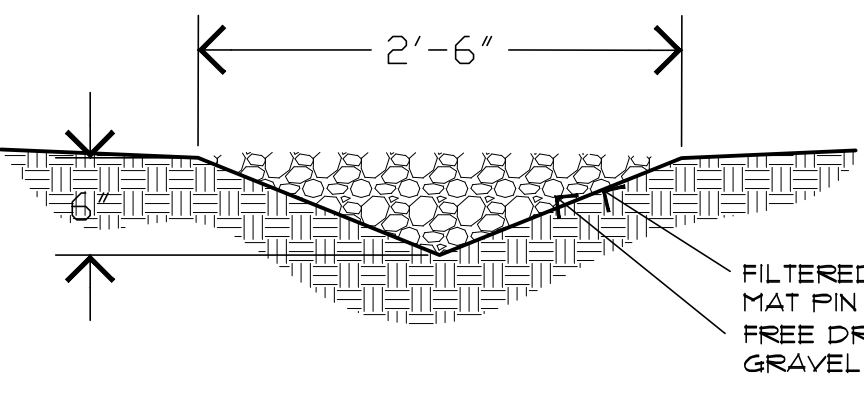


SITE PLAN GEOLOGY NOTES:
 PURSUANT TO THE RECOMMENDATIONS OF THE COLORADO GEOLOGICAL SURVEY COMPLETED 5/26/21, THE GEOLOGIC HAZARD STUDY COMPLETED BY RME ON 5/17/21, AND THE GEOLOGIC HAZARDS REPORT COMPLETED BY GEOQUEST ON 6/21/21, THE CONSTRUCTION OF THE PROPOSED RESIDENCE FOR THIS SITE WILL INCORPORATE RECOMMENDATIONS AS DESCRIBED IN THESE REPORTS. *SEE ROCK SWALE DETAIL BELOW*

- ROCKS AND BOULDERS THAT ARE DISTURBED OR BECOME UNSTABLE DURING CONSTRUCTION WILL BE PROPERLY REMOVED
- FOUNDATION EXCAVATIONS ARE INSPECTED FOR EVIDENCE OF FRACTURES, DISCONTINUITIES AND WEATHERED ZONES DURING THE OPEN HOLE OBSERVATIONS.



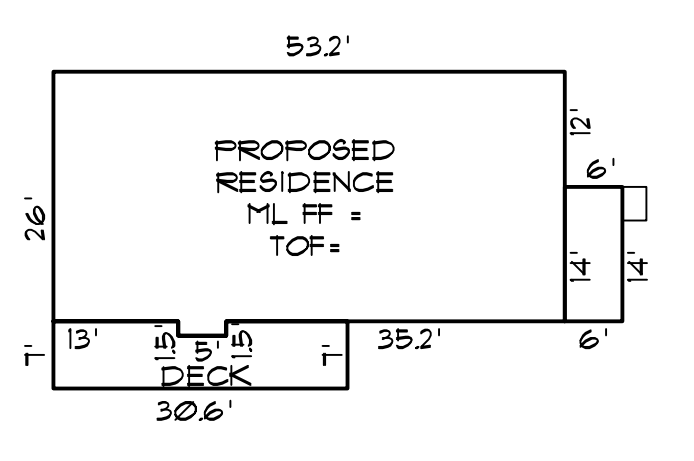
ROCK SWALE DETAIL
NO SCALE

NOTES TO SITE:

- THE SUBDIVISION HAS BEEN FOUND TO BE IMPACTED BY GEOLOGIC CONSTRAINTS, MITIGATION MEASURES AND EXPLANATION OF CONSTRAINTS IN THE AREA CAN BE FOUND IN THE GEOLOGIC HAZARD STUDY BY RME, REVISED 7/30/21, IN ADDITION TO THE GEOHAZARD REPORT BY GEOQUEST DATED 6/21/21. THESE REPORTS ARE AVAILABLE AT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT.
 - POTENTIALLY SEASONAL SHALLOW GROUNDWATER
 - LOOSE SOILS
 - EROSION
- REVEGETATION/LANDSCAPE PLAN:**
 - ALL DISTURBED AREAS WILL BE REVEGETATED WITH NATIVE GRASSES, INCLUDING AREAS ADJACENT TO FOUNDATION AND SPECIFICALLY OVER LEACH FIELD. TREES AND VEGETATION (EXISTING) TO BE REMOVED FROM WITHIN FOOTPRINT OF HOUSE AND SEPTIC ONLY OR PER WILDFIRE MITIGATION PLAN
 - PROPOSED RESIDENCE IS NOT WITHIN ANY ACTIVE DRAINAGES

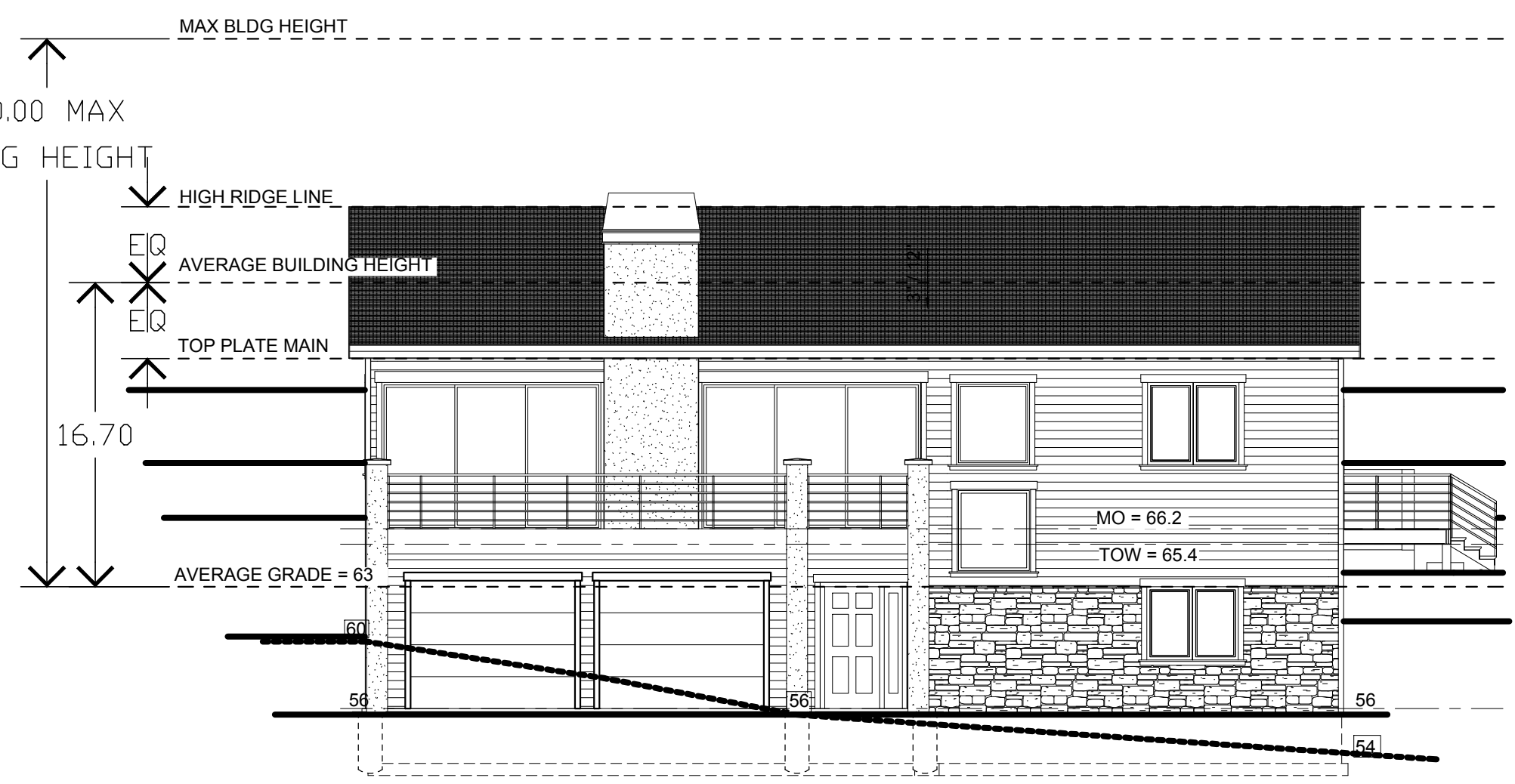
Approved
 By: Ryan Howser
 Date: 10/14/2022
 El Paso County Planning & Community Development

VICINITY MAP
NO SCALE

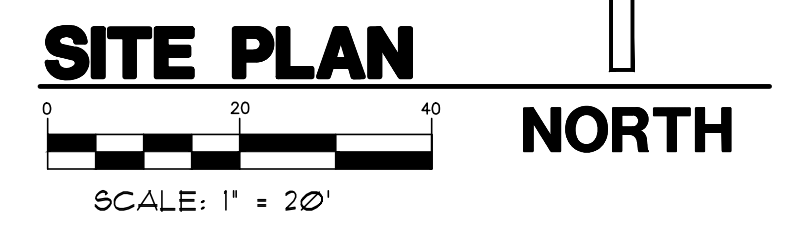


HOUSE FOOTPRINT
NO SCALE

AVERAGE GRADE:
 56x2 = 112
 10x2 = 140
 TOTAL = 252
 252/4 = 63 AVERAGE GRADE



FRONT ELEVATION
NO SCALE



SITE PLAN

SITE INFO:

ADDRESS:
5291 NEEPER VALLEY ROAD

LEGAL:
SITE S-124, CRYSTAL PARK IN THE CITY OF COLORADO SPRINGS EL PASO COUNTY, COLORADO.

SITE DATA:
 LOT SIZE = 50,499 SQFT
 BUILDING FOOTPRINT = 1,392 SQFT
 HOUSE = 1,392 SQFT
 DECKS = 792 SQFT
 TOTAL = 1,682 SQFT
 LOT COVERAGE = 6.5%
 ZONING = R-1-6000
 TAX SCHEDULE = 14110-00-066
 BUILDING HEIGHT = SEE ELEV'S

SITE NOTES:

- Topographic information is to be supplied by others. See below for info.
- Dashed lines indicate existing contours. Solid lines indicate proposed contours.
- Contractor to verify easements.
- Contractor to cut and fill areas and limit material and vehicle storage to the building areas in order to minimize vegetation and site disturbance.
- Final landscaping to be determined by the Contractor/Owner(s). It shall minimize impact to the site. All landscaping to be completed by the Contractor/Owner(s).
- Use wattles and silt fencing to minimize erosion during construction. And also stabilize area with seeded blankets for erosion control as necessary.
- Earth materials are not to be stockpiled on streets or sidewalks, but on site or staging areas.
- Contractor is required to provide positive drainage away from and around structure in all directions as shown.
- Any boulder retaining walls shown shall be 48" max high and 48"-60" min apart laterally if (2) or more retaining walls exist. Or retaining walls shall be engineered by a licensed CO soils engineer.
- General Contractor, Subcontractors, Suppliers, and Owner(s) shall familiarize themselves & verify all notes, dimensions and information on drawing(s) prior to starting construction. It shall be the responsibility of those parties to report any changes and/or discrepancies to the Designer. Questions regarding these drawings such as: drawing interpretation, dimensions, notes, scale and other similar questions shall be brought to the attention of the Designer immediately. In writing. Failure to do any of the above shall relieve the designer of any errors. Designer shall not be responsible for any changes not noted in writing to this plan.
- Contractor shall be familiar w/ the Crystal Park subdivision guidelines & architectural site committee requirements. Contractor shall adhere to all subdivision & local code/department requirements, refer to @2020 CPHA rules, regulations and policies for additional requirements.
- Revegetate disturbed slopes with compatible grass seed, including a min. of 20% annual rye grass. Areas adjacent to foundation & over leach field shall be included.
- Only remove trees & vegetation within bldg footprint & septic area, or per wildlife mitigation plan.
- Proposed residence is not within active drainages.
- See plan for distance to adjacent homes or structures.

SITE LEGEND:

- PROPERTY LINES & CORNERS
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - PROPOSED BOLDER RETAINING WALL
 - TREE
 - EXISTING SEPTIC
 - PROPOSED WELL LOCATION
 - EXISTING WATER WELL, WATER FOR HOME SITE 124 WILL BE PROVIDED BY A JOINT USE WELL AGREEMENT W/ SITE S-121 5291 NEEPER VALLEY RD
- [Symbol] = NATURAL GRADE
 [Symbol] = FINISH GRADE
 NO ROCK OUTCROPPING EXIST AT SITE

SITE TERMS:

- ABBREVIATIONS:**
- EQ = BOTTOM OF RETAINING WALL
 - EX = EXISTING TO REMAIN
 - LL = LOWER LEVEL
 - ML = MAIN LEVEL
 - (N) = NEW CONSTRUCTION
 - (R) = REMOVE
 - ROW = RIGHT OF WAY
 - SB = SETBACK
 - SQ. FT. OR SF = SQUARE FEET
 - TOF = TOP OF FOUNDATION
 - TOW = TOW OF RETAINING WALL
 - UL = UPPER LEVEL
 - WO = WALKOUT

REFERENCE INFO:

TOPO INFO:
 RAMPART SURVEYS INC.
 P.O. BOX 5101
 WOODLAND PARK, CO.
 PHONE *719.687.0920
 PROJECT #: 20425

REVISIONS

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 EMAIL: garcon@palacehomesinc.com

THE FRINDT RESIDENCE
 5291 NEEPER VALLEY ROAD
 COMPUTER FILE #22-2224

DRAWN BY: MDW
CHECKED BY: LGA
PLOT: 10/11/22 1:18 PM

SITE PLAN
VICINITY MAP
SITE NOTES

Sheet #
SP1
OF 1 Sheets