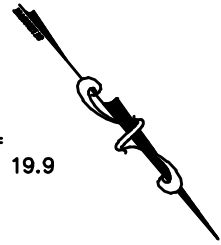




1690.1 T1 ELEVATION  
 AVERAGE FINISH GRADE = (AFG)  
 $AFG = \frac{(10.3)(4)}{4} = 10.3$   
 BUILDING HEIGHT = 19.4 + (SLAB - AFG) =  
 BUILDING HEIGHT = 19.4 + (10.8 - 10.3) = 19.9



Released for Permit

12/18/2024 9:12:11 AM

REGIONAL  
 Building Department  
 Amy  
 ENUMERATION

SFD241168

APPROVED  
 BESQCP

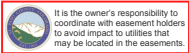
12/20/2024 9:32:30 AM  
 dsdyounger

EPC Planning & Community  
 Development Department

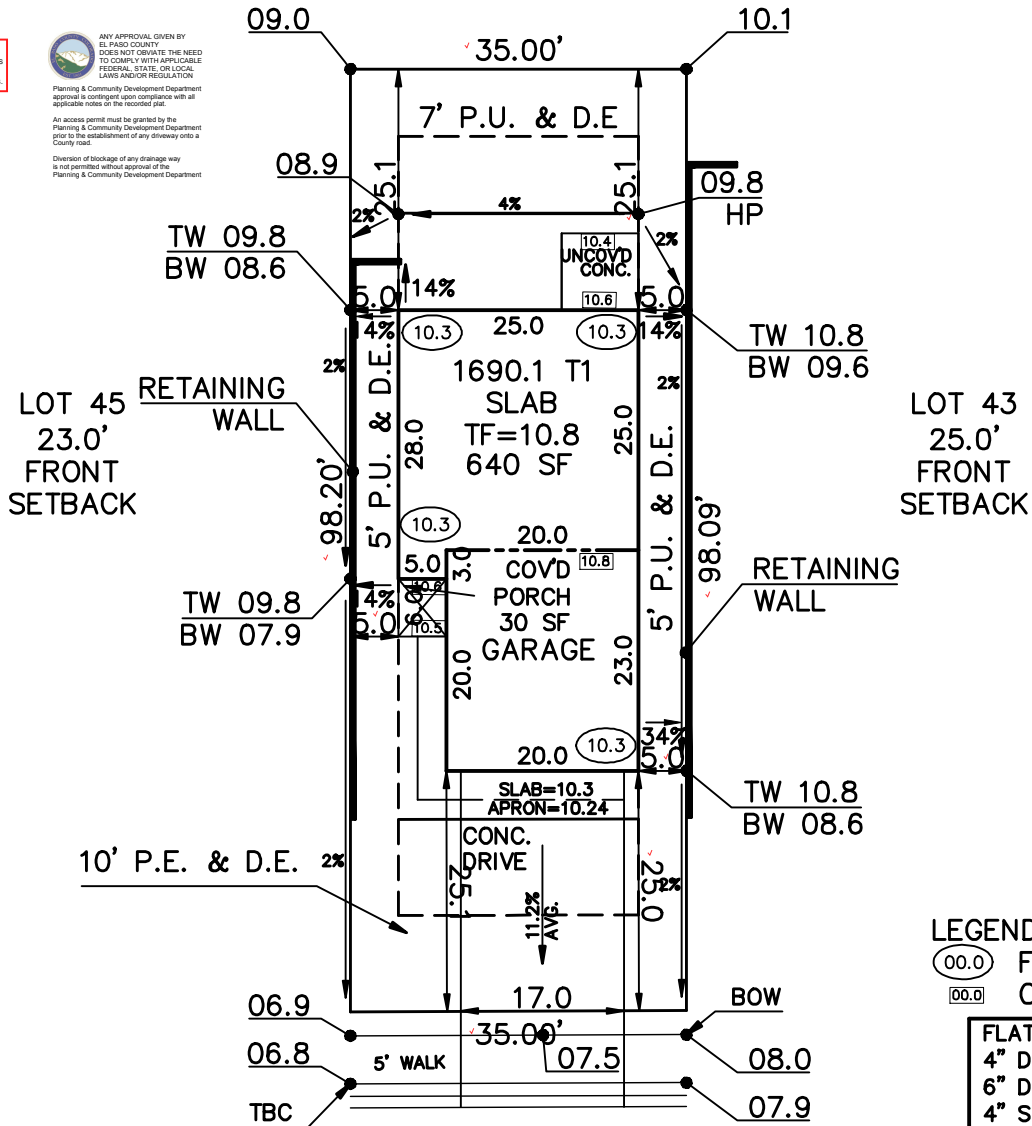
APPROVED  
 Plan Review

12/20/2024 9:32:36 AM  
 dsdyounger

EPC Planning & Community  
 Development Department



ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT OVIATE THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE OR LOCAL LAWS AND/OR REGULATION  
 Planning & Community Development Department approval is contingent upon compliance with all applicable notes on the recorded plat.  
 An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road.  
 Division of Issuance of any drainage way is not permitted without approval of the Planning & Community Development Department



LEGEND  
 (00.0) FINISH GRADE  
 (00.0) CONC. GRADE

FLAT WORK:  
 4" DRIVEWAY 468 SF  
 6" DRIVEWAY SF  
 4" SIDEWALK 90 SF  
 6" SIDEWALK 85 SF  
 PATIO 64 SF,  
 WALK 53 SF,  
 PORCH 30 SF

PLAT 15342

BLUE FEATHER LOOP  
 (50' PUBLIC R.O.W.)

ZONING PUD

SCHEDULE No. 5232410038

MINIMUM SETBACKS

FRONT 20' CORNER 15'  
 REAR 15' SIDE 5'

WARNING!

- LOCATE UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- THIS PLOT PLAN SHOWS IMPROVEMENTS AT GRADE ONLY. SEE FOUNDATION PLANS FOR STRUCTURAL INFORMATION

SITE DATA

LOT SQ. FT. = 3435  
 HOUSE SQ. FT. = 1130  
 COVERAGE = 32.9%  
 BLDG. HEIGHT = 19.9

SCALE: ...1"=20'

DRAWN BY: TAP

ASPEN LAND CONSULTANTS, LLC  
 11670 SILVER CHARM WAY  
 COLORADO SPRINGS, COLORADO 80921

( IN FEET )  
 1 inch = 20 ft.



PLOT PLAN

LEGAL DESCRIPTION

LOT 44  
 COPPER CHASE AT STERLING RANCH FILING No. 1  
 EL PASO COUNTY, COLORADO

ADDRESS

8730 BLUE FEATHER LOOP

PREPARED FOR  
 CHALLENGER  
 HOMES

TITLE CO. FILE NO.

DRAWING NAME

CC1-044

DATE

12-13-24

PROJECT NO.

# SITE



2023 PPRBC  
2021 IECC Amended

Parcel: 5232410038

Address: 8730 BLUE FEATHER LOOP, COLORADO SPRINGS

Plan Track #: 197104  Received: 18-Dec-2024 (AMY)

## Description:

### RESIDENCE

Type of Unit:

Garage	427	
Main Level	642	
Upper Level 1	1048	
	2117	Total Square Feet

## Required PPRBD Departments (2)

<b>Enumeration</b>  <b>APPROVED</b>  <b>AMY</b>  <b>12/18/2024 9:12:32 AM</b>	<b>Floodplain</b>  <b>(N/A) RBD GIS</b>
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## Required Outside Departments (1)

<b>County Zoning</b>  <b>APPROVED</b> <u>Plan Review</u> <i>12/20/2024 9:33:29 AM</i> <i>dsdyounger</i> <b>EPC Planning &amp; Community Development Department</b>
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Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.