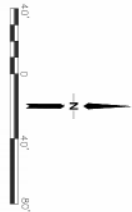


C1	59'21'51"	270.00'	279.75'
C2	9'33'20"	470.00'	78.38'

PCD FILE NO.: PPR-23-046



APPLICANT/PLAN PREPARER:
VERTEX CONSULTING SERVICES
 1011823
 719-733-8605
info.us/vertexusa.com

PARCEL SCHED #: 43000000635
OWNER: GORILLA CAPITAL CO
CONTACT: PH: 949-609-9492
 EM: nohan.steele@gorillacapital.com
gorillacapital.com
MAILING ADDRESS: RR-2.5
 14222775 ST (326.5 AC)
 UNDEVELOPED AREA, 217,260 SF (5.0 AC)

LEGAL DESCRIPTION:
 N2 SEC 5-13-44 EX THAT PT COVERED BY REC NO 215008985, 215008986, 219146505, 219146506 & THAT PT PLATTED TO SADDLEHORN RANCH FL NO 2

PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR APPROVAL:
Approved PCD Director
 By: *Steve Klyden*
 PCD Planning Manager
 Date: 08/18/2024
 El Paso County Planning & Community Development

DIRECTION: DATE:

USE	RATIO	REQUIRED	PROVIDED	ADA
RECREATION	1 SPACE PER 4 SEATS	77	78 (1.0%)	4

COVERAGE	SF	%
5 AC PARCEL	217,260	5.91%
PROPOSED BUILDING	12,000	3.04%
OTHER IMPROVEMENTS	67,814	20.04%
UNDEVELOPED AREA	45,613	20.04%
UNDEVELOPED	92,569	42.51%
DENSITY		100.00%

FOR REVIEW

NO.	REVISION/ISSUE	DATE

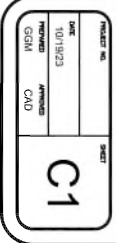
GENERAL NOTES

- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL APPLICABLE ACCESSIBILITY CRITERIA AND SPECIFICATION AND THE PROPOSED DESIGN STANDARDS AND GUIDELINES REQUIRED BY THE APPLICABLE AND STATES DEPARTMENT OF JUSTICE APPROVAL OF THIS PLAN BY THE APPLICANT IS BASED ON THE COMPLIANCE WITH THE ADA OR ANY OTHER APPLICABLE STATE OR FEDERAL REGULATIONS OR GUIDELINES OR WITH RESPECT TO SUCH LAWS.
- FEMA 100-FR FLOODPLAIN NOT APPROXIMATE AND MAY NOT BE ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND MAY NOT BE ALL SEE SEE DRAWINGS FOR GRADING AND EROSION CONTROL DETAILS INCLUDING UTILITY DETAILS.

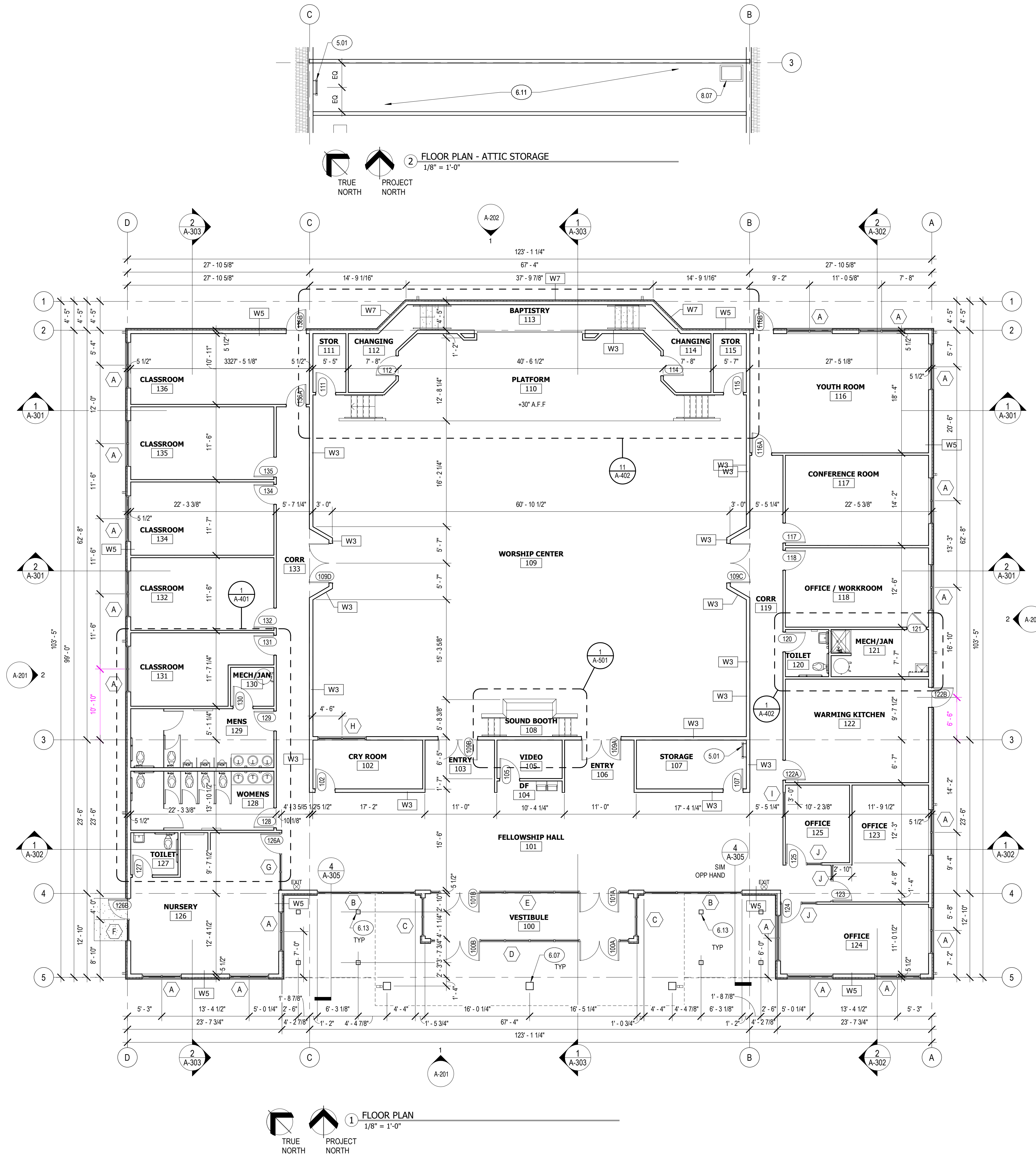
ROI PROPERTY GROUP
 NORWOOD BIBLE CHURCH
 SITE DEVELOPMENT PLAN

VERTEX CONSULTING SERVICES
 1011823
 719-733-8605
info.us/vertexusa.com

PROJECT NO.	
DATE	10/18/23
REVISED	
SCALE	AS SHOWN



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1 FLOOR PLAN
1/8" = 1'-0"

TRUE NORTH
PROJECT NORTH

2 FLOOR PLAN - ATTIC STORAGE
1/8" = 1'-0"

TRUE NORTH
PROJECT NORTH

GENERAL NOTES - FLOOR PLAN

1. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS.
2. DIMENSIONS ARE FROM FACE OF STUD, OR FACE OF MASONRY UNLESS NOTED OTHERWISE.
3. PROVIDE BLOCKING AS REQUIRED FOR SUPPORT OF SPECIALTIES AND EQUIPMENT.
4. SEE FINISH SCHEDULE FOR FINISH SPECIFICATIONS.
5. CONTRACTOR TO COORDINATE LOCATIONS OF ADDITIONAL PENETRATIONS THROUGH WALLS, FLOORS, AND ROOF AS REQUIRED.
6. ALL DIMENSIONS NOTED "CLR" OR "CLR" ARE FOR EQUIPMENT OR CODE CLEARANCE AND MUST BE STRICTLY MAINTAINED.
7. ALL ANGLES ARE 90 AND 45 DEGREES IN PLAN UNLESS OTHERWISE NOTED.
8. PROVIDE 48" STAINLESS STEEL CORNER GUARDS ON ALL OUTSIDE WALL CORNERS.
9. PROVIDE REDUCER STRIPS AT FLOOR TRANSITIONS OF UNEQUAL MATERIAL THICKNESS.

WALL TYPES

NOTE: ALL PARTITIONS ARE TYPE W1 UNLESS NOTED OTHERWISE.

- W0 2x4 STUDS AT 16" O.C.
- W1 2x4 STUDS AT 16" O.C., 5/8" TYPE X GYPSUM BOARD EACH SIDE, APPLY FINISH PER FINISH SCHEDULE, WALL EXTENDS 6" ABOVE CEILING
- W2 2x4 STUDS AT 16" O.C. WITH BATT INSULATION, 5/8" TYPE X GYPSUM BOARD EACH SIDE, APPLY FINISH PER FINISH SCHEDULE, WALL EXTENDS 6" ABOVE CEILING
- W3 2x6 STUDS AT 16" O.C. WITH BATT INSULATION, 5/8" TYPE X GYPSUM BOARD EACH SIDE, APPLY FINISH PER FINISH SCHEDULE
- W4 2x6 STUDS AT 16" O.C. WITH BATT INSULATION, 5/8" TYPE X GYPSUM BOARD AT INTERIOR, EXTERIOR SHEATHING PER STRUCTURAL DRAWINGS, BUILDING WRAP, 1 1/2" RIGID INSULATION, STUCCO FINISH
- W5 W4 WALL TYPE WITH STONE WAINSCOT TO +2'-6", STUCCO FINISH ABOVE STONE
- W6 2x6 STUDS AT 16" O.C., 1/2" EXTERIOR SHEATHING (BOTH SIDES), BUILDING WRAP AT EXTERIOR, STUCCO FINISH
- W7 STONE WAINSCOT ON CONCRETE FOUNDATION WALL

KEYNOTES

- 5.01 STEEL LADDER TO ATTIC SPACE
- 6.07 14x14 TIMBER COLUMN - STAIN; SEE STRUCTURAL DRAWINGS
- 6.11 3/4" WOOD FLOORING OVER 2x6 WOOD FLOOR JOISTS AT 24" O.C. MAX.
- 6.13 8x8 TIMBER COLUMN - STAIN; SEE STRUCTURAL DRAWINGS
- 8.07 FLOOR ACCESS PANEL

ROI PROPERTY GROUP, LLC
NORWOOD BIBLE CHURCH

SADDLEHORN RANCH
JUDGE ORR AND CURTIS ROADS
EL PASO COUNTY, CO

KEYS + LAUER
ARCHITECTS

11681 VOYAGER PKWY, #200
COLORADO SPRINGS, CO 80921
(719) 634-3751
www.KeysLauerArchitects.com

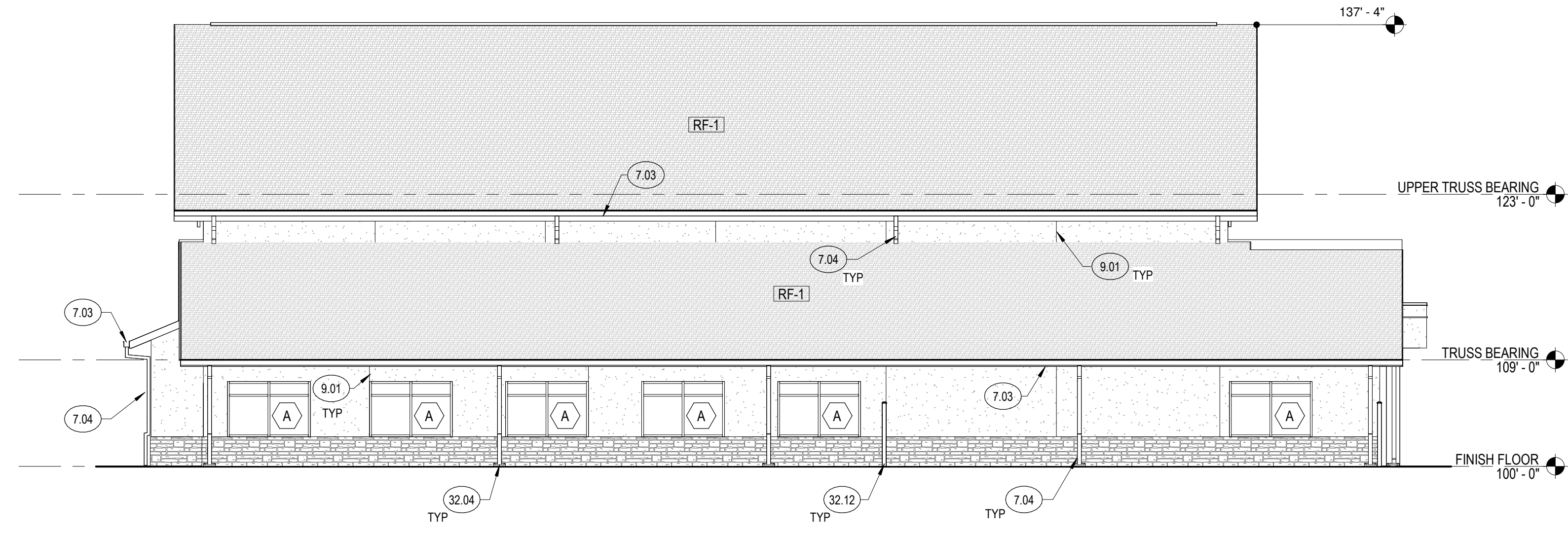
REVISIONS:	DATE	DESCRIPTION

PROJECT #: 2221
ISSUE DATE: 11/17/ 2022
ISSUED FOR: SD
DRAWN BY: Author
CHECKED BY: Checker
COPYRIGHT © 2022

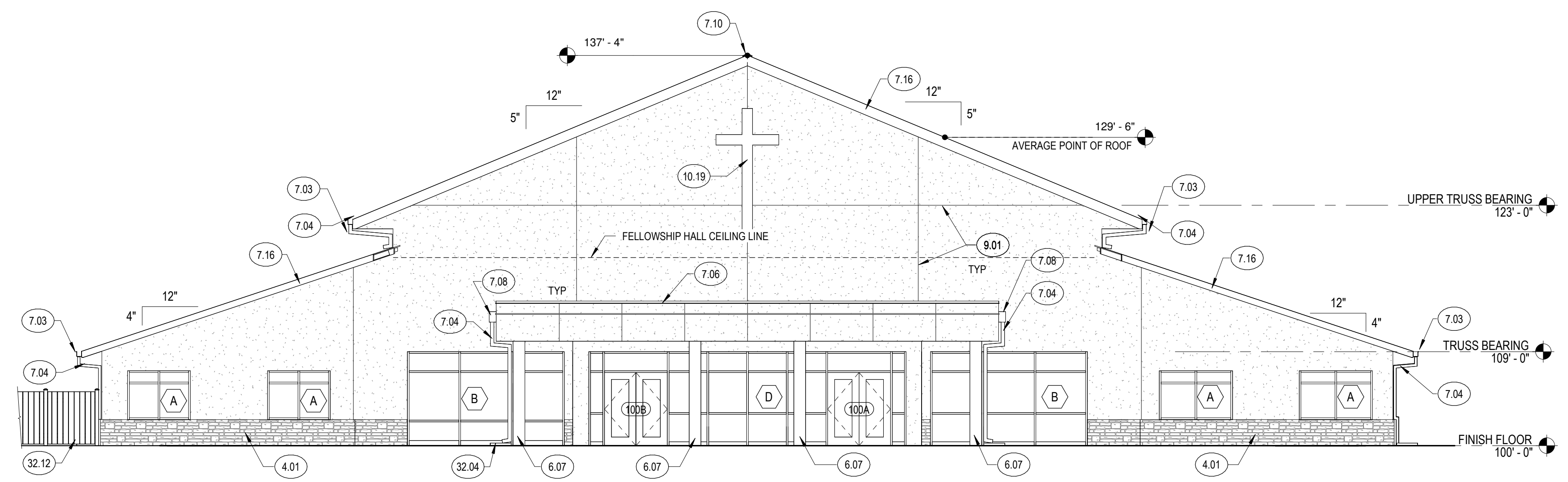
SHEET TITLE:
FLOOR PLAN

SHEET #:
A-101

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② SIDE ELEVATION 1
1/8" = 1'-0"



① FRONT ELEVATION
1/8" = 1'-0"

KEYNOTES

- 4.01 MANUFACTURED STONE STACK UNITS, USE CORNER UNITS AT WINDOW/DOOR, JAMBS AND BUILDING CORNERS; COLOR TO MATCH MANUFACTURED STONE
- 6.07 GUTTER, SIZE AS REQUIRED
- 7.03 GUTTER, SIZE AS REQUIRED
- 7.04 DOWNSPOUT
- 7.06 PREFINISHED METAL PARAPET CAP
- 7.08 PREFINISHED METAL COLLECTION BOX
- 7.10 CONTINUOUS RIDGE VENT; SEE SPECIFICATIONS
- 7.16 PREFINISHED METAL FASCIA
- 9.01 STUCCO CONTROL JOINT
- 10.19 BACK LIT STAINLESS STEEL METAL CROSS WITH STANDOFFS
- 32.04 CONCRETE SPLASH BLOCK
- 32.12 DECORATIVE FENCE

KEYS + LAUER
ARCHITECTS

11681 VOYAGER PKWY, #200
COLORADO SPRINGS, CO 80921
(719) 634-3751
www.KeysLauerArchitects.com

ROI PROPERTY GROUP, LLC
NORWOOD BIBLE CHURCH
SADDLEHORN RANCH - JUDGE ORR AND CURTIS ROADS
EL PASO COUNTY, CO

REVISIONS:

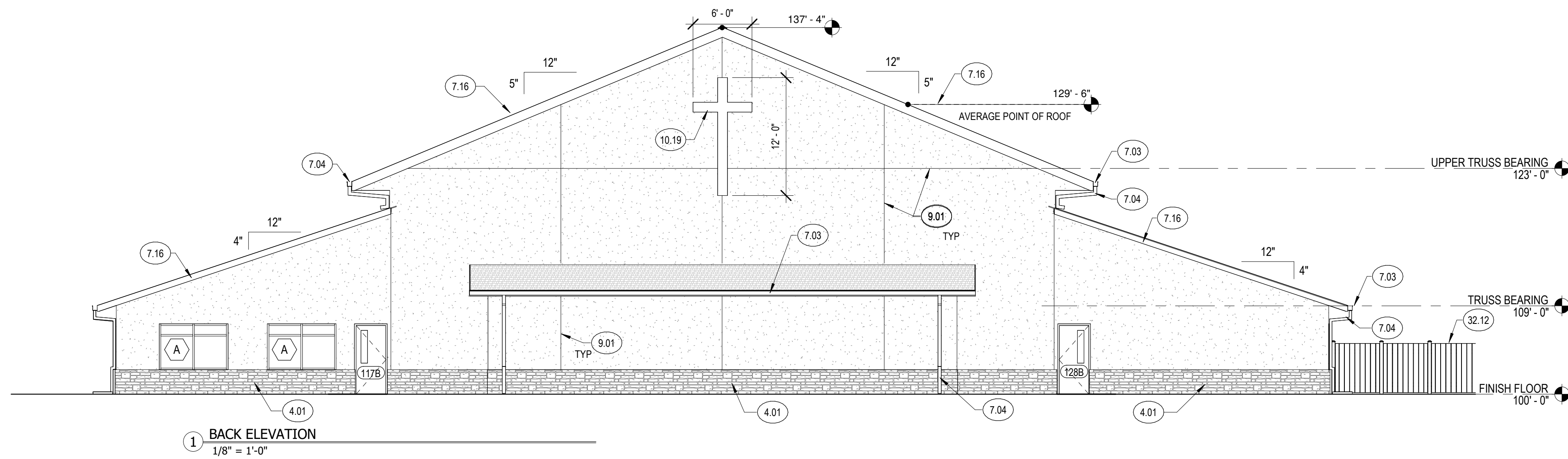
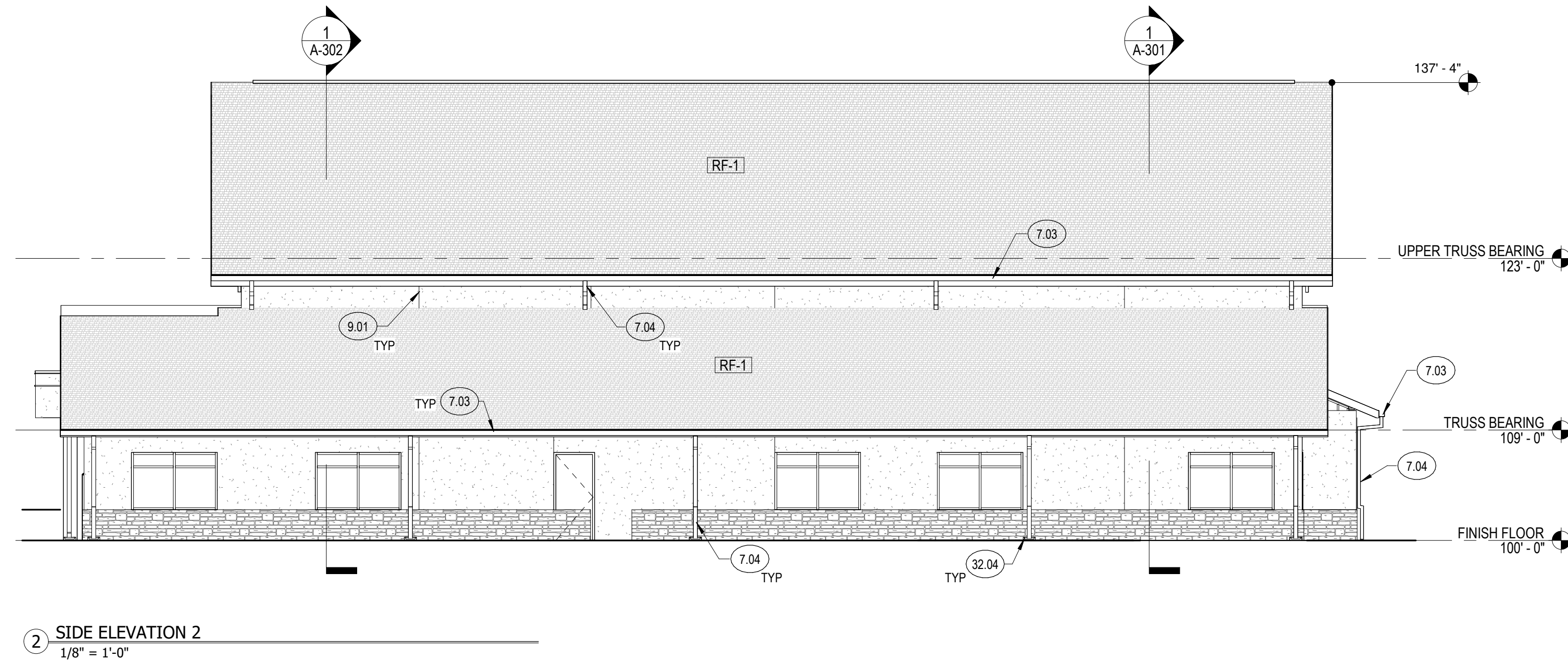
#	DESCRIPTION	DATE

PROJECT #: 2221
ISSUE DATE: 09/15/2023
ISSUED FOR: CD
DRAWN BY: CC
CHECKED BY: VL
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SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET #:
A-201

ALL DRAWINGS, SPECIFICATIONS AND COPIES THEREOF ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THEY ARE TO BE USED ONLY WITH RESPECT TO THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT OR EXTENSIONS TO THIS PROJECT, EXCEPT BY WRITTEN AGREEMENT AND APPROPRIATE COMPENSATION TO THE ARCHITECT. SUCH DOCUMENTS ARE TO BE RETURNED OR SUITABLY ACCOUNTED FOR BY THE ARCHITECT ON REQUEST AT THE COMPLETION OF WORK.

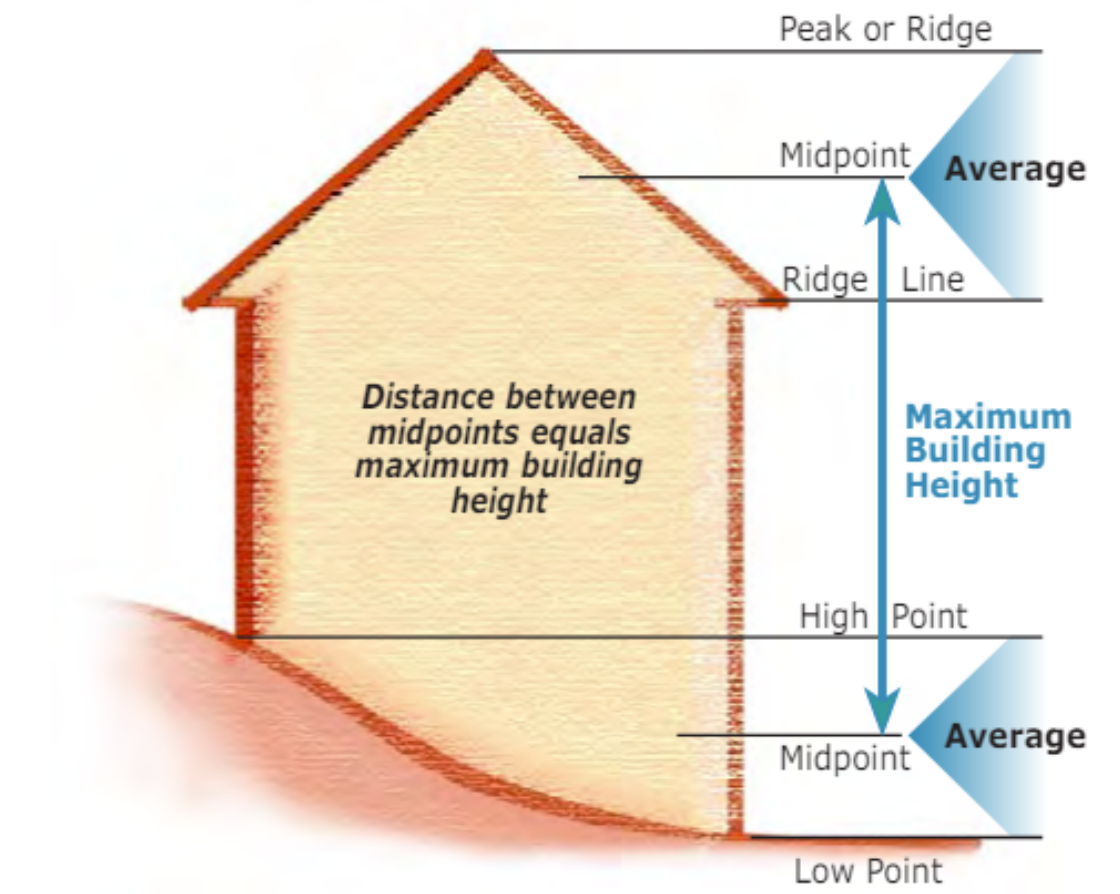


KEYNOTES

- 4.01 MANUFACTURED STONE STACK UNITS, USE CORNER UNITS AT WINDOW/DOOR JAMBS AND BUILDING CORNERS; COLOR TO MATCH MANUFACTURED STONE
- 7.03 GUTTER; SIZE AS REQUIRED
- 7.04 DOWNSPOUT
- 7.16 PREFINISHED METAL FASCIA
- 9.01 STUCCO CONTROL JOINT
- 10.19 BACK LIT STAINLESS STEEL METAL CROSS WITH STANDOFFS
- 32.04 CONCRETE SPLASH BLOCK
- 32.12 DECORATIVE FENCE

Determine Building Height

Building height can be measured several ways. Normally, building height is measured from ground level to the highest point of the roof surface. However, the average of the roof can be taken by finding the midpoint between the peak of the roof and the eave line (see illustration below). Buildings on a grade can also be averaged when determining building height. The average distance between the high point and low point of the grade must be found (as illustrated below). Thus, the average point between grade and the average point of the roof determine the maximum building height.



Per the El Paso County Land Development Code and the El Paso County "How to Determine Building Height" handout, the height of the church height is 29.5'.

REVISIONS:	DATE	DESCRIPTION
#		

PROJECT #: 2221
ISSUE DATE: 09/15/2023
ISSUED FOR: CD
DRAWN BY: CC
CHECKED BY: VL
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SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET #:

A-202

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ENGINEER OF RECORD. THEY ARE ONLY TO BE USED FOR THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT WITHOUT WRITTEN AGREEMENT AND APPROPRIATE COMPENSATION TO THE ENGINEER OF RECORD.

Manufacturer	Symbol	Quantity	Manufacturer	Catalog Number	Description	Number	Lumens	Light Loss Factor	Wattage	Plot
	A	12	Lithonia Lighting	DSX1 LED P7 40K 70CRI T3M	D-Series Size 1 Area Luminaire P7 Performance Package 4000K CCT 70 CRI Type 3 Medium	1	13763	0.9	103.37	
	B	6	Lithonia Lighting	WDGE1 LED P2 40K 80CRI B200 LF	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 4000K, 80CRI, VISUAL COMFORT FORWARD OPTIC	1	1979	0.9	15.9378	
	B2	4	Lithonia Lighting	WDGE1 LED P3 40K 80CRI T3M	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 4000K, 80CRI, TYPE 3 MEDIUM	1	3629	0.9	32.1379	

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site	+	0.9 fc	10.0 fc	0.0 fc	N/A	N/A
Property Line + 20	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A

WDGE1 LED Architectural Wall Sconce

Specifications
 Depth (D1): 5.5"
 Depth (D2): 1.5"
 Height: 8"
 Width: 9"
 Weight: 9 lbs (weight optional)

Introduction
 The WDGE1 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-glare light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

Model	Depth (D1)	Depth (D2)	Height	Width	Lumens	Beam Spread
WDGE1-L20	5.5"	1.5"	8"	9"	2,000	20°
WDGE1-L30	5.5"	1.5"	8"	9"	3,000	30°
WDGE1-L40	5.5"	1.5"	8"	9"	4,500	40°
WDGE1-L50	5.5"	1.5"	8"	9"	6,000	50°
WDGE1-L60	5.5"	1.5"	8"	9"	8,000	60°
WDGE1-L70	5.5"	1.5"	8"	9"	10,000	70°
WDGE1-L80	5.5"	1.5"	8"	9"	15,000	80°
WDGE1-L90	5.5"	1.5"	8"	9"	20,000	90°
WDGE1-L100	5.5"	1.5"	8"	9"	25,000	100°

Ordering Information
 EXAMPLE: WDGE1 LED P2 40K 80CRI P1 MVOULT SRM PE DDBXD

Series	Finish	Color Temperature	CRI	Beam Spread	Mounting	Security	Options
WDGE1-L20	P1	27K	90	20°	8"	MVOULT	SRM
WDGE1-L30	P2	30K	90	30°	8"	MVOULT	SRM
WDGE1-L40	P3	35K	90	40°	8"	MVOULT	SRM
WDGE1-L50	P4	40K	90	50°	8"	MVOULT	SRM
WDGE1-L60	P5	45K	90	60°	8"	MVOULT	SRM
WDGE1-L70	P6	50K	90	70°	8"	MVOULT	SRM
WDGE1-L80	P7	55K	90	80°	8"	MVOULT	SRM
WDGE1-L90	P8	60K	90	90°	8"	MVOULT	SRM
WDGE1-L100	P9	65K	90	100°	8"	MVOULT	SRM

Accessories
 DDBXD: 12" x 12" x 1/2" Aluminum Die Cast Housing
 SRM: 12" x 12" x 1/2" Aluminum Die Cast Housing
 MVOULT: 12" x 12" x 1/2" Aluminum Die Cast Housing
 PE: 12" x 12" x 1/2" Aluminum Die Cast Housing
 DDBXD: 12" x 12" x 1/2" Aluminum Die Cast Housing
 SRM: 12" x 12" x 1/2" Aluminum Die Cast Housing
 MVOULT: 12" x 12" x 1/2" Aluminum Die Cast Housing
 PE: 12" x 12" x 1/2" Aluminum Die Cast Housing

D-Series Size 1 LED Area Luminaire

Specifications
 Size: 17" x 17"
 Length: 17.125"
 Width: 17.125"
 Height H1: 2.88"
 Height H2: 2.25"
 Weight: 35 lbs (16.3kg)

Introduction
 The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long life luminaire.

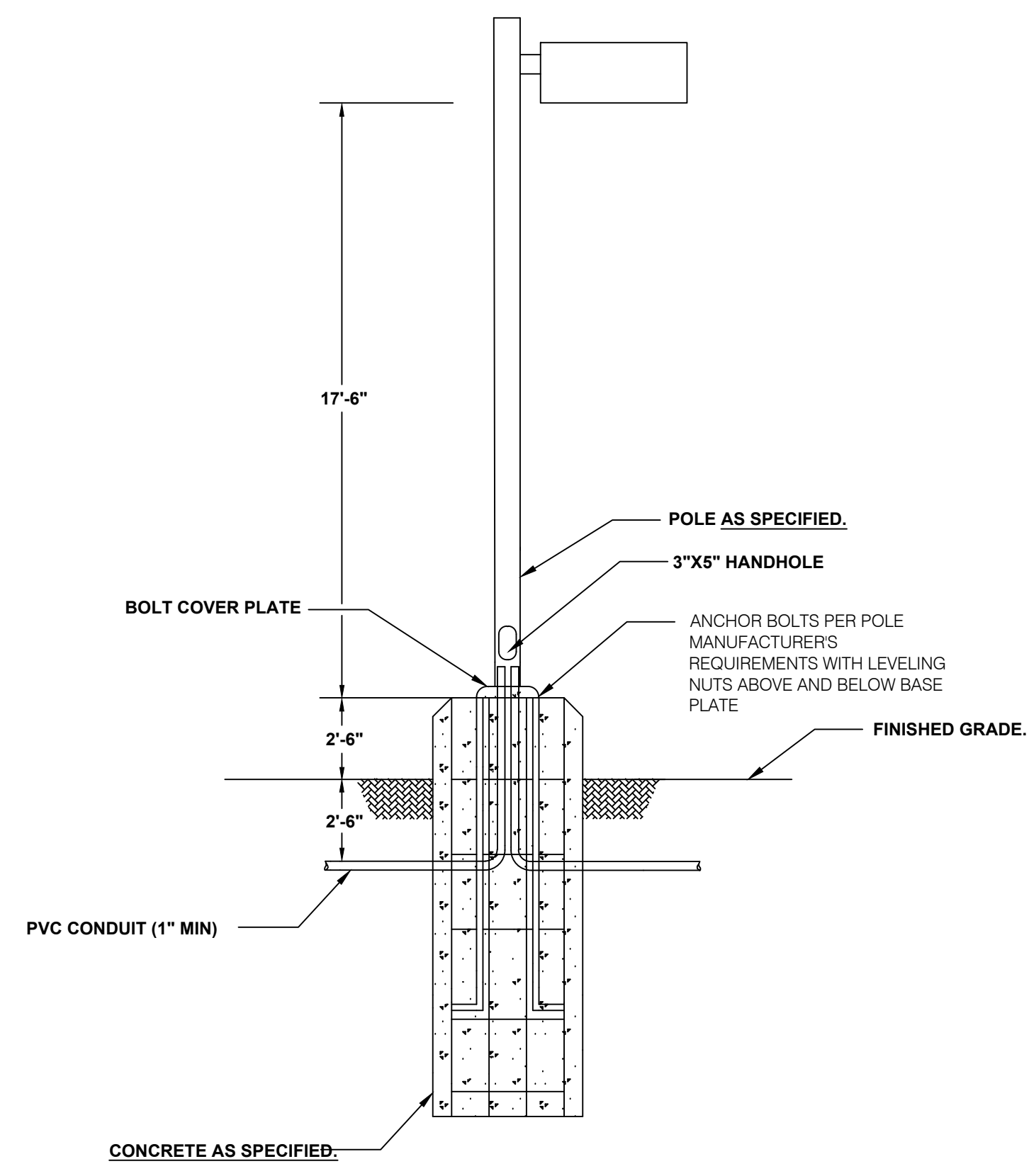
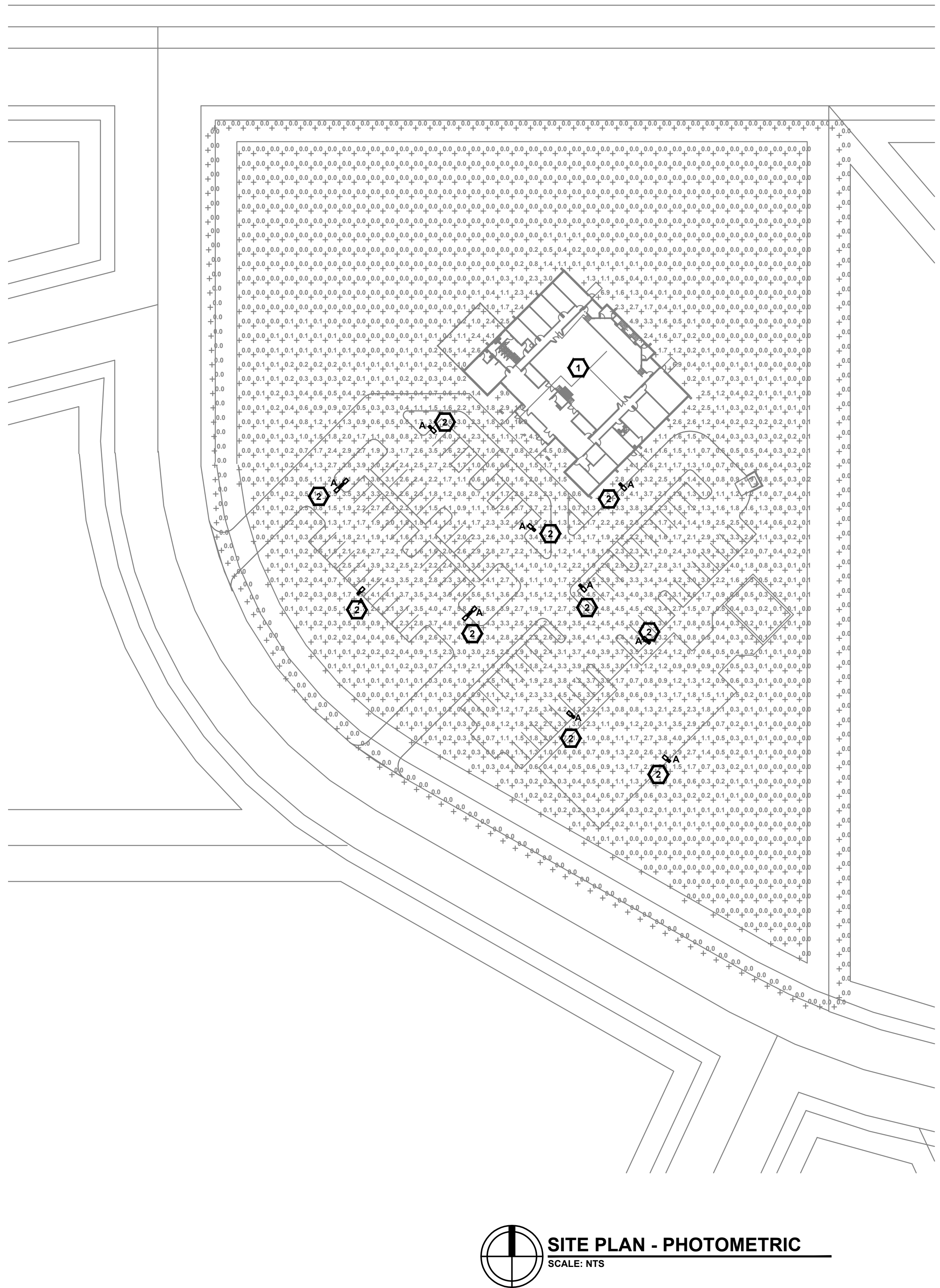
The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 40% and expected service life of over 100,000 hours.

Model	Depth (D1)	Depth (D2)	Height	Width	Lumens	Beam Spread
DSX1-L20	17.125"	17.125"	2.88"	17.125"	2,000	20°
DSX1-L30	17.125"	17.125"	2.88"	17.125"	3,000	30°
DSX1-L40	17.125"	17.125"	2.88"	17.125"	4,500	40°
DSX1-L50	17.125"	17.125"	2.88"	17.125"	6,000	50°
DSX1-L60	17.125"	17.125"	2.88"	17.125"	8,000	60°
DSX1-L70	17.125"	17.125"	2.88"	17.125"	10,000	70°
DSX1-L80	17.125"	17.125"	2.88"	17.125"	15,000	80°
DSX1-L90	17.125"	17.125"	2.88"	17.125"	20,000	90°
DSX1-L100	17.125"	17.125"	2.88"	17.125"	25,000	100°

Ordering Information
 EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOULT SPA NLTAR2 P1RH DDBXD

Series	Finish	Color Temperature	CRI	Beam Spread	Mounting	Security	Options
DSX1-L20	P1	27K	90	20°	8"	MVOULT	SRM
DSX1-L30	P2	30K	90	30°	8"	MVOULT	SRM
DSX1-L40	P3	35K	90	40°	8"	MVOULT	SRM
DSX1-L50	P4	40K	90	50°	8"	MVOULT	SRM
DSX1-L60	P5	45K	90	60°	8"	MVOULT	SRM
DSX1-L70	P6	50K	90	70°	8"	MVOULT	SRM
DSX1-L80	P7	55K	90	80°	8"	MVOULT	SRM
DSX1-L90	P8	60K	90	90°	8"	MVOULT	SRM
DSX1-L100	P9	65K	90	100°	8"	MVOULT	SRM

Accessories
 DDBXD: 12" x 12" x 1/2" Aluminum Die Cast Housing
 SRM: 12" x 12" x 1/2" Aluminum Die Cast Housing
 MVOULT: 12" x 12" x 1/2" Aluminum Die Cast Housing
 PE: 12" x 12" x 1/2" Aluminum Die Cast Housing
 SPA: 12" x 12" x 1/2" Aluminum Die Cast Housing
 NLTAR2: 12" x 12" x 1/2" Aluminum Die Cast Housing
 P1RH: 12" x 12" x 1/2" Aluminum Die Cast Housing
 DDBXD: 12" x 12" x 1/2" Aluminum Die Cast Housing
 SRM: 12" x 12" x 1/2" Aluminum Die Cast Housing
 MVOULT: 12" x 12" x 1/2" Aluminum Die Cast Housing
 PE: 12" x 12" x 1/2" Aluminum Die Cast Housing



- #### GENERAL NOTES
- DRAWINGS ARE BASED ON RECORD DRAWINGS (NOT GUARANTEED TO BE CURRENT AT TIME OF CONSTRUCTION) AND FIELD INVESTIGATION WITH DEMOLITION. EXAMINE PLANS AND VISIT THE SITE TO FIELD VERIFY ACTUAL CONDITIONS AND COORDINATE SAME WITH OTHER TRADES PRIOR TO STARTING WORK.
 - A LICENSED AND BONDED CONTRACTOR SHALL BE USED FOR INSTALLATION. ALL LOCAL CODES SHALL BE FOLLOWED DURING INSTALLATION.
 - ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
 - A FINAL COMMISSIONING REPORT SHALL BE DELIVERED TO THE BUILDING OWNER PER SECTION C408.2.5 OF THE 2021 IECC.

- #### KEYNOTES
- LIGHTING FOR THE WALKWAYS WILL BE PROVIDED BY WALL-MOUNTED DOWN CASTING FIXTURES LOCATED ON PROPOSED BUILDING. FINAL LOCATION TO BE DETERMINED DURING BUILDING DESIGN.
 - EXTERIOR LIGHTING, EXCEPT SECURITY LIGHTING, WILL BE CONTROLLED BY A TIME CLOCK TO BE TURNED OFF DURING NON-OPERATING HOURS.

ENGINEER SEAL:



10186 MT. LINCOLN DR. PEYTON, CO 80831
 INFO@CHIARTANOEG.COM
 719.257.2091

NORWOOD BIBLE CHURCH SADDLEHORN RANCH EL PASO COUNTY, CO

NO.	REVISION	DATE

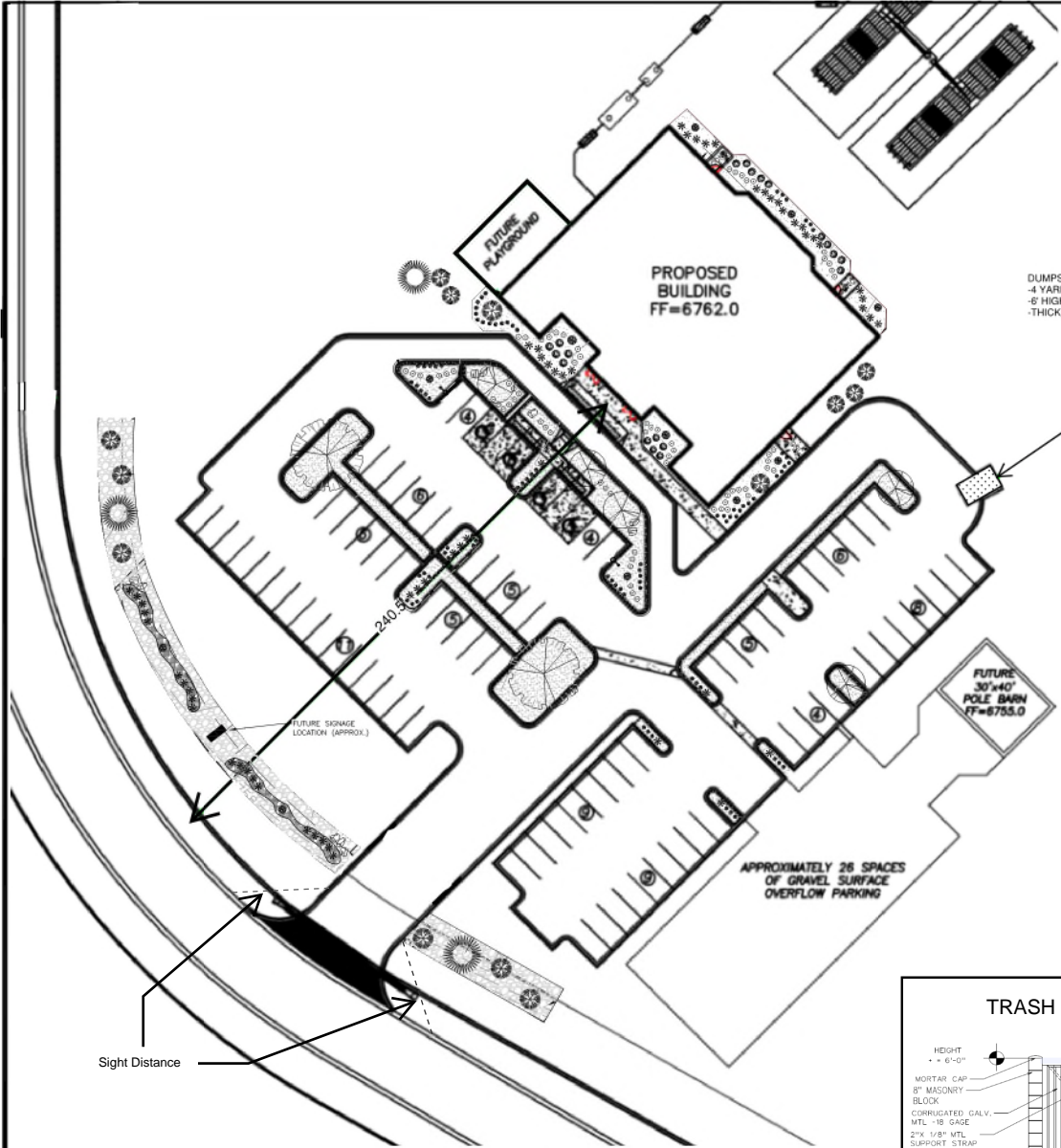
PROJECT NO: 23-0450
 DRAWN BY: MPC
 CHECKED BY: MPC
 DATE: 10/16/2023

SHEET CONTENTS:

PHOTOMETRIC PLAN

SHEET NUMBER:

E100A



LEGAL DESCRIPTION:
N2 SEC 3-13-64 EX THAT PT CONVEYED BY REC NO 215008985, 215008986, 219146505, 219146506 & THAT PT PLATTED TO SADDLEHORN RANCH FIL NO 2

APPLICANT/PLAN PREPARER:
VERTEX CONSULTING SERVICES
CONTACT: NINA RUIZ
719-733-8605
nina.ruiz@vertexcos.com

PARCEL SCHED #: 4300000635
OWNER: GORILLA CAPITAL CO
CONTACT: NATHAN STEELE
PH: 949-609-9492
EM: nathan.steele@roipropertygroup.com

MAILING ADDRESS: 1342 HIGH ST
EUGENE, OR 97401

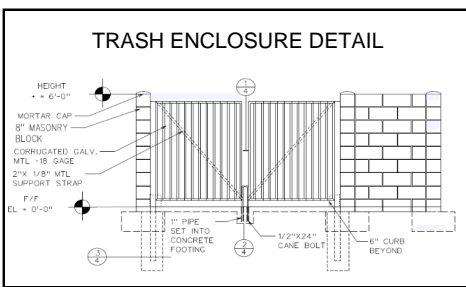
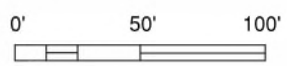
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LAND USE: AG GRAZING
AREA: 14,222,775 SF (326.5 AC)
DEVELOPED AREA: 217,800 SF (5.0 AC)

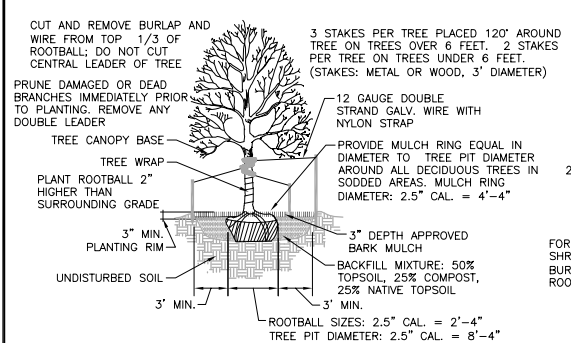
- GENERAL NOTES**
1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATION AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
 2. FEMA 100-YR FLOODPLAIN NOT WITHIN SITE BOUNDARIES.
 3. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. CONTRACTOR TO VERIFY. SEE GEC DRAWINGS FOR GRADING AND EROSION CONTROL DETAILS INCLUDING UTILITY DETAILS.

FOR REVIEW

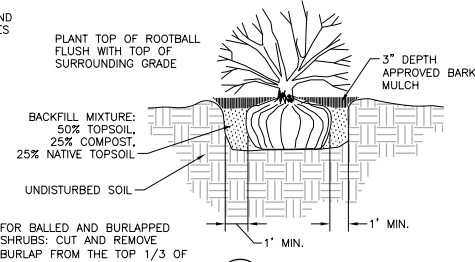
NO.	REVISION/ISSUE	DATE

ROI PROPERTY GROUP
NORWOOD BIBLE CHURCH
ALTERNATE LANDSCAPE PLAN

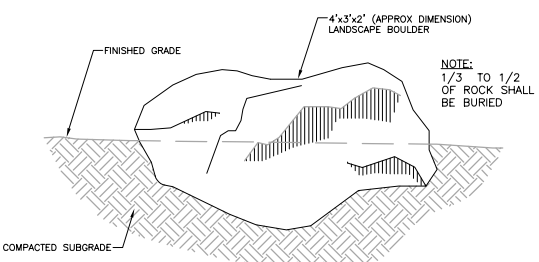




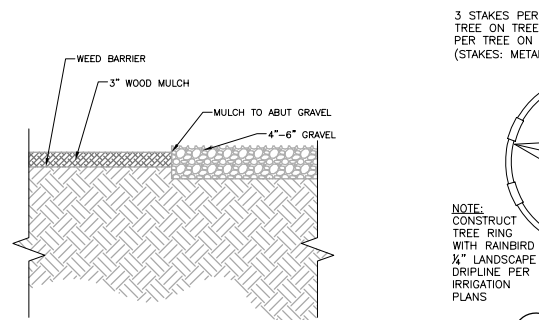
A TREE PLANTING
LS2 SCALE: N.T.S.



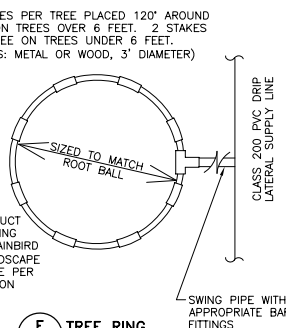
B SHRUB/DECORATIVE GRASS PLANTING
LS2 SCALE: N.T.S.



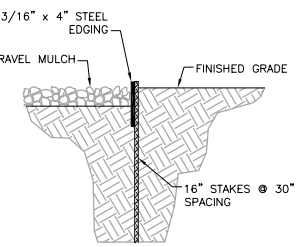
C LANDSCAPE BOULDER
LS2 SCALE: N.T.S.



E GRAVEL & MULCH
LS2 SCALE: N.T.S.



F TREE RING
LS2 SCALE: N.T.S.



D STEEL EDGE
LS2 SCALE: N.T.S.

LANDSCAPE NOTES:

- PLANT QUANTITY AND SUBSTITUTION:** IN CASE OF DISCREPANCY IN PLANT QUANTITIES SHOWN ON THE PLANT TABLE AND THOSE SHOWN ON THE PLANTING PLAN, THE QUANTITIES SHOWN ON THE PLANTING PLAN SHALL GOVERN. THE MINIMUM ACCEPTABLE SIZES OF PLANTS MEASURED BEFORE PRUNING WITH BRANCHES IN NORMAL POSITION SHALL CONFORM TO THE PLANTING SIZES AS SPECIFIED IN THE SCHEDULE. ANY SUBSTITUTION OF PLANT SIZE OR SPECIES MUST BE SUBMITTED TO THE OWNER/OWNER REPRESENTATIVE IN WRITING FOR APPROVAL PRIOR TO INSTALLATION.
- ACCEPTABLE PLANT MATERIAL:** ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET BY THE "COLORADO NURSERY ASSOCIATION," AND THE "AMERICAN STANDARD OF NURSERY STOCK." ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES, HEALTHY, FREE OF DISEASE, INSECT PESTS, MECHANICAL INJURIES, AND HAVE ADEQUATE ROOT SYSTEMS. ALL PLANTINGS SHALL BE INSTALLED PER PLANTING DETAILS. ALL PLANT MATERIAL SHALL BE INSPECTED BY THE OWNER/OWNER REPRESENTATIVE PRIOR TO INSTALLATION. STAKING/CONTRACTOR INSPECTION NOTE: ALL PLANTING LOCATIONS TO BE STAKED AND INSPECTED BY CONTRACTOR PRIOR TO INSTALLATION. ALL PLANTS TO BE INSPECTED AT NURSERY LOCATION PRIOR TO TRANSPORTING TO THE SITE.
- SITE DISTURBANCE:** ALL AREAS OF SITE DISTURBANCE DUE TO CONSTRUCTION SHALL BE RENOVATED OR PLANTED PER THIS PLAN UNLESS OTHERWISE NOTED. SITE-SPECIFIC LANDSCAPING SHALL AT A MINIMUM INCLUDE REVEGETATION OF DISTURBED AREAS WITH MATERIALS INDIGENOUS TO THE SITE OR OTHERWISE ADAPTABLE.
- SOIL AMENDMENTS:** CONTRACTOR SHALL AMEND PLANTING AREAS AS FOLLOWS:
-ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 6" PRIOR TO PLANTING.
-3 CUBIC YARDS PER 1000 S.F. OF WELL-COMPOSTED AGED MANURE OR PREMIUM COMPOST.
-ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 6" PRIOR TO PLANTING.
- SEEDED TIRE:** ALL SEEDED OR HYDROMULCHED AREAS SHALL DEMONSTRATE 95% GERMINATION PRIOR TO FINAL ACCEPTANCE.
- IRRIGATION:** OWNER TO IRRIGATE FOR ONE TO TWO GROWING SEASONS UNTIL ESTABLISHED AND ON AN AS-NEEDED BASIS THEREAFTER. DISTURBED AREA SEED/GRASS MIXTURE MUST BE IRRIGATED BY OWNER UNTIL ESTABLISHED AND IN TIMES OF DROUGHT. THE ON-GOING MAINTENANCE OF THE NATIVE GRASS IS THE RESPONSIBILITY OF OWNER.
- INORGANIC MULCH AND FABRIC:** ALL PLANTINGS TO RECEIVE 3-INCH DEPTH OF INORGANIC MULCH. MULCH RINGS TO BE 15-INCH DIA. FOR (5) GALLON SHRUBS/GRASSES (SEE DRAWING DETAILS). HIGH QUALITY COMMERCIAL-GRADE (SPUN-BONDED POLYPROPYLENE OR EQUAL) LANDSCAPING FABRIC SHALL BE APPLIED UNDER ALL ROCK/MULCH BASES.
- STEEL EDGE:** ALL EDGER SHALL BE ACME 4" PERFORATED STEEL EDGER "SELF COLORING" 14 GAUGE OR APPROVED EQUAL.
- APPROVAL:** ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR APPROVAL OF AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- FINAL TREE AND SHRUB LOCATIONS:** ALL TREE LOCATIONS SHALL BE STAKED FOR APPROVAL BY OWNER/OWNER REPRESENTATIVE PRIOR TO PLANTING. SHRUBS SHALL BE PLACED IN THEIR LOCATIONS PER THIS PLAN AND APPROVED BY OWNER/OWNER REPRESENTATIVE. THE FINAL LOCATION OF TREES TO BE PLANTED MAY REQUIRE ADJUSTMENT BASED ON APPROVAL OF THE FINAL UTILITIES PLANS AND ANY ASSOCIATED FINAL EASEMENTS LOCATIONS.
- COMPLIANCE WITH PLANS:** THE COMPLETED LANDSCAPING SHALL COMPLY WITH THE APPROVED ALTERNATE LANDSCAPE PLAN AND SHALL INCLUDE THE QUANTITIES, LOCATIONS, SPECIES AND SIZES OF PLANTS AND OTHER LANDSCAPE MATERIALS AS REPRESENTED ON THE APPROVED PLAN. SEEDED LANDSCAPE AREAS SHALL HAVE NO BARE AREAS LARGER THAN 6 SQUARE INCHES AFTER GERMINATION.
- MAINTENANCE:**
A. THE OWNER IS RESPONSIBLE FOR ALL REGULAR AND NORMAL MAINTENANCE OF REQUIRED LANDSCAPING INCLUDING WEEDING, IRRIGATION, FERTILIZING, PRUNING AND MOWING.
B. REPLACEMENT OF DEAD, DISEASED OR SUBSTANTIALLY DAMAGED PLANT MATERIALS SHALL OCCUR WITHIN 6 MONTHS FROM WHEN THE PLANT MATERIAL DIED, OR WHEN THE INSPECTION DETERMINED THE PLANT MATERIAL WAS DEAD OR DAMAGED. REPLACEMENT SHALL BE OF THE SAME OR SIMILAR TYPE AS ORIGINALLY APPROVED. AN ALTERNATIVE TYPE OF SPECIES SHALL REQUIRE APPROVAL BY THE PCD DIRECTOR.
C. MAINTENANCE INSPECTIONS MAY BE PERFORMED PERIODICALLY. FAILURE TO MAINTAIN THE LANDSCAPING IN COMPLIANCE WITH THE APPROVAL IS CONSIDERED A ZONING VIOLATION.
* THE PROPOSED ALTERNATE LANDSCAPE DESIGN INTENT PROMOTES WATER CONSERVATION WHILE MEETING THE PURPOSES DESCRIBED IN THE EL PASO COUNTY LAND DEVELOPMENT CODE.

LANDSCAPE SCHEDULE - HARDSCAPE/MULCH

3/8" PEA GRAVEL: WASHED RIVER ROCK OR APPROVED EQUAL	1 TYP PLANTING. REF: DETAILS LEFT
BREEZE/MINUS: PIONEER GRANITE OR APPROVED EQUAL	2 STEEL EDGE, TYP FOR SEPARATION BETWEEN SEED AND MULCH AREAS (GRAVEL, BREEZE, ROCK, WOOD MULCH) REF: DETAIL D/LS2
DECORATIVE ROCK: 3/4" - 1-1/2" MIX PIONEER GRANITE OR APPROVED EQUAL	3 3/8" PEA GRAVEL @ 4" DEPTH MIN
SHREDDED WOOD MULCH: BROWN	4 BREEZE/MINUS @ 4" DEPTH MIN
DECORATIVE ROCK BOULDERS: PIONEER GRAY GRANITE OR APPROVED EQUAL	5 DECORATIVE ROCK @ 4" DEPTH MIN
	6 SHREDDED WOOD MULCH @ 3" DEPTH MIN
	7 DECORATIVE ROCK BOULDERS. REF: DETAIL C/LS2

LANDSCAPE COVERAGE:

REDUCED BOUNDARY AREA (87.830)	REQUIRED	PROVIDED	REMARKS
ROADWAY FRONTAGE			
-DEPTH	15'	15'	
-TREES	8	8	
PARKING LOT	5	7	
INTERNAL	4,892 SF	6,446 SF	INCLUDES ROADWAY FRONTAGE. EXCLUDES PARKING LOT. LANDSCAPE
INTERNAL TREES (EXCL. RD FRONTAGE & PARK. LOT)	9	9	

LANDSCAPE SCHEDULE - XERIC/LOW WATER VEGETATION

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	MATURE SIZE (HxW)	PLANTING SIZE (MIN)	COMMENTS
	GRASS					
	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	84	2'-0" x 1'-6"	#3 CONT.	MAINTAIN SHAPE AND SIZE BY PRUNING LATE MARCH
	CALAMAGROSTIS ACUTIFLORA	KARL FOERSTER FEATHER REED	68	4'/6"-0" x 2'-0"	#5 CONT.	CUT CLUMPS OF GRASS NEAR THE GROUND LATE WINTER PRIOR TO NEW SHOOTS APPEARING
	SHRUB					
	RHUS TRILOBATA	SKUNKBUSH SUMAC	11	4'-0" x 3'-8"	#5 CONT.	MAINTAIN SHAPE AND SIZE BY PRUNING LATE WINTER
	POTENTILLA FRUTICOSA	GOLDSTAR POTENTILLA	58	2'-6" x 3'-0"	#5 CONT.	MAINTAIN SHAPE AND SIZE BY PRUNING EARLY SPRING
	GROUNDCOVER					
	RHUS TRILOBATA (AROMATICA 'GRO-LOW')	GROW-LOW FRAGRANT SUMAC	20	4'-0" x 3'-0"	#5 CONT.	MAINTAIN SHAPE AND SIZE BY PRUNING EARLY SPRING
	EVERGREEN TREE					
	PINUS EDULIS	PINON PINE	4	25'-0" x 15'-0"	4' MIN HEIGHT	MUST ARRIVE BALLED AND BURLAPPED. PRUNE TO SHAPE TREE AT EARLY GROWTH
	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	13	15'-0" x 8'-0"	4' MIN HEIGHT	MUST ARRIVE BALLED AND BURLAPPED. PRUNE OUT SPORE HORNS WHEN SEEN IN SPRING
	DECIDUOUS ORNAMENTAL TREE					
	ROBINIA NEOMEXICANA	NEW MEXICO LOCUST	5	15'/25'-0" x 10'/15'-0"	1" CAL	MUST ARRIVE BALLED AND BURLAPPED. CALIPER SHALL BE MEASURED 6" ABOVE GROUND
	GLEDITSIA TRIACANTHOS VAR. INERMIS	IMPERIAL HONEYLOCUST	2	35'-0" x 30'-0"	1.5" CAL	MUST ARRIVE BALLED AND BURLAPPED. PRUNING BEST DONE IN LATE WINTER TO EARLY SPRING

GENERAL NOTES

NO.	REVISION/ISSUE	DATE

FOR REVIEW

ROI PROPERTY GROUP
NORWOOD BIBLE CHURCH
ALTERNATE LANDSCAPE PLAN
DETAILS

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Colorado Springs, Colorado 80903
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PROJECT NO. PPR-23-046
DATE 12/2/23
PREPARED BY NBR
APPROVED BY CAD

LS2