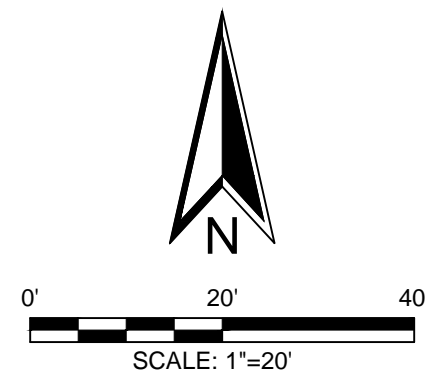
NO. DATE: BY: DESCRIPTION: APPROV. BY: DATE:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARE OF THESE PLANS.

CAUTION



MERIDIAN RD.
(210' PUBLIC R.O.W.)



LEGEND

EXISTING	PROPOSED
--- RIGHT-OF-WAY	[Hatched] PARKING / WALKWAY STRIPING
--- PROPERTY LINE	[Solid] AC PAVEMENT
--- ELECTRICAL LINE	[Dotted] SIDEWALK
--- TELEPHONE LINE	[Dotted with arrows] LANDSCAPING
--- GAS LINE	[Dotted with arrows] CURB AND GUTTER
--- WATER LINE	--- ADA ACCESSIBLE PATHWAY
--- SEWER LINE	--- SS SEWER LATERAL
--- STORM DRAIN	--- W WATER LATERAL
--- 6930 EXISTING MAJOR CONTOUR	--- G GAS SERVICE LATERAL
--- 6929 EXISTING MINOR CONTOUR	--- E ELECTRIC SERVICE
--- Sewer Manhole	--- T TELECOMMUNICATION SERVICE
--- Storm Manhole	--- --- GRADE BREAK
--- Electrical Pole	--- --- GRADING LIMITS
--- Electrical Box	--- 6930 MAJOR CONTOUR
--- Electrical Meter	--- 6929 MINOR CONTOUR
--- CATV	
--- Sign Post	

- UTILITY NOTES**
- INSTALL (N) 1-INCH TYPE-K COPPER WATER SERVICE PER WOODMEN HILLS METROPOLITAN DISTRICT W-36 (SEE SHEET 9).
 - INSTALL (N) 4" PVC SANITARY SEWER SERVICE PER WOODMEN HILLS METROPOLITAN DISCRIT DETAIL W-14 (SEE SHEET 9).
 - INSTALL (N) SEWER CLEANOUT PER WOODMEN HILLS METROPOLITAN DISTRICT WW-3 (SEE SHEET 9).
 - INSTALL (N) GREASE INTERCEPTOR PER WOODMEN HILLS METROPOLITAN DISTRICT DETAIL WW-12 (SEE SHEET 9).
 - INSTALL (N) UTILITY TRENCH PER WOODMEN HILLS METROPOLITAN DISCRIT DETAIL W-14 (SEE SHEET 9).
 - CONNECT TO EXISTING SANITARY MAIN.
 - INSTALL 45° BEND
 - INSTALL 4"X4" WYE

- UTILITIES NOTES**
- ALL PROPOSED EASEMENT MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 - THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 - ALL UTILITIES BASED ON APPROVED PLANS FOR BENT GRASS EAST COMMERCIAL DEVELOPMENTS. CONTRACTOR TO CONFIRM AND VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION.

EASEMENT DATA		
EASEMENT	USE	RECEPTION No.
◇	DRAINAGE	214713554

CITY FILE NO. PPR2227

LOT 1A-BENT GRASS EAST COMMERCIAL FIL. NO. 2A

UTILITY SERVICE PLAN

PROJECT NO. 70-110 DATE: 06/27/2023

SCALE: HORIZONTAL: 1"=20' VERTICAL: 1"=5'

DESIGNED BY: VAS DRAWN BY: TAU CHECKED BY: VAS

SHEET 8 OF 10 UT01

212 N. WASHCATCH AVE., STE 305
COLORADO SPRINGS, CO 80903
PHONE: 719.555.5465

CIVIL CONSULTANTS, INC.

FOR AND ON BEHALF OF MRS. CIVIL CONSULTANTS, INC.

VIRGIL A. SANCHEZ, COLORADO, P.E. NO. 37160

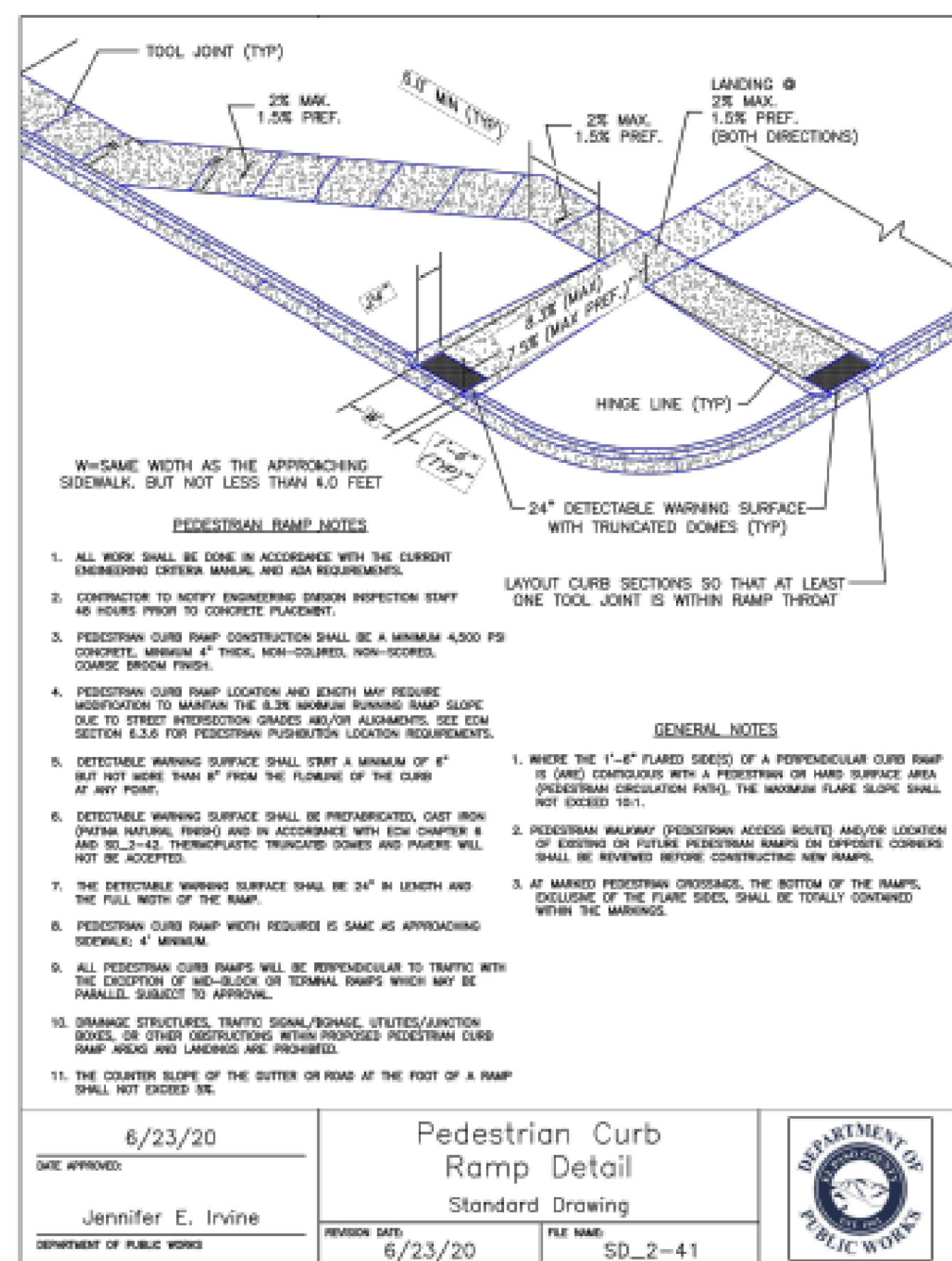
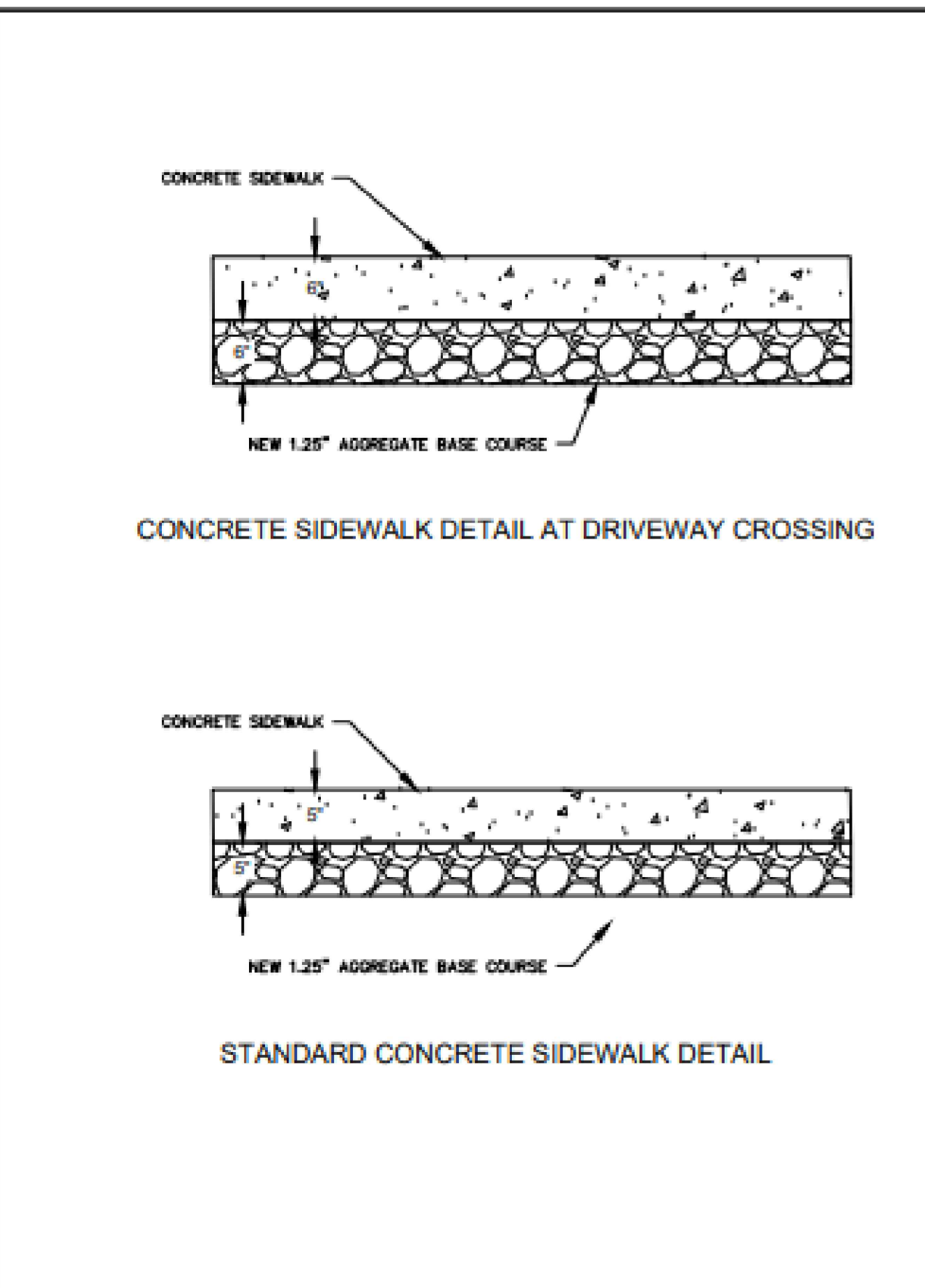
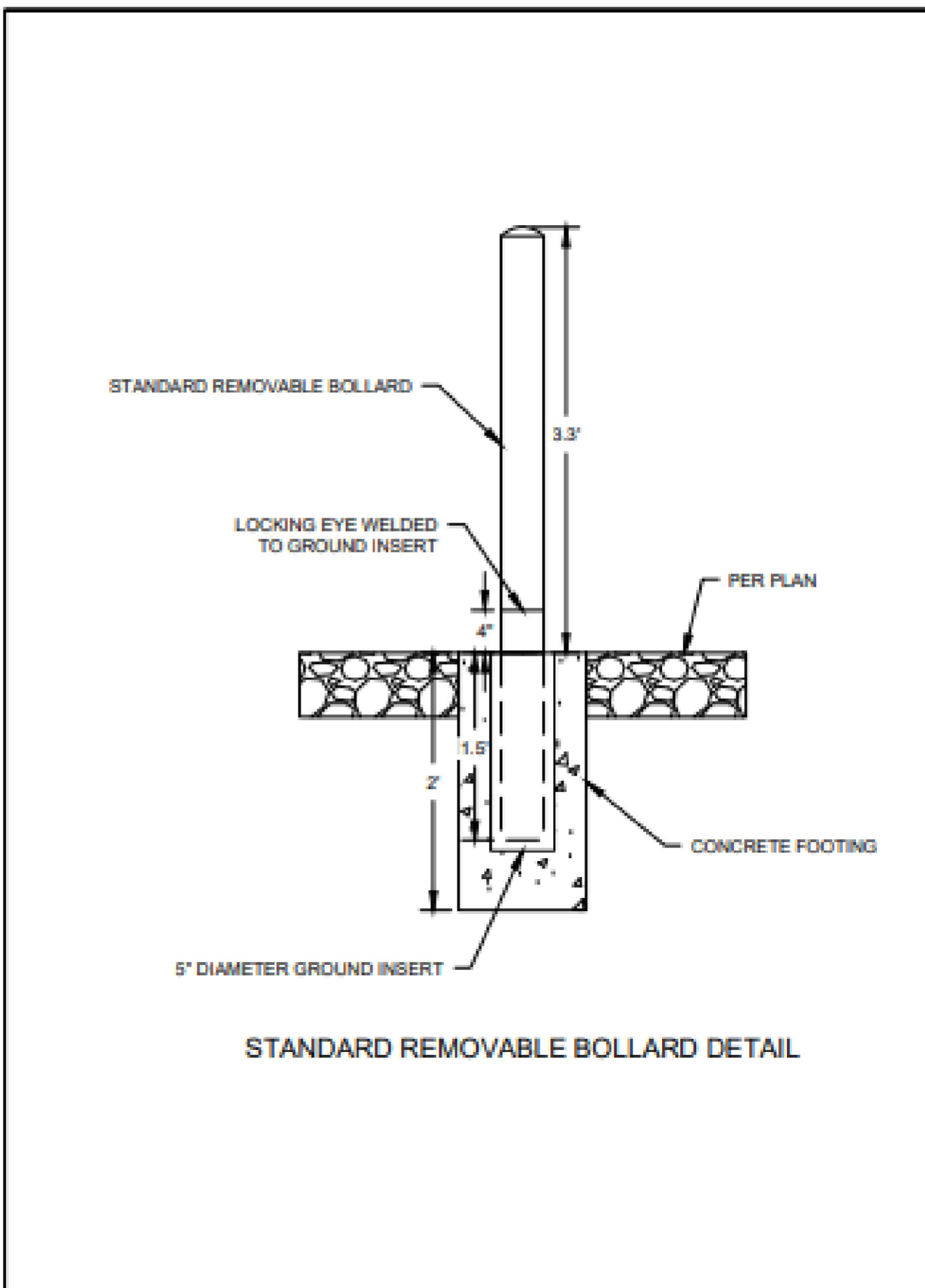
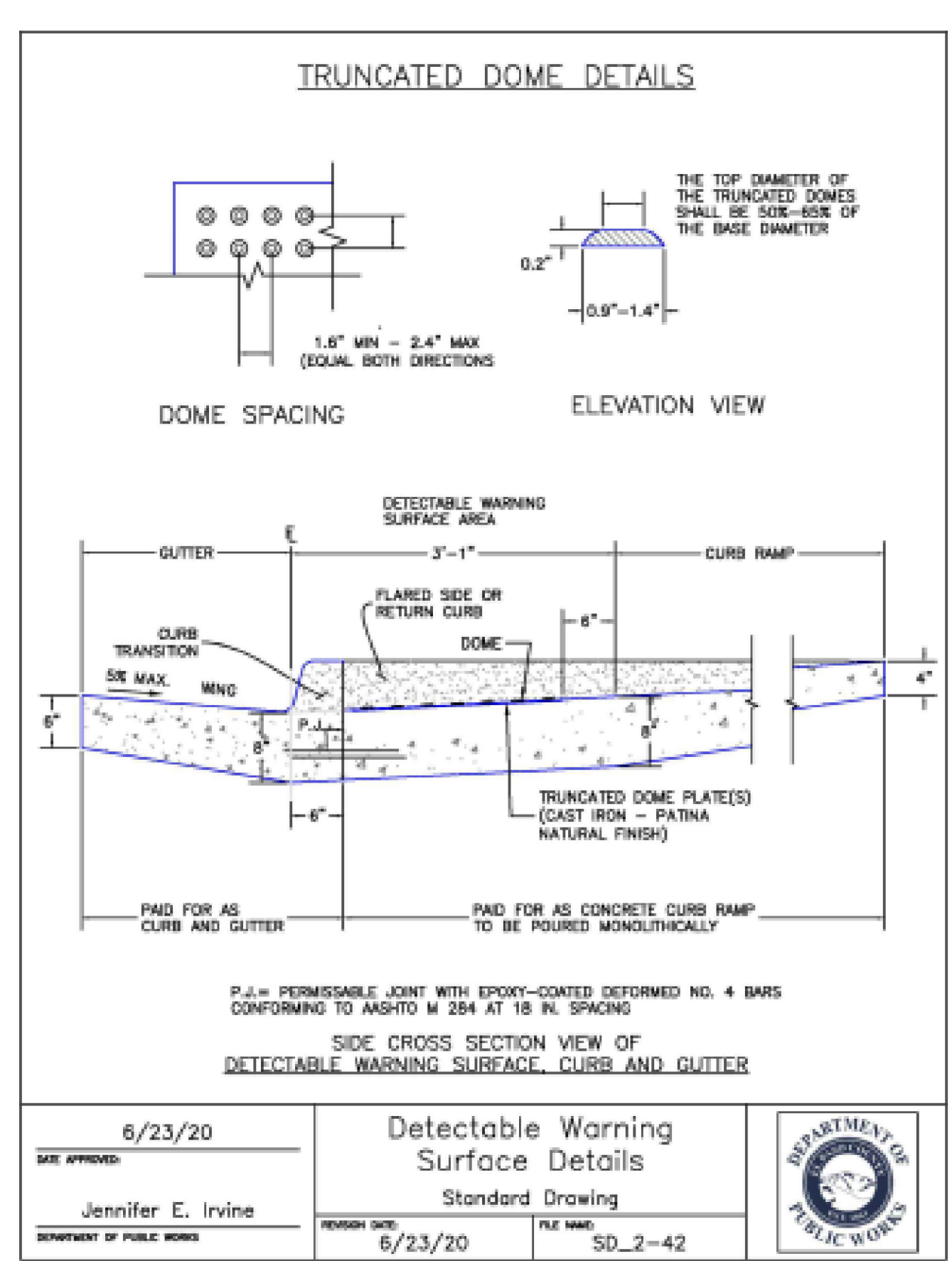
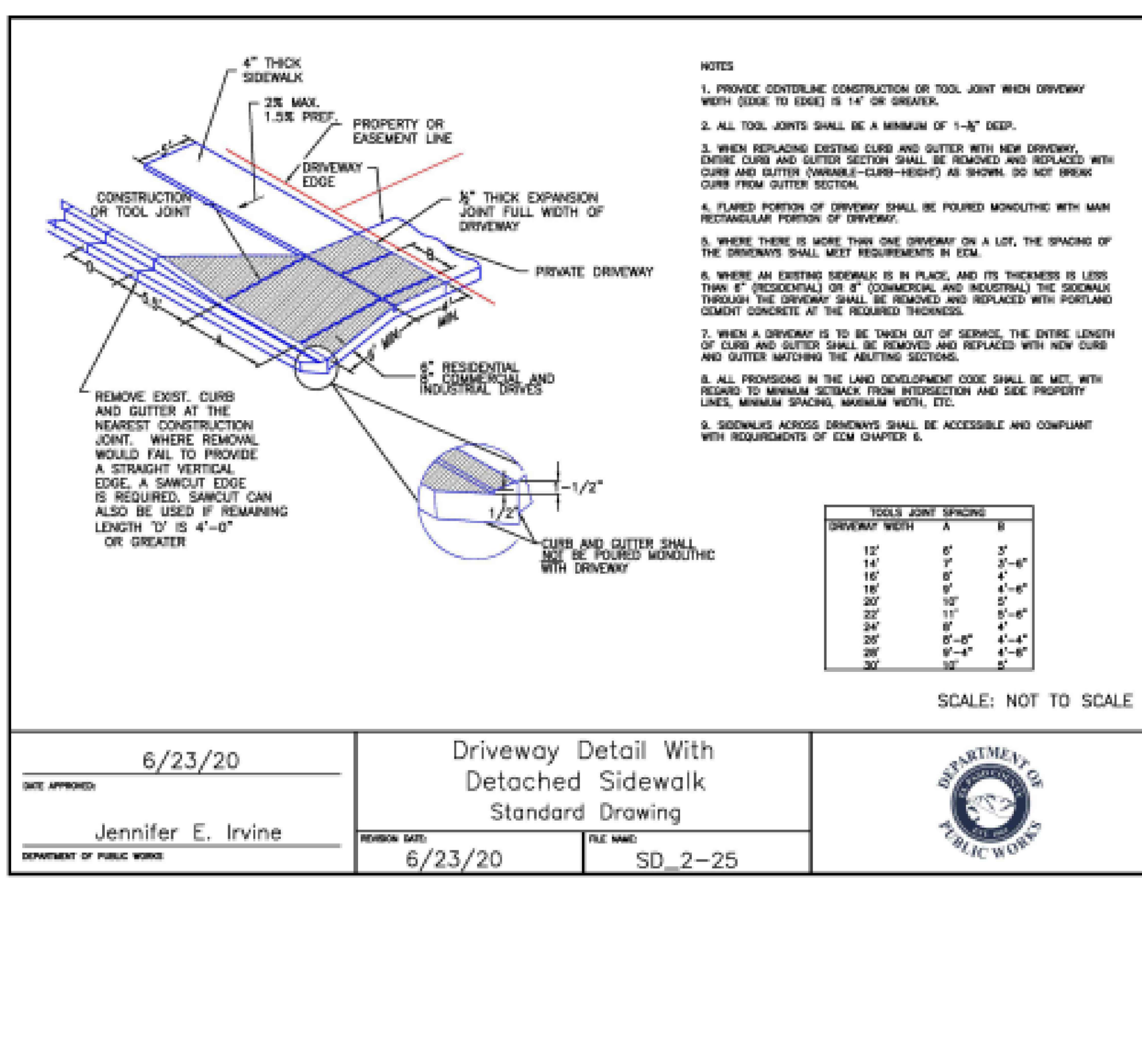
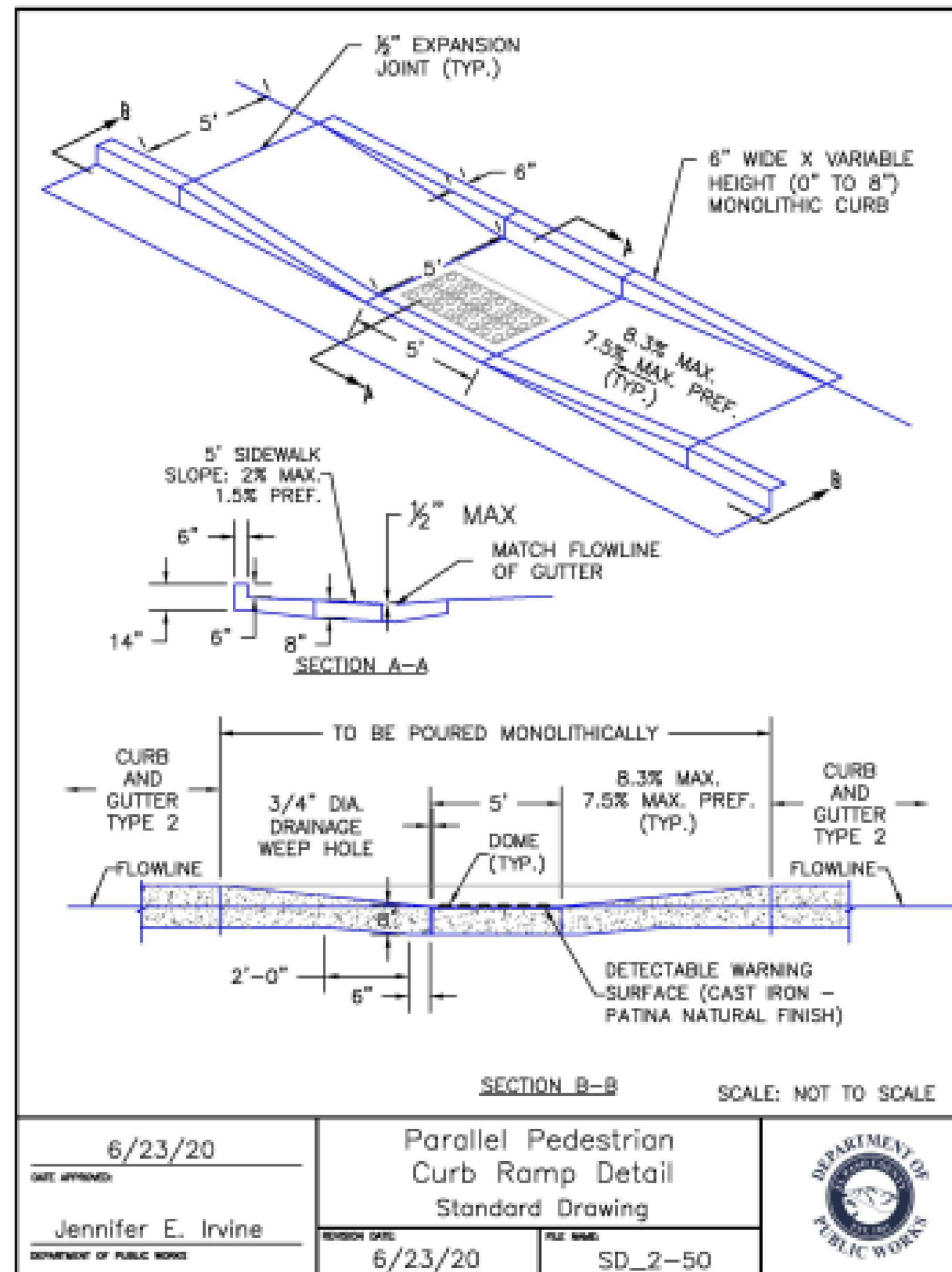
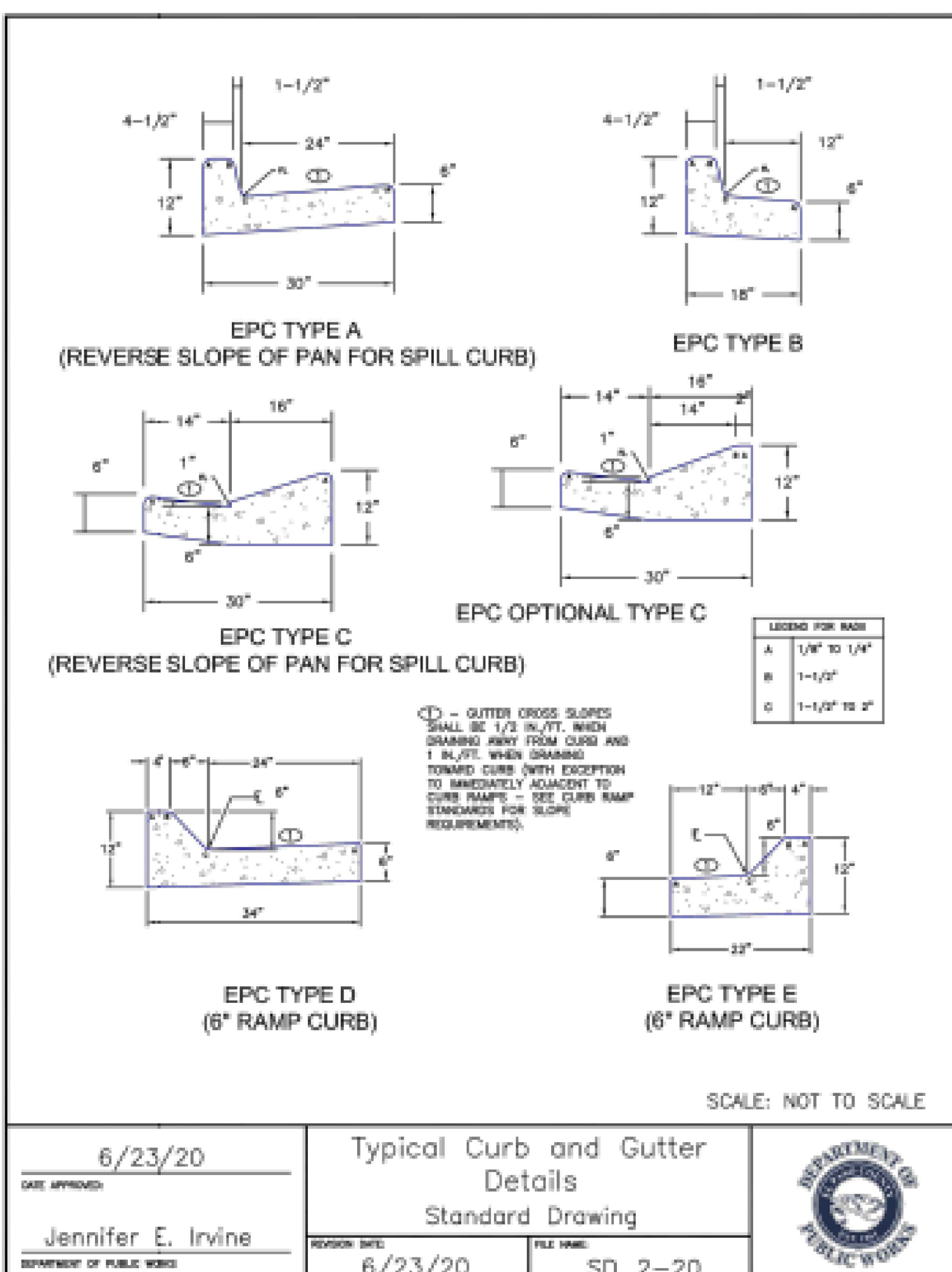
REGISTERED PROFESSIONAL ENGINEER
37160
02-21-24

REVISIONS:

NO.	DATE	BY	DESCRIPTION	APPROVED BY:

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CAUTION



LOT 1A-BENT GRASS EAST COMMERCIAL FIL. NO. 2A

212 N. WABATCH AVE, STE 305
COLORADO SPRINGS CO 80903
PHONE: 719.555.5485

CIVIL CONSULTANTS, INC.

FOR AND ON BEHALF OF MRS. CIVIL CONSULTANTS, INC.

PROFESSIONAL ENGINEER
NO. 37160
09-05-23

REVISIONS: NO. DATE: BY: DESCRIPTION:

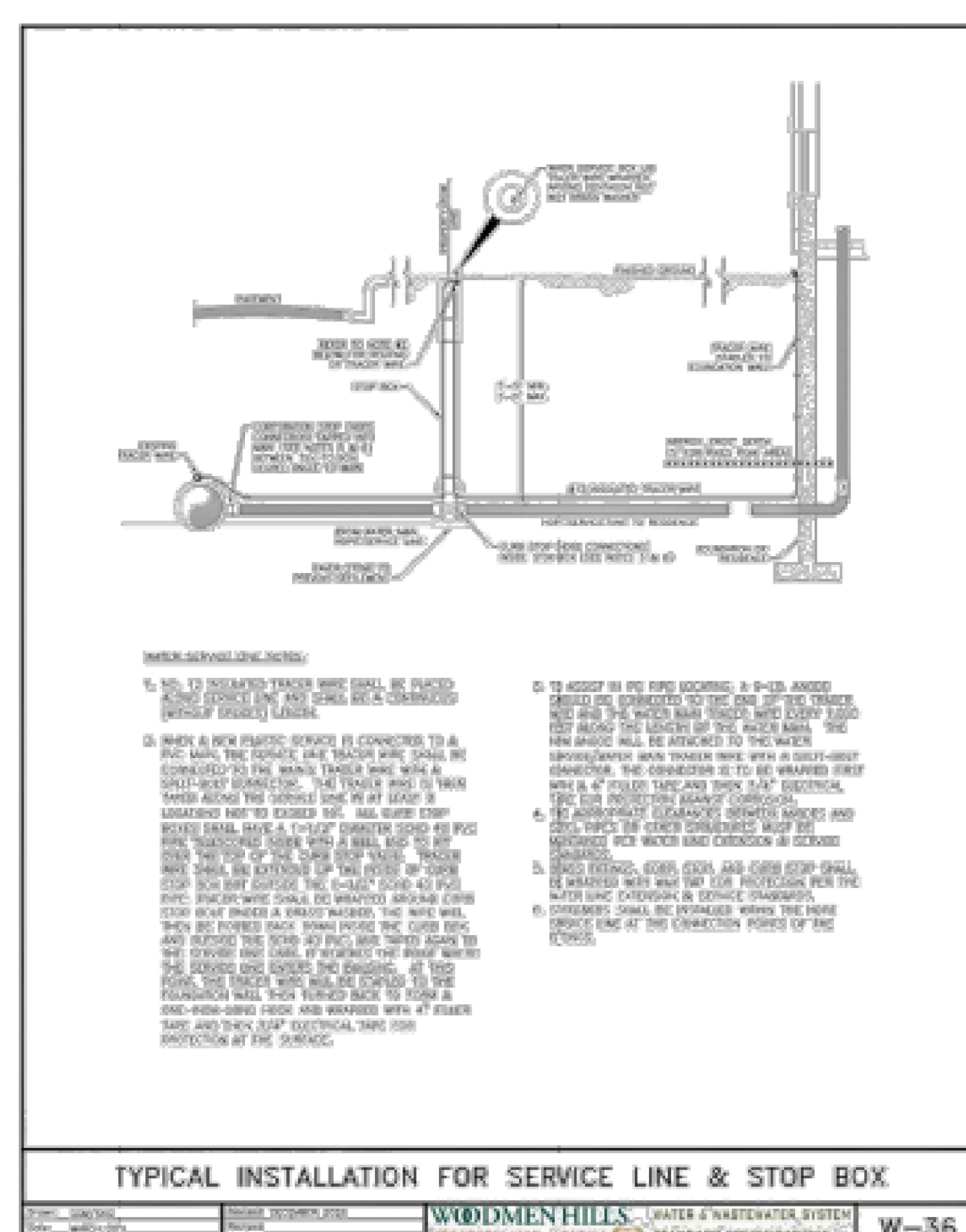
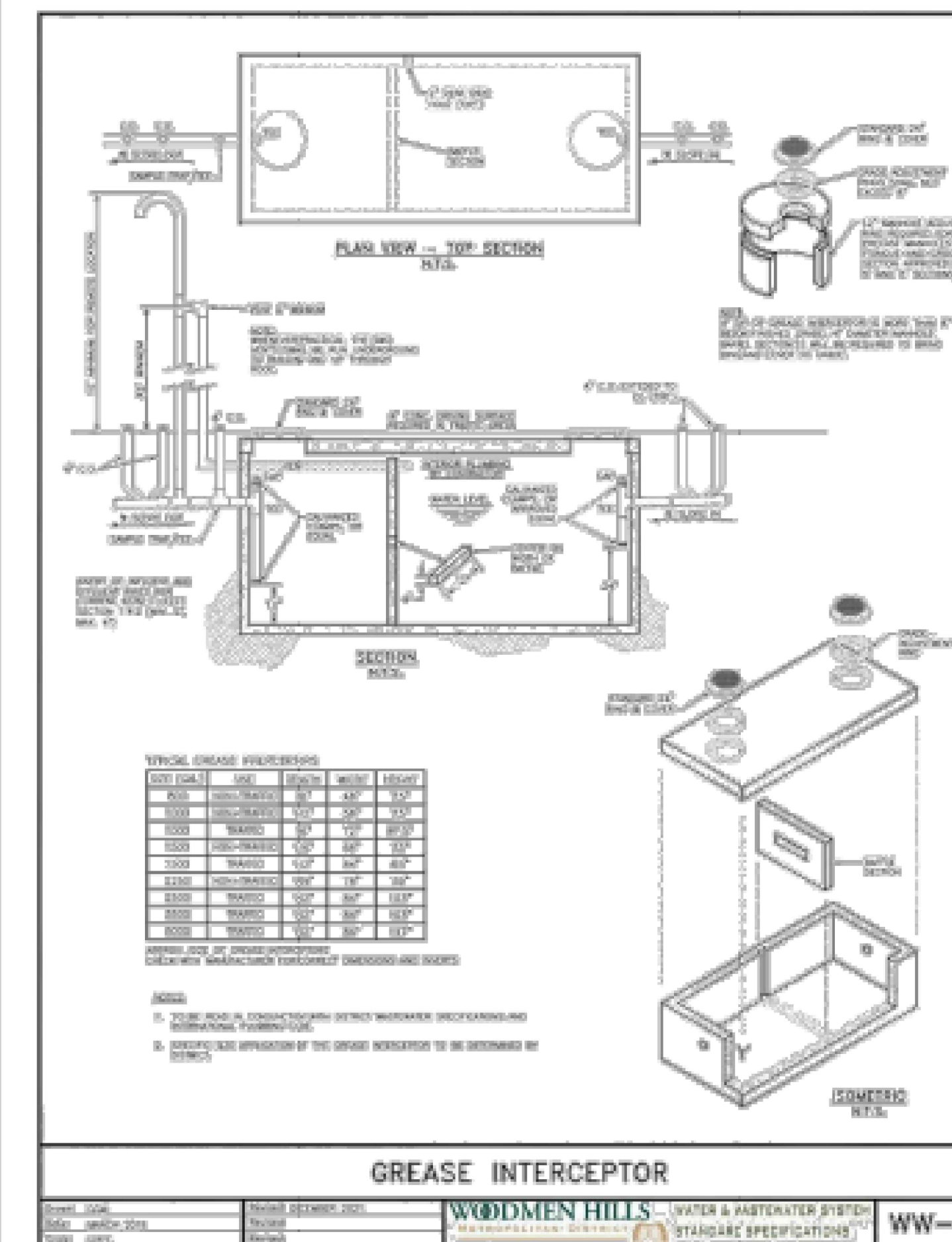
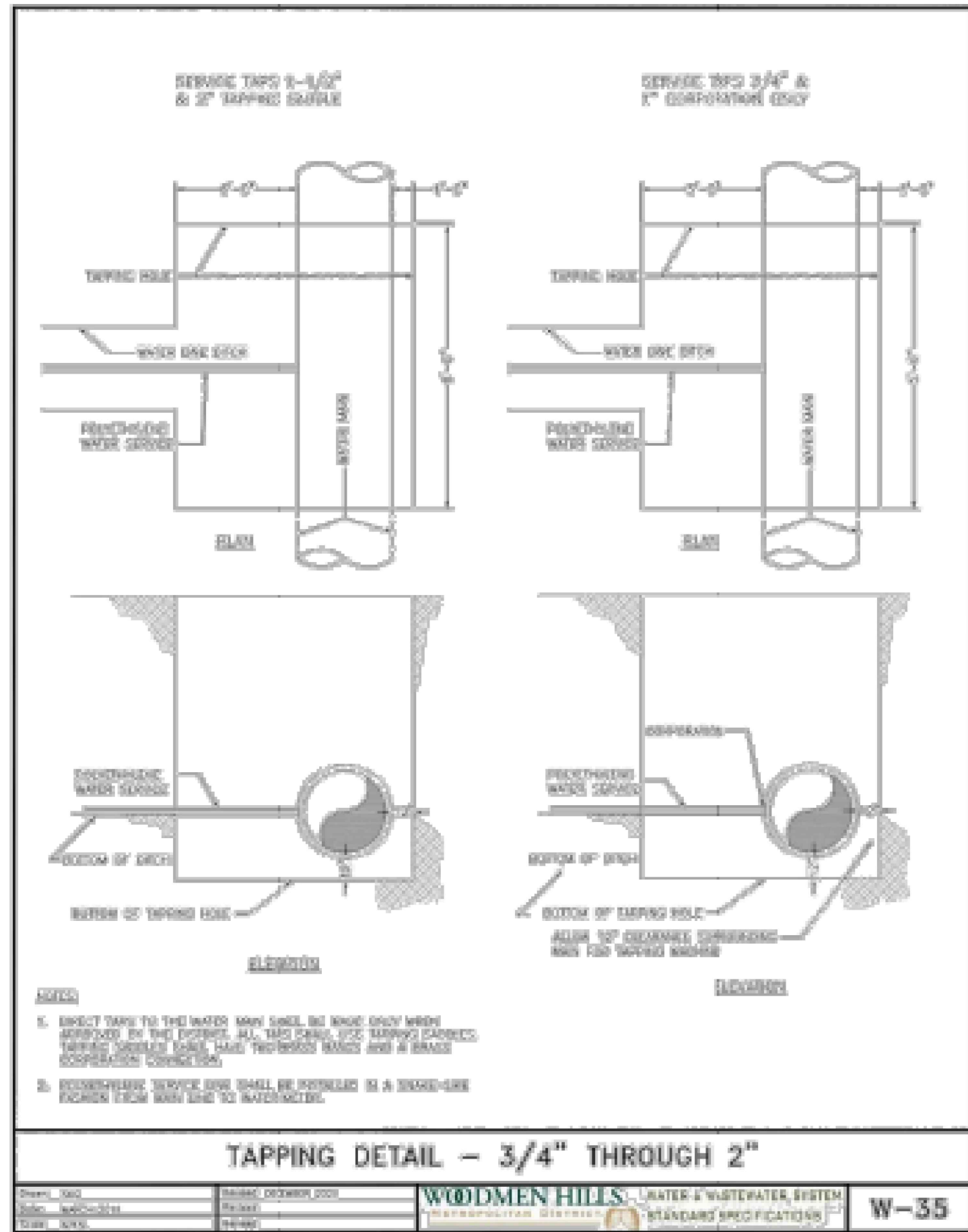
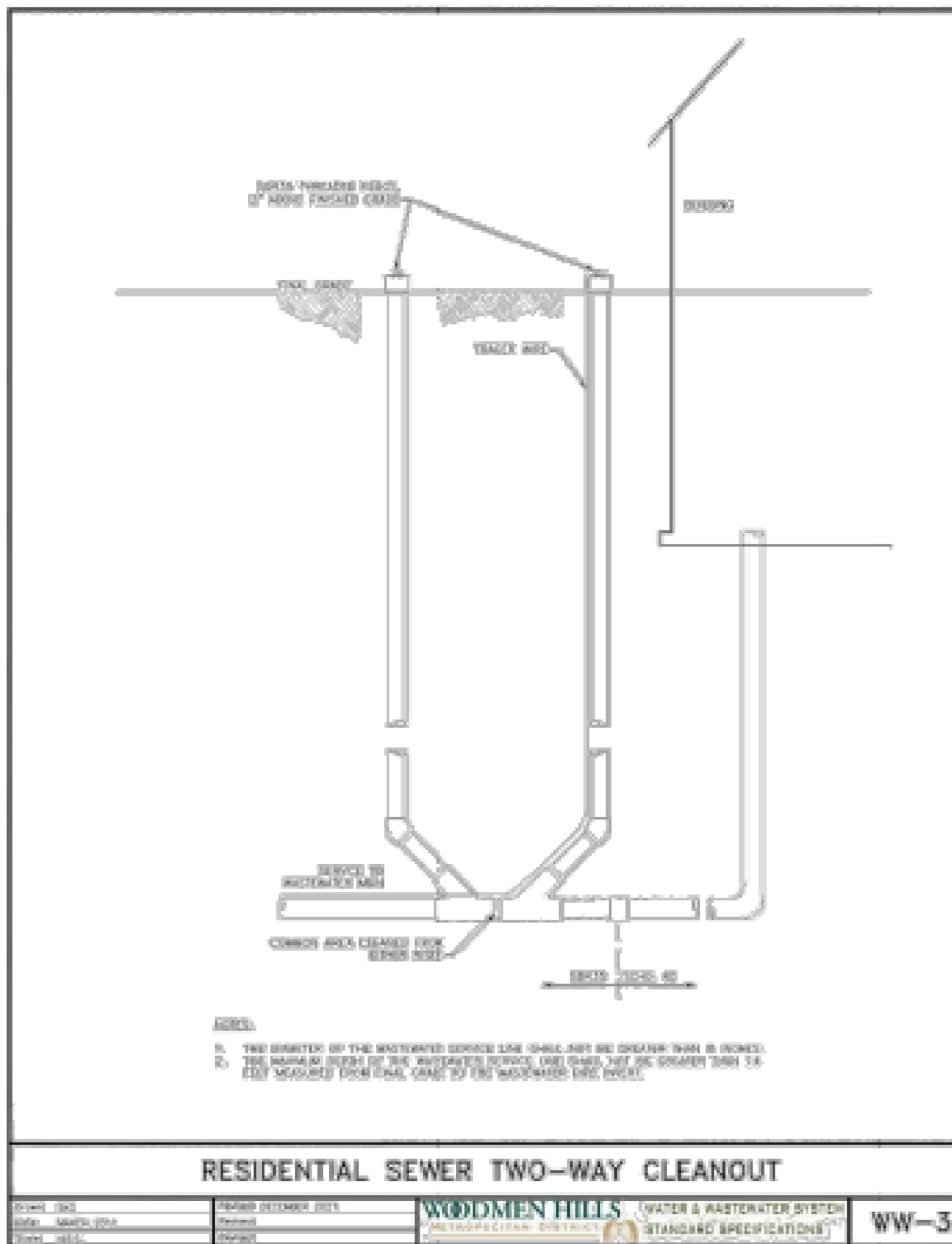
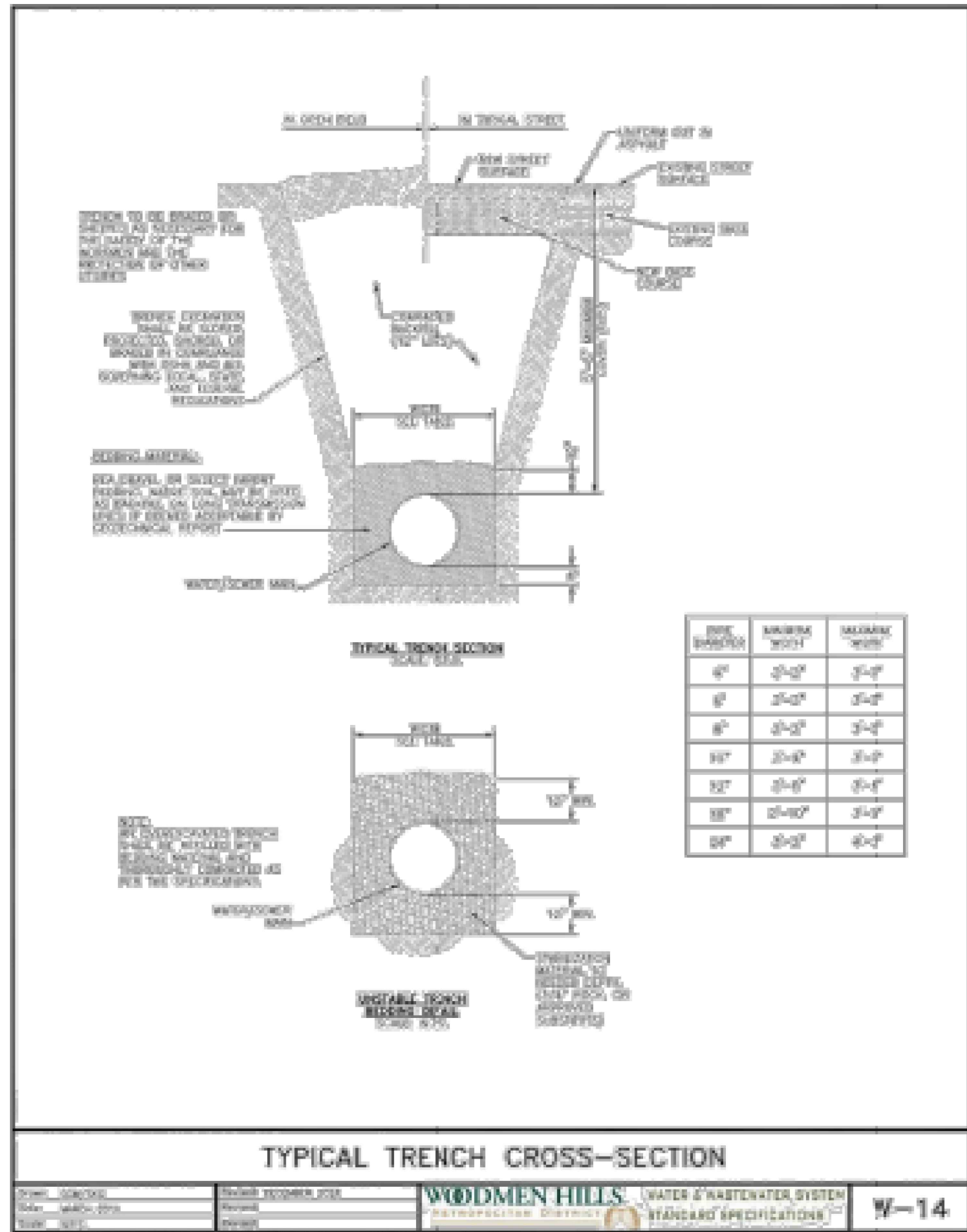
DATE: 06/27/2023
SCALE: HORIZONTAL: N/A VERTICAL: N/A
DESIGNED BY: VAS
DRAWN BY: TAU
CHECKED BY: VAS

SHEET 9 OF 10
UT02

CITY FILE NO. PPR2227

CAUTION

File: c:\7010a-bent grass replat-dunkin donuts\dwg\Utility\UT02-03.dwg Plotstamp: 6/27/2023 2:07 PM



LOT 1A-BENT GRASS EAST COMMERCIAL FIL. NO. 2A

UTILITY DETAILS

PROJECT NO. 70-110
 SCALE: HORIZONTAL: N/A
 VERTICAL: N/A
 DATE: 06/27/2023
 SHEET 10 OF 10
 UT03

DESIGNED BY: VAS
 DRAWN BY: TAU
 CHECKED BY: VAS

2120 N. WABATCH AVE., STE 303
 COLORADO SPRINGS, CO 80903
 PHONE: 719.555.5485

CIVIL CONSULTANTS, INC.

VIRGIL A. SANCHEZ, COLORADO, P.E. NO. 37160

FOR AND ON BEHALF OF VAS CIVIL CONSULTANTS, INC.

NO. DATE: [] BY: [] DESCRIPTION: [] APPROV'D. BY: [] DATE: []

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CAUTION