

**STANDARD PLAN NOTES:**

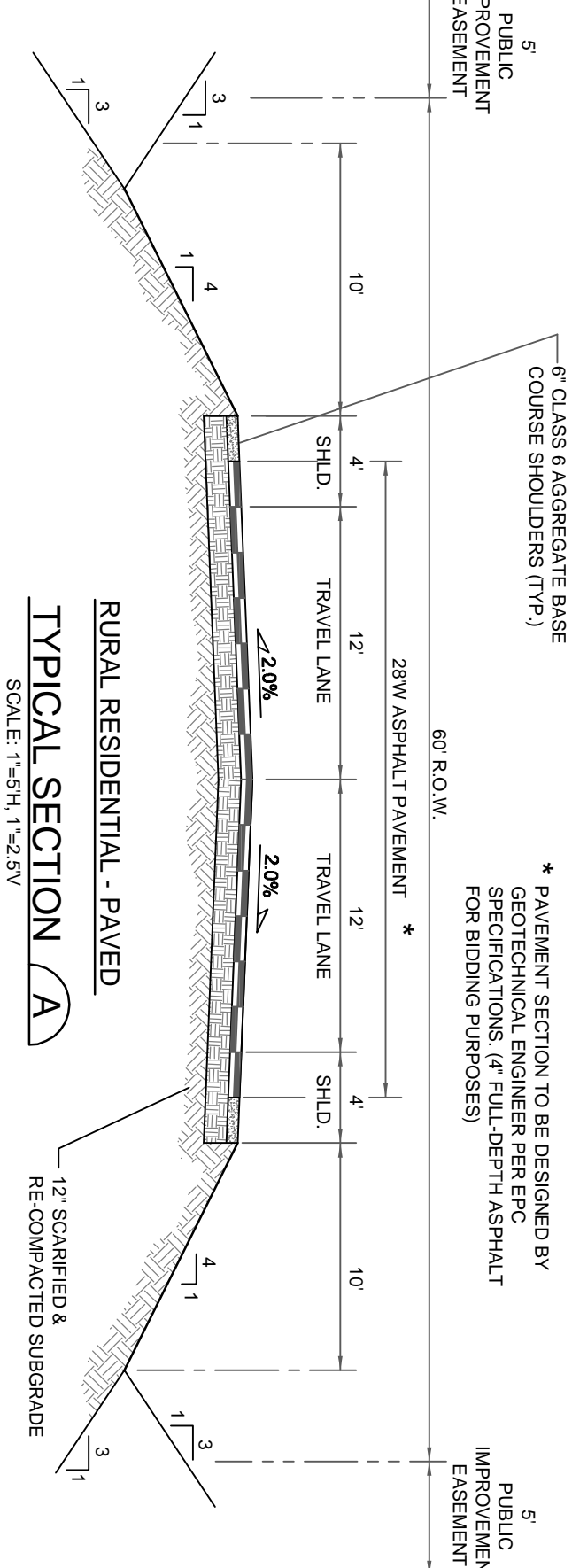
1. THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE PRELIMINARY PLAN FOR THIS SUBDIVISION AND ARE ON FILE AT THE COUNTY PLANNING & COMMUNITY DEPARTMENT: TRANSPORTATION IMPACT STUDY; DRAINAGE REPORT; WATER RESOURCE REPORT; WASTEWATER DISPOSAL REPORT.
2. ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER SPECIFICALLY NOTED ON THE PLAN SHALL BE MAINTAINED BY THE LOT OWNERS UNLESS OTHERWISE INDICATED. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPED THE FLOW OR RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
3. UNLESS OTHERWISE INDICATED, ALL SIDE AND REAR LOTS WILL BE PLATTED WITH A 10 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT. ALL FRONT PROPERTY LINES EXCEPT SUBDIVISION BOUNDARIES WILL BE PLATTED WITH A 30 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT. THE SOLE RESPONSIBILITY FOR MAINTENANCE OF THESE EASEMENTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNERS.
4. DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEWS AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WATER CONSERVATION AND WASTE WATER SERVICE REGARDING THE UNAPPROVED SPECIES LIST PARTICULARLY AS RELATED TO THE LISTED SPECIES IDENTIFIED IN THE PROJECT'S ENVIRONMENTAL ASSESSMENT.
5. NO DRIVEWAY SHALL BE ESTABLISHED UNLESS AN ACCESS PERMIT HAS BEEN GRANTED BY EL PASO COUNTY.
6. MANHOLES SHALL BE INSTALLED IN ACCORDANCE WITH ALL EL PASO COUNTY AND US DEPARTMENT OF TRANSPORTATION STANDARDS.
7. EXCEPT AS OTHERWISE NOTED ON THE PRELIMINARY PLAN, INDIVIDUAL LOT PURCHASES ARE RESPONSIBLE FOR CONSTRUCTING DRIVEWAYS, INCLUDING NECESSARY DRAINAGE CUTVEYS PER LAND DEVELOPMENT CODE SECTION 6.3.C.2 AND 6.2.2.C.3. DUE TO THEIR LENGTH, SOME OF THE DRIVEWAYS WILL NEED TO BE APPROVED BY THE DONALD WESCOTT FIRE PROTECTION DISTRICT.
8. BUILDING SETBACKS FOR FRONT, SIDE AND REAR YARDS - 25' UNLESS OTHERWISE INDICATED ON THE PRELIMINARY PLAN.

**DEVELOPMENT NOTES:**

1. TRACT A - PRIVATE OPEN SPACE AND DRAINAGE DETENTION IS TO BE OWNED AND MAINTAINED BY THE OFFICE/COMMERCIAL, AREA PROPERTY OWNERS ASSOCIATION AND SUBJECT TO APPROPRIATE DETENTION POND AND BMP MAINTENANCE AGREEMENTS.
2. THE DEVELOPER INTENDS TO PAY SCHOOL FEES IN LIEU OF LAND DEDICATION AND TO PAY REGIONAL PARK FEES IN LIEU OF LAND DEDICATION.
3. 'NO-BUILD AREAS': NO PERMANENT DWELLING UNIT, WATER WELL OR WASTEWATER TREATMENT SYSTEM MAY BE CONSTRUCTED IN 'NO-BUILD AREAS' INDICATED ON THIS PRELIMINARY PLAN INCLUDING ANY PERMANENT STRUCTURE, TEMPORARY STRUCTURE, DRAINAGE FACILITIES AND UNDERGROUND UTILITIES LOCATED WITHIN PLATTED PLATTED EASEMENTS ARE ALLOWED WITHIN THIS AREA.
4. THERE SHALL BE NO DRIVEWAY ACCESS ONTO HIGHWAY 83 OR HODGEN ROAD.
5. WATER TO BE PROVIDED VIA INDIVIDUAL ON-SITE WELLS.
6. WASTEWATER TO BE PROVIDED VIA INDIVIDUAL ON-SITE SEWAGE TREATMENT PLANTS.
7. THIS PROPERTY IS LOCATED WITHIN AND SERVICED BY MOUNTAIN VIEW/ELECTRIC ASSOC SERVICE DISTRICT, THE DONALD WESCOTT FIRE PROTECTION DISTRICT, THE LEWIS-PALMER SCHOOL DISTRICT NO. 38 AND THE BLACK HILLS ENERGY CORPORATION SERVICE DISTRICT.
8. THERE SHALL BE NO DRIVEWAY ACCESS ONTO ROLLIN RIDGE ROAD OR HIGHWAY 83.
9. THE PROPOSED MEDIAN OF THE ROLLIN RIDGE ROAD SHALL BE APPROVED BY THE ROLLIN RIDGE ROAD DISTRICT.
10. ALL PROPERTY WITHIN THIS SUBDIVISION IS SUBJECT TO ROAD IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM ( RESOLUTION NO. 12-382) , AS AMENDED, AT THE TIME OF BUILDING PERMIT APPLICATION.
11. ALL ROADWAYS AND DRAINAGE FACILITIES LOCATED WITHIN DEDICATED COUNTY RIGHT-OF-WAYS SHALL BE CONSTRUCTED TO EL PASO COUNTY STANDARDS AND SHALL BE OWNED AND MAINTAINED BY EL PASO COUNTY.
12. THE LANDSCAPED MEDIAN AT THE SOUTH SIDE OF THE INTERSECTION OF HODGEN ROAD AND ROLLIN RIDGE ROAD WILL REQUIRE BIOC AGREEMENT AND APPROVAL AT THE TIME OF FINAL PLAN APPROVAL.

**WILDLAND FIRE INFORMATION**

AT THE TIME OF APPROVAL OF THIS PROJECT, THIS PROPERTY IS LOCATED WITHIN THE DONALD WESCOTT FIRE PROTECTION DISTRICT, WHICH HAS ADOPTED A FIRE CODE REQUIRING RESIDENTIAL FIRE SPRINKLER REQUIREMENTS FOR STRUCTURES OVER 4000 SQUARE FEET IN SIZE AND OTHER FIRE MITIGATION REQUIREMENTS DEPENDING UPON THE LEVEL OF FIRE RISK ASSOCIATED WITH THE PROPERTY AND STRUCTURES. THE OWNER OF ANY LOT SHOULD CONTACT THE FIRE DISTRICT TO DETERMINE THE EXACT DEVELOPMENT REQUIREMENTS. THE FIRE DISTRICT'S FIRE CODE REQUIRING RESIDENTIAL FIRE SPRINKLERS IS RECOMMENDED TO BE ADOPTED TO THE PROPOSED WILDLAND FIRE BREAK PROVISIONS AS RECOMMENDED BY THE CSFS AND ILLUSTRATED THROUGH PUBLICATIONS AVAILABLE THROUGH THE CSFS.



**GEOLOGY STATEMENT**

PORTIONS OF THE FOLLOWING LOTS HAVE BEEN FOUND TO BE IMPACTED BY GEOTECHNICAL HAZARDS. MITIGATION MEASURES AND A MAP OF THE HAZARD AREA CAN BE FOUND IN THE SOILS, GEOLOGY, HAZARD AND WASTE WATER STUDY FOR THE ROLLIN RIDGE SUBDIVISION DATED NOV 24, 2017.

AREAS OF SEASONALLY SHALLOW GROUND WATER: TRACT 'B' PARCEL NO. 612700064 - PARCEL A, TRACT 'B', LOT 1, LOT 3, LOT 10, LOT 11, LOT 12 AND LOT 16

**PROPERTY OWNERS**

TC&C, LLC  
CARL TILGSE, MANAGING MEMBER  
17512 COLONIAL PARK DRIVE  
MONUMENT, CO 80132

**EL PASO COUNTY PARCEL NUMBERS**

PARCEL NO. 612700066 - PARCEL A  
PARCEL NO. 612700064 - PARCEL B

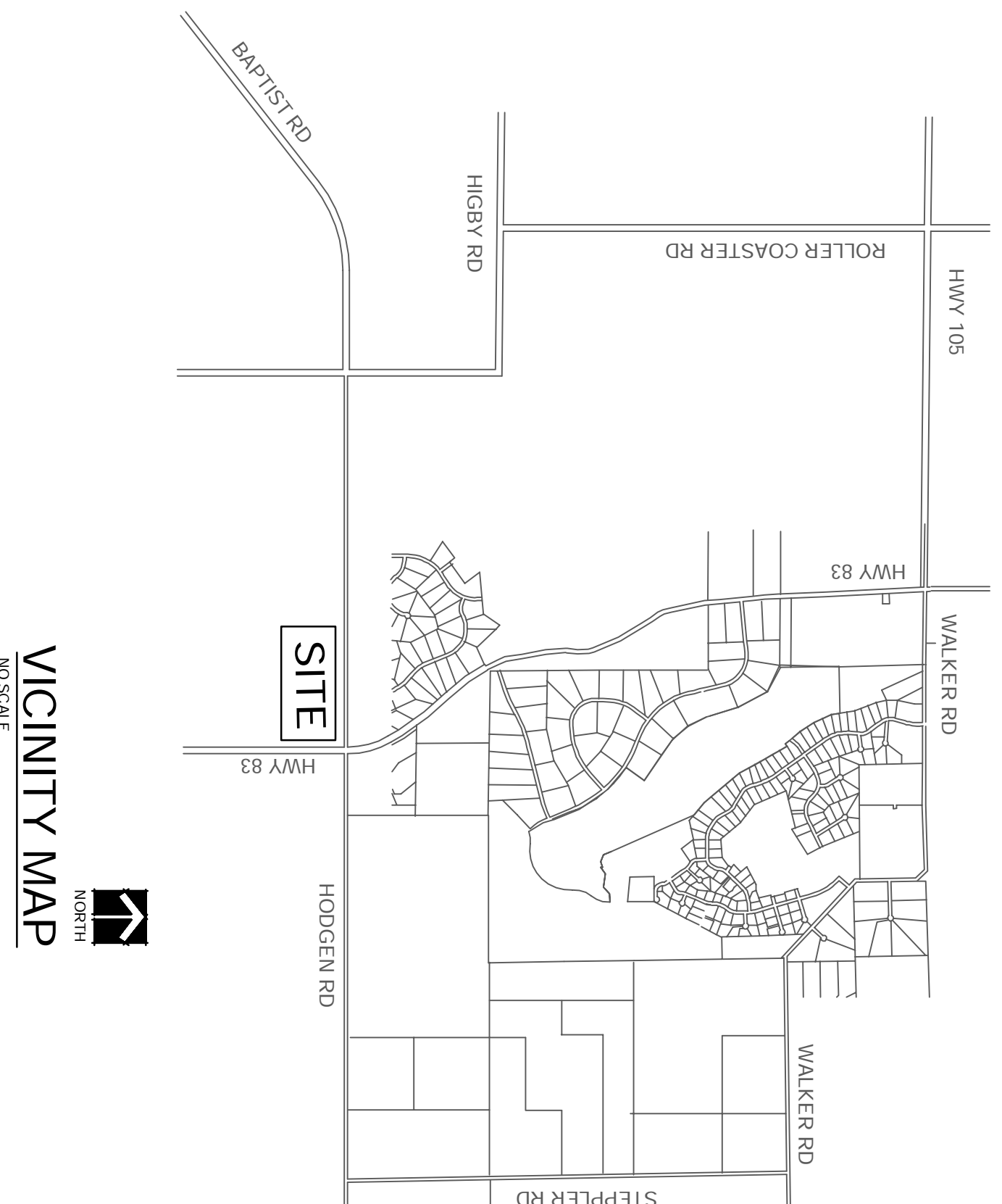
**DEVELOPMENT DATA**

SINGLE FAMILY LOTS - 16 LOTS - 44.9 AC (79%)  
TRACT B - OFFICE/COMMERCIAL - 5.5 AC (10%)  
(SEE PLD DEVELOPMENT PLANS)  
ROW DEDICATION (HWY 83 & HODGEN) - 3.3 AC (6%)  
INTERIOR 60 ROW - 1.859 LF - 2.5 AC - (4%)  
TRACT A - DRAINAGE - 0.8 AC (1%)  
TOTAL - 57.0 AC

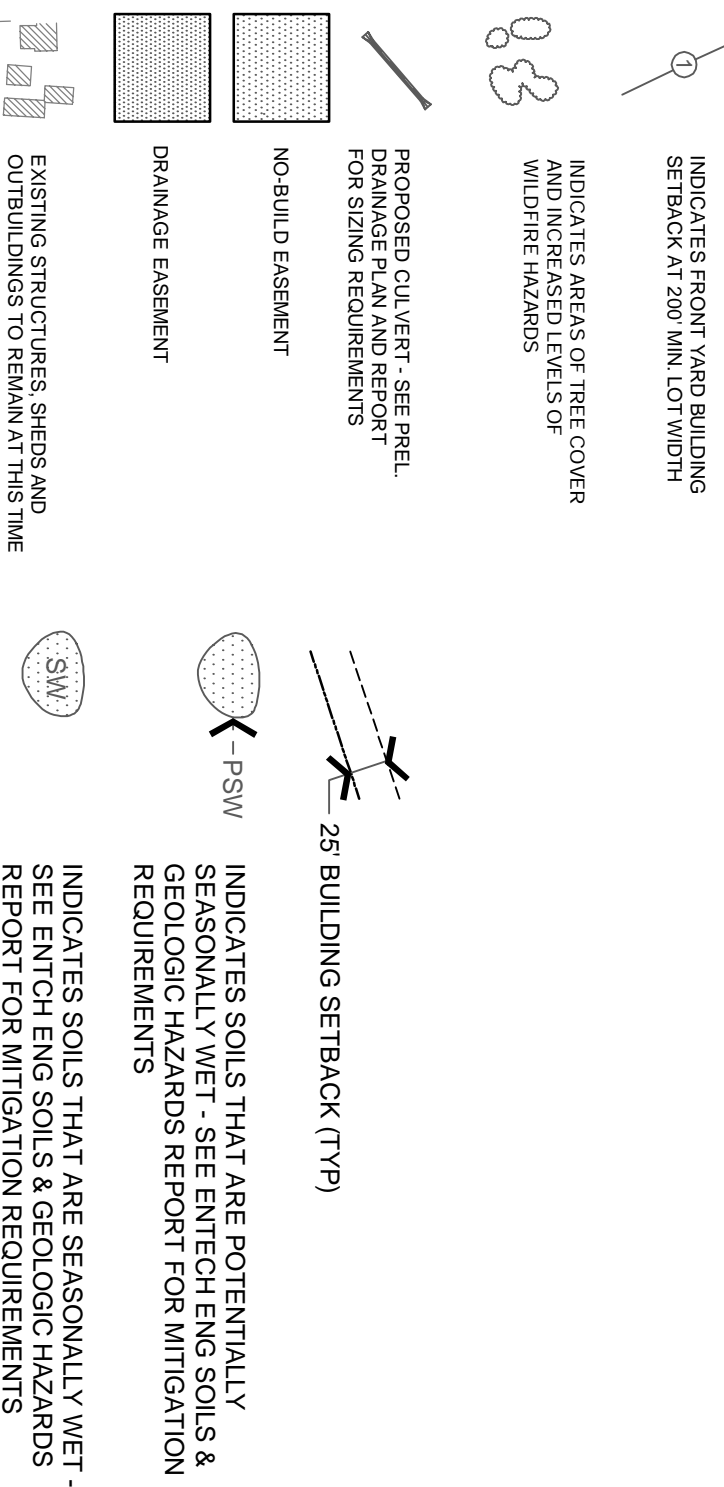
**DEVELOPMENT CRITERIA (SINGLE FAMILY LOTS)**

- MAX. BUILDING HEIGHT - 30' (AS MEASURED PER EL PASO CO LDC)
- MIN. LOT SIZE - 2.5 AC
- GR DENSITY (LESS OFFICE/COMM) - 1 LOT / 3.21 AC
- DRAINAGE & UTILITY EASEMENTS (UNLESS OTHERWISE INDICATED)
- FRONT - 15'
- REAR - 10'
- MAX. BUILDING HEIGHT - 30' (AS MEASURED PER EL PASO CO LDC)
- MIN. LOT SIZE - 2.5 AC
- GR DENSITY (LESS OFFICE/COMM) - 1 LOT / 3.21 AC
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- DRAINAGE & UTILITY EASEMENTS (UNLESS OTHERWISE INDICATED)
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Commercial lot information still has not been provided. Revise Accordingly!



**PLAN SYMBOLS**



**PRELIMINARY PLAN LEGAL DESCRIPTION**

PARCEL NO. 612700064 (SEE SHEET NO. 2)  
LEGAL DESCRIPTION - PARCEL 'B'  
ROLLIN RIDGE ESTATES

That portion of the North Half of the North Half of Section 27, Township 11 South, Range 66 West of the 6<sup>th</sup> P.M., El Paso County Colorado described as follows:

Basis of bearings is the north line of said Section 27, monumented at its west end with a 3 1/4 inch aluminum cap stamped with PLS 17496 and at its east end with an illegible 3 inch brass cap. Said line bears S 88 degrees 54 minutes 14 seconds E, 5284.06 feet.

Commenting at the northwest corner of said Section 27:

1. thence S 88 degrees 54 minutes 14 seconds E, along the north line of said Section, 1974.02 feet to the northwest corner of the East Half of the Northeast Quarter of the Northwest Quarter of said Section 27;
2. thence S 0 degrees 06 minutes 40 seconds E, along the west line of said East Half, 50.04 feet to the southwest corner of a parcel described at Reception number 206076688, said point also being the point of beginning of the parcel to be described;
3. thence S 0 degrees 06 minutes 40 seconds E, continuing along the west line of said East Half, 1262.73 feet to the south line of said North Half of the North Half, said line being coincident with the north line of Rollin Ridge Rancheros;
4. thence S 89 degrees 30 minutes 28 seconds E, along said south line, 443.60 feet;
5. thence N 0 degrees 00 minutes 00 seconds W, 565.28 feet;
6. thence N 90 degrees 00 minutes 00 seconds E, 454.78 feet;
7. thence S 0 degrees 00 minutes 00 seconds W, 127.11 feet;
8. thence N 90 degrees 00 minutes 00 seconds W, 340.99 feet to said south line;
9. thence S 89 degrees 30 minutes 28 seconds E, 340.99 feet to the southeast corner of the Northeast Quarter of the Northwest Quarter of the Northeast Quarter of said Section 27, also being the westerly right of way line of State Highway No. 83;
11. thence N 0 degrees 34 minutes 12 seconds W, along said right of way line, 393.03 feet to the most southerly corner of a parcel described in Book 2035 at Page 536;
12. thence N 2 degrees 29 minutes 28 seconds W, along the west line of said parcel, 870.43 feet to the south line of the north 30 feet of said Section 27;
13. thence N 88 degrees 54 minutes 17 seconds W, along the south line 866.46 feet to the northeast corner of a parcel described at Reception number 206076688;
14. thence S 1 degree 05 minutes 43 seconds W, along the east line of said parcel, 20.00 feet to the southeast corner thereof;
15. thence N 88 degrees 54 minutes 17 seconds W, along the south line of said parcel, 430.09 feet to the west line of said Northwest Quarter of the Northeast Quarter and the southeast corner of said parcel described at Reception number 206076688;
16. thence N 88 degrees 54 minutes 17 seconds W, along the south line of said parcel, 658.10 feet to the point of beginning.

**PRELIMINARY PLAN LEGAL DESCRIPTION**

PARCEL NO. 612700066 (SEE SHEET NO. 2)

LEGAL DESCRIPTION - PARCEL 'A'

ROLLIN RIDGE ESTATES

That portion of the North Half of the North Half of Section 27, Township 11 South, Range 66 West of the 6<sup>th</sup> P.M., El Paso County, Colorado described as follows:

Basis of bearings is the north line of said Section 27, monumented at its west end with a 3 1/4 inch aluminum cap stamped with PLS 17496 and at its east end with an illegible 3 inch brass cap. Said line bears S 88 degrees 54 minutes 14 seconds E, 5284.06 feet.

Commenting at the northwest corner of said Section 27:

1. thence S 88 degrees 54 minutes 14 seconds E, along the north line of said Section, 1974.02 feet to the northwest corner of the East Half of the Northeast Quarter of the Northwest Quarter of said Section 27;
2. thence S 0 degrees 06 minutes 40 seconds E, along the west line of said East Half, 1312.77 feet to the south line of said North Half of the North Half, said line being coincident with the north line of Rollin Ridge Rancheros;
3. thence S 89 degrees 30 minutes 28 seconds E, along said south line, 443.60 feet to the point of beginning of the parcel to be described;
4. thence N 0 degrees 00 minutes 00 seconds W, 565.28 feet;
5. thence S 90 degrees 00 minutes 00 seconds E, 454.78 feet;
6. thence S 0 degrees 00 minutes 00 seconds W, 247.11 feet;
7. thence N 90 degrees 00 minutes 00 seconds W, 127.15 feet;
8. thence S 0 degrees 00 minutes 00 seconds W, 340.99 feet to said south line;
9. thence N 89 degrees 30 minutes 28 seconds W, along said south line, 327.64 feet to the point of beginning.

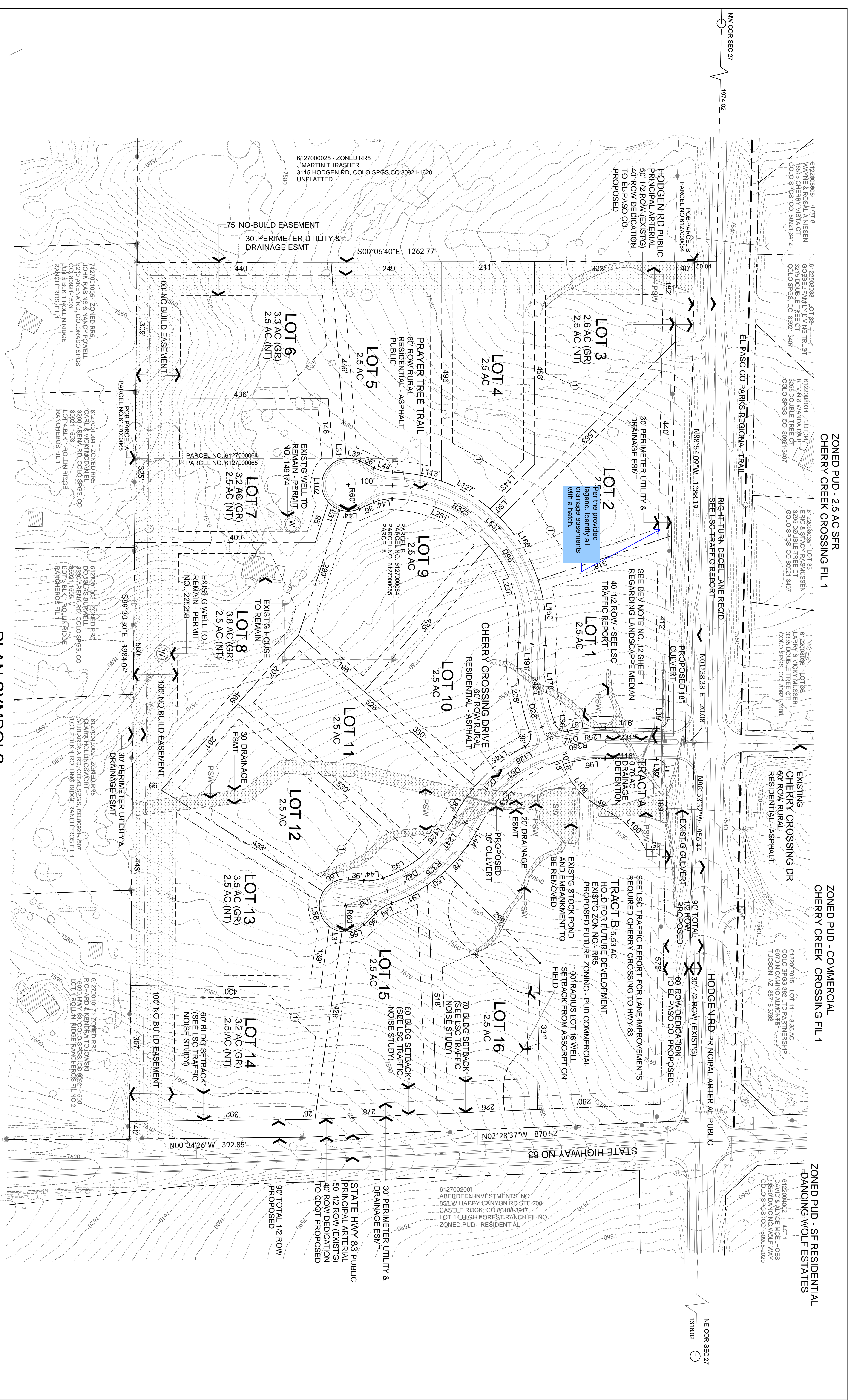
**PRELIMINARY PLAN**  
**ROLLIN RIDGE ESTATES**  
EL PASO COUNTY, COLORADO  
**TC & C, LLC**  
17572 COLONIAL PARK DRIVE MONUMENT, CO 80132-2209

**LRA**  
LAND RESOURCE ASSOCIATES  
6726 MOUNTAIN RD.  
MONUMENT, CO 80132  
719-544-2299

ISSUED FOR COUNTY REVIEW	project number
computer file	
issue date	DEC 18, 2017
drawn by	DFJ
checked by	
reference	MAY 2, 2018

sheet number  
**1**  
OF TWO  
P&C PROJECT NO.  
SP-18-001

Name of Proposed subdivision needs to be centered on the top of each sheet



ZONED PUD - 2.5 AC SFR  
CHERRY CREEK CROSSING FIL 1

ZONED PUD - COMMERCIAL  
CHERRY CREEK CROSSING FIL 1

ZONED PUD - SF RESIDENTIAL  
DANCING WOLF ESTATES

**PLAN SYMBOLS**

- INDICATES FRONT YARD BUILDING SETBACK AT 200 MIN. LOT WIDTH
- EXISTING STRUCTURES, SHEDS AND OUTBUILDINGS TO REMAIN AT THIS TIME
- NO-BUILD EASEMENT  
Please make sure all hatch patterns are distinctly different.
- INDICATES SOILS THAT ARE POTENTIALLY SEASONALLY WET - SEE ENTECH ENG SOILS & GEOLOGIC HAZARDS REPORT FOR MITIGATION REQUIREMENTS
- INDICATES AREAS OF TREE COVER AND INCREASED LEVELS OF WILDFIRE HAZARDS
- PROPOSED CULVERT - SEE PREL. DRAINAGE PLAN AND REPORT FOR SIZING REQUIREMENTS
- INDICATES SOILS THAT ARE SEASONALLY WET - SEE ENTECH ENG SOILS & GEOLOGIC HAZARDS REPORT FOR MITIGATION REQUIREMENTS
- 25' BUILDING SETBACK (TYP)

**LRA**  
LAND RESOURCE ASSOCIATES  
9726 MOUNTAIN RD.  
COPPER PARK, CO 80609  
193-841-2289

**NORTH**

CONT. INT. - 2  
SCALE 1"=100'

**PRELIMINARY PLAN**  
**ROLLIN RIDGE ESTATES**  
EL PASO COUNTY, COLORADO  
TC & C, LLC  
17572 COLONIAL PARK DRIVE MONUMENT, CO 80132-2209

ISSUED FOR:	COUNTY REVIEW
PROJECT NUMBER:	
COMPUTER FILE:	
ISSUE DATE:	DEC 18, 2017
DRAWN BY:	DFJ
CHECKED BY:	
REVISIONS:	MAY 5, 2018

SHEET NUMBER:	2 OF TWO
P&CD PROJECT NO.:	SF18-001

# Markup Summary

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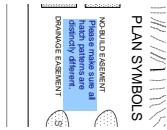
## dsdgrimm (2)

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Per the provided legend, identify all drainage easements with a hatch.



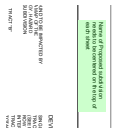
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**Page Label:** 2  
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**Author:** dsdgrimm  
**Date:** 6/15/2018 1:14:11 PM  
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Please make sure all hatch patterns are distinctly different.

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## dsdsevigny (3)

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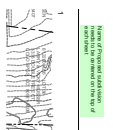
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Name of Proposed subdivision needs to be centered on the top of each sheet



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Commercial lot information still has not been provided. Revise Accordingly



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Name of Proposed subdivision needs to be centered on the top of each sheet